

Lot 4 (265) Princess Royal Drive Albany 6330 WA

Development Description.

We are proposing a commercial development consisting of two tenancies for the service of food and beverage for tourists and local patrons while enjoying the harbour vistas.

They both will be proposed to be licenced Tavern Restaurant facilities and are expected be operating 7 days a week providing to cater for breakfast, lunch, and dinner or a combination of the former.

Tenancy A will be approximately 774 m2 total.

The dining area and toilet facilities will be able to accommodate 300 patrons as per licencing regulations.

The staff numbers are expected to be 35 full time and casual spread out over 7 days.

The access for customers will be from the south side waterfront promenade.

Tenancy B will be approximately 378 m2 total.

The dining area and toilet facilities will be able to accommodate 150 patrons as per licencing regulations.

The staff numbers are expected to be 25 full time and casual spread out over 7 days.

The access for customers will be from the south side waterfront promenade.

Both tenants will be applying for Tavern licence and have service of alcohol and food from the venue. The bar facility is designed to accommodate such service.

In due course during building application, we will provide a waste management plan.

All the waste facilities will be in doors at back of house as indicated on the site plan.

All mechanical plant will be confined in the roof space at the rear above the back of house area.

The grass area north of the development will provide future commercial development of two or three storey building in height with a minimum of 18 extra parking bays on the ground floor.

Regards

[Redacted]

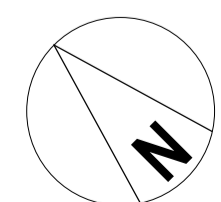
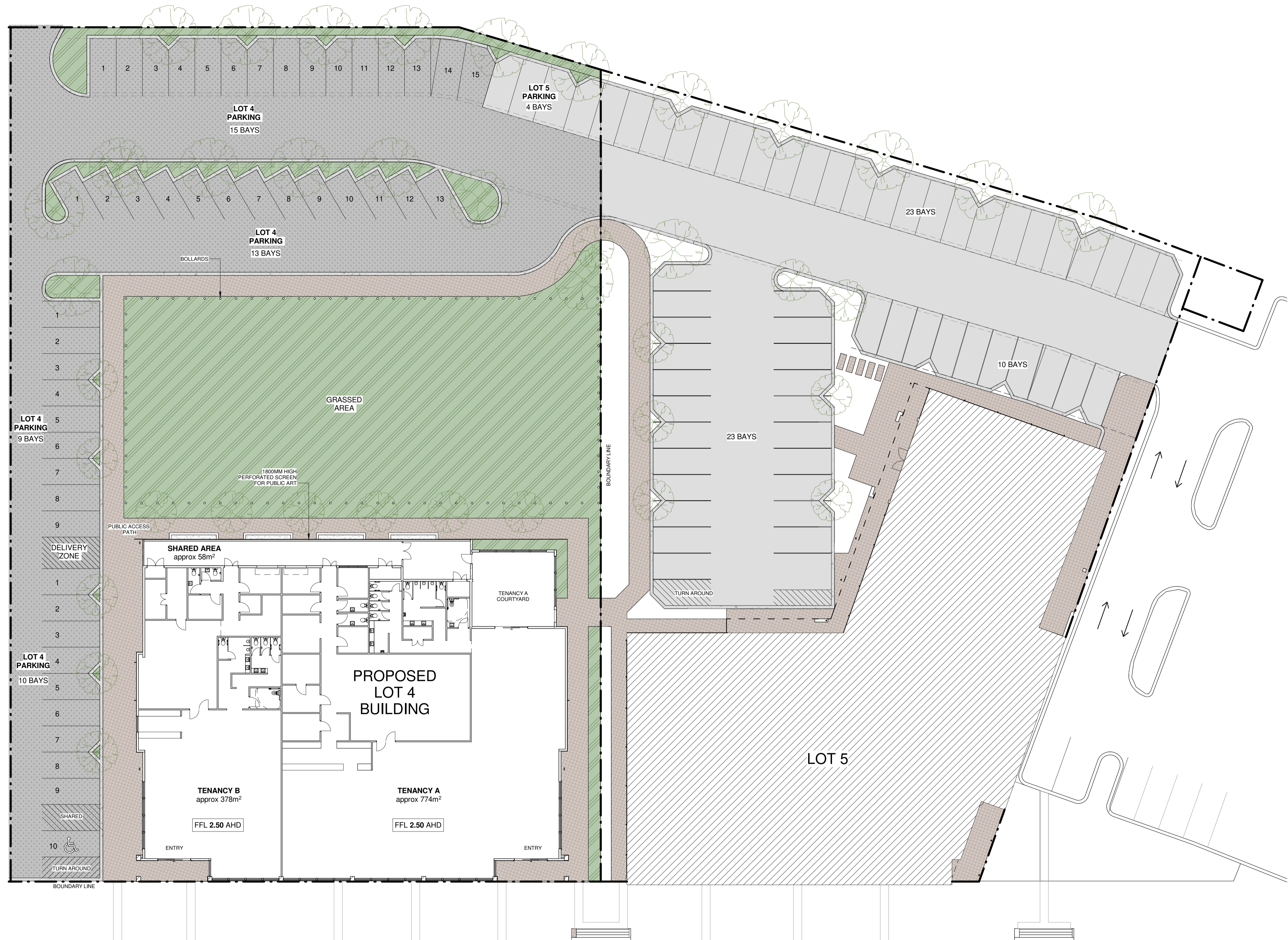
[Redacted]

[Redacted]

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SHARED AREA 58m²
 TENANCY A AREA 774m²
 TENANCY B AREA 378m²
 TOTAL BUILDING AREA 1152m²
 TOTAL PARKING BAYS 47



PROPOSED WATERFRONT RESTAURANT / TAVERN

LOT 4 PRINCESS ROYAL DRIVE, ALBANY

REALFORCE CONSTRUCTION & PROJECT MANAGEMENT

DRAWING

DRAWING No

SCALE

JOB NUMBER

DATE

DRAWN

SITE PLAN

SK.20

1 : 200 @ A1

7355-23

06.07.2023

LO

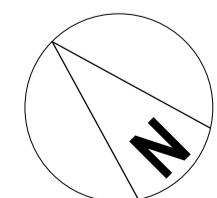
H+H architects

ALBANY 9842 5558
 KALGOORLIE 0433 319 653
 BUNBURY 9778 9600



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 BUILDERS REGISTRATION: 13793

SHARED AREA 59.5m²
TENANCY A AREA 774m²
TENANCY B AREA 378m²
TOTAL BUILDING AREA 1152m²



PROPOSED WATERFRONT RESTAURANT / TAVERN

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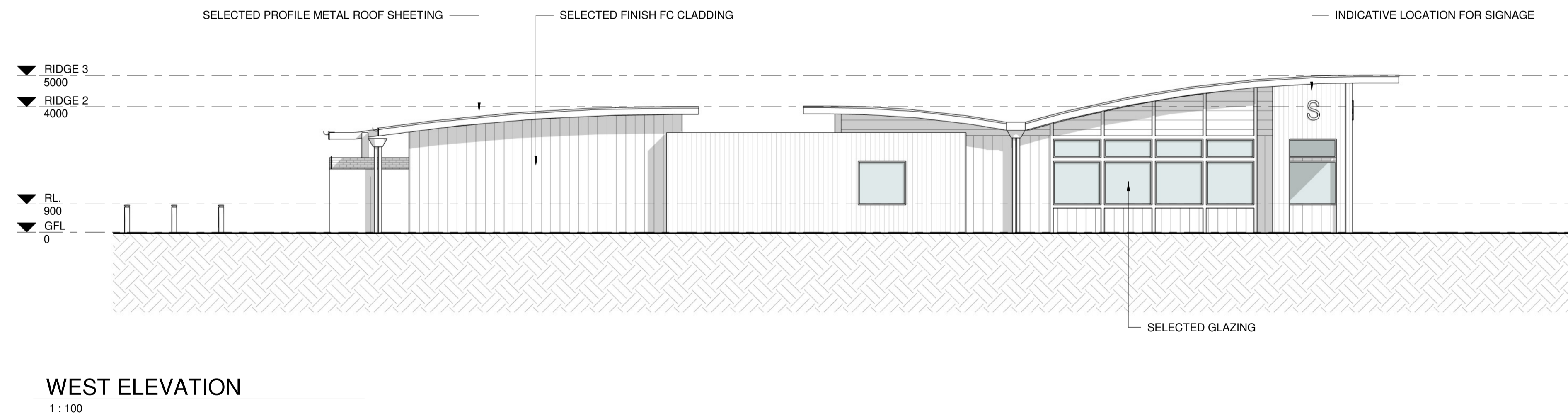
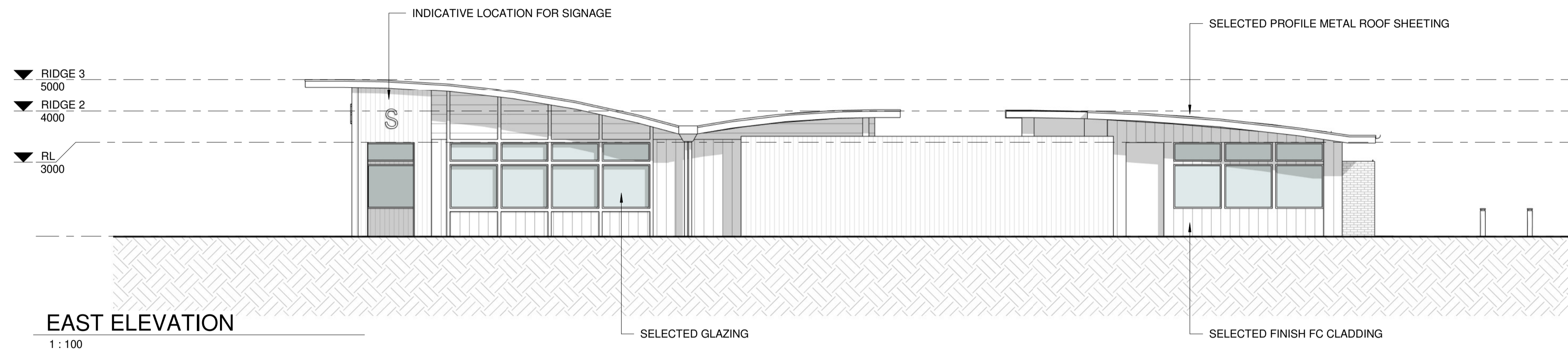
FLOOR PLAN
 SK.21
 1 : 100 @ A1
 7355-23
 06.07.2023
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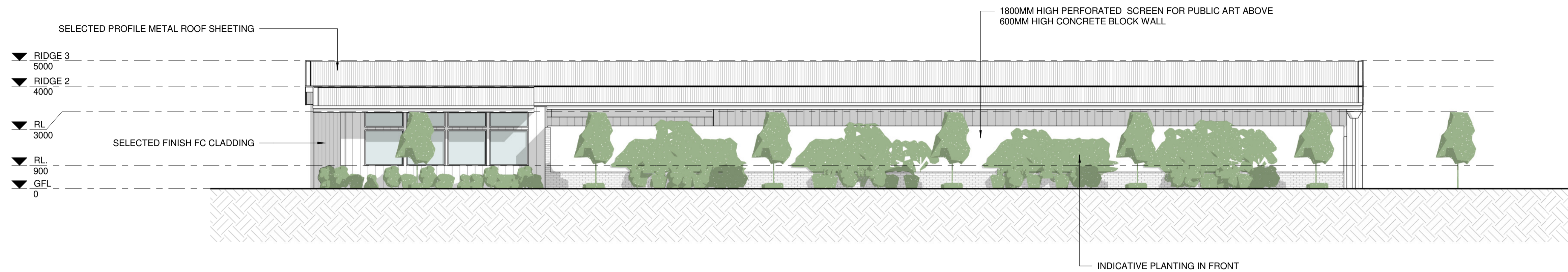
DRAWING **ELEVATIONS**
DRAWING No SK.41
SCALE 1 : 100 @ A1
JOB NUMBER 7355-23
DATE 06.07.2023
DRAWN LO

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0433 319 653
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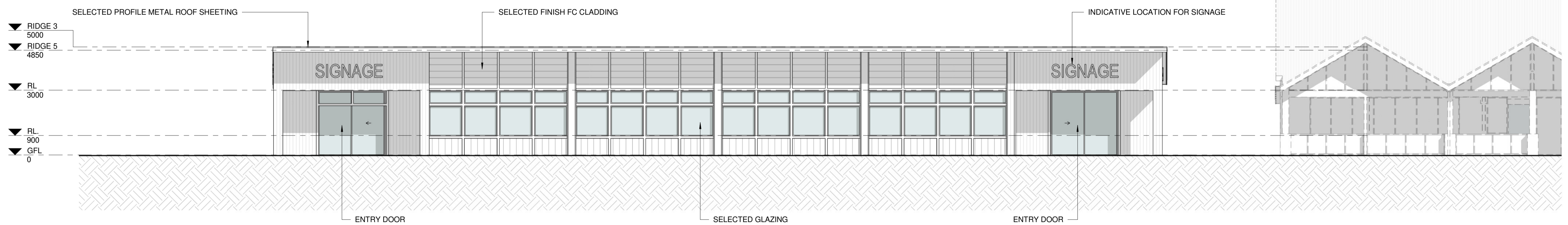
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NORTH ELEVATION

1 : 100



SOUTH ELEVATION

1 : 100

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DRAWING

DRAWING No

SCALE

JOB NUMBER

DATE

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ELEVATIONS

SK.40

1 : 100 @ A1

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06.07.2023

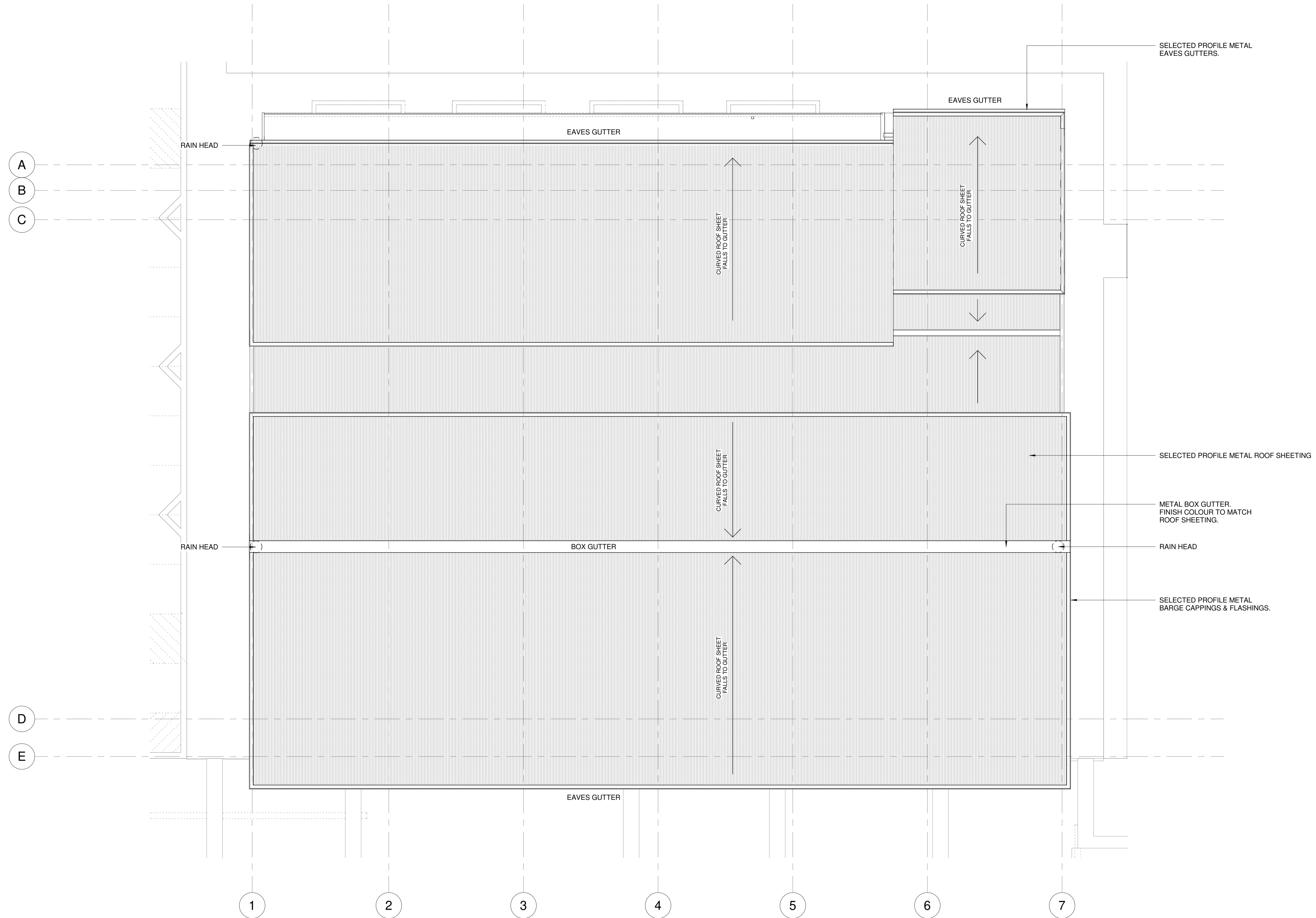
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ALBANY
9842 5558
KALGOORLIE
0433 319 653
BUNBURY
9778 9600



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PROPOSED WATERFRONT RESTAURANT / TAVERN
 LOT 4 PRINCESS ROYAL DRIVE, ALBANY
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DRAWING **ROOF PLAN**
 DRAWING No SK.30
 SCALE 1 : 100 @ A1
 JOB NUMBER 7355-23
 DATE 06.07.2023
 DRAWN LO

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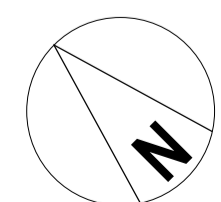
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LANDSCAPING LEGEND

-  PROPOSED TREES (C.O.S.)
-  PROPOSED SOFT LANDSCAPING (LOW PLANTS & GROUND COVER)

NOTE: DETAILED SELECTION OF PLANT SPECIES TO BE MADE AT TIME OF DOCUMENTATION.



PROPOSED WATERFRONT RESTAURANT / TAVERN

LOT 4 PRINCESS ROYAL DRIVE, ALBANY

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DRAWING No
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PRELIMINARY SITE LANDSCAPING PLAN - LOT 4

L1.1
1 : 200 @ A1
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9842 5558
KALGOORLIE
0433 319 653
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PERSPECTIVE 01 - WEST ELEVATION

PROPOSED WATERFRONT RESTAURANT / TAVERN

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3D PERSPECTIVES
SK.02
@ A1
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ALBANY
9842 5558
KALGOORLIE
0433 319 653
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PERSPECTIVE 02 - EAST ELEVATION

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3D PERSPECTIVES
SK.03
@ A1
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9842 5558
KALGOORLIE
0433 319 653
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PERSPECTIVE 04 - AERIAL VIEW

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3D PERSPECTIVES
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