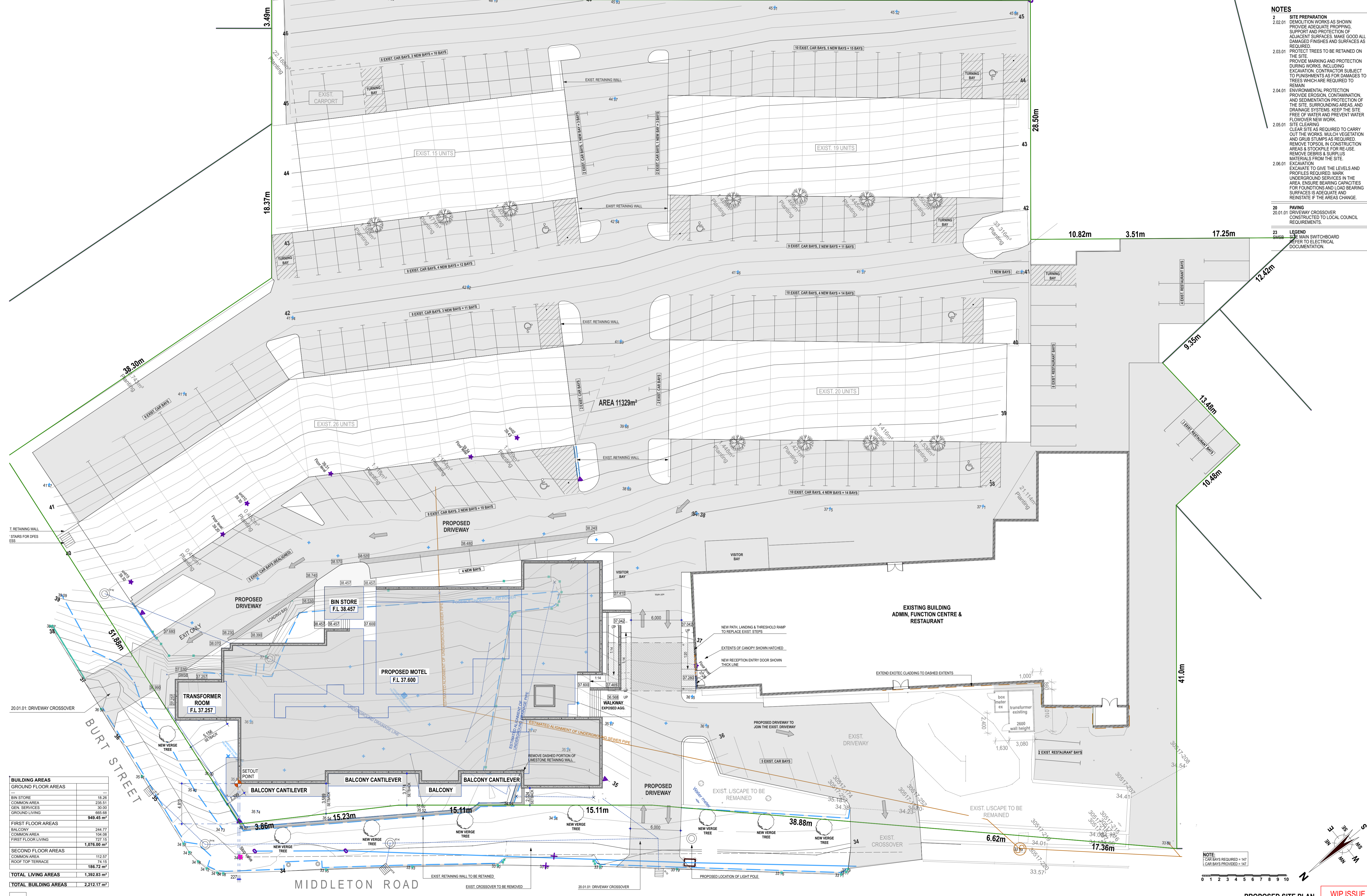
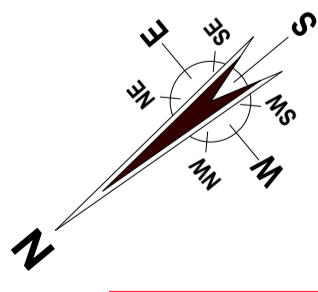
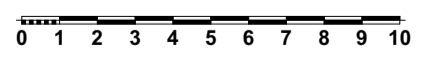


- NOTES**
- 2.02.01 SITE PREPARATION
DEMOLITION WORKS AS SHOWN
PROVIDE ADEQUATE PROPPING,
SUPPORT AND PROTECTION OF
ADJACENT SURFACES. MAKE GOOD ALL
DAMAGED FINISHES AND SURFACES AS
REQUIRED.
 - 2.03.01 PROTECT TREES TO BE RETAINED ON
THE SITE
PROVIDE MARKING AND PROTECTION
DURING WORKS, INCLUDING
EXCAVATION. CONTRACTOR SUBJECT
TO PUNISHMENTS AS FOR DAMAGES TO
TREES WHICH ARE REQUIRED TO
REMAIN.
 - 2.04.01 ENVIRONMENTAL PROTECTION
PROVIDE EROSION, CONTAMINATION,
AND SEDIMENTATION PROTECTION OF
THE SITE, SURROUNDING AREAS, AND
DRAINAGE SYSTEMS. KEEP THE SITE
FREE OF WATER AND PREVENT WATER
FLOWOVER NEW WORK.
 - 2.05.01 SITE CLEARING
CLEAR SITE AS REQUIRED TO CARRY
OUT THE WORKS. MULCH VEGETATION
AND GRUB STUMPS AS REQUIRED.
REMOVE TOPSOIL IN CONSTRUCTION
AREAS & STOCKPILE FOR RE-USE.
REMOVE DEBRIS & SURPLUS
MATERIALS FROM THE SITE.
 - 2.06.01 EXCAVATION
EXCAVATE TO GIVE THE LEVELS AND
PROFILES REQUIRED. MARK
UNDERGROUND SERVICES IN THE
AREA. ENSURE BEARING CAPACITIES
FOR FOUNDATIONS AND LOAD BEARING
SURFACES IS ADEQUATE AND
REINSTATE IF THE AREAS CHANGE.
 - 20 PAVING
20.01.01 DRIVEWAY CROSSOVER
CONSTRUCTED TO LOCAL COUNCIL
REQUIREMENTS.
 - 23 LEGEND
23.01 SITE MAIN SWITCHBOARD
REFER TO ELECTRICAL
DOCUMENTATION.



BUILDING AREAS	
GROUND FLOOR AREAS	
BIN STORE	18.26
COMMON AREA	235.51
GEN. SERVICES	30.00
GROUND LIVING	665.68
TOTAL GROUND FLOOR AREAS	949.45 m²
FIRST FLOOR AREAS	
BALCONY	244.77
COMMON AREA	104.08
FIRST FLOOR LIVING	727.15
TOTAL FIRST FLOOR AREAS	1,076.00 m²
SECOND FLOOR AREAS	
COMMON AREA	112.57
ROOF TOP TERRACE	74.15
TOTAL SECOND FLOOR AREAS	186.72 m²
TOTAL LIVING AREAS	1,392.83 m²
TOTAL BUILDING AREAS	2,212.17 m²

NOTE:
1 CAR BAYS REQUIRED = 147
1 CAR BAYS PROVIDED = 147



PROPOSED SITE PLAN
Scale 1:200

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Project:
Proposed Dog Rock Motel Re-development

Client:
NEVILLE BUSS



Address:
Lot 66 (#303) Middleton Road, Albany

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Drawing Number:
A 100

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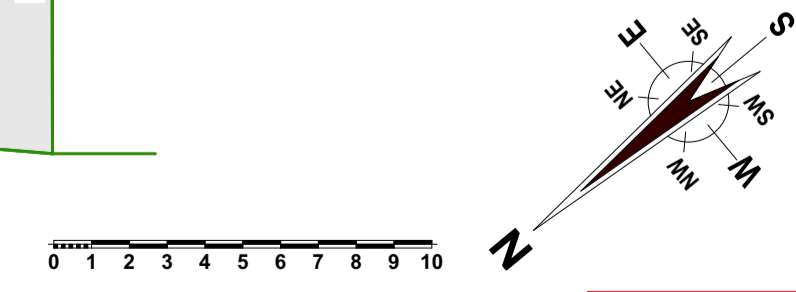
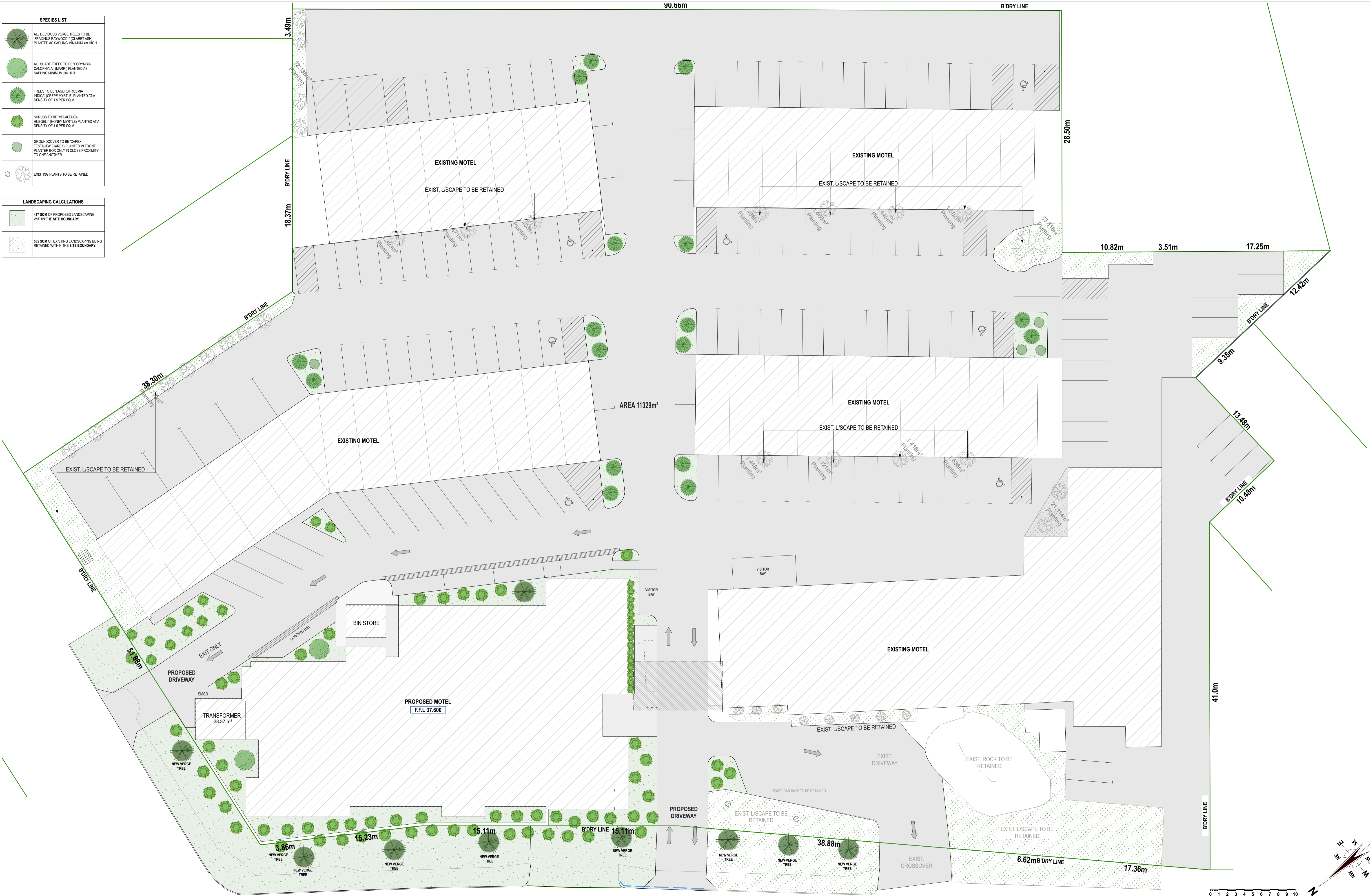
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AC-107-21

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SPECIES LIST	
	ALL DECIDUOUS VERGE TREES TO BE TRAVINIS RAYWOODII (CLARET ASH) PLANTED AS SAPLING MINIMUM 4m HIGH
	ALL SHADE TREES TO BE CORYMBIA CALOPHYLLA (MARRI) PLANTED AS SAPLING MINIMUM 2m HIGH
	TREES TO BE LAGERSTROEMIA INDICA (CREPE MYRTLE) PLANTED AT A DENSITY OF 1.5 PER SQ.M
	SHRUBS TO BE MELALEUCA HUEGELII (HONEY MYRTLE) PLANTED AT A DENSITY OF 1.5 PER SQ.M
	GROUNDCOVER TO BE CAREX TESTACEA (CAREX) PLANTED IN FRONT PLANTER BOX ONLY IN CLOSE PROXIMITY TO ONE ANOTHER
	EXISTING PLANTS TO BE RETAINED

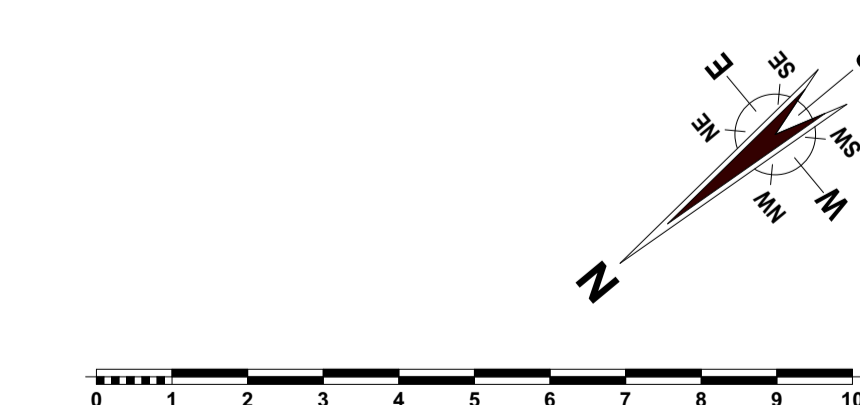
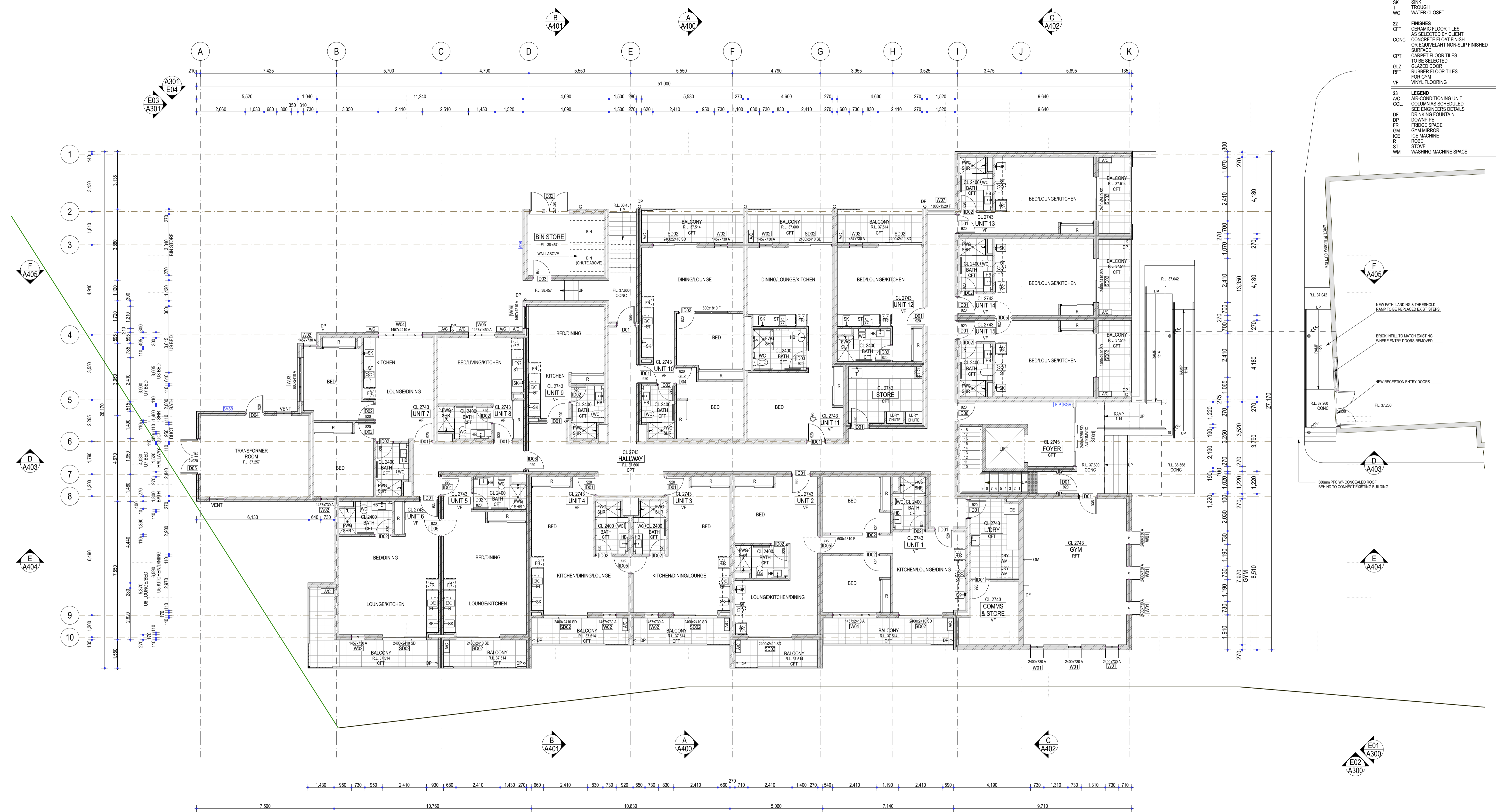
LANDSCAPING CALCULATIONS	
	417 SQM OF PROPOSED LANDSCAPING WITHIN THE SITE BOUNDARY
	538 SQM OF EXISTING LANDSCAPING BEING RETAINED WITHIN THE SITE BOUNDARY



PROPOSED LANDSCAPE PLAN
Scale 1:200

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- NOTES**
- 16 PLUMBING & DRAINAGE
 - DRY DRYER
 - FWG FLOOR WASTE GULLY
 - HB HAND BASIN
 - SHR SHOWER
 - SK SINK
 - T TROUGH
 - WC WATER CLOSET
- 22 FINISHES
 - CERAMIC FLOOR TILES AS SELECTED BY CLIENT
 - CONCRETE FLOAT FINISH OR EQUIVALENT NON-SLIP FINISHED SURFACE
 - CARPET FLOOR TILES TO BE SELECTED
 - RUBBER FLOOR TILES FOR GYM
 - GLZ GLAZED DOOR
 - RFT RUBBER FLOOR TILES
 - VF VINYL FLOORING
- 23 LEGEND
 - A/C AIR-CONDITIONING UNIT
 - C/C COLUMN AS SCHEDULED
 - SEE ENGINEERS DETAILS
 - D/F DOWNPIPE
 - DRINKING FOUNTAIN
 - FR FRIDGE SPACE
 - GM GYM MIRROR
 - ICE ICE MACHINE
 - R ROBE
 - ST STOVE
 - WM WASHING MACHINE SPACE



GROUND FLOOR PLAN
Scale 1:100

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Project: Proposed Dog Rock Motel Re-development

Client: NEVILLE BUSS



Address: Lot 66 (#303) Middleton Road, Albany

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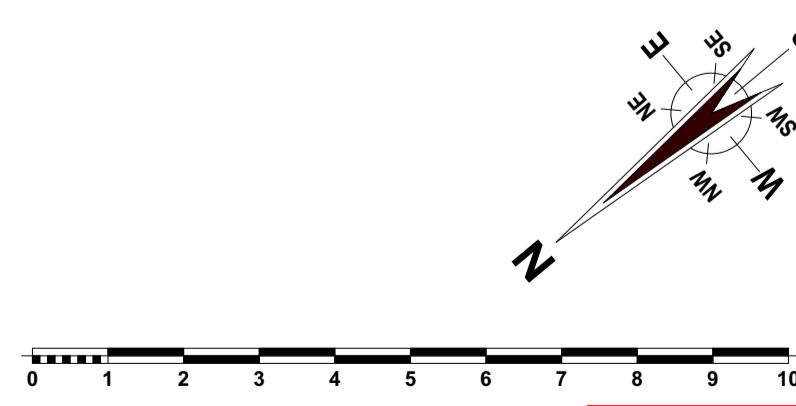
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- NOTES**
- 16 PLUMBING & DRAINAGE
 - PWG FLOOR WASTE GULLY
 - HB HAND BASIN
 - SHR SHOWER
 - SK SINK
 - T TROUGH
 - WC WATER CLOSET
-
- 22 FINISHES
 - CFT CERAMIC FLOOR TILES AS SELECTED BY CLIENT
 - CPT CARPET FLOOR TILES TO BE SELECTED
 - GLZ GLAZED DOOR
 - VF VINYL FLOORING
-
- 23 LEGEND
 - A/C AIR-CONDITIONING UNIT
 - DP DOWNPIPE
 - FR FRIDGE SPACE
 - R ROBE
 - ST STOVE



FIRST FLOOR PLAN
Scale 1:100

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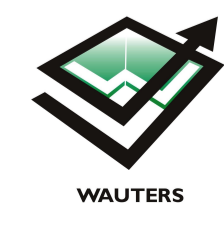


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Client:
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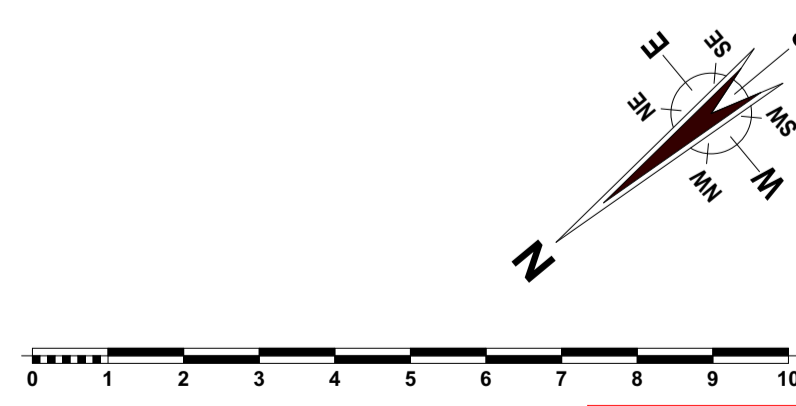
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Job No.:
AC-107-21

Stage / Revision:
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- NOTES**
- 7 ROOFING
 - BG BOX GUTTER
WIDTH AND DEPTH TO BE CONFIRMED
BY HYDRAULIC CONTRACTOR.
 - EG EDGE GUTTER
 - LYSAGHT SHORLINE OR SIMILAR
APPROVED INSTALLED TO
MANUFACTURER'S INSTRUCTIONS.
 - 16 PLUMBING & DRAINAGE
 - HB HAND BASIN
 - SK SINK
 - WC WATER CLOSET
 - 22 FINISHES
 - CFT CERAMIC FLOOR TILES
AS SELECTED BY CLIENT
 - VF VINYL FLOORING
 - 23 LEGEND
 - BBQ ELECTRIC BARBEQUE
 - CM COFFEE MACHINE
BUILT IN COFFEE MACHINE
 - DPS DOWNPIPE TO SPREADER
 - FR FRIDGE SPACE



ROOF TERRACE PLAN
Scale 1:100

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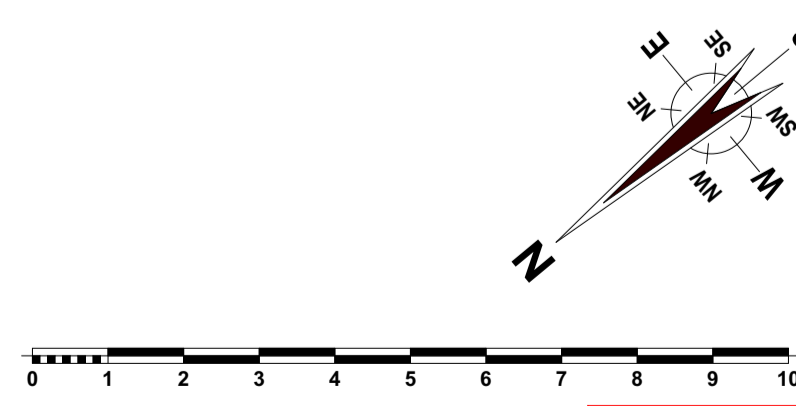
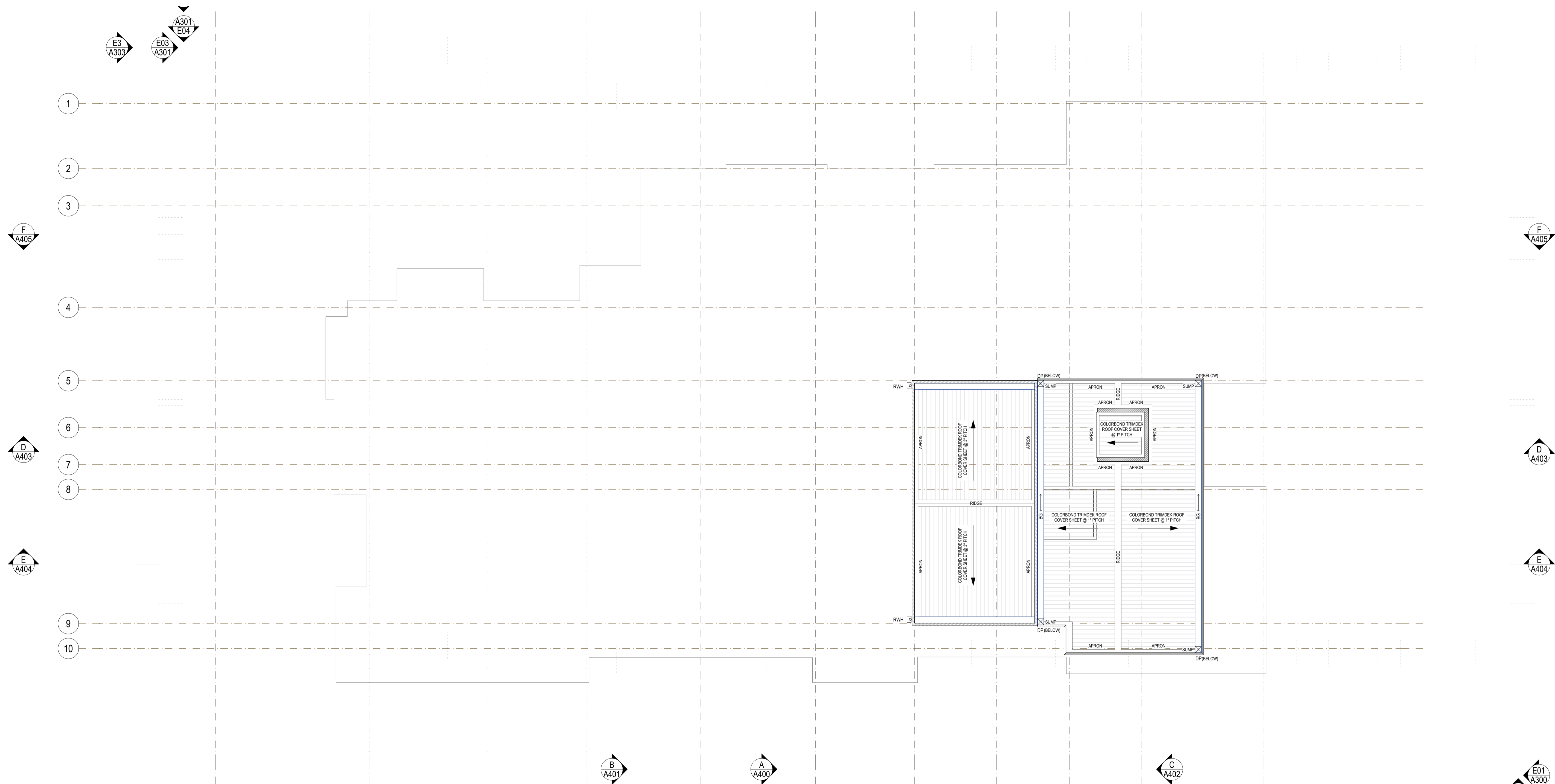
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ROOF PLAN
Scale 1:100

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Client:
NEVILLE BUSS



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ELEVATION 01 - SW
Scale 1:100



ELEVATION 02 - NW
Scale 1:100

- NOTES**
- 7 ROOFING
 - 7.06.02 COLORBOND TRIMDEK ROOF CLADDING
ON Z150 PURLINS @ MAX 500CTS TO MANUFACTURERS INSTRUCTIONS. PROVIDE PROPRIETARY CAPPING AND FLASHING AS REQUIRED. ROOF SOLAR ABSORPTANCE 0.40 < SA ≤ 0.60 (MEDIUM).
 - 8 DOORS & WINDOWS
 - HH HEKA HOOD
 - 9 CLADDING & LINING
 - 9.04.01 MAXLINE CLADDING
VERTICAL INSTALLATION AS PER MANUFACTURERS INSTRUCTIONS
 - 9.06.01 EXOTEC FACADE PANEL SYSTEM
 - 12 JOINERY & FIXTURES
 - 12.12.03 GLASS BALUSTRADING
FIXED AS DETAILED. DESIGNED AND INSTALLED TO BCA REQUIREMENTS AND MANUFACTURERS SPECIFICATIONS. PROVIDE HANDRAIL AS SELECTED.
 - 19 FENCES AND RETAINING WALLS
 - 19.05.10 EXISTING LIMESTONE RETAINING WALL
 - 19.05.11 RENDERED BRICK RETAINING WALL
REFER TO ENGINEER'S DOCUMENTATION.
 - 22 FINISHES
 - RBW RENDERED BRICK WALL
 - 23 LEGEND
 - MS METAL SCREEN

E01

E02

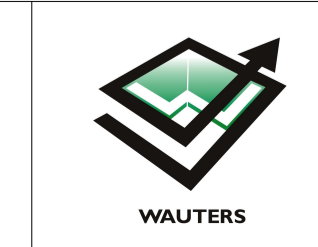
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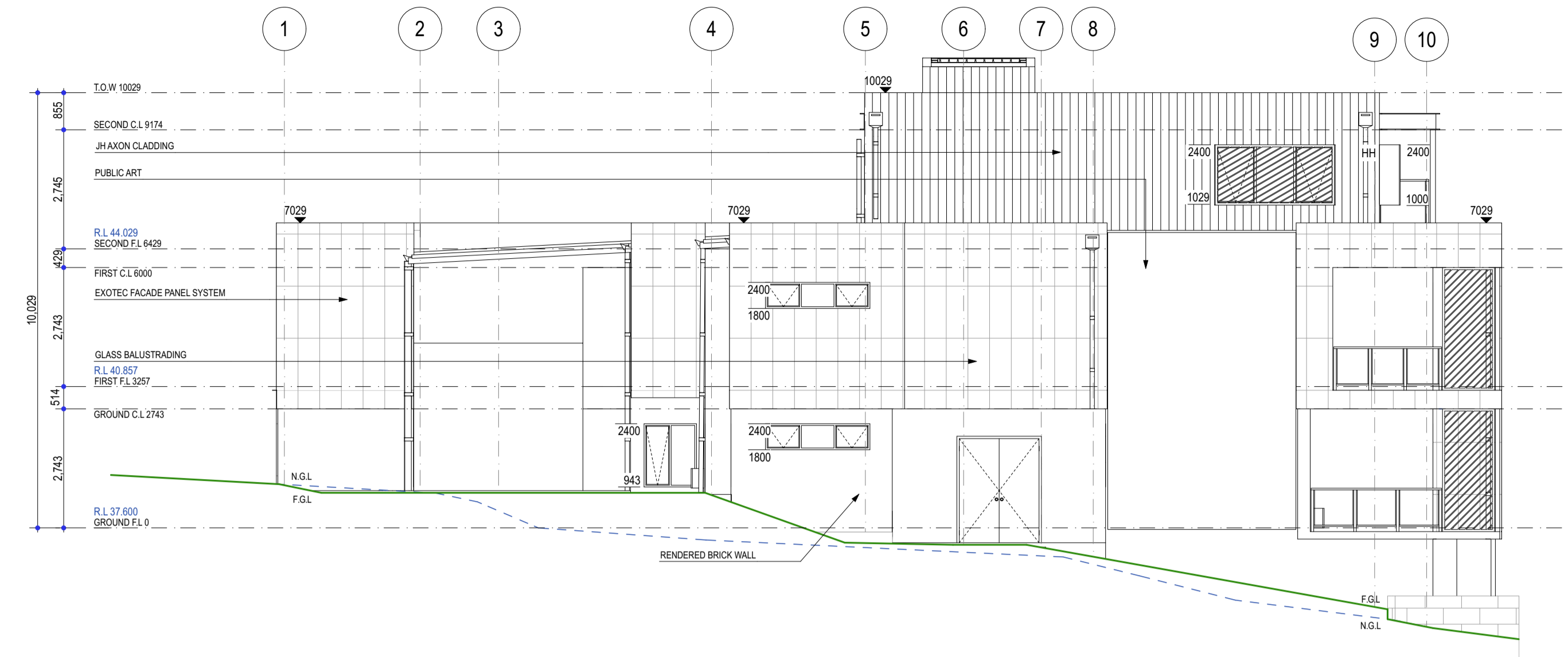
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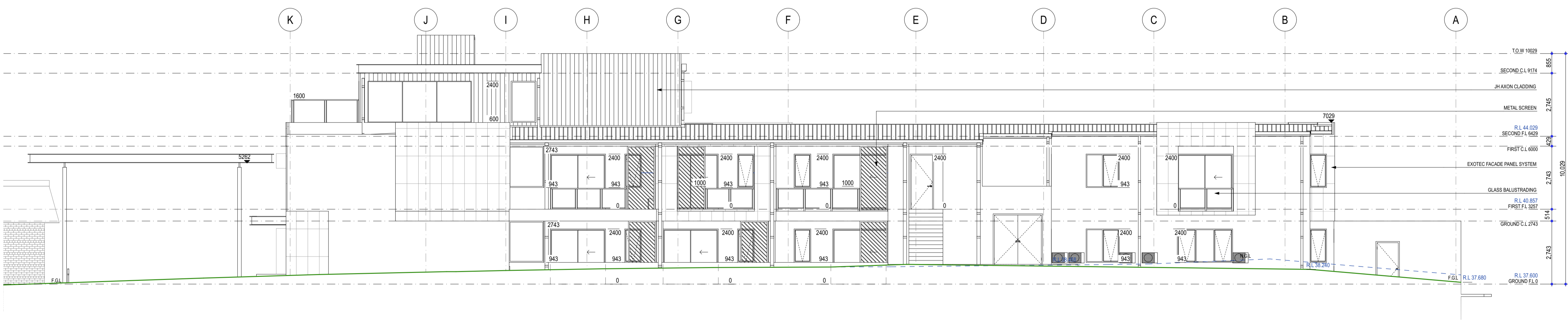
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Stage / Revision: WD_00

NOTES

8	DOORS & WINDOWS
HH	HEAVY HOOD
9	CLADDING & LINING
9.04.01	VERTICAL CLADDING
9.04.01	VERTICAL INSTALLATION AS PER MANUFACTURERS INSTRUCTIONS
9.06.01	EXOTEC FACADE PANEL SYSTEM
12	JOINERY & FIXTURES
12.12.03	GLASS BALUSTRADING
	FIXED AS DETAILED, DESIGNED AND INSTALLED TO BCA REQUIREMENTS AND MANUFACTURERS SPECIFICATIONS. PROVIDE HANDRAIL AS SELECTED.
22	FINISHES
RBW	RENDERED BRICK WALL
23	LEGEND
MS	METAL SCREEN
PA	PUBLIC ART TO COMPLY WITH COUNCIL REQUIREMENTS.



E03 **ELEVATION 03 - NE**
Scale 1:100



E04 **ELEVATION 04 - SE**
Scale 1:100

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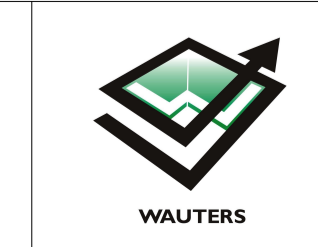
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E 01

ELEVATION - FRONT
Scale 1:100



E 02

ELEVATION - LEFT
Scale 1:100

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E3

ELEVATION - REAR
Scale 1:100



E4

ELEVATION - RIGHT
Scale 1:100