

# AQUAVISTA HOLDINGS PTY LTD

ABN: 18 607 396 636

Attention: Jessica Anderson  
City of Albany  
Planning Department  
102 North Road,  
Yakamia WA 6330

Dear Jessica,

## **RE: Development Description – Lot 5 / 261 Princess Royal Drive, Albany WA 6330**

The proposed development will be a Family friendly Restaurant/Tavern facility to be operating 7 days a week to cater for breakfast, lunch and dinner including take away coffee and food.

The design will encompass different seating areas with extensive views of the harbor, two separate entrances and easy access to a semi-weather protected alfresco and children's play area. The capacity of the venue will be 250 patrons and the bathroom facilities are designed to cater for such numbers.

An application will be sought for a liquor license to be able to have a service of alcohol from the venue. The bar facility is designed to accommodate the service of alcohol and other beverages. Staff numbers would be approximately 42 full-time and casual spread out over 7 days.

In due course during building application, we will provide an updated waste management plan. All the waste facilities will be in doors at back of house as indicated on the site plan.

We are also seeking change of use in the commercial component from offices to medical facility allowing consulting rooms, waiting rooms and other rooms to accommodate medical practice use. The staff numbers of this facility would be approximately 20 full-time and part-time professionals. The facility will have patronage of approximately 80 customers a day which will create vibrancy for the precinct and expose them to other facilities and shops at the waterfront.

The parking provides as per carpark layout, bike racks and with reciprocal use of 4 carparks on the adjoining Lot 4 Princess Royal Drive, Albany WA 6330

Regards,



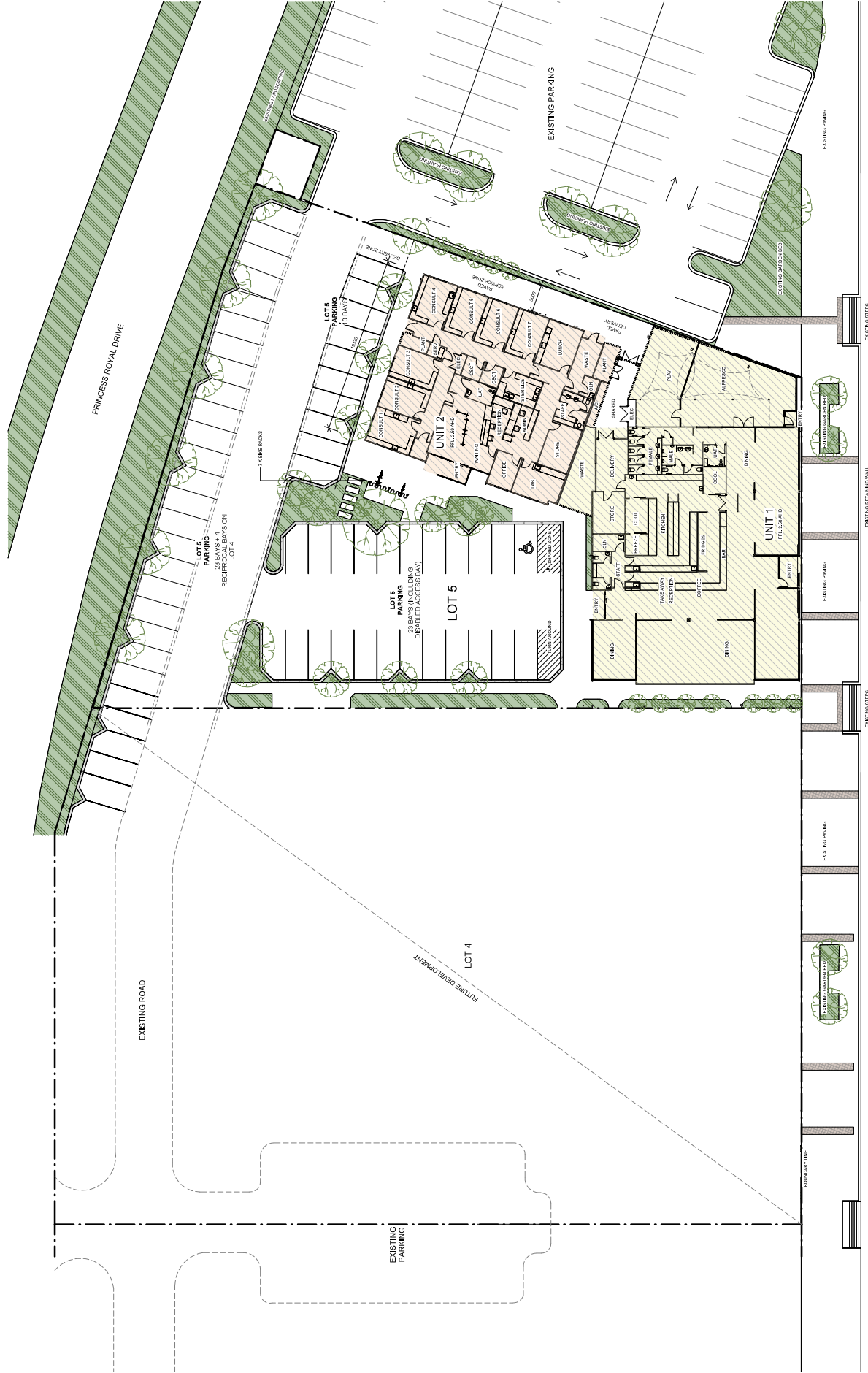
John Boccamazzo  
Director  
Aquavista Holdings Pty Ltd

Monday, 22<sup>nd</sup> July 2024

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p: P O Box 968, Albany WA 6331  
a: Unit 1 / 30 Prior Street, Albany WA 6330  
e: [john@realforceproperty.com.au](mailto:john@realforceproperty.com.au)

t: 1300 303 863  
m: 0417 942 708



LOT 5 AREAS	
TOTAL BUILDING AREA = 1,278 m²	
DENTAL TOTAL	438m²
TAVERN / RESTAURANT TOTAL	650m²
ALFRESCO GARDEN / ALFRESCO PLAY	90m²
COMMON AREAS SHARED	50m²
	40m²

PARKING BAYS & BIKE RACKING	
LOT 5 CAR BAYS	60 BAYS
LOT 5 BIKE RACKING	7 RACKS



## WATERFRONT\_MIXED USE\_LOT 5

LOT 5 / 261 PRINCESS ROYAL DRIVE, ALBANY  
REALFORCE CONSTRUCTION &  
PROJECT MANAGEMENT

## PROPOSED SITE PLAN

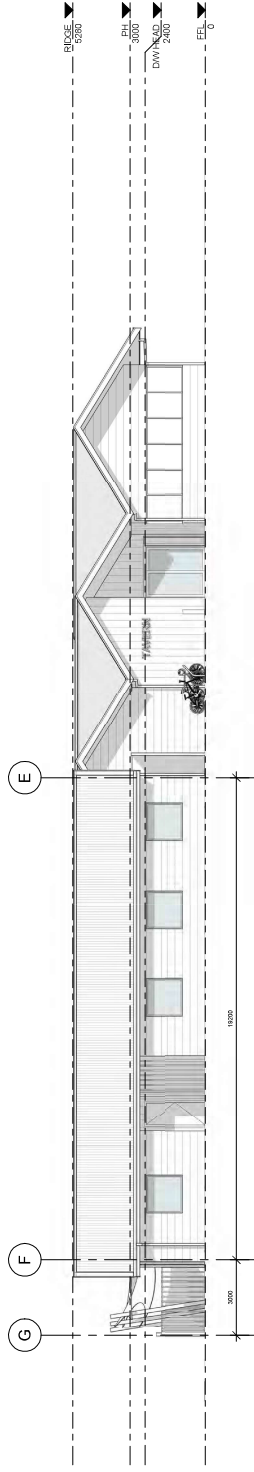
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SCALE 1 : 200 @ A1  
JOB NUMBER 7329-22  
DATE 05.07.2024  
DRAWN JG

ALBANY  
9842 5558  
KALGOORLIE  
0433 319 653  
BUNBURY  
9178 9600

H+H architects

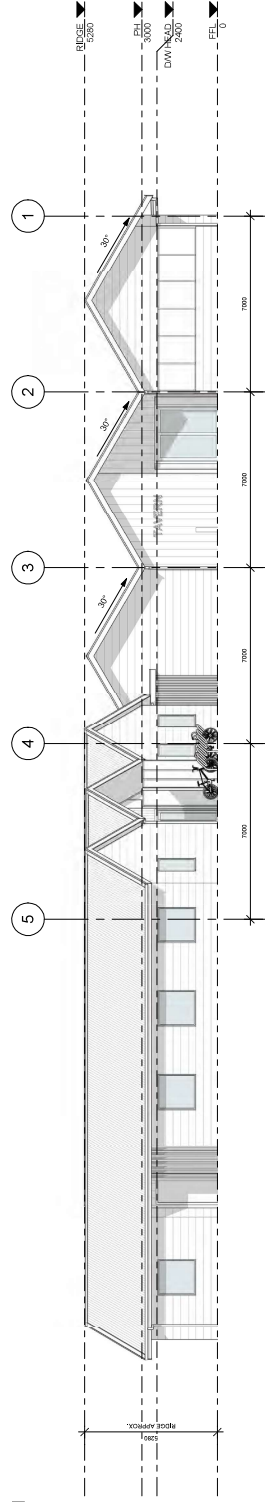






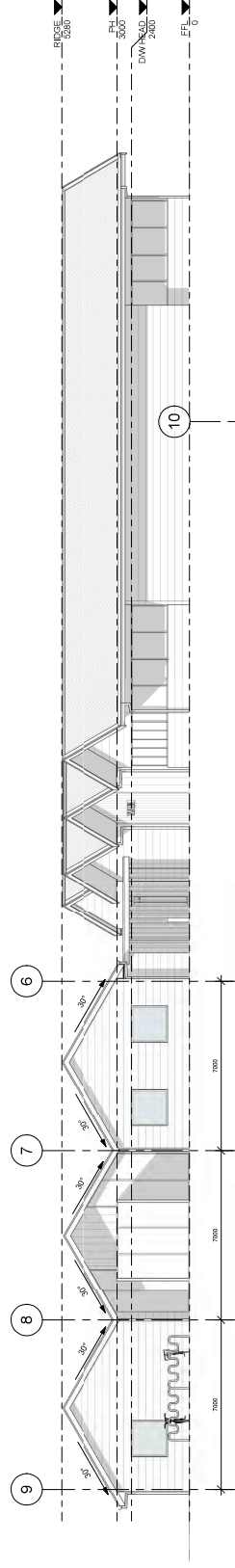
NORTH-EAST ELEVATION

1 : 100



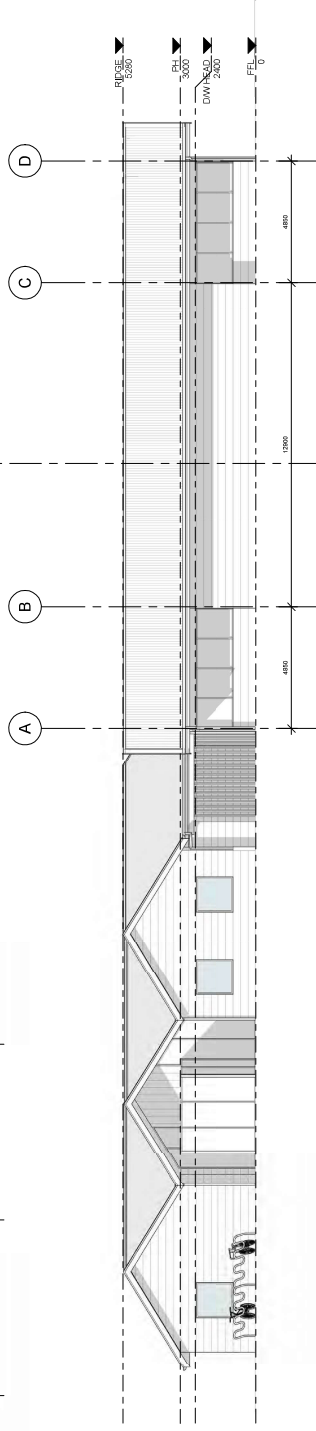
NORTH ELEVATION

1 : 100



NORTH-WEST ELEVATION

1 : 100



WEST ELEVATION

1 : 100

**WATERFRONT\_MIXED USE\_LOT 5**

LOT 5 / 261 PRINCESS ROYAL DRIVE, ALBANY  
REALFORCE CONSTRUCTION &  
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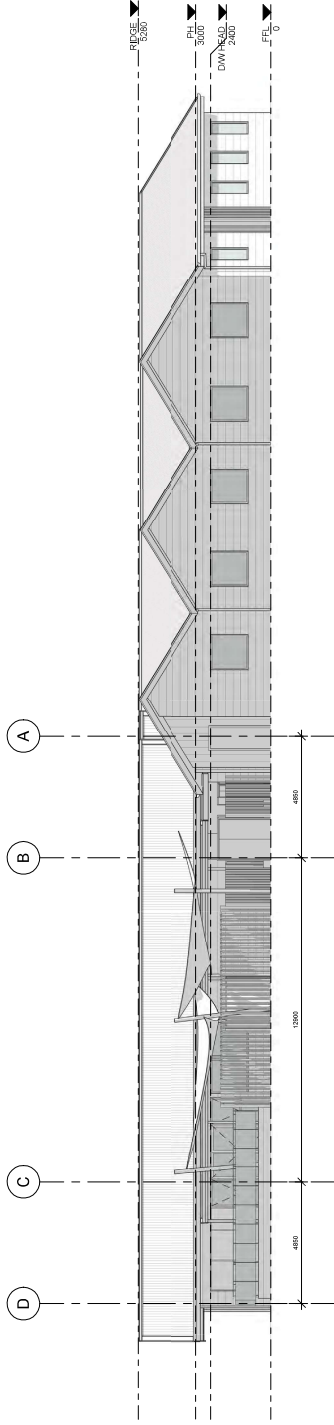
**ELEVATIONS**

DRAWING 0.3  
DRAWING No 0.3  
SCALE 1 : 100 @ A1  
JOB NUMBER 7325-22  
DATE 05.07.2024  
DRAWN JG

ALBANY  
9842 5558  
KALGOORLIE  
0433 319 653  
BUNBURY  
9778 9600

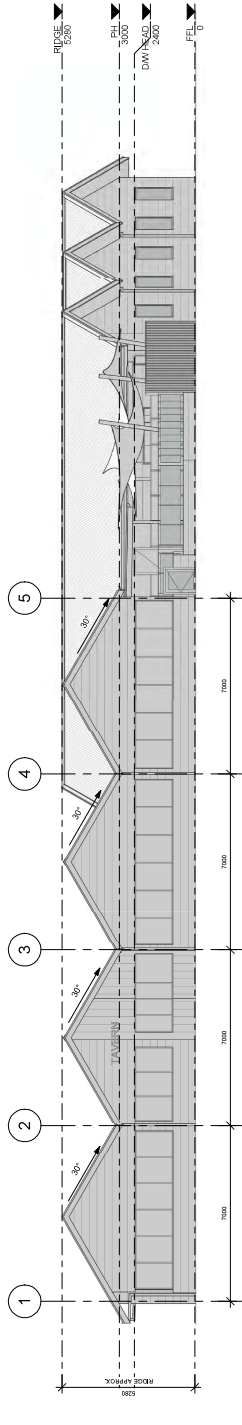
**H+H** architects

**REALFORCE**  
PTY LTD  
CONSTRUCTION AND PROJECT MANAGEMENT  
BUILDERS REGISTRATION: 13793



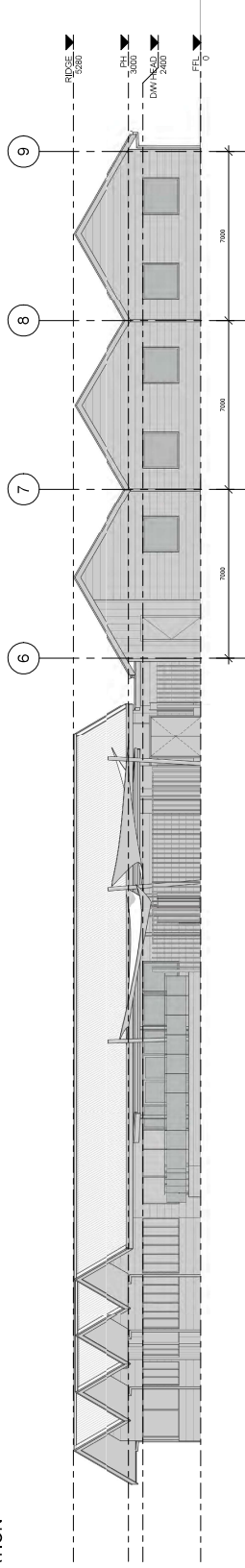
EAST ELEVATION

1 : 100



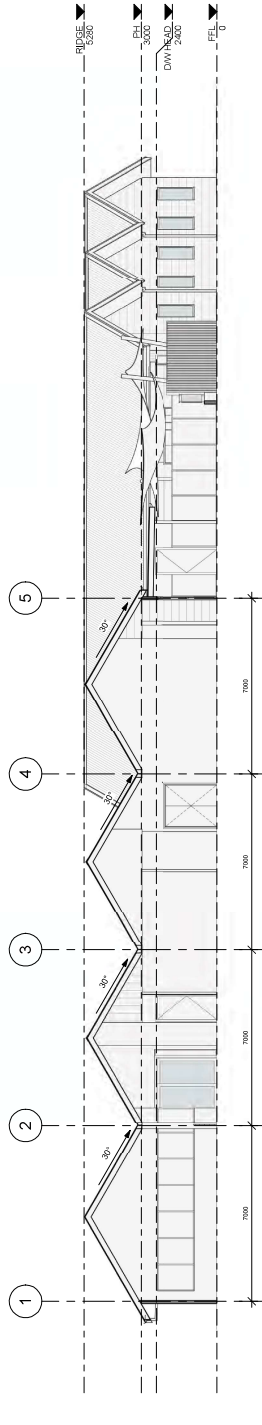
SOUTH ELEVATION

1 : 100



SOUTH-EAST ELEVATION

1 : 100



SECTION 01

1 : 100

WATERFRONT\_MIXED USE\_LOT 5

LOT 5 / 261 PRINCESS ROYAL DRIVE, ALBANY  
REALFORCE CONSTRUCTION &  
PROJECT MANAGEMENT

ELEVATIONS

0.4

DRAWING No

SCALE 1 : 100 @ A1

JOB NUMBER

7329-22

DATE

05.07.2024

DRAWN

JG

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9842 5558  
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LOT 5 / 261 PRINCESS ROYAL DRIVE, ALBANY  
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**DRAWING**  
DRAWING No  
SCALE  
JOB NUMBER  
DATE  
DRAWN

**VIEW FROM CARPARK**  
0.5  
@ A1  
7329-22  
05.07.2024  
JG

ALBANY  
9842 5558  
KALGOORLIE  
0433 319 653  
BUNBURY  
9778 9600

**H+H** architects





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LOT 5 / 261 PRINCESS ROYAL DRIVE, ALBANY  
REALFORCE CONSTRUCTION &  
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**DRAWING**  
DRAWING No  
SCALE  
JOB NUMBER  
DATE  
DRAWN

**VIEW FROM MARINA**  
0.6  
@ A1  
7329-22  
05.07.2024  
JG

**H+H** architects  
ALBANY  
9842 5558  
KALGOORLIE  
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9178 9600

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