



ATTACHMENTS

Development and Infrastructure Services Committee Meeting

9 June 2021

6.00pm

City of Albany Council Chambers

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Bushfire Attack Level (BAL) Public Land Management Policy

Objective

The City of Albany (the City) has a major role in the management of public land ensuring the protection of native vegetation and habitat.

The purpose of this policy is to provide guidance when an adjacent or adjoining land owner requests the City to clear vegetation on public land, to reduce their private land Bushfire Attack Level (BAL) rating.

Scope

This policy only applies to future development and building applications.

This policy is to be given consideration where an applicant seeks to clear vegetation on public land, to reduce their property BAL rating.

Policy Statements

- A. The planning and development approval process is a considered process, that must take into account environmental considerations.
- B. Landowners who wish to build in bush-fire prone areas must consider how the risk of bushfire will influence the construction requirements that are necessary to keep your home and family safe.
- C. The clearing of native vegetation within a City managed road verge or reserve to reduce the BAL rating for the adjoining property is not permissible.
- D. Potential landowners, with the support of real-estate agents, builders, designers and architects are encouraged to understand the BAL six level rating system, which will determine the construction and building requirements necessary to protect homes in bush fire prone areas and the potential financial consequence.
- E. Landowners are to conduct BAL vegetation clearing requirements on their private land in the first instance.
- F. The City cannot be bound to clear vegetation on public land to mitigate a private land owners BAL rating.
- G. Consideration will be given to the following strategies:

Developed Reserve (i.e. Recreational Park)	The City may consider adjusting maintenance regime to assist the land owner, where adjacent and adjoining public land is regularly maintained.
Verge Treatments	<p>The City may consider the development of a verge to reduce vegetation, if the property is adjacent to a verge within an urban area.</p> <p>A <u>Verge Development Application</u> will be required to be submitted for consideration.</p> <p>Noting:</p> <ul style="list-style-type: none"> (a) If approved, the land owner will be responsible for the ongoing maintenance. (b) The clearing of native vegetation or street trees may not be supported.

REPORT ITEM DIS259 REFERS

Natural Reserve (public land supporting natural vegetation and habitat).	Where a property is adjacent to a Natural Reserve or road verge supporting native vegetation, the landowner can submit an <u>Application to Clear Native Vegetation from a Fence Line</u> for consideration. The Permit allows the property owner to clear up to 1.5m on public land, to facilitate the construction or maintenance of a fence.
City emergency service access tracks.	Where a City access track is located on an adjoining or adjacent property, the City authorised persons can provide a letter indicating that the track will be maintained into the future.

Legislative and Strategic Context

Strategic context (Community Strategic Plan) and/or Federal or State legislation, directives, guidelines, Acts or Regulations that provide the broad framework within which the policy operates and/or with which it needs to comply:

- Environmental Protection (Clearing of Native Vegetation) Regulations 2004
- Natural Reserves Strategy and Action Plan 2017-2021
- Standard (AS) 3959 – 2009 Construction of buildings in bushfire prone areas.
- State Planning Policy No. 3.7: Planning in Bushfire Prone Areas (SPP 3.7.)

Community Strategic Plan:

- **Theme:** Clean, Green and Sustainable.
- **Objective:** 3.1: To protect and enhance our natural and built environment in a changing climate.
- **Community Priority:**
 - 3.1.1 Deliver effective practices that reduce risk to property, infrastructure and the natural environment and improve community awareness and resilience.
 - 3.1.2 Sustainably protect and enhance our iconic coastline, reserves flora and fauna by delivering projects and programs that reflect the importance of our coastline and natural reserves

Review Position and Date

This policy position is to be reviewed by the document owner annually.

Associated Documents

Documents that have a bearing on this policy and that may be useful reference material for users of this policy, follow:

- Application to Clear Native Vegetation along a Fence Line
- Crossover Application Form
- Environmental Code of Conduct Guidelines
- Verge Development Guidelines and Application Form
- Verge Vegetation Information Sheet

Definitions

Key terms and acronyms used in the policy, and their definitions.

- **Bushfire Attack Level (BAL)** – means of measuring the severity of a building’s potential exposure to ember attack, radiant heat or direct flame contact.
- **BAL Requirements** – determines distance required between buildings and areas of bushfire prone vegetation and construction requirements.
- **Developed Reserve** – developed managed space typically in the urban environment and consists of recreation areas such as parks and gardens.
- **Natural Reserve** – reserve retained for conservation of both flora and fauna, scenic beauty, research, education and health.
- **Verge.** A verge is the area of land that lies between a property boundary and a road. The purpose of the verge (which is part of the road reserve) is to allow the placement of services and infrastructure such as communications cables, drainage, gas, power, street furniture (bus stops) and pathways.
- **Crossover.** A crossover is the part of the driveway that crosses over the verge area fronting a property, i.e. from the kerb line to the property boundary line

Document Approval			
Document Development Officers:		Document Owner: (<i>Member of EMT</i>)	
Manager City Reserves Manager Building & Planning Services		Executive Director Infrastructure, Development and Environment	
Document Control			
File Number - Document Type:		CM.STD.7 – Policy	
Synergy Reference Number:			
Status of Document:		Council decision: Final Draft	
Quality Assurance:		Manager City Reserves and Manager Planning and Building Services, Executive Management Team, Council Committee, and Council.	
Distribution:		Public Document	
Document Revision History			
Version	Author	Version Description	Date Completed
0.1	Manager City Reserves	Draft v1 – Prepared for internal consultation	24/03/2021
0.2	Manager City Reserves	Draft v2 – Prepared for Executive Management Team (EMT) review. EMT approved in principle pending Governance & Risk Team review.	14/04/2021
0.3	Manager Governance & Risk	Draft v3 – Amended: <ul style="list-style-type: none"> - Applied simplified policy format. - Appended with Verge and Cross Over Definitions. - Reworded title. - Reworded Objective. - Reworded Scope. - Reworded, clarified and re-order policy statements. - Appended with review position and date. - Appended with Strategic Context. 	14/5/2021

Date Submitted	Age	Albany Affiliation	Visit Frequency (Betty's Beach, Nanarup Beach or Shoal Bay)	Visitor Use (tick all that apply)	Do you support vehicles being prohibited on Bettys Beach North (with the exception of Commercial Fisherman with a permit). Please provide comment.	Do you support vehicles being prohibited on Bettys Beach South (with the exception of general boat launching). Please provide comment.	Do you support vehicles being able to drive on Nanarup Beach West (excluding Two Peoples Bay Beach which is managed by DBCA)? Please provide comment.	Do you support vehicles being prohibited on Shoal Bay? Please provide comment.
21/12/2020 16:31	25-39	Albany Resident	All year round	swimming	Yes	Yes	Yes	Yes
22/12/2020 7:59	18-24	Albany Resident	All year round	4WD camping swimming surfing kayaking picnicking	No	No	Yes	Yes
22/12/2020 8:09	25-39	Albany Resident	All year round	4WD fishing (recreational/commercial) swimming kayaking	No	No	No	No
22/12/2020 8:09	18-24	Albany Resident	All year round	4WD fishing (recreational/commercial) camping swimming surfing picnicking	No	No	Yes	No
22/12/2020 8:10	25-39	Albany Resident	All year round	4WD fishing (recreational/commercial) camping swimming surfing kayaking	No	No	No	No
22/12/2020 8:11	25-39	Albany Resident	All year round	4WD fishing (recreational/commercial) camping swimming surfing kayaking	No	No	No	No
22/12/2020 8:12	25-39	Albany Resident	All year round	4WD fishing (recreational/commercial) camping birdwatching swimming surfing	No	No	Yes	No
22/12/2020 8:14	25-39	Albany Resident	All year round	4WD fishing (recreational/commercial) camping swimming	No	No	Yes	No
22/12/2020 8:24	40-59	Albany Resident	2-Oct	4WD swimming picnicking	No	No	No	No
22/12/2020 8:24	40-59	Albany Resident	All year round	4WD fishing (recreational/commercial) swimming	No	No	Yes	Yes
22/12/2020 8:34	40-59	Albany Resident	2-Oct	4WD	No	No	No	No
22/12/2020 8:35	40-59	Albany Resident	All year round	4WD fishing (recreational/commercial) swimming	No	No	No	No
22/12/2020 8:40	40-59	Albany Resident	All year round	4WD picnicking	No	No	Yes	No
22/12/2020 8:41	18-24	Albany Resident	All year round	4WD fishing (recreational/commercial) camping swimming picnicking	No	No	Yes	No
22/12/2020 8:42	40-59	Albany Resident	All year round	4WD fishing (recreational/commercial) swimming surfing picnicking	Yes	Yes	Yes	No
22/12/2020 8:43	40-59	Albany Resident	All year round	4WD fishing (recreational/commercial) swimming	No	No	Yes	No
22/12/2020 8:43	25-39	Albany Resident	All year round	4WD fishing (recreational/commercial) camping swimming surfing kayaking picnicking	No	No	No	No
22/12/2020 8:45	25-39	Albany Resident	All year round	4WD fishing (recreational/commercial) swimming kayaking	No	No	Yes	No
22/12/2020 8:49	18-24	Albany Resident	All year round	4WD fishing (recreational/commercial) picnicking	No	No	Yes	No
22/12/2020 8:49	18-24	Albany Resident	All year round	4WD fishing (recreational/commercial) picnicking	No	No	Yes	No
22/12/2020 8:50	25-39	Albany Resident	Summer only	4WD fishing (recreational/commercial) camping swimming kayaking picnicking	No	No	Yes	No
22/12/2020 8:56	25-39	Albany Resident	All year round	4WD fishing (recreational/commercial) swimming	No	No	Yes	No

Date Submitted	Age	Albany Affiliation	Visit Frequency (Betty's Beach, Nanarup Beach or Shoal Bay)	Visitor Use (tick all that apply)	Do you support vehicles being prohibited on Bettys Beach North (with the exception of Commercial Fisherman with a permit). Please provide comment.	Do you support vehicles being prohibited on Bettys Beach South (with the exception of general boat launching). Please provide comment.	Do you support vehicles being able to drive on Nanarup Beach West (excluding Two Peoples Bay Beach which is managed by DBCA)? Please provide comment.	Do you support vehicles being prohibited on Shoal Bay? Please provide comment.
22/12/2020 9:02	18-24	Albany Resident	All year round	4WD fishing (recreational/commercial) camping swimming kayaking picnicking	No	No	Yes	No
22/12/2020 9:07	25-39	Visitor	All year round	4WD fishing (recreational/commercial) camping swimming picnicking	No	No	Yes	No
22/12/2020 9:08	25-39	Albany Resident	All year round	4WD fishing (recreational/commercial) camping swimming	No	No	Yes	No
22/12/2020 9:08	25-39	Albany Resident	All year round	4WD fishing (recreational/commercial) camping swimming	No	No	Yes	No
22/12/2020 9:10	25-39	Albany Resident	All year round	swimming horseriding	Yes	Yes	Yes	No
22/12/2020 9:11	25-39	Albany Resident	All year round	4WD fishing (recreational/commercial) camping swimming surfing kayaking	No	No	Yes	No
22/12/2020 9:14	18-24	Albany Resident	2-Oct	4WD fishing (recreational/commercial) swimming picnicking	No	No	Yes	No
22/12/2020 9:15	18-24	Albany Resident	All year round	4WD fishing (recreational/commercial) camping swimming surfing picnicking	No	No	Yes	No
22/12/2020 9:20	40-59	Albany Resident	Summer only	4WD fishing (recreational/commercial) camping swimming picnicking	No	No	No	No
22/12/2020 9:24	18-24	Albany Resident	Summer only	4WD fishing (recreational/commercial) camping swimming picnicking	No	No	Yes	No
22/12/2020 9:35	18-24	Albany Resident	All year round	4WD fishing (recreational/commercial) camping swimming surfing kayaking picnicking	No	No	Yes	No
22/12/2020 9:38	40-59	Albany Resident	2-Oct	4WD fishing (recreational/commercial) camping birdwatching swimming surfing kayaking picnicking	No	Yes	Yes	No
22/12/2020 9:39	25-39	Visitor	Summer only	4WD fishing (recreational/commercial) camping	No	No	No	No
22/12/2020 9:39	25-39	Visitor	Summer only	4WD fishing (recreational/commercial) camping	No	No	No	No
22/12/2020 9:58	18-24	Albany Resident	All year round	4WD fishing (recreational/commercial) camping swimming picnicking	No	No	Yes	No
22/12/2020 10:01	25-39	Albany Resident	All year round	4WD	No	No	No	No
22/12/2020 10:08	25-39	Albany Resident	All year round	4WD fishing (recreational/commercial) camping swimming surfing kayaking picnicking horseriding	No	No	Yes	No
22/12/2020 10:14	25-39	Albany Resident	2-Oct	4WD swimming picnicking	Yes	Yes	Yes	No
22/12/2020 10:26	25-39	Albany Resident	All year round	4WD fishing (recreational/commercial) camping swimming	No	No	No	No
22/12/2020 10:28	25-39	Albany Resident	All year round	4WD fishing (recreational/commercial) camping swimming surfing	Yes	Yes	Yes	Yes

Date Submitted	Age	Albany Affiliation	Visit Frequency (Betty's Beach, Nanarup Beach or Shoal Bay)	Visitor Use (tick all that apply)	Do you support vehicles being prohibited on Bettys Beach North (with the exception of Commercial Fisherman with a permit). Please provide comment.	Do you support vehicles being prohibited on Bettys Beach South (with the exception of general boat launching). Please provide comment.	Do you support vehicles being able to drive on Nanarup Beach West (excluding Two Peoples Bay Beach which is managed by DBCA)? Please provide comment.	Do you support vehicles being prohibited on Shoal Bay? Please provide comment.
22/12/2020 10:35	40-59	Albany Resident	All year round	4WD	No	No	No	No
22/12/2020 10:49	25-39	Albany Resident	All year round	4WD fishing (recreational/commercial) swimming surfing	No	No	No	No
22/12/2020 10:56	25-39	Albany Resident	All year round	4WD fishing (recreational/commercial) camping birdwatching swimming surfing kayaking picnicking	No	No	Yes	No
22/12/2020 10:56	25-39	Albany Resident	All year round	4WD fishing (recreational/commercial) swimming surfing	No	No	Yes	No
22/12/2020 11:36	25-39	Albany Resident	All year round	4WD fishing (recreational/commercial) camping swimming	No	Yes	Yes	No
22/12/2020 11:36	25-39	Albany Resident	All year round	4WD fishing (recreational/commercial) camping swimming	No	Yes	Yes	No
22/12/2020 12:10	25-39	Albany Resident	All year round	fishing (recreational/commercial) swimming surfing picnicking	No	No	Yes	No
22/12/2020 12:10	25-39	Albany Resident	All year round	fishing (recreational/commercial) swimming surfing picnicking	No	No	Yes	No
22/12/2020 12:11	60+	Albany Resident	All year round	4WD fishing (recreational/commercial)	No	No	No	No
22/12/2020 12:11	25-39	Albany Resident	All year round	4WD fishing (recreational/commercial) swimming surfing	No	No	No	No
22/12/2020 12:28	25-39	Albany Resident	All year round	4WD fishing (recreational/commercial) camping swimming surfing	No	No	Yes	No
22/12/2020 12:42	40-59	Albany Resident	All year round	4WD fishing (recreational/commercial) swimming surfing picnicking	Yes	Yes	No	No
22/12/2020 13:04	18-24	Albany Resident	All year round	4WD fishing (recreational/commercial) camping	No	No	Yes	No
22/12/2020 13:04	25-39	Albany Resident	All year round	4WD fishing (recreational/commercial) swimming kayaking picnicking	No	No	Yes	No
22/12/2020 13:05	40-59	Albany Resident	2-Oct	4WD fishing (recreational/commercial) camping swimming surfing picnicking	No	No	Yes	No
22/12/2020 13:11	25-39	Albany Resident	All year round	4WD fishing (recreational/commercial) swimming surfing	No	No	Yes	No
22/12/2020 13:11	Under 18	Albany Resident	All year round	4WD camping swimming	No	No	Yes	No
22/12/2020 14:09	40-59	Albany Resident	2-Oct		No	Yes	Yes	No
22/12/2020 14:25	25-39	Visitor	All year round	4WD fishing (recreational/commercial) camping birdwatching swimming picnicking	No	No	Yes	No
22/12/2020 16:14	18-24	Albany Resident	Summer only	4WD	No	No	Yes	No
22/12/2020 16:24	25-39	Albany Resident	All year round	4WD fishing (recreational/commercial) camping swimming	No	No	Yes	No
22/12/2020 16:27	25-39	Albany Resident	2-Oct	4WD	No	No	Yes	No

Date Submitted	Age	Albany Affiliation	Visit Frequency (Betty's Beach, Nananup Beach or Shoal Bay)	Visitor Use (tick all that apply)	Do you support vehicles being prohibited on Bettys Beach North (with the exception of Commercial Fisherman with a permit). Please provide comment.	Do you support vehicles being prohibited on Bettys Beach South (with the exception of general boat launching). Please provide comment.	Do you support vehicles being able to drive on Nananup Beach West (excluding Two Peoples Bay Beach which is managed by DBCA)? Please provide comment.	Do you support vehicles being prohibited on Shoal Bay? Please provide comment.
22/12/2020 16:31	40-59	Albany Resident	All year round	4WD fishing (recreational/commercial) camping swimming surfing picnicking	No	No	Yes	No
22/12/2020 16:37	40-59	Albany Resident	All year round	4WD fishing (recreational/commercial) camping swimming kayaking picnicking	No	No	Yes	No
22/12/2020 17:31	40-59	Visitor	Once	4WD fishing (recreational/commercial) swimming picnicking	No	No	Yes	No
22/12/2020 18:17	25-39	Visitor	All year round	4WD fishing (recreational/commercial) camping swimming surfing kayaking picnicking	No	No	Yes	No
22/12/2020 18:20	25-39	Albany Resident	All year round	4WD fishing (recreational/commercial) camping swimming kayaking picnicking	Yes	Yes	Yes	No
22/12/2020 18:35	25-39	Albany Resident	All year round	4WD fishing (recreational/commercial) camping birdwatching swimming surfing kayaking picnicking	No	No	No	No
22/12/2020 18:39	25-39	Albany Resident	All year round	4WD fishing (recreational/commercial) camping swimming kayaking picnicking	No	No	No	No
22/12/2020 18:53	25-39	Albany Resident	All year round	4WD swimming surfing picnicking			Yes	
22/12/2020 19:56	40-59	Visitor	Summer only	4WD fishing (recreational/commercial) camping swimming picnicking	No	No	Yes	No
22/12/2020 20:00	25-39	Albany Resident	All year round	4WD fishing (recreational/commercial) camping swimming surfing picnicking	No	No	Yes	No
22/12/2020 20:15	40-59	Visitor	All year round	4WD fishing (recreational/commercial) camping swimming kayaking picnicking	No	No	Yes	No
22/12/2020 20:15	40-59	Visitor	All year round	4WD fishing (recreational/commercial) camping swimming kayaking picnicking	No	No	Yes	No
22/12/2020 20:40	40-59	Albany Resident	All year round	4WD fishing (recreational/commercial) camping swimming	No	No	Yes	No
22/12/2020 20:59	25-39	Albany Resident	All year round	4WD fishing (recreational/commercial) swimming picnicking	No	No	Yes	No
22/12/2020 20:59	25-39	Albany Resident	All year round	4WD fishing (recreational/commercial) swimming picnicking	No	No	Yes	No
22/12/2020 21:00	25-39	Albany Resident	All year round	4WD fishing (recreational/commercial) swimming picnicking	No	No	Yes	No
22/12/2020 21:20	18-24	Albany Resident	2-Oct	4WD	No	No	Yes	Yes
22/12/2020 21:21	18-24	Albany Resident	2-Oct	4WD	No	No	Yes	Yes
23/12/2020 2:52	60+	Albany Resident	All year round	4WD fishing (recreational/commercial) picnicking	No	No	Yes	No
23/12/2020 6:26								
23/12/2020 6:28	40-59	Albany Resident	2-Oct	fishing (recreational/commercial) swimming surfing	No	No	Yes	No

Date Submitted	Age	Albany Affiliation	Visit Frequency (Betty's Beach, Nananup Beach or Shoal Bay)	Visitor Use (tick all that apply)	Do you support vehicles being prohibited on Bettys Beach North (with the exception of Commercial Fisherman with a permit). Please provide comment.	Do you support vehicles being prohibited on Bettys Beach South (with the exception of general boat launching). Please provide comment.	Do you support vehicles being able to drive on Nananup Beach West (excluding Two Peoples Bay Beach which is managed by DBCA)? Please provide comment.	Do you support vehicles being prohibited on Shoal Bay? Please provide comment.
23/12/2020 6:51	40-59	Albany Resident	All year round	4WD camping swimming surfing	No	No	Yes	No
23/12/2020 7:13					Yes	Yes	No	No
23/12/2020 7:56	40-59	Albany Resident	All year round	4WD fishing (recreational/commercial) camping swimming	No	No	Yes	No
23/12/2020 9:32	40-59	Albany Resident	All year round	4WD picnicking	No	No	Yes	No
23/12/2020 9:47	40-59	Albany Resident	All year round	4WD fishing (recreational/commercial) swimming surfing	No	Yes	Yes	No
23/12/2020 11:08								
23/12/2020 11:09	25-39	Albany Resident	All year round	4WD fishing (recreational/commercial) camping swimming kayaking	No	No	Yes	No
23/12/2020 12:48	18-24	Albany Resident	All year round	4WD fishing (recreational/commercial) swimming picnicking	No	No	Yes	No
23/12/2020 13:18	25-39	Albany Resident	All year round	4WD fishing (recreational/commercial) swimming surfing kayaking picnicking horseriding	No	No	Yes	Yes
23/12/2020 15:41	25-39	Albany Resident	All year round	4WD fishing (recreational/commercial) swimming surfing kayaking	No	No	Yes	No
23/12/2020 16:15	25-39	Albany Resident	All year round	4WD fishing (recreational/commercial) camping birdwatching swimming surfing kayaking	Yes	Yes	No	Yes
24/12/2020 7:01	25-39	Albany Resident	All year round	swimming surfing	No	No	Yes	No
24/12/2020 7:01	25-39	Albany Resident	All year round	swimming surfing	No	No	Yes	No
24/12/2020 12:30	40-59	Albany Resident	All year round	birdwatching swimming kayaking picnicking horseriding	Yes	Yes	Yes	Yes
24/12/2020 15:05	40-59	Albany Resident	All year round	4WD fishing (recreational/commercial) camping birdwatching swimming surfing picnicking	No	Yes	Yes	No
24/12/2020 22:32	40-59	Albany Resident	All year round	4WD fishing (recreational/commercial) swimming picnicking	No	Yes	Yes	Yes
24/12/2020 22:57	60+	Albany Resident	All year round	fishing (recreational/commercial) swimming picnicking	No	Yes	Yes	Yes
25/12/2020 4:03	25-39	Albany Resident	All year round	4WD fishing (recreational/commercial) camping birdwatching swimming surfing	Yes	Yes	Yes	No
25/12/2020 9:01	40-59	Albany Resident	All year round	4WD fishing (recreational/commercial) swimming picnicking	No	No	No	No
29/12/2020 20:21	60+	Albany Resident	All year round	horseriding	Yes	Yes	Yes	Yes
30/12/2020 19:13	40-59	Albany Resident	All year round	4WD picnicking horseriding	Yes	Yes	No	No
30/12/2020 21:00	40-59	Albany Resident	All year round	4WD fishing (recreational/commercial) birdwatching swimming picnicking	No	No	Yes	No
31/12/2020 9:30	40-59	Albany Resident	Summer only		No	No	No	No
1/01/2021 10:05	40-59	Albany Resident	All year round	4WD fishing (recreational/commercial) swimming surfing picnicking				
2/01/2021 18:03	40-59	Albany Resident	All year round	birdwatching swimming	Yes	Yes	Yes	No

Date Submitted	Age	Albany Affiliation	Visit Frequency (Betty's Beach, Nanarup Beach or Shoal Bay)	Visitor Use (tick all that apply)	Do you support vehicles being prohibited on Bettys Beach North (with the exception of Commercial Fisherman with a permit). Please provide comment.	Do you support vehicles being prohibited on Bettys Beach South (with the exception of general boat launching). Please provide comment.	Do you support vehicles being able to drive on Nanarup Beach West (excluding Two Peoples Bay Beach which is managed by DBCA)? Please provide comment.	Do you support vehicles being prohibited on Shoal Bay? Please provide comment.
2/01/2021 18:05	60+	Albany Resident	All year round	4WD swimming kayaking picnicking	Yes	Yes	Yes	No
3/01/2021 8:30	40-59	Albany Resident	All year round	4WD fishing (recreational/commercial) swimming surfing kayaking picnicking			Yes	
3/01/2021 17:13	60+	Albany Resident	All year round	birdwatching swimming				Yes
3/01/2021 20:40	40-59	Albany Resident	All year round	4WD fishing (recreational/commercial) swimming surfing	Yes	Yes	Yes	No
3/01/2021 23:10	40-59	Albany Resident	All year round	4WD picnicking				No
4/01/2021 11:11	40-59	Albany Resident	All year round	4WD fishing (recreational/commercial) swimming kayaking picnicking	Yes	Yes	Yes	No
4/01/2021 11:52	40-59	Albany Resident	All year round		No	No	No	No
4/01/2021 19:20	25-39	Albany Resident	All year round	4WD birdwatching swimming picnicking	No	No	Yes	No
5/01/2021 11:57	25-39	Albany Resident	All year round	4WD fishing (recreational/commercial) birdwatching swimming picnicking	No	No	Yes	No
5/01/2021 13:12	25-39	Albany Resident	All year round	4WD fishing (recreational/commercial) camping swimming kayaking picnicking	No	No	Yes	No
5/01/2021 13:14	25-39	Albany Resident	All year round	4WD fishing (recreational/commercial) camping swimming kayaking picnicking	No	No	Yes	No
5/01/2021 14:08	25-39	Albany Resident	All year round	fishing (recreational/commercial) swimming surfing	No	No	Yes	No
5/01/2021 14:18	25-39	Albany Resident	All year round	fishing (recreational/commercial) swimming surfing	No	No	Yes	No
5/01/2021 14:29	40-59	Albany Resident	All year round	4WD fishing (recreational/commercial) swimming	No	No	Yes	No
5/01/2021 15:33	60+	Albany Resident	All year round	swimming			No	
5/01/2021 15:46	25-39	Albany Resident	All year round	4WD swimming picnicking				No
5/01/2021 15:49	25-39	Albany Resident	All year round	4WD swimming picnicking	Yes	Yes	Yes	No
5/01/2021 15:52	25-39	Albany Absentee Landowner	All year round	swimming	Yes	Yes	No	Yes
5/01/2021 16:55	60+	Albany Resident	2-Oct	swimming picnicking	No	Yes	No	
5/01/2021 21:14	60+	Albany Absentee Landowner	2-Oct	swimming picnicking	Yes	Yes	No	Yes
5/01/2021 21:56	40-59	Visitor	All year round	swimming			No	
5/01/2021 22:09	40-59	Visitor	2-Oct	swimming			No	
6/01/2021 7:10	60+	Albany Resident	All year round	birdwatching swimming picnicking	Yes	Yes	No	
6/01/2021 8:08	25-39	Albany Absentee Landowner	Summer only	swimming kayaking	Yes	Yes	No	Yes
6/01/2021 8:08	25-39	Albany Absentee Landowner	Summer only	swimming kayaking	Yes	Yes	No	Yes
6/01/2021 11:37	40-59	Albany Resident	All year round	4WD swimming surfing horseriding			No	

Date Submitted	Age	Albany Affiliation	Visit Frequency (Betty's Beach, Nanarup Beach or Shoal Bay)	Visitor Use (tick all that apply)	Do you support vehicles being prohibited on Bettys Beach North (with the exception of Commercial Fisherman with a permit). Please provide comment.	Do you support vehicles being prohibited on Bettys Beach South (with the exception of general boat launching). Please provide comment.	Do you support vehicles being able to drive on Nanarup Beach West (excluding Two Peoples Bay Beach which is managed by DBCA)? Please provide comment.	Do you support vehicles being prohibited on Shoal Bay? Please provide comment.
6/01/2021 15:01	60+	Albany Resident	All year round	birdwatching swimming kayaking	Yes		No	
6/01/2021 15:52	40-59	Albany Resident	All year round	picnicking				No
6/01/2021 17:38	25-39	Albany Resident	All year round	4WD swimming horseriding	Yes	No	No	No
6/01/2021 20:21	60+	Albany Resident	Summer only	4WD birdwatching swimming	Yes	Yes	Yes	No
7/01/2021 9:33	60+	Albany Resident	All year round	4WD fishing (recreational/commercial) bird watching surfing picnicking horseriding	No Are they doing any harm? If not let people access the beach.			No Shoal Bay is the perfect stretch of beach for young families to park up for the morning, take their elderly for a drive along the beach or any other person who is disabled. In all the years I've been on that beach either driving, walking, horse-riding or picnicking I've never seen a problem. Its a unique little beach so close to town. Think about those who cant walk down tracks to be able to enjoy one of our beautiful spots.
7/01/2021 15:19	25-39	Albany Resident	All year round	4WD fishing (recreational/commercial) camping swimming surfing picnicking horseriding				
7/01/2021 17:30	60+	Albany Resident	All year round	4WD fishing (recreational/commercial) bird watching picnicking horseriding				No It ain't broke don't fix it. It's a safe spot for young families and elderly. If anything the horses should be banned.
7/01/2021 17:33	40-59	Albany Resident	All year round	4WD				
7/01/2021 17:34	40-59	Albany Resident	All year round	4WD				
7/01/2021 17:34	40-59	Albany Resident	All year round	4WD				
7/01/2021 17:34	40-59	Albany Resident	All year round	4WD				
7/01/2021 17:34	40-59	Albany Resident	All year round	4WD				
7/01/2021 17:34	40-59	Albany Resident	All year round	4WD				
7/01/2021 17:34	40-59	Albany Resident	All year round	4WD				
7/01/2021 17:34	40-59	Albany Resident	All year round	4WD				
8/01/2021 7:36	40-59	Albany Resident	All year round	4WD swimming kayaking picnicking				No This beach has been used for many years by various groups with different interests, I have kiteboarded here for 15 years and taught kiteboarding here for approximately 5 years in the past under a city permit. As part of my risk assessment I had undertaken as part of my IKO (International Kiteboarding Organisation) commitments I identified a powerline that runs along the road and very close to the southern access, it is essential that kiteboarders maintain a safe distance from powerlines and roads when kiteboarding. This has not been an issue in the past as participants would simply drive down the beach which moves the unsafe zone further from where kites launch their kites. This also spread out the kites along the beach as to not be congested at the entrance which creates safer environment for kites and other beach users. This beach is also used by many to walk dogs and for children to play in the shallow waters. The current beach access arrangements allow people to spread out nicely and have a little piece of beach to themselves. Lugging kiteboarding or windsurfing equipment up the beach is not practical, it also provides safety benefits having a vehicle close by for first aid kit and mobile phone in the event of an emergency. On another note there are no erosion issues here as the sand is hard and the strong SW winds and high tides create more damage to the dune/bank then vehicles could ever do. I strongly oppose the the decision to block vehicle access to this beach.

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8/01/2021 8:35	40-59	Albany Resident	All year round	4WD fishing (recreational/commercial) camping swimming			No I think the 'pool' should be no vehicles as it's a family area, from base of island to dunes. Two peoples beach should remain as is, this is sometimes the only part of the beach people are able to get some space from others, It's also the better fishing along the beach and takes pressure off the western end of beach.	
8/01/2021 14:40	40-59	Albany Resident	All year round	4WD fishing (recreational/commercial) camping swimming kayaking horseriding	No Unnecessary intrusion on a small area and a small problem?	No Not an area that needs to be regulated any more then it already is	Yes Vehicles have always been driving down west and east of the Nanarup inlet. Sure there are stupid young clowns in old Nissan Patrols and Landcruisers who drive in a idiotic manner and at night but they need to be weeded out. As for the beach leave people alone to enjoy it.	No We have been driving up Shoal bay since the 1970s. its a quiet relaxed backwater. Being able to drive, park and go kayaking or wind surfing from your car makes this a fantastic place. We take our Mastiffs there almost each evening. Its never crowded because people park a distance from each other. If we need to cram into a carpark there will be more bottleneck problems with Horses V Dogs V walkers etc.. Keep your nose out of it COAlbany
8/01/2021 14:51	40-59	Albany Resident	All year round	4WD fishing (recreational/commercial) swimming kayaking picnicking	No Not important enough to justify the effort. Who knew about this spot anyway.	No Not important enough to justify the effort. Who knew about this spot anyway.	Yes As far as Ive seen in my years in Albany its always been driven on. Best leave it open for vehicles	No Definitely not. We go there with our dogs 3-4 times per week. Being able to drive away from the few people there is a bonus and we can get away from the horses that cover a lot of ground very quickly. There are few beaches where cars can park on the beach and the elderly can watch the grandies from the car.. Emu point was once a popular beach for this, now its now because cars dont park or drive there.
8/01/2021 17:10	25-39	Albany Resident	All year round	4WD fishing (recreational/commercial) swimming picnicking				
8/01/2021 21:15	25-39	Albany Resident	All year round	swimming kayaking picnicking				No This is a great safe spot during the westerly winds in winter for kiteboarders and windsurfers to enjoy the sport. Prohibiting the access to vehicles will limit the launch and retrieval area to a congested position in close proximity to power lines and public road.
9/01/2021 9:27	40-59	Albany Resident	All year round	fishing (recreational/commercial) swimming kayaking	Yes I am not against 4wds but almost every time i visit Bettys beach, or any other beach in fact i am disappointed by the level of antisocial behavior and hooning. There is little or no regard for pedestrians and the fragile dune environment.	Yes I am not against 4wds but almost every time i visit Bettys beach, or any other beach in fact i am disappointed by the level of antisocial behavior and hooning. There is little or no regard for pedestrians and the fragile dune environment.	No No way... the basin area turns into a carpark on with more than 50 vehicles crammed into a very small area on high beach use days.(eg Australia day and new years day). Many people day camp and there are no toilet facilities. There is a high level of antisocial behavior on these days and i have had many verbal altercations while asking people to slow down to the point that we now do not go to the beach and/or take visitors down on these days The mix of pedestrians, vehicles, tight access and parking areas will unfortunate lead to an injury or worse at some point. Why people cannot walk 300m to the basin rather than drive beggers belief. Block the access or make it illegal to drive along this portion of beach.	No I dont attend Shoal Beach but i would assume that many of the issues raised above would probably comply. Do we really need to drive vehicles along these environments when there appears to be ample car parking and foot access?
9/01/2021 16:18	40-59	Visitor	All year round	4WD swimming				No Shoal bay is a great place for children to play and vehicle access is a great attribute for that
10/01/2021 8:56	60+	Visitor	All year round	fishing (recreational/commercial) camping swimming picnicking	Yes As a frequent user of that area ,I often see 4 wheel drives being bogged and cut the beach up trying to get back out to such an extent that the sand has many deep ruts making it hard to walk on and use the beach area.The North and south beaches are only small and the 4 wheel drives restrict other beach goers from relaxing on the beach. We have also seen a number of near misses to both beach uses and their property. On the light side the 4x4s provide some entertainment for our family as we watch them come in,get bogged and get back out again. Both beaches have are notorious for the soft sand.	Yes See above		

Date Submitted	Age	Albany Affiliation	Visit Frequency (Betty's Beach, Nanarup Beach or Shoal Bay)	Visitor Use (tick all that apply)	Do you support vehicles being prohibited on Bettys Beach North (with the exception of Commercial Fisherman with a permit). Please provide comment.	Do you support vehicles being prohibited on Bettys Beach South (with the exception of general boat launching). Please provide comment.	Do you support vehicles being able to drive on Nanarup Beach West (excluding Two Peoples Bay Beach which is managed by DBCA)? Please provide comment.	Do you support vehicles being prohibited on Shoal Bay? Please provide comment.
10/01/2021 8:58	60+	Visitor	All year round	fishing (recreational/commercial) camping swimming picnicking	Yes As a frequent user of that area ,I often see 4 wheel drives being bogged and cut the beach up trying to get back out to such an extent that the sand has many deep ruts making it hard to walk on and use the beach area.The North and south beaches are only small and the 4 wheel drives restrict other beach goers from relaxing on the beach. We have also seen a number of near misses to both beach uses and their property. On the light side the 4x4s provide some entertainment for our family as we watch them come in,get bogged and get back out again. Both beaches have are notorious for the soft sand.	Yes As a frequent user of that area ,I often see 4 wheel drives being bogged and cut the beach up trying to get back out to such an extent that the sand has many deep ruts making it hard to walk on and use the beach area.The North and south beaches are only small and the 4 wheel drives restrict other beach goers from relaxing on the beach. We have also seen a number of near misses to both beach uses and their property. On the light side the 4x4s provide some entertainment for our family as we watch them come in,get bogged and get back out again. Both beaches have are notorious for the soft sand.		
10/01/2021 9:20	60+	Visitor	All year round	fishing (recreational/commercial) camping swimming picnicking	Yes See previous submission	No General boat launching should not be allowed as this gives the boat user (so they think)exclusive rights of that section of beach preventing others from using the area. Boat users cut up the beach and beach their boats on this small beach which reduces the beach area for other users.Sad but true the boat users and jet skiers use the small bay near the beach which makes it hard for swimmers to swim safely		
10/01/2021 9:58	60+	Albany Resident	All year round	4WD kayaking picnicking				No It's a great place for older people to kayaking and have a picnic in a safe environment, we've been going there for years and all visitors we've seen there all showed responsibility
10/01/2021 14:09	60+	Albany Resident	All year round	swimming kayaking picnicking	Yes I am against any recreational vehicles accessing the beach because of the environmental damage that is done and the costs associated with rehabilitating these areas. The beach should be for all people of all ages to enjoy. Not for a select few to cause damage that impacts on the enjoyment of others in the community.	Yes I am against any recreational vehicles accessing the beach because of the environmental damage that is done and the costs associated with rehabilitating these areas. The beach should be for all people of all ages to enjoy. Not for a select few to cause damage that impacts on the enjoyment of others in the community.		Yes Today I went to Shoal Bay and saw the extent of vehicle damage on the beach. The increase in vehicle traffic, both cars and motorbikes, has been significant in this summer holiday period due to people being unable to travel overseas because of COVID19. People have come to Albany to holiday and see the natural sights which is great. What is not great is the careless use and disregard for Albany's natural resources at Shoal Bay beach. Shoal Bay is a very pretty quiet beach that is used by locals in the area. Council will have significant work to do especially near the entrance off Quarranup Road to level out the deep wheel ruts made by 4WD drivers spinning their wheels to gain access to the beach. Again the actions of a few impact on the majority wanting to sensitively enjoy to this wonderful natural habitat. I strongly support vehicles being prohibited at Shoal Bay.

Date Submitted	Age	Albany Affiliation	Visit Frequency (Betty's Beach, Nanarup Beach or Shoal Bay)	Visitor Use (tick all that apply)	Do you support vehicles being prohibited on Bettys Beach North (with the exception of Commercial Fisherman with a permit). Please provide comment.	Do you support vehicles being prohibited on Bettys Beach South (with the exception of general boat launching). Please provide comment.	Do you support vehicles being able to drive on Nanarup Beach West (excluding Two Peoples Bay Beach which is managed by DBCA)? Please provide comment.	Do you support vehicles being prohibited on Shoal Bay? Please provide comment.
10/01/2021 18:26	60+	Albany Resident	All year round	birdwatching kayaking picnicking	Yes I think this proposal is sound. An excellent compromise. Its a small beach and therefore not a huge inconvenience to park and walk. This should improve the amenity, and its utility for anyone wanting to use it, especially families. It has been demonstrated, time and again, separating vehicles from people is always a good idea, even where seemingly impracticable. And people love it, even when it means walking... e.g. Rottnest; Venice, Italy; Disneyland... you name it. More of these please.	Yes Yes, for the same reason as above.	No In principal I agree, with perhaps the exception of the very western end where the rocks begin in the water. This may be better kept for people wanting to sit on and enjoy the beach, without having to compete with vehicles. People can and do walk there from the existing car park. If vehicles were kept from those last few metres at the west end it would not be too inconvenient, or detrimental to the enjoyment of those choosing to drive.	Yes Definitely yes, with a few points: 1) Side-effect: There may be a side effect which could result in more environmental damage elsewhere in the Bay - damage which has already begun, by irresponsible four wheel drivers. It would be a shame if the problem just relocated. The good news is that that possibility can be easily mitigated at negligible cost, in conjunction with any proposed beach change. I would like to discuss the risk and a pre-emptive solution with the appropriate Council Staff. Or I could lodge a submission, as a related matter to this Council proposal? Please let me know which you would prefer? 2) Environment Damage: Vehicles do much harm driving on this estuary beach, damaging a fragile ecosystem that doesn't recover easily. Its not like an ocean beach which is constantly moving anyway. Its mostly intertidal so vehicles may also be impacting those species, marsh land recovery, and water bird nesting sites. 3) Broader Peninsular Protection: As a neighbour overlooking it I regularly observe people "hooning" on this beach, especially at night. These same people tend to "4wd" (illegally I assume) on other tracks on the peninsular reserve while there. One "attraction" encourages the use of others it seems. I feel this beach proposal will help discourage abuse of the broader reserve in the medium to long term. 4) Parking: Shoal Bay is a good spot for wind surfers and the like, as well as for others wanting to enjoy quiet waterside recreation. So, perhaps a small car park or stopping bay as a replacement for beach access may be in order. At present there is no
11/01/2021 8:32	40-59	Albany Resident	All year round	fishing (recreational/commercial) swimming picnicking	No Banning vehicles on the beach adjacent to the huts makes sense however the northern end gets less foot traffic and I do not support a restriction on driving here. A restriction here will concentrate people on the hut end of the beach which is small and it is a trudge over boulders and sand tracks to the northern end when there is a defined 4wd track. The entire length of Normans Beach is only accessible by foot so there is limited conservation value in this case	Yes Yes, this makes sense. It is a small narrow beach with good access already	Yes Yes but the eastern restricted zone should be shifted 750m to the collapsed boulders further east. This not passable by 4wd anyway and having signage would discourage anyone from trying to cut a track to the beach further on. This also recognises the fact that people will not stop at an arbitrary point on the beach	No The beach is hard and it is the only point that can be accessed by an4wd in the Torndirup area.
11/01/2021 15:40	40-59	Albany Resident	All year round					
12/01/2021 17:08	40-59	Albany Resident	All year round	4WD fishing (recreational/commercial) swimming surfing picnicking				No I often drive on to the beach and park a little way up. I would like to know the reason for wanting to ban vehicles on the beach.
12/01/2021 17:42	40-59	Albany Resident	All year round	4WD fishing (recreational/commercial) camping picnicking	Yes I don't think we should drive onto Betty's beach at all - both north and south beach areas are small and easy to walk to - plenty of parking generally.	Yes I don't think we should drive onto Betty's beach at all - both north and south beach areas are small and easy to walk to - plenty of parking generally.	Yes This area has fantastic capacity to support multi mode use of the beach, including 4wd access. It provides an excellent sheltered swimming environment and in the modern context, people like to be able to get out of the sun. Allowing 4wd access into the area allows people with modern vehicles to provide shade for their families. Its quite a walk to the area so lugging shade equipment is not really an option, particularly for families and elderly. Allowing 4wd access allows people with disability to access the beach as well.	No Shoal bay is a lovely open stretch of beach that should remain open to everyone. Soon we will have NO access to any beach in the district as it will be locked down to people with horses, birdwatchers etc etc Unless there is a proven scientific reason not to allow vehicles on there (i.e. some form of credible wildlife breeding hatchery) then we should not restrict vehicle access.
13/01/2021 8:51	18-24	Albany Resident	All year round	4WD camping swimming kayaking picnicking				
13/01/2021 15:59	60+	Visitor	2-Oct	4WD fishing (recreational/commercial) camping swimming	No why not try to manage access rather than prohibit.	No why not try to manage access rather than prohibit.	Yes why not try to manage access rather than prohibit.	Yes make access available to those that kite surf.
13/01/2021 18:52	40-59	Albany Resident	All year round	4WD fishing (recreational/commercial) swimming picnicking	Yes I have never accessed this by vehicle.	No I don't believe that allowing boat launching but denying vehicle access generally is equitable.	No We regularly drive to the end of Nanarup beach. It is a nice long beach and quite unique.	Yes I don't believe driving on this beach has any purpose, unless you are launching a canoe or something similar. A pleasant walking beach easily accessible from the nearby road.
14/01/2021 13:51	25-39	Albany Resident	All year round	4WD fishing (recreational/commercial) camping birdwatching swimming surfing kayaking picnicking horseriding				

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15/01/2021 7:03	60+	Albany Resident	All year round	fishing (recreational/commercial) bird watching swimming surfing	Yes Not a regular user of the beach but, in general terms, vehicle access has been unrestricted and unpoliced.	Yes Not a user of this beach, but general 4WD access has been not policed.	No The previous signs prohibit vehicles on this western stretch of Nanarup Beach. This has been very poorly enforced: effectively non-enforced. Why? Especially at high tide, but effectively any time, pedestrian access is severely compromised by vehicle activity and by the tyres' rutting of the sand. Dogs and vehicles utterly compromise the use of the lagoon area by walkers. Why has this area not been policed by council officers?	No Unfamiliar with this area,
15/01/2021 10:44	40-59	Albany Resident	All year round	4WD fishing (recreational/commercial) swimming surfing picnicking	Yes There is close access to the beach. It is not a long beach. Driving on the beach is not required.	Yes There is close access to the beach. It is not a long beach. Driving on the beach is not required.	Yes The beach is enjoyed/appreciated by many on regular basis. The pool next to the island offers a sheltered swimming spot for young children and elderly. It is much easier to bring children, elderly and all the gear for a family day out by being able to drive there. There has been an attempt to stop cars in the past - it is hard to police and people continue to drive there anyway. I have been surfing and fishing etc at this beach for at least 30 years and it has changed. I believe it is still okay and only minimal change but the dunes must be protected or at least sign posted to discourage people from driving on them etc	No The sand is hard. Over many years of visiting the area I have seen very little change due to people driving there. There is not a lot of parking and horse owners like to visit with their horse floats.
15/01/2021 10:44	40-59	Albany Resident	All year round	4WD fishing (recreational/commercial) swimming surfing picnicking	Yes There is close access to the beach. It is not a long beach. Driving on the beach is not required.	Yes There is close access to the beach. It is not a long beach. Driving on the beach is not required.	Yes The beach is enjoyed/appreciated by many on regular basis. The pool next to the island offers a sheltered swimming spot for young children and elderly. It is much easier to bring children, elderly and all the gear for a family day out by being able to drive there. There has been an attempt to stop cars in the past - it is hard to police and people continue to drive there anyway. I have been surfing and fishing etc at this beach for at least 30 years and it has changed. I believe it is still okay and only minimal change but the dunes must be protected or at least sign posted to discourage people from driving on them etc	No The sand is hard. Over many years of visiting the area I have seen very little change due to people driving there. There is not a lot of parking and horse owners like to visit with their horse floats.
15/01/2021 15:07	40-59	Albany Resident	All year round	4WD swimming picnicking	No For many years beachgoers and fishermen have been using this area with no problems I'm aware of.	No Again, I'm not aware there have been any issues.	Yes Only one or two people complaining about cars that have been frequenting this beach for a long time.	No Horse people, people with dogs and families have been using this beach for many years with no incidents that I'm aware of, we take our dog there on a regular basis and even in the hottest weather is only a maximum of about 6 cars on the beach.
15/01/2021 15:08	60+	Albany Resident	All year round	swimming picnicking horseriding	No Has not been a problem	No Don't see any problem	Yes Have been going there for over fifty year no problems	No Been going there forty of years with race horse and dogs
17/01/2021 14:41	25-39	Albany Resident	All year round	4WD fishing (recreational/commercial) camping swimming picnicking		No Bettys Beach is a nice camping ground and also a nice spot to park your car and enjoy a day out with the family. It would be a shame to further limit the amount of beaches residents and visitors are allowed to drive on.	Yes This is a beautiful section of coastline which should be enjoyed by all residents and visitors	No This is the only beach that can be driven on in the area and many people use it to ride horses or walk dogs or just go for a drive along the water. I personally enjoy driving along this beach with my boys and see no good reason as to why it should be closed to car access.
20/01/2021 9:36	25-39	Albany Resident	All year round	4WD swimming picnicking	Yes Provided the south Beach is able to be driven down on and set up.	No Many vehicles are set up with shade food music ect on board and designed to be sat around. These also provide wind breaks.	Yes To be able to take the smaller kids up to the pond one the end of Nannup is ideal as general you have to carry them. This is also a great diving entry point.	No This is a great beach to set up on as its hard and flat for picnic. Great kids spot. Have vehicles prohibited will destroy the use and accessibility of this beach
20/01/2021 10:12	40-59	Albany Resident	All year round	4WD swimming picnicking			Yes Perfect spot to take chairs and picnic with family	No I was there yesterday having dinner on the waters edge with family. Watching the sun go down. All of the food cold wine chairs and table in the vehicle beside us. There were 3 other family's spread along beach. I recommend you try it? Never seen anyone cutting up or being a hoon. There are only a few beaches you can do that. Leave this one alone please
20/01/2021 10:13	40-59	Albany Resident	All year round	4WD swimming picnicking			Yes Perfect spot to take chairs and picnic with family	No I was there yesterday having dinner on the waters edge with family. Watching the sun go down. All of the food cold wine chairs and table in the vehicle beside us. There were 3 other family's spread along beach. I recommend you try it? Never seen anyone cutting up or being a hoon. There are only a few beaches you can do that. Leave this one alone please
20/01/2021 14:38	40-59	Albany Resident	All year round	swimming horseriding				No We lived on Shoal Bay Retreat for 18 years and visited the beach most days. We have since moved out of the area, but visit the beach on a regular basis. Yesterday when we were there, there were 3 horses, 7 dogs and 5 cars. Everyone had respect for the other and it appears to all work well. We have never seen a problem with Shoal Bay being a multi use beach. Vehicles on the beach are not per say 4 wheel driving. The sand is not that soft that 4 wheel drives cause any real erosion. I would be more concerned about adding another 4 or 5 cars parking along the road and the traffic issues with than then the vehicles on the beach.

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22/01/2021 8:50	25-39	Albany Resident	All year round	4WD fishing (recreational/commercial) swimming			Yes Love the idea of being able to drive to the lagoon!	
23/01/2021 14:59	60+	Albany Resident	All year round	4WD fishing (recreational/commercial) camping birdwatching swimming surfing picnicking	No We have been camping on the beach east of the Betty's shacks for years and cannot see any reason for the banning of vehicles on this beach.	Yes No need to have vehicles all over this protected swimming beach next to the shacks.	No This section should be free from all vehicles, except those with acrod stickers like it used to be. We use this beach and lagoon 3-6 times a week and have nearly been run over by drivers speeding along this section. You can no longer sit or leave your belongings on this section as you are in danger of being run over. Over the last 20 years the width of the beach has decreased with the ocean now eroding the beach into the primary dune system so there is insufficient space for duel usage. The lagoon now has become a parking lot over the summer period instead of a quiet place to relax and swim. This area should stay vehicle free. Access to the east should remain free all the way to the tumble down rocks as it currently is.	
23/01/2021 20:28	60+	Albany Resident	All year round	4WD birdwatching swimming picnicking	Yes I assume you have a good reason for proposing this. It would help us a lot if you told us why, but I have no objection if there are no great adverse effects by losing that camping space.	Yes I assume you have a good reason for proposing this. It would help us a lot if you told us why, but I have no objection if there are no great adverse effects by losing that camping space.	Yes The current sign is stupidly ambiguous, and no-one is really sure whether you are allowed to drive to the western end. It makes perfect sense to me to allow that since many people do anyway. To the east, I guess your motivation is to stop people getting into the dunes about a km north of the beach. Unless you are willing to put up massive barriers right across the beach, you won't stop people driving on it (anything that can be driven over or around, or ripped out, will be). You might be better off blocking the tracks from the beach to the dunes if that's the objective. It makes much more sense to me to allow traffic all the way along the beach, since it's only the last 800m that you want to restrict.	No When I called to find out why these changes are being proposed, I was told that one factor is you are looking to provide better facilities for horse trainers. A friend who goes there a lot told me he has only seen commercial horse trainers there (no recreational riders), and only in the mornings. He is not aware of any detriment to the trainers by other users being there. He is aware of similar places around the Harbour they could go where there are no vehicles. I think it's a beautiful and interesting spot that it would be a shame to lose. If it were closed to vehicles it would require car parks and footpaths off the road to allow the public to keep using it on foot. Please consider other ideas like only closing it to vehicles in the morning or on certain days, when the horses are training.
28/01/2021 17:40	60+	Albany Resident	2-Oct	camping swimming picnicking	Yes Ruins a small beach and disturbs peaceful use of the beach, and wildlife.	Yes Ruins a small beach and disturbs peaceful use of the beach, and wildlife.		Yes Except for horse floats
29/01/2021 17:53	25-39	Albany Resident	All year round	4WD fishing (recreational/commercial) swimming horseriding				
29/01/2021 17:59	25-39	Albany Resident	All year round	4WD fishing (recreational/commercial) swimming horseriding				
29/01/2021 18:28	18-24	Albany Resident	All year round	4WD swimming picnicking	No No	No No	Yes Yes	No Best beach for dogs
29/01/2021 18:41	25-39	Albany Resident	All year round	4WD swimming				No We frequently drive up this beach with our dog and go paddling with our toddler. Will be very upsetting to have restrictions put in place
29/01/2021 18:58	25-39	Albany Resident	All year round	4WD fishing (recreational/commercial) swimming picnicking	No Having a small child is impossible to take them anywhere fishing if we can't be close by the car. Closing off bettys is just adding another place that makes it hard for families to access especially the ones that want to spend time with their fisherman partners.	No Having a small child is impossible to take them anywhere fishing if we can't be close by the car. Closing off bettys is just adding another place that makes it hard for families to access especially the ones that want to spend time with their fisherman partners.	Yes This corner should never have been closed and no one reads the signs any way.	No This is HUGE if you take this access away from us!! This is the only area close enough to town that people with dogs that don't always like other dogs can exercise off lead. They can be put straight into the car if need be as the visibility on this beach is amazing. My dog is friendly but when it's just me and my son and dog I can quickly put my dog in the car so I don't have to have him interacting with other dogs while I'm also trying to chase a small child around. It's the only beach I and alot of others feel comfortable driving on. Please please NO!
29/01/2021 20:39	25-39	Albany Resident	All year round	4WD fishing (recreational/commercial) swimming kayaking picnicking horseriding	No Having young children being able to park on some beaches is great. You can setup with an awning for sun shelter and the kids are abld to rest if parents are fishing from the beach in the evening	No Having young children being able to park on some beaches is great. You can setup with an awning for sun shelter and the kids are abld to rest if parents are fishing from the beach in the evening	Yes This is a great area for families that is currently difficult to access with small children. Also allows setup of vehicle mounted awnings for sun shelter	No Beach access allows safer loading and unloading of horses on the beach away from traffic. Also a great area to practice with kids with kyacks without having to carry them a long distance. Also there is limited off beach parking which will require destruction of habbitat if beach parking/driving is not allowed
29/01/2021 21:43	25-39	Albany Resident	All year round	4WD fishing (recreational/commercial) swimming horseriding	No Stop trying to ruin a good thing.	No It's a gorgeous beach with plenty of space for 4wd access. Stop trying to ruin a good thing	Yes Its calm for children swimming, plenty of space for parking and just a good spot. Everyone drives down there already and the young dickheads usually piss off down the other end where no ones about.	
30/01/2021 11:06	18-24	Albany Resident	All year round	4WD swimming				
30/01/2021 11:06	18-24	Albany Resident	All year round	4WD swimming				

Date Submitted	Age	Albany Affiliation	Visit Frequency (Betty's Beach, Nanarup Beach or Shoal Bay)	Visitor Use (tick all that apply)	Do you support vehicles being prohibited on Bettys Beach North (with the exception of Commercial Fisherman with a permit). Please provide comment.	Do you support vehicles being prohibited on Bettys Beach South (with the exception of general boat launching). Please provide comment.	Do you support vehicles being able to drive on Nanarup Beach West (excluding Two Peoples Bay Beach which is managed by DBCA)? Please provide comment.	Do you support vehicles being prohibited on Shoal Bay? Please provide comment.
30/01/2021 12:25	25-39	Albany Resident	All year round	4WD fishing (recreational/commercial) camping swimming				
30/01/2021 12:25	25-39	Albany Resident	All year round	4WD fishing (recreational/commercial) camping swimming				
30/01/2021 12:29	25-39	Albany Resident	All year round	4WD fishing (recreational/commercial) swimming picnicking			Yes Alot of locals already do this.	No Shoal bay is a child freindly beach that i can enjoy taking my baby out to with out a big fuss of setting up a pram to and walking to far.
30/01/2021 15:30	40-59	Albany Resident	All year round	fishing (recreational/commercial) swimming kayaking picnicking			No Vehicles should be prohibited from driving on the beach as it causes damage to the fragile environment and impacts adversely on the quiet enjoyment of the beach to other users. Vehicles are a danger to people walking on the beach! The pool area at Nanarup is a very small beach !Not a carpark!! Vehicles in this area are a dangerous mix with families and children in the area! Dogs should also not be allowed or on a lead for the same reasons	
30/01/2021 20:10	25-39	Albany Resident	All year round	4WD fishing (recreational/commercial) swimming kayaking	No Great location for camping and fishing	No I have not driven on this beach but have memories of being a kid and driving around this area. Good camping and fishing spot.	No Perfect beach to drive along and enjoy for everyone to be able to get to the Cove for a swim. Older people can access instead of knowing they'll have to walk and not make it and for the kids to swim in a perfectly safe and enjoyable spot.	No Access to shoal Bay is good just to sit back and relax on a nice hard beach with the shore line, good fun for friends and family to catch up or take the dogs for a walk. Some people there horses. Long shallow water to walk in.
1/02/2021 17:57	18-24	Albany Resident	All year round	4WD fishing (recreational/commercial) camping swimming				
3/02/2021 8:28	40-59	Albany Resident	All year round	4WD fishing (recreational/commercial) camping swimming		No Free to all		
4/02/2021 9:10	60+	Visitor	All year round	4WD fishing (recreational/commercial) camping swimming kayaking picnicking	Yes This bay is far too small for vehicle use and is a wonderful little bay, especially for children who climb around the rocks and run onto the sand. Vehicles on the beach are unsafe, unnecessary and unpleasant. The access road in means that the vehicles can hit the tiny beach at a fair speed, while walkers are coming around via the rocks - a hazardous combination.	Yes As above, this beach is one of the few small bays along this coast. There are usually small children swimming here when I visit and in fact I would prefer prohibition of boat launching as well. Vehicles on this beach would be dangerous and unpleasant and quite unnecessary as there is parking very close to the beach. There is already quite a load on this beach with the camping allowed as well as the picnic spot. Our family enjoys 4WDriving along many of the Albany beaches but we are very opposed to vehicles on the Betty's Beach bays. They are simply too small and usually too populated to drive safely.	Yes I support vehicles driving on this beach east of the inlet, but prefer that the small part that is west of the inlet remain vehicle free for walkers and swimmers.	Yes I don't know this beach and cannot make a comment (am unable to tick a don't know)
4/02/2021 10:43	40-59	Albany Resident	All year round	picnicking				
5/02/2021 10:00	40-59	Visitor	2-Oct	camping swimming kayaking	No The world and its opportunities to build great memories with family and friends is diminishing. Reducing the opportunity to build these life long memories is in your hands. We don't have lot of money, we do have big smiles. Please don't make us sad.	No Access to the north beach is via the south beach.	Yes I've never been there. I can't comment honestly.	No I can't give an honest opinion as I have not been there.
5/02/2021 10:02	18-24	Visitor	Summer only	4WD camping swimming picnicking	No It's a fantastic camp site that many families can enjoy. It's clean and a dream spot. Would be tragic for it to be lost	No It's a fantastic camp site that many families can enjoy. It's clean and a dream spot. Would be tragic for it to be lost		

Date Submitted	Age	Albany Affiliation	Visit Frequency (Betty's Beach, Nanarup Beach or Shoal Bay)	Visitor Use (tick all that apply)	Do you support vehicles being prohibited on Bettys Beach North (with the exception of Commercial Fisherman with a permit). Please provide comment.	Do you support vehicles being prohibited on Bettys Beach South (with the exception of general boat launching). Please provide comment.	Do you support vehicles being able to drive on Nanarup Beach West (excluding Two Peoples Bay Beach which is managed by DBCA)? Please provide comment.	Do you support vehicles being prohibited on Shoal Bay? Please provide comment.
5/02/2021 11:18	60+	Albany Resident	All year round	4WD fishing (recreational/commercial) picnicking				No Shoal Bay is a beach that has its own beauty and embraces a user-friendly experience for the vast needs of a variety of beach goers. I have visited this beach almost every day for the past two years and have only ever witnessed people being respectful of other users. I have a dog which is too boisterous for other dogs and doesn't appreciate horses. With the current access onto the beach I can drive past any other animals without incident and drive myself to a part of the beach where I don't affect anyone else. If there was a central parking area you had to depart your vehicle from, I would not be able to use the beach any longer because I would be put in the position where I would have to encounter other dog/horse exercising owners also parked in the car park. This would hamper both mine and my dogs daily exercise and mental well-being, replacing a currently pleasurable experience with a level of anxiety! I would have no other carpark-free beach option (without travelling afar) available to my dog and myself. Personally, I have never encountered any problems with beach users. This beach is large enough that I can move away from others including horses and nobody is negatively affected. I have never seen any amounts of litter and collect any forgotten rubbish I come across, including flotsam and jetsam. Nobody disrespects the dune vegetation. Many people, including those with limited mobility, park on the beach to eat their dinner and enjoy the sunset. I'm not sure of the intention of closing access and am a bit perplexed why something that is working well for the majority needs to be
8/02/2021 12:34	40-59	Visitor	Once	4WD camping swimming	No I like to camp on the beach	Yes This is the area most popular for swimming so makes sense to minimise cars		
9/02/2021 17:52	60+	Albany Resident	All year round	swimming surfing picnicking	Yes There is absolutely no need to have a vehicle on this beach - it's a small beach, great for families and only a short walk from off-beach parking.	Yes Comments as for Betty's Beach North - even less reason to park on the South beach as it's even smaller, and closer to parking. Betty's Beach is a small gem and it would be tragic to see it go the way of other beaches where 4WDs abound	No Why does this question mention Two Peoples Bay Nature Reserve (on the East side) when it relates to the West Beach? And why is there no question relating to the East side? I believe the proposal to allow vehicles to drive on the west side of Taylor inlet is an absolute cop-out, probably prompted by the difficulty of policing transgressors. The lagoon at the far western end, beyond the islet, is a lovely place for families with young children to swim in protected water, without the hazard of vehicles on the beach. If the Granny Grommets can walk from the car park to surf west of Taylor inlet, then surely anyone can! If surfers and fishers need to drive on the beach, then please let it be to the east of the inlet.	Yes No need. The horse owners seem to manage to load/unload OK - perhaps make a bit of room for them off the road
14/02/2021 21:30	25-39	Albany Resident	All year round	4WD fishing (recreational/commercial) camping swimming surfing kayaking picnicking	Yes Short beach with no need to drive on.		No Too far to walk. Lots of other beaches in the aeria without vehicle access for families.	No Fantastic spot for beach drive, dog walk and seafood collection. Only good beach in Albany on an easterly wind. But would suggest the horse access be prohibited until riders start showing respect for other users by cleaning up after their animals.
16/02/2021 8:52	25-39	Albany Resident	All year round	fishing (recreational/commercial) swimming surfing				
16/02/2021 13:45	40-59	Albany Resident	All year round	swimming picnicking horseriding			Yes Nanarup Beach is self renewing and can sustain vehicle use	No This beach is unsuitable for vehicles due to its high value for recreation by families dog walking and horse riding. It is close to town and unsuitable for fishing therefore should not need to be used for vehicles. But access from the road should be more available for pedestrians and parking bays created
16/02/2021 16:35	60+	Albany Resident	All year round		No I don't see a lot of vehicle movement on that beach when we go out ther	No That is a lovely beach to drive Round and I've never seen people doing the wrong thing I think it's a shame that a lot of access to places are being denied these days	Yes That part of the beach you need to access to go fishing around to the east to the pool I'm in 2 minds	No I can't see any reason what do ever to prohibit vehicle access to shoal bay w3 take the dog there for a run and everyone I see on that beach respects everyone else I've been going onto that stretch of beach for 50 years and in that time I've never had a problem
17/02/2021 19:18	60+	Albany Resident	All year round	birdwatching swimming kayaking				
17/02/2021 20:38	40-59	Albany Resident	All year round	birdwatching				No I walk along Shoal Bay regularly and am frightened when I see a 4WD coming my way. I do not feel safe walking along this stretch when it is a thoroughfare for vehicles. Birds nest in the dunes and deserve peace and quiet,

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17/02/2021 20:50	25-39	Albany Resident	2-Oct	4WD camping birdwatching swimming picnicking	No Because why not? Is it being trashed up by vehicles, because if so then my answer would be yes			No Unless there is a problem with people trashing the beach then I don't see why it would be a problem.
17/02/2021 20:57	40-59	Albany Resident	All year round	4WD fishing (recreational/commercial) camping swimming kayaking picnicking				Yes Provide car parking here. There is no where to park except on the road or the beach
17/02/2021 20:59	25-39	Albany Resident	All year round	4WD fishing (recreational/commercial) swimming kayaking picnicking				
17/02/2021 21:55	40-59	Albany Resident	All year round	4WD camping	No Alienating travellers aswell as locals looking to get away for a couple of days. People will bypass the area if this goes ahead.	No Alienating travellers aswell as locals looking to get away for a couple of days. People will bypass the area if this goes ahead	Yes Great surf down there.	No Alienating travellers aswell as locals looking to get away for a couple of days. People will bypass the area if this goes ahead
18/02/2021 8:30	60+	Albany Absentee Landowner	2-Oct	picnicking	Yes Vehicles should be banned from all beaches, it detracts from the aesthetics and beach beauty to see all these machines leaving massive wheel tracks. Certainly repels beachgoers from wanting to go there. Dangerous to lay down on a towel with the possibility of being run over by a 4wd. The beach access points are also being eroded by these vehicles.	Yes Vehicles should be banned from all beaches, it detracts from the aesthetics and beach beauty to see all these machines leaving massive wheel tracks. Certainly repels beachgoers from wanting to go there. Dangerous to lay down on a towel with the possibility of being run over by a 4wd. The beach access points are also being eroded by these vehicles.	No Vehicles should be banned from all beaches, it detracts from the aesthetics and beach beauty to see all these machines leaving massive wheel tracks. Certainly repels beachgoers from wanting to go there. Dangerous to lay down on a towel with the possibility of being run over by a 4wd. The beach access points are also being eroded by these vehicles.	No Vehicles should be banned from all beaches, it detracts from the aesthetics and beach beauty to see all these machines leaving massive wheel tracks. Certainly repels beachgoers from wanting to go there. Dangerous to lay down on a towel with the possibility of being run over by a 4wd. The beach access points are also being eroded by these vehicles.
18/02/2021 15:23	18-24	Albany Resident	Once	4WD swimming	Yes We need to keep our beaches as natural as possible to preserve their future and the future of marine flora and fauna. Driving on beaches destroys the natural landscape of the environment, and people may not realise they are driving over nesting shorebirds or other animals. If we want future generations to enjoy what we have, then we need to protect and preserve what we have.	Yes We need to keep our beaches as natural as possible to preserve their future and the future of marine flora and fauna. Driving on beaches destroys the natural landscape of the environment, and people may not realise they are driving over nesting shorebirds or other animals. If we want future generations to enjoy what we have, then we need to protect and preserve what we have.	No Not particularly. Though people are currently allowed to drive on the beach, I don't really like it. The tracks left in the sand are unappealing and illustrate the damage that 4WD can cause to the environment.	Yes There are not many beaches left that people can't get to and where flora and fauna can live and grow in peace. By opening up another beach for people to access, you are opening up another natural landscape for human destructive practises. Rubbish, illegal fires and 4WD will be left in people's wake and once a peaceful, natural environment has now been ruined. We need to keep our beaches as natural as possible to preserve their future and the future of marine flora and fauna. Driving on beaches destroys the natural landscape of the environment, and people may not realise they are driving over nesting shorebirds or other animals. If we want future generations to enjoy what we have, then we need to protect and preserve what we have.
18/02/2021 15:24	18-24	Albany Resident	Once	4WD swimming	Yes We need to keep our beaches as natural as possible to preserve their future and the future of marine flora and fauna. Driving on beaches destroys the natural landscape of the environment, and people may not realise they are driving over nesting shorebirds or other animals. If we want future generations to enjoy what we have, then we need to protect and preserve what we have.	Yes We need to keep our beaches as natural as possible to preserve their future and the future of marine flora and fauna. Driving on beaches destroys the natural landscape of the environment, and people may not realise they are driving over nesting shorebirds or other animals. If we want future generations to enjoy what we have, then we need to protect and preserve what we have.	No Not particularly. Though people are currently allowed to drive on the beach, I don't really like it. The tracks left in the sand are unappealing and illustrate the damage that 4WD can cause to the environment.	Yes There are not many beaches left that people can't get to and where flora and fauna can live and grow in peace. By opening up another beach for people to access, you are opening up another natural landscape for human destructive practises. Rubbish, illegal fires and 4WD will be left in people's wake and once a peaceful, natural environment has now been ruined. We need to keep our beaches as natural as possible to preserve their future and the future of marine flora and fauna. Driving on beaches destroys the natural landscape of the environment, and people may not realise they are driving over nesting shorebirds or other animals. If we want future generations to enjoy what we have, then we need to protect and preserve what we have.
18/02/2021 18:15	60+	Albany Resident	All year round	4WD fishing (recreational/commercial) camping picnicking	No It is a public beach, it's the idiotic dickheads that need to be controlled. I would be happy to pay for a pass like national parks to make sure they are patrolled/controlled	No It is a public beach, it's the idiotic dickheads that need to be controlled. I would be happy to pay for a pass like national parks to make sure they are patrolled/controlled	Yes It is a public spot, have a pass like national parks and patrol it.	No It is a public spot, have a pass like national parks and patrol it.
18/02/2021 18:16	60+	Albany Resident	All year round	4WD fishing (recreational/commercial) camping picnicking	No It is a public beach, it's the idiotic dickheads that need to be controlled. I would be happy to pay for a pass like national parks to make sure they are patrolled/controlled	No It is a public beach, it's the idiotic dickheads that need to be controlled. I would be happy to pay for a pass like national parks to make sure they are patrolled/controlled	Yes It is a public spot, have a pass like national parks and patrol it	No It is a public spot, have a pass like national parks and patrol it
19/02/2021 1:19	60+	Albany Resident	All year round	camping birdwatching swimming picnicking	Yes The area is degraded by too much traffic	Yes Safety on the beach important	No Beach gets degraded and safety issues	Yes Safety and degrading of beach issues

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19/02/2021 6:38	40-59	Albany Resident	All year round	surfing			No The section of beach to the west of the inlet is very narrow and get very cut up by vehicle traffic the lagoon at the western end is very picturesque and is ruined by all the cars parking round it	
19/02/2021 7:00	40-59	Albany Resident	All year round	swimming surfing picnicking h orseriding	Yes Beautiful beach wilderness that should be preserved. Impact from cars is too great. crushing small tiny creatures and scattering shore birds. Albany's greatest asset is its environment - we need to maintain only low impact activities.		No I've witnessed dangerous interactions between cars & children. The cars significantly impact the shoreline creating a real mess on the beach - deep ruts, crushing creatures - very sad. Visually impacting, We are promote Albany as Amazing and the our fantastic outdoor natural environment but we spoil it for visitors and residents alike by allowing cars on the beach. As the custodians we should be putting our best foot forward providing an outstanding experience so that people will stay and return to Albany. Only a short walk from the inlet people should be able to walk.	
19/02/2021 7:00	40-59	Albany Resident	All year round	swimming surfing picnicking h orseriding	Yes Beautiful beach wilderness that should be preserved. Impact from cars is to great. crushing small tiny creatures and scattering shore birds. Albany's greatest asset is its environment - we need to maintain only low impact activities.		No I've witnessed dangerous interactions between cars & children. The cars significantly impact the shoreline creating a real mess on the beach - deep ruts, crushing creatures - very sad. Visually impacting, We are promote Albany as Amazing and the our fantastic outdoor natural environment but we spoil it for visitors and residents alike by allowing cars on the beach. As the custodians we should be putting our best foot forward providing an outstanding experience so that people will stay and return to Albany. Only a short walk from the inlet people should be able to walk.	
19/02/2021 7:01	40-59	Albany Resident	All year round	swimming surfing picnicking h orseriding	Yes Beautiful beach wilderness that should be preserved. Impact from cars is to great. crushing small tiny creatures and scattering shore birds. Albany's greatest asset is its environment - we need to maintain only low impact activities.		No I've witnessed dangerous interactions between cars & children. The cars significantly impact the shoreline creating a real mess on the beach - deep ruts, crushing creatures - very sad. Visually impacting, We are promote Albany as Amazing and the our fantastic outdoor natural environment but we spoil it for visitors and residents alike by allowing cars on the beach. As the custodians we should be putting our best foot forward providing an outstanding experience so that people will stay and return to Albany. Only a short walk from the inlet people should be able to walk.	
19/02/2021 15:51	25-39	Albany Resident	All year round	4WD swimming				
19/02/2021 15:53	25-39	Albany Resident	All year round	swimming				
19/02/2021 20:25	40-59	Albany Resident	All year round	birdwatching swimming surfing picnicking			No I do not support vehicles driving to the Lagoon at Nanarup Beach. As a long term Nanarup resident I have seen the beach from the inlet to the Lagoon become a unpoliced race track, unsafe for all beach users. The beach at the lagoon has become an area for dangerous driving of 4WD and a risk to all other beach users.	
19/02/2021 20:27	40-59	Albany Resident	All year round	birdwatching swimming surfing picnicking			No I do not support vehicles driving to the Lagoon at Nanarup Beach. As a long term Nanarup resident I have seen the beach from the inlet to the Lagoon become a unpoliced race track, unsafe for all beach users. The beach at the lagoon has become an area for dangerous driving of 4WD and a risk to all other beach users.	
19/02/2021 20:34	40-59	Albany Resident	All year round	birdwatching swimming picnicking		Yes	No I don't support this proposal, as I feel that part of Nanarup beach should be more protected! It is precious breeding ground for many birds and other native animals. In addition to this, it is very scary at times to take children there for a swim , when people recklessly drive around the area with 4WD	
20/02/2021 21:38	25-39	Visitor	2-Oct	4WD	No I have not yet visited Bettys Beach but I do plan to. Personally I love beach driving and it's the biggest draw for me coming to the Albany area.	No I have not yet visited Bettys Beach but I do plan to. Personally I love beach driving and it's the biggest draw for me coming to the Albany area.	Yes I visit Nanarup a few times per year. It's a lovely place and I see little impact from 4wders. It's always kept tidy. I was surprised to see the proposal given the popularity, I think it would be a shame to cut the beach short.	No I have not yet visited this beach but I do plan to. Personally I love beach driving and it's the biggest draw for me coming to the Albany area.
21/02/2021 20:06	60+	Albany Resident	All year round	4WD birdwatching				No Silly idea. The horse people think they own the place and should be banned
21/02/2021 20:09	25-39	Albany Resident	All year round	fishing (recreational/commercial) bird watching swimming				No Keep the beach open to vehicles. We've been going there for years and there are no issues.
21/02/2021 20:13	18-24	Visitor	Summer only	birdwatching swimming surfing kayaking picnicking				No I visit Albany just so I can go to these beaches. You don't have many beaches that you can drive in close to town so it would be sad to see this beach at Shoal bay closed.

Date Submitted	Age	Albany Affiliation	Visit Frequency (Betty's Beach, Nanarup Beach or Shoal Bay)	Visitor Use (tick all that apply)	Do you support vehicles being prohibited on Bettys Beach North (with the exception of Commercial Fisherman with a permit). Please provide comment.	Do you support vehicles being prohibited on Bettys Beach South (with the exception of general boat launching). Please provide comment.	Do you support vehicles being able to drive on Nanarup Beach West (excluding Two Peoples Bay Beach which is managed by DBCA)? Please provide comment.	Do you support vehicles being prohibited on Shoal Bay? Please provide comment.
22/02/2021 11:45	60+	Albany Resident	All year round	birdwatching swimming kayaking picnicking	Yes A well overdue move.. Vehicles have been destroying Betty's Beach for far too long. We have noticed a dramatic increase in 4x4 activities on the beach in the past 5yrs.	Yes Yes as long as once their boat is launched the vehicle & trailer are returned to a car park - emergency vehicles could be included in those permitted onto beach	No Yes definitely closure to vehicle access on Nanarup Beach West. It is not enough though. Vehicle access accepting for emergency vehicles should not be allowed on any of Nanarup Beach. West or East side. This beach has been abused by 4x4's for so many years & gone unchecked. It is not a beach that walkers can enjoy without constant threat of being run over. The precious environment that is Nanarup Beach the Bird life the small ocean shore marine life is completely being destroyed. Vehicles do not need to be able to drive on that beautiful beach, WHY can they not park in the designated car park & walk. The massive increase of 4x4 vehicles on Nanarup Beach driving everywhere they can has destroyed that beach & will continue to until there is total closure. You often see them reaching such high speeds, doing burnouts. It's out of control.. I know many people who have lived in Albany all their life & they will no longer go out to Nanarup Beach to walk or swim because of the fear of being run over & for their pets safely. There is just too many people using that beach just to drive on. The numbers will only increase as the Albany population grows. The time has come before someone is killed or injured to protect Nanarup Beach that beautiful fragile environment from vehicle access & leave it in peace only for feet & paws	Yes This tiny very accessible little stretch of beach is being over run by vehicles & yes 100 percent support it's closure
22/02/2021 15:29	40-59	Albany Resident	All year round	4WD fishing (recreational/commercial) camping birdwatching swimming surfing picnicking	No This is the larger section of the beach there is room for cars and people	Yes This is the main beach beach where a lot of people relax and spend time. It is good that cars don't access the area. People who want their cars close can use bettys beach north	No Nanarup beach west should be policed as a no car zone. The beach has eroded markedly in the last 5 years. Now at high tide it is often impassable or one car wide. This means that people walking along the beach are in danger of being run over. The lagoon at the end of Nanarup beach west is a sheltered site that should be protected. This area is used by a lot of people swimming and for a safe site for families and small children to swim. Whilst the majority of people drive their cars in a responsible manner unfortunately some people need to be educated they do not let their tyres down and think that by driving at speed they will get through the sand. I have seen numerous incidents where a car drives at speed between other cars popping out unseen and surprising people next to or in front of the cars. They also tear along the beach, it is just a matter of time before a child, sunbather, dog or older person is run down. During busy times, holidays such as Australia Day Easter and the Christmas holidays I have counted up to 40 to 50 cars in in the lagoon area, no one wants to go to the beach to relax in a car park. In the past many families have walked up the beach carrying their equipment and small children, and some still do. It is worth the extra effort to get to the end and have a nice spot to swim. The ability to drive up to the lagoon has also meant that people are camping in this area. We regularly pick up rubbish and broken glass recently we also had to put out a fire that had been left burning. The people had broken branches off the surrounding vegetation and done a lot of damage there was also broken bottles, and people had toileted and left toilet paper on the beach. Nanarup beach east is enough of an area to allow people to drive it involves much longer distances and the beach is often wider mitigating the risk of people being run down. Very few people drive past deserts up to tumble downs so I do not see a need to close this section of beach.	

Date Submitted	Age	Albany Affiliation	Visit Frequency (Betty's Beach, Nanarup Beach or Shoal Bay)	Visitor Use (tick all that apply)	Do you support vehicles being prohibited on Bettys Beach North (with the exception of Commercial Fisherman with a permit). Please provide comment.	Do you support vehicles being prohibited on Bettys Beach South (with the exception of general boat launching). Please provide comment.	Do you support vehicles being able to drive on Nanarup Beach West (excluding Two Peoples Bay Beach which is managed by DBCA)? Please provide comment.	Do you support vehicles being prohibited on Shoal Bay? Please provide comment.
24/02/2021 10:32	40-59	Albany Resident	All year round	birdwatching swimming surfing			No Nanarup The City of Albany has a duty of care to keep this beach vehicle free. The lagoon at this location is a unique site on the south coast, marvelled by people from all over the world. It is special because access is by foot. In the past it has been tranquil, safe and preserved. In recent years The City of Albany has chosen to neglect maintaining this location as vehicle free. As a result the beach west of the inlet is a highly dangerous location for beach users because of unauthorised, unmonitored vehicle use especially on weekends and holidays. This beach is one of Albany' s few surfing locations and a popular place for youngsters to learn to surf. Drivers determined to get through soft sand travel at high speed regardless of families on the beach, swimmers/ surfers towels and personnel items in their path. I have witnessed people alarmed by fast moving vehicles, needing to get out of the way, parents screaming to warn young children playing in the sand unaware of fast approaching vehicles. Many vehicles driving to the lagoon are day campers, arriving with eskies full of drinks and alcohol. There are no toilet facilities at that site and there us plenty of evidence of human excrement and tissue paper behind bushes and in the dunes on weekends and public holidays. Litter, camp fires, beer cans and bottles remain. The broader area of the beach between the islet and land is frequently used by hooning vehicles doing "donuts" and attempting dune climbs. These behaviours are often end fuelled by alcohol, drivers with drink in hand, illegal, careless and a great danger to other beach users. It is totally unacceptable that the City of Albany plans to open this formally open this beach to vehicle access. The walk to the lagoon is good exercise for all. Yes it can be a trek with small children, the picnic basket and beach bag but there is no harm in effort for reward.	
24/02/2021 11:51	40-59	Albany Resident	All year round	swimming surfing			No As a regular user of Nanarup Beach for the past 20 years, I strongly object to vehicles driving on the beach. The lagoon is a world class coastal asset and should be protected from vehicles. People (particularly family's with children) should be able to walk, swim and enjoy this section of the beach,free of dogs and without being endangered by vehicles driving at excessive speed to get through soft sand.On busy days the vehicles then clutter the beach area so that it can't be enjoyed by the people who are there to enjoy it. Up until a few years ago, City of Albany management of the area (with appropriate signage and ranger visits) controlled vehicles on the beach, west of the inlet. I do not understand why the current management of City of Albany refuses to control the area? This proposal would be seen as absurd any where else in the world. Nanarup deserves better than being promoted as a 4WD highway.	
24/02/2021 12:31	60+	Albany Resident	All year round	swimming surfing picnicking	No not enough experience to comment		No Vehicle access from the beach access to the boat harbour pool should not be allowed it should remain has it always was no vehicle access,the beach is not wide enough,vehicles have to go fast if used due to softer sand,and it is extremely dangerous to pedestrians accessing the pool area for a swim and a nice walk from the carpark area at inlet.	No don't have experience of using?
24/02/2021 16:03	40-59	Albany Resident	All year round	camping birdwatching swimming surfing picnicking			No The 'lagoon' at the western end of Nanarup Beach is one of the most beautiful natural beaches in Australia, if not the world. If 4WD access is permitted, as it is currently, the beauty and tranquility of the beach is destroyed. There are often more than 30 cars parked at the 'lagoon' on a very small crescent of sand. The entire beach becomes a car park on busy days. Since the increased use of this beach by 4WD vehicles in recent years there are noticeably more empty cans, broken bottles, used toilet paper and nappies left on the beach. As the sand dunes at Nanarup West have become more eroded the vehicular access to the beach has become very narrow, especially in winter. This makes it dangerous for pedestrians traversing that section of beach. If the western end of the beach is to permanently become a mixed zone of cars and pedestrians there will be an increased chance of accidents. Vehicles often drive quite quickly and there is zero policing of driver behaviour. 4WD access is available on Nanarup Beach East. This is a far more appropriate zone for cars. I think Nanarup Beach overall would be more attractive to a greater number of people if there were two clear zones, two different types of beaches to allow more diversity on the beach. If 4WD access is permitted on the entirety of Nanarup Beach it becomes homogeneous and boring, attractive only to a very narrow group of people, i.e. those with 4WD vehicles. From the point near the estuary where cars are allowed to park to the 'lagoon' is only a few hundred metres. It is not an excessive distance to travel, easily walked in 5 minutes, there is no need to drive this small distance.	

Date Submitted	Age	Albany Affiliation	Visit Frequency (Betty's Beach, Nanarup Beach or Shoal Bay)	Visitor Use (tick all that apply)	Do you support vehicles being prohibited on Bettys Beach North (with the exception of Commercial Fisherman with a permit). Please provide comment.	Do you support vehicles being prohibited on Bettys Beach South (with the exception of general boat launching). Please provide comment.	Do you support vehicles being able to drive on Nanarup Beach West (excluding Two Peoples Bay Beach which is managed by DBCA)? Please provide comment.	Do you support vehicles being prohibited on Shoal Bay? Please provide comment.
24/02/2021 17:33	60+	Albany Resident	All year round	4WD swimming kayaking picnicking	No I take a disabled relative and my children to this area and they enjoy the whole journey and adventure. Why would the council want to restrict access and take this enjoyment away?	No I take a disabled relative and my children to this area and they enjoy the whole journey and adventure	No I take a disabled relative and my children to this area and they enjoy the whole journey and adventure of driving on the sand. We enjoy the whole Albany surrounds and appreciate being able to access the beach with our vehicle.	No It is a great place to take my scared and slightly unruly rescue dog for isolated exercise and I can easily keep my distance from others by not having to use a carpark. It is close enough to town to enjoy doing this on a regular basis. What would be the advantage in closing vehicle access to these places? The majority of beach goers respect these areas and do not cause harm.
24/02/2021 21:05	60+	Albany Resident	All year round	swimming picnicking	No No comment on this beach	No No comment on this beach	No Cars should continue to be banned from the corner. Kids and vehicles are a terrible risk. I have seen quite a few close calls especially at high tide when there isn't much beach. There is no reason to have to drive to the corner. (only to carry the fridge full of beer!). One of the best beaches in Albany and the whole south Coast and it gets clogged with cars. No no no.	Yes Really only to exclude the hoon factor. We use it for paddle boarding, but can access it from other access tracks
25/02/2021 12:03	40-59	Albany Resident	All year round	4WD fishing (recreational/commercial) bird watching swimming surfing kayaking picnicking				No I hope you consider allowing access outside bird nesting times those of us with disabilities greatly appreciate and rely on having the access to local beaches for relaxation and rehabilitation via 4WD.
25/02/2021 20:39	40-59	Albany Resident	All year round	4WD fishing (recreational/commercial) surfing			Yes People especially those with families should have access to the western side of the inlet. It would be great to see access to the east end of the beach from the road to two peoples bay to enable surfing and fishing activities. This access has been closed for way too long.	No I don't go here but where else is there to park to access this beach?
25/02/2021 23:16	40-59	Albany Resident	All year round	4WD fishing (recreational/commercial) swimming surfing kayaking			Yes With a young family, Nanarup Beach west in the rocky cove is perfect for swimming. It is a long prohibitive walk from the inlet, with all the equipment that comes with taking young kids to the beach and for young kids with small legs. Also even on hot days during this summer, there have only been up to half a dozen cars at Nanarup Beach west when my family has been there. Everyone has driven safely along the beach and enjoyed their time there.	
26/02/2021 10:28	60+	Albany Resident	All year round	4WD swimming picnicking		No Unless there is some danger concern please leave, there are not a lot of beaches that you can drive on, thank you .		No This beach provides a range of needs to all who would like to visit this beach , been going there for years and see no reason to change ,if anything could have maybe time allocated for horse use in the mornings ,thankyou .
26/02/2021 11:27	40-59	Albany Resident	All year round	4WD swimming picnicking	No It's nice to be able to drive on the few beaches left that have that access	No It's nice to be able to drive on the few beaches left that have that access	Yes It's nice to be able to drive on the few beaches left that have that access	
26/02/2021 13:24	40-59	Albany Resident	All year round	swimming surfing			No Nanarup Beach is a world class beach location. Picturesque and fabulous for surfing, swimming, family fun and many sustainable recreational activities. Properly resourced with parking and selected beach access (near the lake edge), it can continue as a free location of iconic beauty and pristine wilderness that is also nicely accessible to the public. I regularly witness terribly antisocial, unsafe, and environmentally damaging use of 4WD vehicles on the beach and lagoon area - including drivers doing donuts in the sand, large drunken day-camping parties, refuse being left in the dunes behind and very fast speeds along the surfing strip making it very unsafe for kids or anyone who wants to use it. On a weekend, it is like standing on a busy road having to constantly look both ways for danger. It is lazy, small-minded, 1970s-style thinking to simply legalise the hoon behaviour. Instead, please invest in the infrastructure needed back at the carpark and lake area to enable some limited beach access for vehicles, but keep the surfing beaches and lagoon free for foot-traffic only. Also, please consider having a bigger vision - including upgrading the camping facility enabling eco-camping and day camping. Look at what has been achieved in other parts of the world in comparable beach locations in places like northern Norway and Tasmania, and start to manage this location as a sustainable adventure sport , camping and even day-hiking destination. The infrastructure developed at The Gap is a good local example of a bigger vision. So, it is possible. I do not support the legalising of traffic on the beach.	
26/02/2021 22:42	40-59	Visitor	All year round	4WD camping birdwatching swimming surfing picnicking	Yes Bettys Beach North is very small and there is no need to drive a vehicle on this beach to enjoy and appreciate its natural beauty. It is also often used by families so it would be much safer for all if vehicles were prohibited from driving on it.	Yes Bettys Beach South is very small and there is no need to drive a vehicle on this beach to enjoy and appreciate its natural beauty. It is also often used by families so it would be much safer for all if vehicles were prohibited from driving on it.	No As a regular visitor to Nanarup Beach since the 1970's I have become alarmed at the amount of vehicles travelling on the beach west of the inlet and parking around the pool. I strongly support a ban on vehicles west of the inlet. That section of the beach is often narrow, soft and there isn't a lot of room at the pool end for vehicles to park. It is also a safe place for families and their children to swim. It is not safe for any age beach users if there is constant vehicle traffic on the beach. There is a long section of Nanarup Beach to the east of the inlet for anyone wishing to drive vehicles on the beach.	No I do not use this beach so I wish not comment.

Date Submitted	Age	Albany Affiliation	Visit Frequency (Betty's Beach, Nanarup Beach or Shoal Bay)	Visitor Use (tick all that apply)	Do you support vehicles being prohibited on Bettys Beach North (with the exception of Commercial Fisherman with a permit). Please provide comment.	Do you support vehicles being prohibited on Bettys Beach South (with the exception of general boat launching). Please provide comment.	Do you support vehicles being able to drive on Nanarup Beach West (excluding Two Peoples Bay Beach which is managed by DBCA)? Please provide comment.	Do you support vehicles being prohibited on Shoal Bay? Please provide comment.
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26/02/2021 23:03	40-59	Visitor	All year round	4WD camping birdwatching swimming picnicking	Yes Bettys Beach North is very small and there is no need to drive a vehicle on this beach to enjoy and appreciate its natural beauty. It is also often used by families so it would be much safer for all if vehicles were prohibited from driving on it.	Yes Bettys Beach South is very small and there is no need to drive a vehicle on this beach to enjoy and appreciate its natural beauty. It is also often used by families so it would be much safer for all if vehicles were prohibited from driving on it.	No I live in the Plantagenet Shire and have enjoyed visiting Nanarup for over 30 years. We used to take our children there and we all enjoyed the safe swimming in the protected pool at the western end. Now we spend time there with grand children but it has become very dangerous and congested with many vehicles driving along the beach and parking at the pool. It has really been spoilt by the vehicles and I believe that the vehicle use on the beach will grow in the future. I think that beach access for vehicles should only be permitted to the east of the inlet.	

PROPOSED MIXED USE DEVELOPMENT

WORKING DRAWINGS ALT - ISSUED FOR DESIGN APPROVAL
 for
 Great Southern Endeavour Projects Pty Ltd
 at
 Lot 20 (#35) Collie Street, Albany

- A00 - COVER SHEET
- A01 - GROUND FLOOR SITE PLAN - 1:100
- A02 - SUB/BASEMENT FLOOR PLAN - 1:100
- A03 - GROUND FLOOR PLAN - 1:100
- A04 - UPPER FLOOR PLAN - 1:100
- A05 - ROOF PLAN & STUDY LEVEL PLAN - 1:100
- A06 - ELEVATIONS 1 of 2 - 1:100
- A07 - ELEVATIONS 2 of 2 - 1:100
- A08 - SECTION GG - 1:50

GROSS BUILDING AREAS	
FLOOR / ZONE	AREA
B- OFFICE OPEN PLAN	66.49
B- OFFICE SERVICE - AMENITIES	15.01
B- STORAGE	18.38
B- STORE BINS	9.03
B- STORE CAFE	4.66
B- UNIT 1 STORE	6.20
B- UNIT 2 STORE	5.06
B- UNIT 3 STORE	5.18
B- UNIT 4 STORE	5.18
B- UNIT 5 STORE	5.18
B- UNIT 6 STORE	6.92
B- WALKWAY STORES (COM.BAYS 2 + RES.BAYS 4 + B BAYS)	32.91
B- WALKWAY BASEMENT	28.59
B- X- CARPARK	224.88
B- X- LANDSCAPE	2.98
G- EXISTING HERITAGE PROPERTY	111.65
G- GROUND WALKWAY	73.09
G- UNIT 1 LIVING	85.48
G- UNIT 1 OUTDOOR LIVING	14.19
G- UNIT 2 LIVING	79.24
G- UNIT 2 OUTDOOR LIVING	16.73
G- UNIT 3 LIVING	79.21
G- UNIT 3 OUTDOOR LIVING(COMBAYS 2 + LOAD BAR 1 + 3 BAYS)	11.19
G- X-GROUND CARPARK	76.47
G- X-GROUND LANDSCAPE	169.48
UP- UNIT 4 LIVING	87.38
UP- UNIT 4 OUTDOOR LIVING	18.42
UP- UNIT 5 LIVING	101.12
UP- UNIT 5 OUTDOOR LIVING	14.24
UP- UNIT 6 LIVING	101.22
UP- UNIT 6 OUTDOOR LIVING	11.20
UP- UPPER WALKWAY	3.38
TOTAL	1,497.94 m²

GROSS OFFICE AREAS	
FLOOR / ZONE	AREA
B- OFFICE OPEN PLAN	66.49
B- OFFICE SERVICE - AMENITIES	15.01
TOTAL OFFICE FLOOR AREA	TOTAL 84.50m²

GROSS AREAS - RESIDENTIAL UNIT 1	
AREA	TOTAL
G- GROUND WALKWAY	73.09
G- UNIT 1 LIVING	85.48
B- STORE CAFE	4.66
UNIT 1 AREA	TOTAL 163.23m²

GROSS AREAS - RESIDENTIAL UNIT 2	
AREA	TOTAL
G- UNIT 1 OUTDOOR LIVING	14.19
G- UNIT 2 LIVING	79.24
B- UNIT 1 STORE	6.20
UNIT 2 AREA	TOTAL 101.63m²

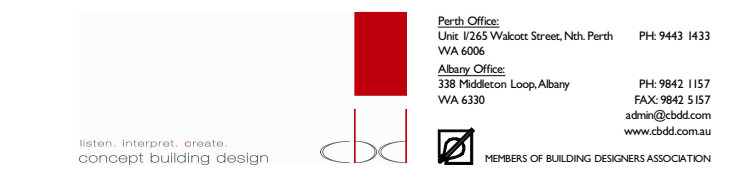
GROSS AREAS - RESIDENTIAL UNIT 3	
AREA	TOTAL
G- UNIT 2 OUTDOOR LIVING	16.73
G- UNIT 3 LIVING	79.21
B- UNIT 2 STORE	5.06
UNIT 3 AREA	TOTAL 101.00m²

GROSS AREAS - RESIDENTIAL UNIT 4	
AREA	TOTAL
G- X-GROUND LANDSCAPE	169.48
UP- UNIT 4 LIVING	87.38
B- UNIT 3 STORE	5.18
UNIT 4 AREA	TOTAL 362.04m²

GROSS AREAS - RESIDENTIAL UNIT 5	
AREA	TOTAL
UP- UNIT 4 OUTDOOR LIVING	18.42
UP- UNIT 5 LIVING	101.12
B- UNIT 4 STORE	5.18
UNIT 5 AREA	TOTAL 124.72m²

GROSS AREAS - RESIDENTIAL UNIT 6	
AREA	TOTAL
UP- UNIT 5 OUTDOOR LIVING	14.24
UP- UNIT 6 LIVING	101.22
B- UNIT 5 STORE	5.18
UNIT 6 AREA	TOTAL 120.64m²

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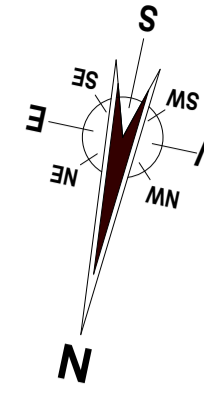
Project:
Proposed Mixed Use Development

Client:
Great Southern Endeavour Projects Pty Ltd

Address:
Lot 20 (#35) Collie Street, Albany

Rev.	Date	Item	Issued To
06	18/08/20	ISSUED FOR BUILDING LICENSE	CLIENT
07	03/02/21	ISSUED FOR COMMENTS	CLIENT

Drawn: AG/KH/DT/JG	Date: 3/2/21	Drawing Number: A00 of A08	Job No.: C-1627-15
Checked: BT	Scale: AS SHOWN	Stage / Revision: WD-07	



GROSS BUILDING AREAS

FLOOR / ZONE	AREA
B-OFFICE OPEN PLAN	66.49
B-OFFICE SERVICE - AMENITIES	15.01
B-STORAGE	19.38
B-STORE BINS	9.03
B-STORE CAFE	4.66
B-UNIT 1 STORE	5.20
B-UNIT 2 STORE	5.06
B-UNIT 3 STORE	5.18
B-UNIT 4 STORE	5.18
B-UNIT 5 STORE	5.18
B-UNIT 6 STORE	5.18
B-WALKWAY STORES (COM.BAYS 7 + RES.BAYS 6 + 8 BAYS)	8.62
B-WALKWAY BASEMENT	28.59
B-X-CARPARK	224.88
B-X-LANDSCAPE	5.98
G-EXISTING HERITAGE PROPERTY	111.65
G-GROUND WALKWAY	73.09
G-UNIT 1 LIVING	85.48
G-UNIT 1 OUTDOOR LIVING	14.19
G-UNIT 2 LIVING	79.24
G-UNIT 2 OUTDOOR LIVING	16.73
G-UNIT 3 LIVING	79.21
G-UNIT 3 OUTDOOR LIVING/COM.BAYS 2 + LOAD BRV 1 + 3 BAYS	11.19
G-X-GROUND CARPARK	78.47
G-X-GROUND LANDSCAPE	169.48
UP-UNIT 4 LIVING	87.38
UP-UNIT 4 OUTDOOR LIVING	18.42
UP-UNIT 5 LIVING	101.12
UP-UNIT 5 OUTDOOR LIVING	14.24
UP-UNIT 6 LIVING	101.22
UP-UNIT 6 OUTDOOR LIVING	11.20
UP-UPPER WALKWAY	8.38
TOTAL GROUND FLOOR AREA	5.98

GROUND FLOOR

GROSS BUILDING AREAS	AREA
B-X-LANDSCAPE	5.98
G-EXISTING HERITAGE PROPERTY	111.65
G-GROUND WALKWAY	73.09
G-UNIT 1 LIVING	85.48
G-UNIT 1 OUTDOOR LIVING	14.19
G-UNIT 2 LIVING	79.24
G-UNIT 2 OUTDOOR LIVING	16.73
G-UNIT 3 LIVING	79.21
G-UNIT 3 OUTDOOR LIVING/COM.BAYS 2 + LOAD BRV 1 + 3 BAYS	11.19
G-X-GROUND CARPARK	78.47
TOTAL GROUND FLOOR AREA	TOTAL 616.39m²

GENERAL SITE NOTES:

STORMWATER - TO BE CONTAINED ON SITE OR CONNECTED TO MAIN SW VIA ON-SITE STORMWATER PIT SUBJECT TO COUNCIL REQUIREMENTS.

SEWER - TO BE CONNECTED TO SEWER MAINS LINE SUBJECT TO WATER CORPORATION REQUIREMENTS. LOCATION OF SEWER JUNCTION POINT TO BE CONFIRMED BY THE BUILDER PRIOR TO CONSTRUCTION.

EFFLUENT DISPOSAL SYSTEMS - WHERE NO SEWER MAINS PRESENT, EFFLUENT DISPOSAL TO BE PROVIDED TO PLUMBER AND MANUFACTURER'S STANDARDS. DRAWING IS NOMINAL ONLY AND SHALL BE SUBJECT TO COUNCIL HEALTH REQUIREMENTS.

FINISHED FLOOR LEVEL - MAY BE SUBJECT TO ENGINEER, PLUMBING AND COUNCIL REQUIREMENTS.

VERGE CROSSOVER - MAY BE SUBJECT TO COUNCIL ENGINEERING DEPARTMENT REQUIREMENTS. REFER TO COUNCIL DETAILS FOR RECOMMENDED CONSTRUCTION. DRAWING IS DIAGRAMMATIC ONLY.

SURVEY - IDENTIFICATION OF LOT BOUNDARIES IS THE RESPONSIBILITY OF THE OWNER AND/OR BUILDER.

CHECK DIMENSIONS ON SITE - PRIOR TO COMMENCEMENT OF CONSTRUCTION.

DRAWINGS AND DETAILS - TO BE READ IN CONJUNCTION WITH RELEVANT CONSULTANT DRAWINGS AND SHALL PRECEED THESE DRAWINGS.

DRAWINGS TO BE READ - IN CONJUNCTION WITH ENGINEER DRAWINGS, DETAILS AND SPECIFICATIONS AND SHALL PRECEED THESE DRAWINGS.

OWNER AND/OR BUILDER SHALL - COMPLY WITH ALL STATUTORY AUTHORITY BY LAWS AUSTRALIAN STANDARDS, REGULATIONS, RESIDENTIAL DESIGN CODES AND THE BCA AND SHALL PRECEED THESE DRAWINGS.

ALTERATIONS & ADDITIONS NOTES:

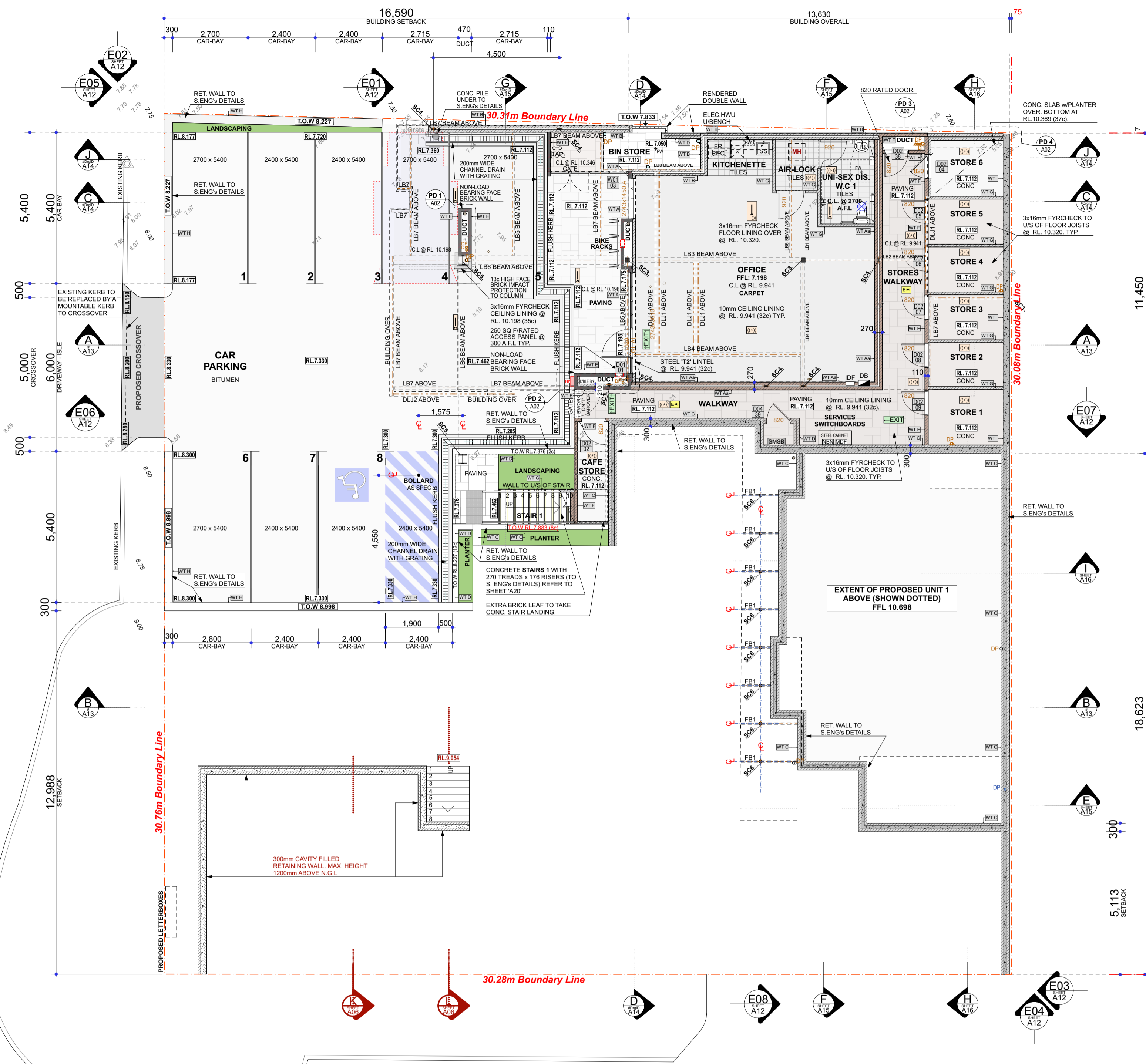
- ARCHITECTURAL MEASUREMENTS TO AN EXISTING BUILDING ARE SUBJECT TO AN ONSITE MEASURE BY BUILDER FOR CONFIRMATION PURPOSES.
- THE BUILDER IS REQUIRED TO DOUBLE CHECK & CONFIRM PROPOSED SIZES OF NEW DOORS & WINDOW FRAMES IN THE EXISTING WALLS PRIOR TO COMMENCE CONSTRUCTION ORDERING WITH A RE-MEASURE OF THE EXISTING BUILDING WHERE REQUIRED TO ENSURE THE CORRECT SIZE HAS BEEN NOMINATED.

REV 07

GROUND FLOOR SITE PLAN (DUKE ST. ENTRANCE)
Scale 1:100

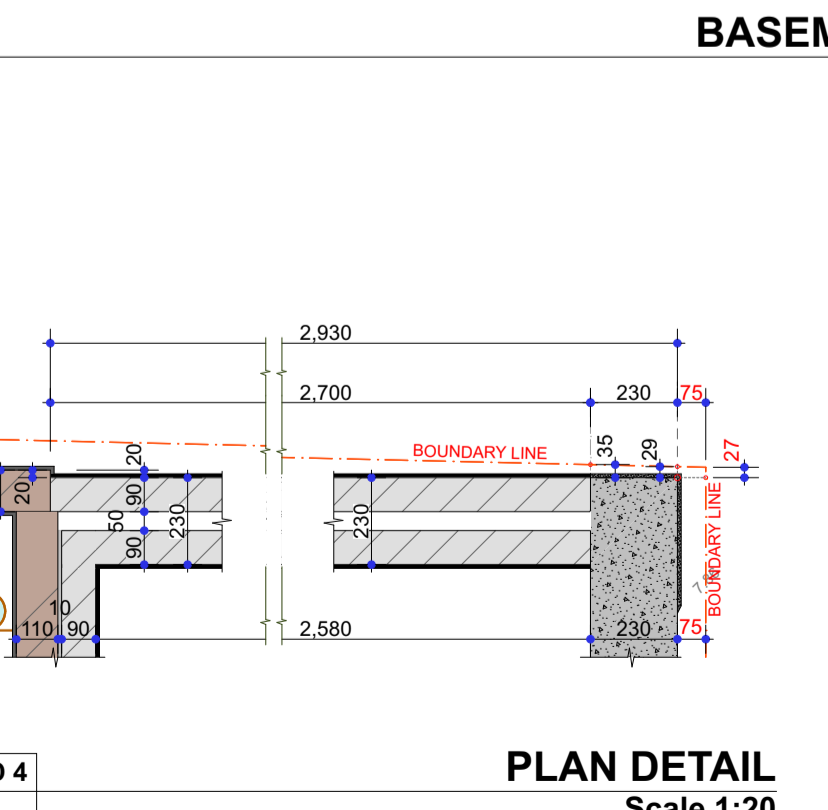
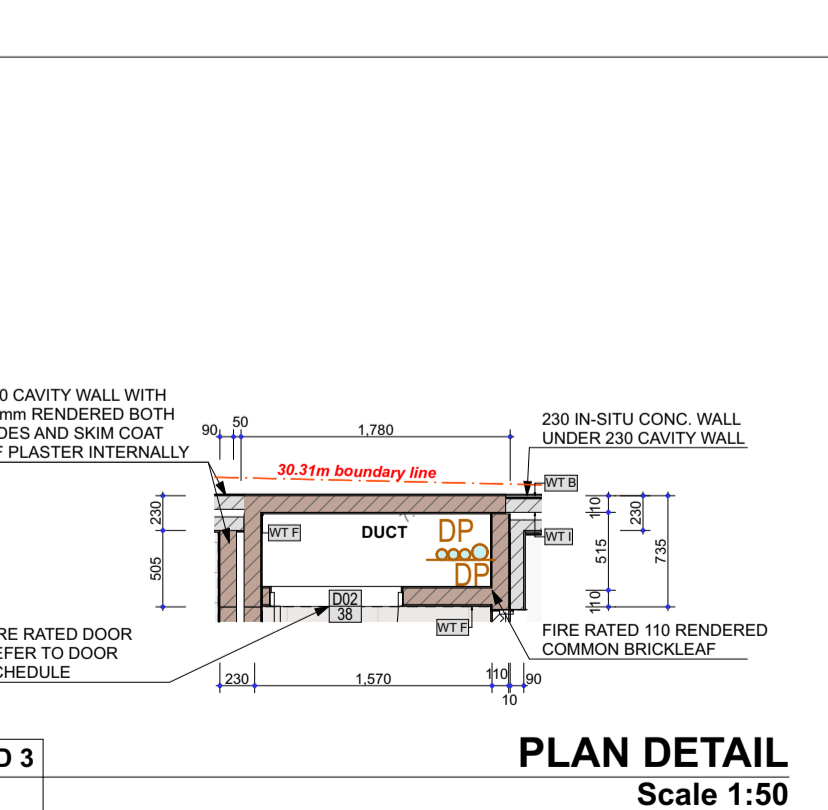
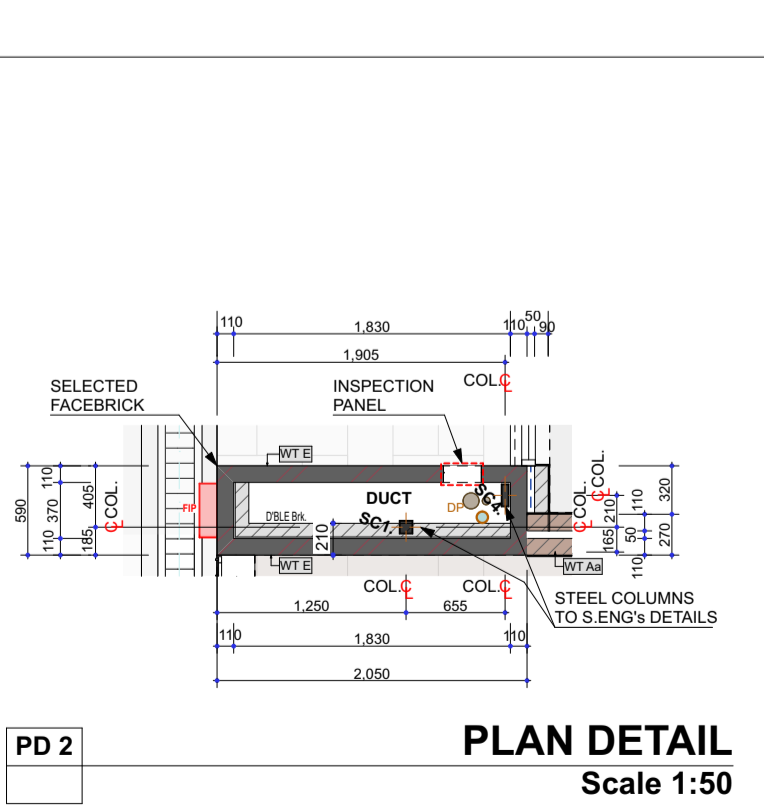
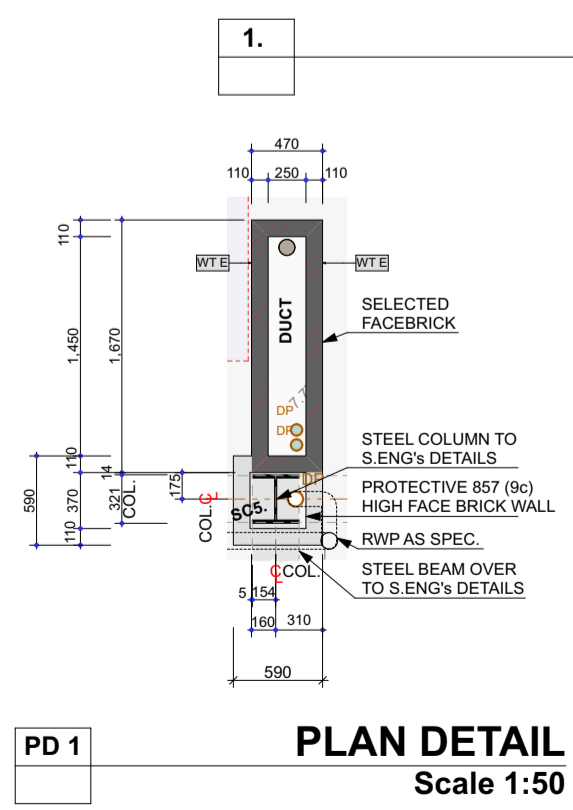
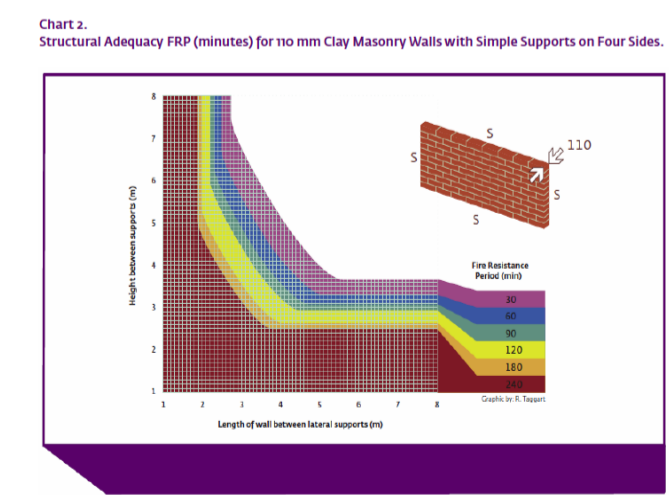
<p>Project: Proposed Mixed Use Development</p>	<p>Client: Great Southern Endeavour Projects Pty Ltd</p>	<p>Address: Lot 20 (#35) Collie Street, Albany</p>	<p>06 18/08/20 ISSUED FOR BUILDING LICENSE</p>	<p>Client:</p>	<p>Drawn: AG/KH/D/T/JG</p>	<p>Date: 3/2/21</p>	<p>Drawing Number:</p>	<p>Job No: C-1627-15</p>
			<p>07 03/02/21 ISSUED FOR COMMENTS</p>		<p>Checked: BT</p>	<p>Scale: AS SHOWN</p>	<p>A01 of A08</p>	<p>Stage / Revision: WD-07</p>
			<p>Rev. Date Item</p>		<p>Issued To</p>			

Collie Street



Duke Street

BASEMENT FLOOR PLAN
Scale 1:100



SYMBOLS LEGEND

EMERGENCY LIGHT	REFER TO ELECTRICAL DRAWINGS
SMOKE ALARM	REFER TO ELECTRICAL DRAWINGS
EXIT LIGHT	REFER TO ELECTRICAL DRAWINGS
EXHAUST FAN	
KITCHEN EXHAUST FAN	
ELECTRICAL HOT WATER UNIT	
NATIONAL BROAD BAND BOX	
NATIONAL BROAD BAND BOX	
SITE MAIN SWITCH BOARD	
LIGHTING LOCATIONS AS PER ELECTRICAL ENGINEERS DRAWINGS	
MECHANICAL EXHAUST FANS LOCATED AND INSTALLED BY CONTRACTOR IN ACCORDANCE WITH THE BCA & AUSTRALIAN STANDARDS.	

GENERAL NOTES - DIMS261 REFERS

OWNER AND BUILDER SHALL COMPLY WITH:

- ALL STATUTORY AUTHORITY LAWS, BCA, AUSTRALIAN STANDARDS, REGULATIONS, RESIDENTIAL DESIGN CODES AND SHALL PRECEDE THESE DRAWINGS.

CONTRACTOR/SUBCONTRACTOR:

- BUILDER TO REQUEST ALL SUBCONTRACTORS, CERTIFICATE OF QUALIFICATIONS AND CERTIFICATE OF COMPLIANCE WITH BCA AND CERTIFIED STANDARDS FOR ALL MATERIALS USED AND METHODS PRACTICES APPLIED.
- BUILDER TO USE AND ORGANISE A SCHEDULE OF CONSULTANTS INSPECTIONS IN ACCORDANCE WITH THE SCHEDULE OF WORKS AND REQUEST THEIR CERTIFICATION OF COMPLIANCE AT COMPLETION OF WORKS.

CONSULTANTS:

- ALL CONSULTANTS TO PROCEED WITH DUE INSPECTIONS DURING AND AT COMPLETION OF CONSTRUCTION WORKS IN ACCORDANCE WITH SCHEDULE OF WORKS, AND SHALL CERTIFY COMPLIANCE PRIOR TO CCC.

ELECTRICAL CONTRACTOR:

- ALL ELECTRICAL CONTRACTORS SUPPLYING MAIN SWITCHBOARD SUSTAINING EMERGENCY EQUIPMENT TO COMPLY WITH AS ASNSZ 3013.

COMPACTION:

- SUBMIT AN ENGINEER APPROVED PENETROMETER TEST OF COMPACTED FILL PRIOR TO CONCRETING STAGE.

PLUMBING:

- TO COMPLY WITH WATER AUTHORITY REQUIREMENTS AND NATIONAL PLUMBING CODE.

TERMITE PROTECTION:

- A SUBNOTICE NOTING THE METHOD USED FOR TERMITE BARRIER SHALL COMPLY WITH THE BCA AND SHALL BE DISPLAYED PROMINENTLY ON THE BUILDING.

STORMWATER:

- ROOF RUNOFF TO BE CONTAINED ON SITE AND DISPOSED TO COUNCIL SATISFACTION.

PAVING:

- DRIVEWAY AND CROSSOVER TO BE CONSTRUCTED WITH A STABLE IMPERVIOUS SURFACE TO PREVENT STAGNATION.

FLASHINGS:

- ALL FLASHINGS AROUND ALL OPENINGS, WALL COLUMNS AND WET AREAS WITH DETAILING TO COMPLY WITH BCA F.

VENTILATION:

- SMALL COMPLIANT WITH SEWERAGE (LIGHTING, VENTILATION AND CONSTRUCTION) REQUIREMENTS. EXHAUST FAN SHALL BE INSTALLED IN THE EXISTING BUILDING AND APPROX. SHALL BE FITTED TO SUIT LOCATION OF ROOF AND CEILING TIMBERS.

MASONRY:

- ALL MASONRY CONSTRUCTION TO COMPLY WITH AS 3700.

LINTELS:

- PROVIDE SUITABLE LINTELS OVER OPENINGS ALL EXTERNAL STEEL LINTELS TO BE NOTED ON DRAWINGS.

EXPOSED TIMBER:

- ALL EXPOSED TIMBER TO BE TREATED TO WEATHER AND/OR AS NOTED ON DRAWINGS.

PINE TIMBER:

- ALL TIMBER TO BE MGP10 GRADE UNLESS NOTED OTHERWISE (U.N.O).

ROOFING BATTENS:

- ALL ROOFING BATTENS TO BE 80mm MAX CTS TO FIRST AND LAST SPAN WITH 110mm MAXIMUM INTERNAL CENTRES.

DOUBLE LAMINATIONS:

- ALL LAMINATIONS TO TIMBER BEAMS AND JOISTS AS PER RELEVANT FRAMING CODES UNLESS NOTED OTHERWISE.

FLOOR, ROOF, CEILING FRAME:

- TO COMPLY WITH AS 1561 RELEVANT FRAMING CODES AND BCA DRAWING DIAGRAMMATICALLY ONLY.

CHECK DIMENSIONS ON SITE:

- TO COMPLY WITH AS 1561 RELEVANT FRAMING CODES AND BCA DRAWING DIAGRAMMATICALLY ONLY.

DRAWINGS AND DETAILS:

- TO BE READ IN CONJUNCTION WITH RELEVANT CONSULTANT DRAWINGS AND SHALL PRECEDE THESE DRAWINGS.

WALLS LEGEND

MASONRY (BASEMENT FLOOR, PART GROUND FLOOR)

WT A	250mm CAVITY WALL w/ SELECTED FACE BRICK EXTERNALLY & PLASTERED BRICK INTERNALLY WITH REFLECTIVE FOIL INSULATION (FRL 90/90/90)
WT Aa	270mm CAVITY WALL w/ RENDERED BRICK BOTH SIDES & SKIN COAT PLASTERED BRICK INTERNALLY WITH REFLECTIVE FOIL INSULATION (FRL 120/120/120)
WT B	230mm CAVITY WALL w/ RENDERED BRICK EXTERNALLY & PLASTERED BRICK INTERNALLY WITH REFLECTIVE FOIL INSULATION (FRL 90/90/90)
WT C	300mm WIDE CONC. CAVITY FILLED RETAINING WALL WITH RENDERED BRICK TO EXPOSED SIDE ONLY
WT Ca	300mm WIDE CONC. CAVITY FILLED RETAINING WALL CLADDED WITH 160mm PLASTERBOARD INTERNAL SIDE ONLY; PAINTED FINISH (110 g/m²)
WT D	190mm WIDE DOUBLE BRICK WALL WITH RENDER FINISH
WT E	110mm SINGLE DOUBLE BRICK LEAF OR CAVITY WALL OF SELECTED FACE BRICK
WT F	110mm COMMON BRICK LEAF WALL PAINT FINISH RENDERED BOTH SIDES (20mm each) (FRL 90/90/90)
WT G	90mm PAINT FINISH SINGLE BRICK LEAF WALL PLASTERED BOTH SIDES (20mm each) (FRL 90/90/90)
WT H	300mm (AT TOP) NATURAL FINISH RECONSTITUTED LIMESTONE EXTERNAL RETAINING WALL TO BE USED AT CAR PARKING
WT I	230mm PAINTED RENDERED FINISH CONCRETE IN-SITU EXTERNAL RETAINING WALL

TIMBER STUDWORK (GROUND & UPPER FLOORS)

WT J	90mm TIMBER STUD FRAMED WALL CLADDED WITH 2x13mm LAYERS OF PYRCHCK (CSR) BOARD BOTH SIDES OF FRAME AND NON-COMBUSTIBLE BATTENS CLADDING EXTERNALLY (174 g/m²) WITH R2.5 SOUNDSCREEN BRADFORD INSULATION & REFLECTIVE FOIL (FRL 90/90/90)
WT K	90mm TIMBER STUD FRAMED WALL CLADDED WITH 2x13mm LAYERS OF PYRCHCK (CSR) BOARD BOTH SIDES OF FRAME AND PAINTED NON-COMBUSTIBLE BATTENS CLADDING EXTERNALLY (174 g/m²) WITH R2.5 SOUNDSCREEN BRADFORD INSULATION & REFLECTIVE FOIL (FRL 90/90/90)
WT L	90mm TIMBER STUD FRAMED WALL CLADDED WITH 2x13mm LAYERS OF PYRCHCK (CSR) BOARD BOTH SIDES OF FRAME AND PAINTED NON-COMBUSTIBLE BATTENS CLADDING EXTERNALLY (174 g/m²) WITH R2.5 SOUNDSCREEN BRADFORD INSULATION & REFLECTIVE FOIL (FRL 90/90/90)
WT M	90mm TIMBER STUD FRAMED WALL CLADDED WITH 2x13mm LAYERS OF PYRCHCK (CSR) BOARD BOTH SIDES OF FRAME AND PAINTED NON-COMBUSTIBLE BATTENS CLADDING EXTERNALLY (174 g/m²) WITH R2.5 SOUNDSCREEN BRADFORD INSULATION & REFLECTIVE FOIL (FRL 90/90/90)
WT N	240mm TIMBER STUD FRAMED WALL CLADDED WITH 2x13mm LAYERS OF PYRCHCK (CSR) BOARD BOTH SIDES OF THE STUD FRAME, TO PROTECT DUCT INTERNAL STUD WALLS (120 g/m²) PROVIDE R2.5 SOUNDSCREEN BRADFORD INSULATION & REFLECTIVE FOIL (FRL 90/90/90)
WT O	90mm TIMBER STUD FRAMED WALL CLADDED WITH 2x13mm LAYERS OF PYRCHCK (CSR) BOARD BOTH SIDES OF THE FRAME, PAINTED FINISH (142 g/m²) (FRL 90/90/90)
WT P	90mm TIMBER STUD FRAMED WALL CLADDED WITH 2x13mm LAYERS OF PYRCHCK (CSR) BOARD BOTH SIDES OF THE FRAME, PAINTED FINISH (142 g/m²) (FRL 90/90/90)
WT Q	90mm TIMBER STUD FRAMED WALL CLADDED WITH 2x13mm LAYERS OF PYRCHCK (CSR) BOARD BOTH SIDES OF THE FRAME, PAINTED FINISH (142 g/m²) (FRL 90/90/90)
WT R	90mm TIMBER STUD FRAMED WALL CLADDED WITH 2x13mm LAYERS OF PYRCHCK (CSR) BOARD BOTH SIDES OF THE FRAME, PAINTED FINISH (142 g/m²) (FRL 90/90/90)

INSULATION NOTES:

- ROOF: ANTI-CON INSULATION UNDER ROOF SHEETING.
- UPPER CEILING: R4.0 BATTENS INSULATION.
- SUSPENDED FLOORS: R2.5 BATTENS BRADFORD SOUNDSCREEN NON-COMBUSTIBLE INSULATION AND REFLECTIVE FOIL. PROVIDE 4515 REGUPOL ACOUSTIC UNDERLAY.
- WATERPROOF ON WET AREAS & BALCONIES.
- 240, 190, 140 TIMBER FLOOR JOISTS AS PER S.ENG'S DETAILS.
- R2.5 SOUNDSCREEN NON-COMBUSTIBLE ACOUSTIC INSULATION.
- 3x16 OR 3x13 PYRCHCK SOFFIT LINING SUSPENDED ON FURRING CHANNELS ON ACOUSTIC MOUNTS.

STUD WALLS GENERALLY: R2.5 BATTENS BRADFORD SOUNDSCREEN NON-COMBUSTIBLE INSULATION AND REFLECTIVE FOIL.

BRICK CAVITY WALLS: REFLECTIVE FOIL.

PIPEWORK AND BOA-GUTTER: PROVIDE ALL PIPEWORK IN FLOOR/CEILING SPACE AND DUCTS WITH 25mm PYRCHCK 4225 ACOUSTIC WRAP TO ACHIEVE Rw + C24 PERFORMANCE.

3m HIGH WALL REFER TO DESIGN FOR MASONRY WALLS FOR FIRE RESISTANCE.

Project: Proposed Mixed Use Development

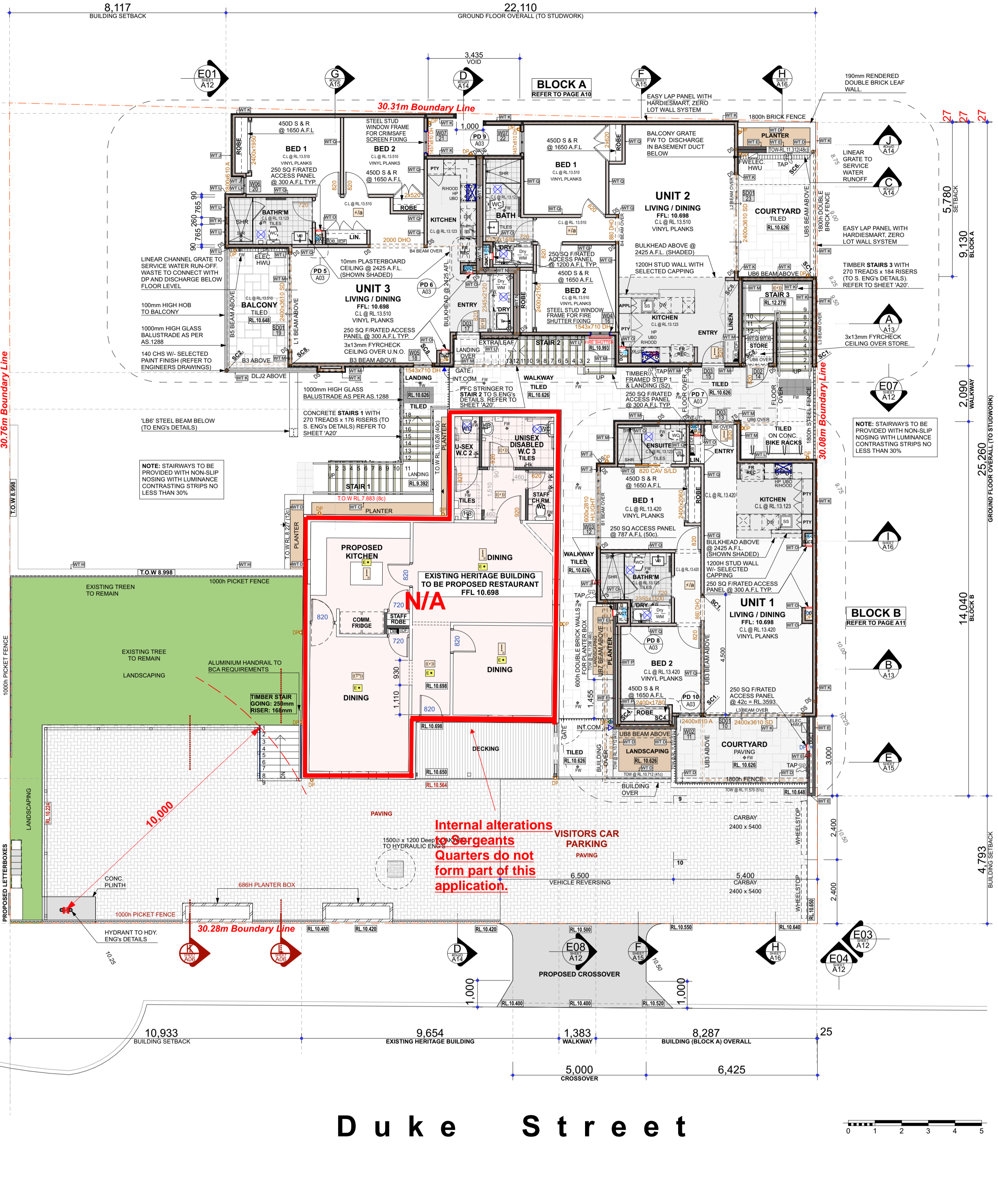
Client: Great Southern Endeavour Projects Pty Ltd

Address: Lot 20 (#35) Collie Street, Albany

06	18/08/20	ISSUED FOR BUILDING LICENSE	CLIENT	Drawn: AG/KH/DT/JG	Date: 3/2/21	Drawing Number: A02 of A08	Job No.: C-1627-15
07	03/02/21	ISSUED FOR COMMENTS	CLIENT	Checked: BT	Scale: AS SHOWN	Stage / Revision: WD-07	
Rev.	Date	Item	Issued To				

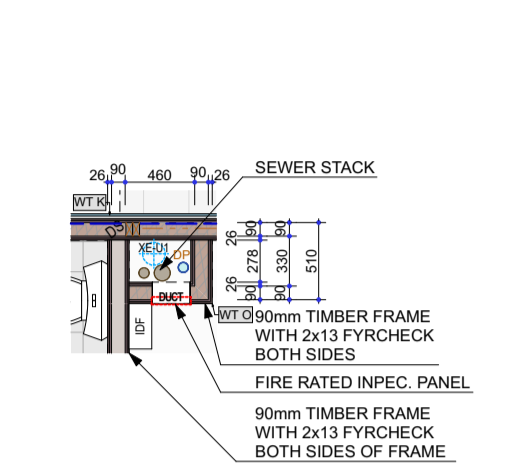
Collie Street

Duke Street

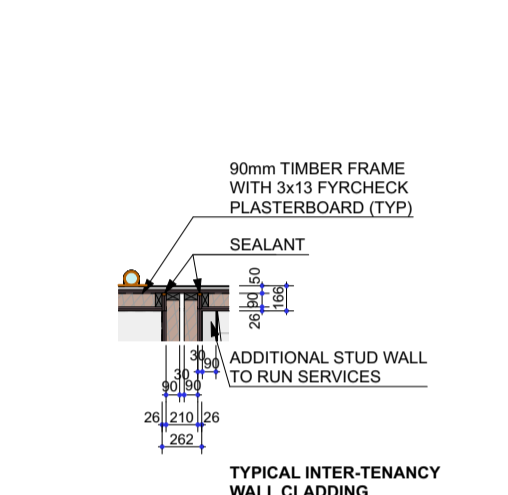


GROUND FLOOR PLAN Scale 1:100

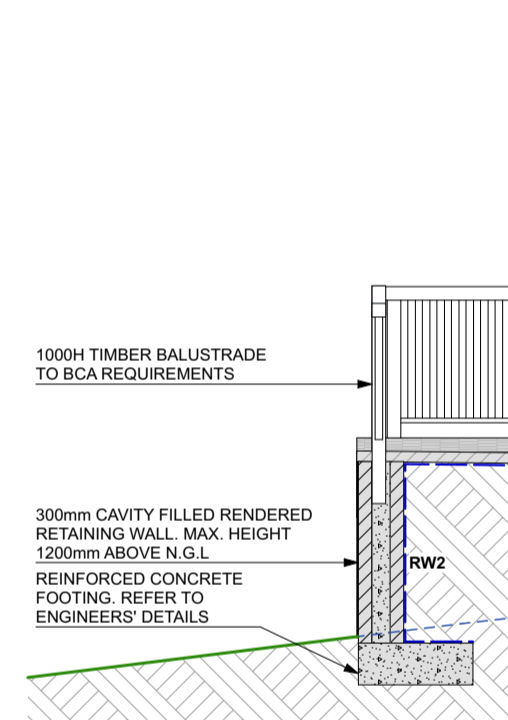
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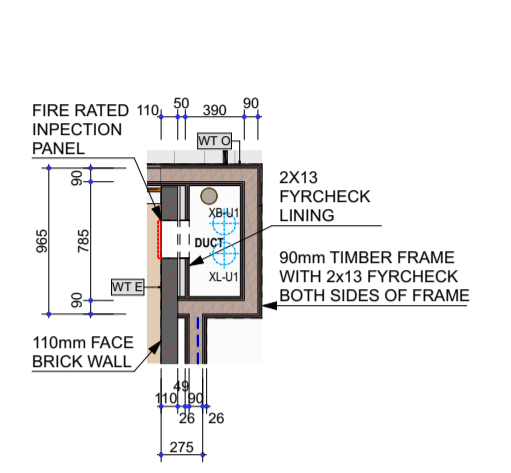
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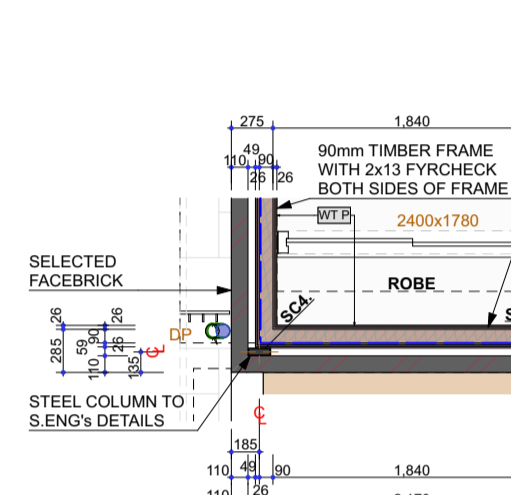
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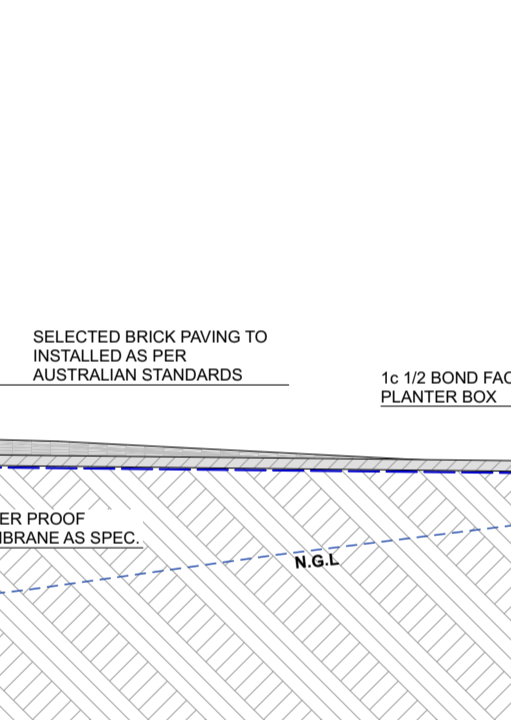
PD 6 PLAN DETAIL Scale 1:50



PD 8 PLAN DETAIL Scale 1:50



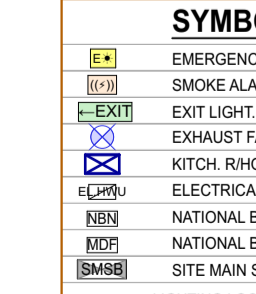
PD 10 PLAN DETAIL Scale 1:50



SECTION K Scale 1:50



SECTION L Scale 1:50



GENERAL NOTES EM DIS261 REFERS

- OWNER AND/OR BUILDER SHALL COMPLY WITH...
CONTRACTOR/SUBCONTRACTOR...
CONSULTANTS...
COMPACTION...
PLUMBING...
TERMITE PROTECTION...
STORMWATER...
PAVING...
FLASHINGS...
VENTILATION...
MASONRY...
LINTELS...
EXPOSED TIMBER...
PINE TIMBER...
ROOFING BATTENS...
DOUBLE LAMINATIONS...
CHECK DIMENSIONS ON SITE...
DRAWINGS AND DETAILS...
WALLS LEGEND...
GATES...
DOORS (SPECIAL)...
WINDOWS NOTE...
FRAMELESS GLASS BALUSTRADE...
DUCTS NOTE...
WET AREA SETDOWN...
SUSPENDED FLOOR COMPONENTS...
INSULATION NOTES...
STUD WALLS GENERALLY...
BRICK CAVITY WALLS...
SYMBOLS LEGEND

Table with columns for Wall Type, Description, and Material/Finish. Includes 'WALLS LEGEND' and 'SYMBOLS LEGEND'.

Project: Proposed Mixed Use Development
Client: Great Southern Endeavour Projects Pty Ltd
Address: Lot 20 (#35) Collie Street, Albany

06 18/08/20 ISSUED FOR BUILDING LICENSE
07 03/02/21 ISSUED FOR COMMENTS

CLIENT: Great Southern Endeavour Projects Pty Ltd
ADDRESS: Lot 20 (#35) Collie Street, Albany

06 18/08/20 ISSUED FOR BUILDING LICENSE
07 03/02/21 ISSUED FOR COMMENTS

CLIENT: CLIENT
Drawing No: A03 of A08
Date: 3/2/21
Scale: AS SHOWN

Job No: C-1627-15
Stage / Revision: WD-07

GENERAL NOTES - DIMS261 REFERS

- OWNER AND/OR BUILDER SHALL COMPLY WITH :-**
 ALL STATUTORY AUTHORITY BY LAWS, BCA, AUSTRALIAN STANDARDS, REGULATIONS, RESIDENTIAL DESIGN CODES AND SHALL PRECEED THESE DRAWINGS.
- CONTRACTOR/SUBCONTRACTOR :-**
 BUILDER TO REQUEST ALL SUBCONTRACTORS, CERTIFICATE OF QUALIFICATIONS AND CERTIFICATE OF COMPLIANCE WITH BCA AND CONSULTANTS STANDARDS FOR ALL MATERIALS USED AND METHODOLOGIES APPLIED.
 BUILDER TO OBTAIN AND ORGANISE A SCHEDULE OF CONSULTANTS INSPECTIONS IN ACCORDANCE WITH THE SCHEDULE OF WORKS AND REQUEST THEIR CERTIFICATION OF CONSTRUCTION COMPLIANCE AT COMPLETION OF WORKS.
- CONSULTANTS :-**
 ALL CONSULTANTS TO PROCEED WITH DUE INSPECTIONS DURING AND AT COMPLETION OF CONSTRUCTION IN ACCORDANCE WITH THE SCHEDULE OF WORKS, AND SHALL CERTIFY COMPLIANCE PRIOR TO CCC.
- ELECTRICAL CONTRACTOR :-**
 ALL ELECTRICAL CONTRACTORS, SUPPLYING MAIN SWITCHBOARD SUSTAINING EMERGENCY EQUIPMENT, TO COMPLY WITH AS/NZS 3013.
- COMPACTION :-**
 SUBMIT AN ENGINEER APPROVED PENETROMETER TEST OF COMPACTED FILL PRIOR TO CONCRETING STAGE.
- PLUMBING :-**
 TO COMPLY WITH WATER AUTHORITY REQUIREMENTS AND NATIONAL PLUMBING CODE.
- TERMITE PROTECTION :-**
 A SUBMIT A NOTE INDICATING THE METHOD USED FOR TERMITE BARRIER SHALL COMPLY WITH THE BCA AND SHALL BE DISPLAYED PROMINENTLY ON THE BUILDING.
- STORMWATER :-**
 ROOF RUNOFF TO BE CONTAINED ON SITE AND DISPOSED TO COUNCIL STRAIGHTENING.
- PAVING :-**
 DRIVEWAY AND CROSSOVER TO BE CONSTRUCTED WITH A STABLE IMPERVIOUS SURFACE TO PREVENT DRAINAGE.
- FLASHINGS :-**
 PROVIDE SUITABLE FLASHINGS AROUND ALL OPENINGS, WALL COLUMNS AND WET AREAS WITH DETAILING TO COMPLY WITH BCA F.
- VENTILATION :-**
 SMALL ROOMS WITH SEWERAGE (LIGHTING, VENTILATION AND CONSTRUCTION) REQUIREMENTS, EXHAUST FAN ONLY AND OTHER CEILING LOCATIONS AND APPROX. SHALL BE FITTED TO SUIT LOCATION OF ROOF AND CEILING TIMBERS.
- MASONRY :-**
 ALL MASONRY CONSTRUCTION TO COMPLY WITH AS 3700.
- INTELS :-**
 PROVIDE SUITABLE INTELTS OVER OPENINGS ALL EXTERNAL STEEL INTELTS TO BE HOT DIP GALVANIZED.
- EXPOSED TIMBER :-**
 ALL EXPOSED TIMBER TO BE TREATED WITH A PENETRATING PRESERVATIVE TO WEATHER AND TO PROTECT FROM INSECTS.
- PINE TIMBER :-**
 ALL TIMBER TO BE MG19 GRADE UNLESS NOTED OTHERWISE (J,N,D).
- ROOFING BATTENS :-**
 SHALLOW ROOFING BATTENS @ 800mm MAX CTS TO FIRST AND LAST SPAN WITH 1150mm MAXIMUM INTERNAL CENTRES.
- DOUBLE LAMINATIONS :-**
 ALL LAMINATIONS TO TIMBER BEAMS AND JOISTS AS PER RELEVANT FRAMING CODES UNLESS NOTED OTHERWISE.
- FLOOR, ROOF, CEILING FRAME :-**
 ALL FLOOR, ROOF AND CEILING FRAMING TO BE CONSTRUCTED IN ACCORDANCE WITH RELEVANT FRAMING CODES AND BCA DRAWING DIAGRAMMATICALLY ONLY.
- CHECK DIMENSIONS ON SITE :-**
 TO BE READ IN CONJUNCTION WITH RELEVANT CONSULTANT DRAWINGS AND SHALL PRECEED THESE DRAWINGS.

WALLS LEGEND

- MASONRY (BASEMENT FLOOR, PART GROUND FLOOR)**
- WT A: 250mm CAVITY WALL w/ SELECTED FACE BRICK EXTERNALLY, PLASTERED BRICK INTERNALLY WITH REFLECTIVE FOIL INSULATION (FRL 90/90/90)
 - WT B: 270mm CAVITY WALL w/ RENDERED BRICK BOTH SIDES & SKIN COAT PLASTERED BRICK INTERNALLY WITH REFLECTIVE FOIL INSULATION (FRL 120/120/120)
 - WT C: 230mm CAVITY WALL w/ RENDERED BRICK EXTERNALLY & PLASTERED BRICK INTERNALLY WITH REFLECTIVE FOIL INSULATION (FRL 90/90/90)
 - WT D: 300mm WIDE CONC. CAVITY FILLED RETAINING WALL WITH RENDERED BRICK TO EXPOSED SIDE ONLY
 - WT E: 300mm WIDE CONC. CAVITY FILLED RETAINING WALL CLADDED WITH 16mm PLASTERBOARD INTERNAL SIDE ONLY; PAINTED FINISH (110 g/m²)
 - WT F: 190mm WIDE DOUBLE BRICK WALL WITH RENDER FINISH
 - WT G: 110mm SINGLE DOUBLE BRICK LEAF OR CAVITY WALL OF SELECTED FACE BRICK
 - WT H: 110mm COMMON BRICK LEAF WALL PAINT FINISH (FRL 90/90/90)
 - WT I: 90mm PAINT FINISH SINGLE BRICK LEAF WALL PLASTERED BOTH SIDES (20mm each) (FRL 90/90/90)
 - WT J: 300mm (AT TOP) NATURAL FINISH RECONCITED LIMESTONE EXTERNAL RETAINING WALL TO BE USED AT CAR PARKING
 - WT K: 230mm PAINTED RENDERED FINISH CONCRETE IN situ EXTERNAL RETAINING WALL
- TIMBER STUDWORK (GROUND & UPPER FLOORS)**
- WTR: 90mm TIMBER STUD FRAMED WALL CLADDED WITH 2x13mm LAYERS OF PYRCHCK (CSR) BOARD BOTH SIDES OF FRAME AND NON-COMBUSTIBLE BATTENS CLADDING EXTERNALLY (174 g/m²) WITH R2.5 SOUNDSCREEN BRADFORD INSULATION & REFLECTIVE FOIL (FRL 90/90/90)
 - WTL: 90mm TIMBER STUD FRAMED WALL CLADDED WITH 2x13mm LAYERS OF PYRCHCK (CSR) BOARD BOTH SIDES OF FRAME AND NON-COMBUSTIBLE BATTENS CLADDING EXTERNALLY (174 g/m²) WITH R2.5 SOUNDSCREEN BRADFORD INSULATION & REFLECTIVE FOIL (FRL 90/90/90)
 - WTM: 90mm TIMBER STUD FRAMED WALL CLADDED WITH 2x13mm LAYERS OF PYRCHCK (CSR) BOARD BOTH SIDES OF FRAME AND NON-COMBUSTIBLE BATTENS CLADDING EXTERNALLY (174 g/m²) WITH R2.5 SOUNDSCREEN BRADFORD INSULATION & REFLECTIVE FOIL (FRL 90/90/90)
 - WTN: 240mm TIMBER STUD FRAMED WALL CLADDED WITH 2x13mm LAYERS OF PYRCHCK (CSR) BOARD BOTH SIDES OF THE STUD FRAME, TO PROTECT DUCT INTERNAL STEEL WALLS (120 g/m²) WITH R2.5 SOUNDSCREEN BRADFORD INSULATION & REFLECTIVE FOIL (FRL 90/90/90)
 - WTP: 90mm TIMBER STUD FRAMED WALL CLADDED WITH 2x13mm LAYERS OF PYRCHCK (CSR) BOARD AND R2.5 SOUNDSCREEN BRADFORD INSULATION & REFLECTIVE FOIL (FRL 90/90/90)
 - WTR: 90mm TIMBER STUD FRAMED WALL CLADDED WITH 16mm PLASTERBOARD BOTH SIDES OF THE FRAME, PAINTED FINISH (110 g/m²)

SYMBOLS LEGEND

- EMERGENCY LIGHT REFER TO ELECTRICAL DRAWINGS
 - SMOKE ALARM REFER TO ELECTRICAL DRAWINGS
 - EXIT LIGHT REFER TO ELECTRICAL DRAWINGS
 - EXHAUST FAN
 - KITCHEN EXHAUST FAN
 - ELECTRICAL HOT WATER UNIT
 - NATIONAL BROAD BAND BOX
 - NATIONAL BROAD BAND BOX
 - SITE MAIN SWITCH BOARD
- NOTES :-**
 - LIGHTING LOCATIONS AS PER ELECTRICAL ENGINEERS DRAWINGS
 - MECHANICAL EXHAUST FANS LOCATED AND INSTALLED BY CONTRACTOR IN ACCORDANCE WITH THE BCA & AUSTRALIAN STANDARDS.



UPPER FLOOR PLAN 1:100

SYMBOLS LEGEND

- EMERGENCY LIGHT REFER TO ELECTRICAL DRAWINGS
- SMOKE ALARM REFER TO ELECTRICAL DRAWINGS
- EXIT LIGHT REFER TO ELECTRICAL DRAWINGS
- EXHAUST FAN
- KITCHEN EXHAUST FAN
- ELECTRICAL HOT WATER UNIT
- NATIONAL BROAD BAND BOX
- NATIONAL BROAD BAND BOX
- SITE MAIN SWITCH BOARD

NOTES :-
 - LIGHTING LOCATIONS AS PER ELECTRICAL ENGINEERS DRAWINGS
 - MECHANICAL EXHAUST FANS LOCATED AND INSTALLED BY CONTRACTOR IN ACCORDANCE WITH THE BCA & AUSTRALIAN STANDARDS.

<p>Project: Proposed Mixed Use Development</p> <p>Client: Great Southern Endeavour Projects Pty Ltd</p> <p>Address: Lot 20 (#35) Colлие Street, Albany</p>	<p>06 18/08/20 ISSUED FOR BUILDING LICENSE</p> <p>07 03/02/21 ISSUED FOR COMMENTS</p> <p>Rev. Date Item</p>	<p>CLIENT</p> <p>CLIENT</p> <p>Issued To</p>	<p>Drawn: AG/KH/DT/JG</p> <p>Checked: BT</p> <p>Scale: AS SHOWN</p>	<p>Date: 3/2/21</p> <p>Drawing Number: A04 of A08</p>	<p>Job No.: C-1627-15</p> <p>Stage / Revision: WD-07</p>
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GENERAL NOTES 261 REFERS

- OWNER AND/OR BUILDER SHALL COMPLY WITH** - ALL STATUTORY AUTHORITY RELEVANT TO THIS PROJECT, INCLUDING BUT NOT LIMITED TO, AUSTRALIAN STANDARDS, REGULATIONS, RESIDENTIAL DESIGN CODES AND ANY PRECEDENT DRAWINGS.
- CONTRACTOR/SUBCONTRACTOR SHALL** - BUILDER TO REQUEST ALL SUBCONTRACTORS, CERTIFICATE OF QUALIFICATIONS AND CERTIFICATE OF COMPLIANCE WITH RELEVANT AUSTRALIAN STANDARDS FOR ALL MATERIALS USED AND METHODS/PRACTICES APPLIED. BUILDER TO LIAISE AND ORGANISE A SCHEDULE OF CONSULTANTS INSPECTIONS IN ACCORDANCE WITH THE SCHEDULE OF WORKS AND REQUEST THEIR CERTIFICATION OF CONSTRUCTION COMPLIANCE AT COMPLETION OF WORKS.
- CONSULTANTS** - ALL CONSULTANTS TO PROCEED WITH DUE DILIGENCE DURING AND AT COMPLETION OF CONSTRUCTION WORKS. ALL CONSULTANTS TO PROVIDE SCHEDULE OF WORKS, AND SHALL CERTIFY COMPLIANCE PRIOR TO COMMENCEMENT OF WORKS.
- ELECTRICAL CONTRACTOR** - ALL ELECTRICAL CONTRACTORS SUPPLYING MAIN SWITCHBOARD SUSTAINING EMERGENCY EQUIPMENT TO COMPLY WITH AS/NZS 3013.
- COMPACTION** - SUBMIT AN ENGINEER APPROVED PENETROMETER TEST OF COMPACTED FILL PRIOR TO CONCRETING STAGE.
- PLUMBING** - TO COMPLY WITH WATER AUTHORITY REQUIREMENTS AND NATIONAL PLUMBING CODE.
- TERMITE PROTECTION** - A SUITABLE METHOD INDICATING THE METHOD USED FOR TERMITE BARRIER SHALL COMPLY WITH THE BCA AND SHALL BE DISPLAYED PROMINENTLY ON THE BUILDING.
- STORMWATER** - ROOF RUNOFF TO BE CONTAINED ON SITE AND DISPOSED TO COUNCIL SATISFACTION.
- PAVING** - DRIVEWAY AND CROSSOVER TO BE CONSTRUCTED WITH A STABLE IMPERVIOUS SURFACE TO COUNCIL REQUIREMENTS.
- FLASHINGS** - PROVIDE SUITABLE FLASHINGS AROUND ALL OPENINGS, WALL COLUMNS AND WEATHERS WITH DETAILING TO COMPLY WITH BCA P.F.
- VENTILATION** - SHALL COMPLY WITH SEWERAGE (LIGHTING, VENTILATION AND CONSTRUCTION) REQUIREMENTS. EXHAUST FAN MUST BE INSTALLED WITH A SUITABLE LOCATION AND SHALL BE FITTED TO SUIT LOCATION OF ROOF AND CEILING TIMBERS.
- MASONRY** - ALL MASONRY CONSTRUCTION TO COMPLY WITH A.S.3700.
- LINTELS** - PROVIDE SUITABLE LINTELS OVER OPENINGS. ALL EXTERNAL STEEL LINTELS TO BE HOT DIP GALVANIZED.
- EXPOSED TIMBER** - ALL SOFTWOODS TO BE TREATED WITH A WEATHER AND ROT RESISTANT PRESERVATIVE.
- PINE TIMBER** - ALL TIMBER TO BE MGP10 GRADE UNLESS NOTED OTHERWISE (U.N.O).
- ROOFING BATTENS** - SHALL BE 40mm WIDE @ 900mm MAX CTS TO FIRST AND LAST SPAN WITH 150mm MAXIMUM INTERNAL CENTRES.
- DOUBLE LAMINATIONS** - CONSTRUCT DOUBLE LAMINATIONS TO TIMBER BEAMS AND JOISTS AS PER RELEVANT FRAMING CODES UNLESS NOTED OTHERWISE.
- FLOOR, ROOF, CEILING FRAME** - TO COMPLY WITH A.S.1684. TIMBER FRAMING CODES AND BCA. DRAWN DIAGRAMMATICALLY ONLY.
- CHECK DIMENSIONS ON SITE** - PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- DRAWINGS AND DETAILS** - TO BE READ IN CONJUNCTION WITH RELEVANT CONSULTANT DRAWINGS AND SHALL PRECEDE THESE DRAWINGS.

WALLS LEGEND

- MASONRY (BASEMENT FLOOR, PART GROUND FLOOR)**
- WT A** 250mm CAVITY WALL w/ SELECTED FACE BRICK EXTERNALLY & PLASTERED INTERNALLY WITH REFLECTIVE FOIL INSULATION (FRL 90/90/90)
- WT AM** 270mm CAVITY WALL w/ RENDERED BRICK BOTH SIDES & 60MM COAT PLASTERED INTERNALLY WITH REFLECTIVE FOIL INSULATION (FRL 120/120/120)
- WT B** 230mm CAVITY WALL w/ RENDERED BRICK EXTERNALLY & PLASTERED INTERNALLY WITH REFLECTIVE FOIL INSULATION (FRL 90/90/90)
- WT C** 300mm WIDE CONC. CAVITY FILLED RETAINING WALL WITH RENDERED EXTERIOR SURFACE ONLY
- WT Ca** 300mm WIDE CONC. CAVITY FILLED RETAINING WALL CLADDED WITH 10mm PLASTERBOARD INTERNAL SIDE ONLY. PAINTED FINISH (110 o/a/s)
- WT D** 190mm WIDE DOUBLE BRICK WALL WITH RENDER FINISH
- WT E** 110mm SINGLE, DOUBLE BRICK LEAF OR CAVITY WALL OF SELECTED FACE BRICK
- WT F** 110mm COMMON BRICK LEAF WALL PAINT FINISH (FRL 90/90/90)
- WT G** 90mm PAINT FINISH SINGLE BRICK LEAF WALL PLASTERED BOTH SIDES (20mm each) (FRL 90/90/90)
- WT H** 300mm AT TOP NATURAL FINISH RECONSTITUTED LIMESTONE EXTERNAL RETAINING WALL TO BE USED AT CAR PARKING
- WT I** 230mm PAINTED RENDERED FINISH CONCRETE INSTU EXTERNAL RETAINING WALL

TIMBER STUDWORK (GROUND & UPPER FLOORS)

- WT J** 90mm TIMBER STUD FRAMED WALL CLADDED WITH 2x13mm LAYERS OF PYRCHICK (CSR) BOARD BOTH SIDES OF THE FRAME AND NON-COMBUSTIBLE BATTENS CLADDING EXTERNALLY (110 o/a/s). WITH R2.5 SOUNDSCREEN BRADFORD INSULATION & REFLECTIVE FOIL (FRL 90/90/90)
- WT K** 90mm TIMBER STUD FRAMED WALL CLADDED WITH 2x13mm LAYERS OF PYRCHICK (CSR) BOARD BOTH SIDES OF THE FRAME AND NON-COMBUSTIBLE BATTENS CLADDING EXTERNALLY (160 o/a/s). WITH R2.5 SOUNDSCREEN BRADFORD INSULATION & REFLECTIVE FOIL (FRL 90/90/90)
- WT L** 90mm TIMBER STUD FRAMED WALL CLADDED WITH 2x13mm LAYERS OF PYRCHICK (CSR) BOARD BOTH SIDES OF THE FRAME AND NON-COMBUSTIBLE BATTENS CLADDING EXTERNALLY (160 o/a/s). WITH R2.5 SOUNDSCREEN BRADFORD INSULATION & REFLECTIVE FOIL (FRL 90/90/90)
- WT M** 90mm TIMBER STUD FRAMED WALL CLADDED WITH 2x13mm LAYERS OF PYRCHICK (CSR) BOARD BOTH SIDES OF THE FRAME AND NON-COMBUSTIBLE BATTENS CLADDING EXTERNALLY (110 o/a/s). WITH R2.5 SOUNDSCREEN BRADFORD INSULATION & REFLECTIVE FOIL (FRL 90/90/90)
- WT N** 200mm TIMBER STUD FRAMES WALL CLADDED WITH 2x13mm LAYERS OF PYRCHICK (CSR) BOARD BOTH SIDES OF THE TENACY FRAME. SEPARATED BY A 20mm CENTRAL CAVITY (92 o/a/s). PROVIDE R2.5 SOUNDSCREEN BRADFORD INSULATION & REFLECTIVE FOIL (FRL 90/90/90)
- WT O** 90mm TIMBER STUD FRAMED WALL CLADDED WITH 2x13mm LAYERS OF PYRCHICK (CSR) BOARD ON BOTH SIDES OF THE STUD FRAME. TO PROTECT DUCT INTERNAL STUD WALLS (125 o/a/s). PROVIDE R2.5 SOUNDSCREEN BRADFORD INSULATION & REFLECTIVE FOIL (FRL 90/90/90)
- WT P** 90mm TIMBER STUD FRAMED WALL CLADDED WITH 2x13mm LAYERS OF PYRCHICK (CSR) BOARD AND R2.5 SOUNDSCREEN BRADFORD INSULATION & REFLECTIVE FOIL (FRL 90/90/90)
- WT Q** 90mm TIMBER STUD FRAMED WALL CLADDED WITH 2x13mm LAYERS OF PYRCHICK (CSR) BOARD AND R2.5 SOUNDSCREEN BRADFORD INSULATION & REFLECTIVE FOIL (FRL 90/90/90)
- WT R** 90mm TIMBER STUD FRAMED WALL CLADDED WITH 19mm PLASTERBOARD BOTH SIDES OF THE FRAME. PAINTED FINISH (110 o/a/s)
- EXT.** 150mm BATTEN FOR OUTER CLADDING AT WALKWAY. PROVIDE 3mm FRICKER AS ACROUSTIC MOUNT FOR ALL OUTER CLADDING BATTENS TO BE USED IN WALLS FRONTING THE PUBLIC WALKWAY AREA

ANTICON TO U/S OF ROOF:

- To comply with AS/NZS 4200 Parts 1 and 2)
 - SHALL BE LOCATED ON TOP OF THE ROOF FRAMING.
 - SHALL COVER THE ENTIRE ROOF INCLUDING RIDGES AND VALLEYS.
 - ANY GAP GREATER THAN 3mm SHALL BE SEALED AT

DUCTS NOTE:

- PROVIDE ALL PIPEWORK PENETRATING FIRE RATED SUSPENDED FLOORS WITH PROMAT OR SIMILAR FIRE RATED COLLARS OR FIRE RATED FLOOR SEALANTS.
- PROVIDE WATERTIGHT SEALS TO ALL PIPEWORK PENETRATING ROOF SHEETING TO COMPLY WITH BCA.

ROOF PENETRATIONS LEGEND

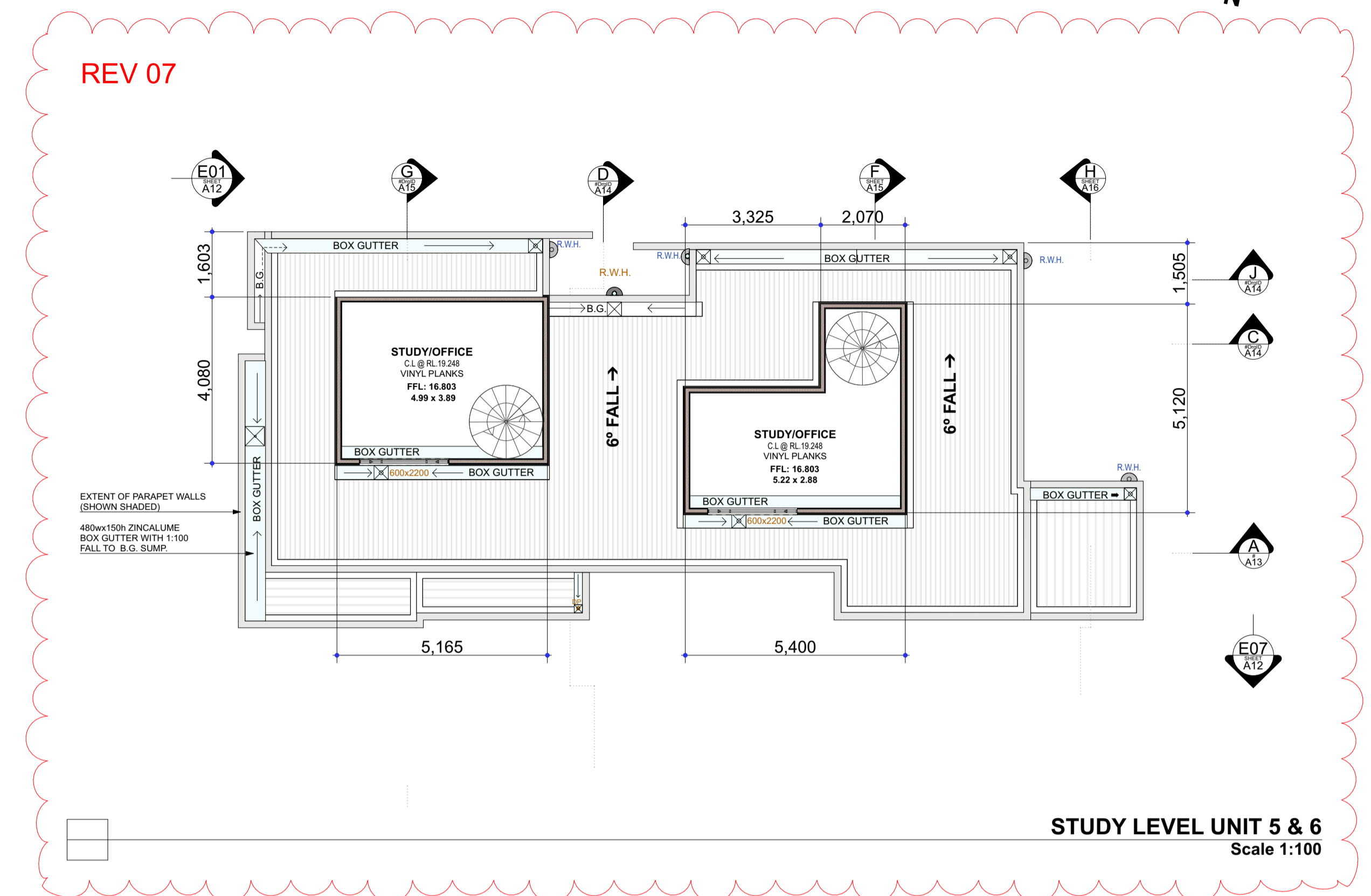
- EXH1** EXHAUST FAN BATH - UNIT NUMBER
- EXH2** EXHAUST FAN KITCHEN - UNIT NUMBER
- EXH3** EXHAUST FAN DRY - UNIT NUMBER
- SEW** SEWER - UNIT NUMBER
- GUT** GUTTER SUMP & RWP AS NOTED
- RWH** RAIN WATER HEAD.

ROOF NOTES:

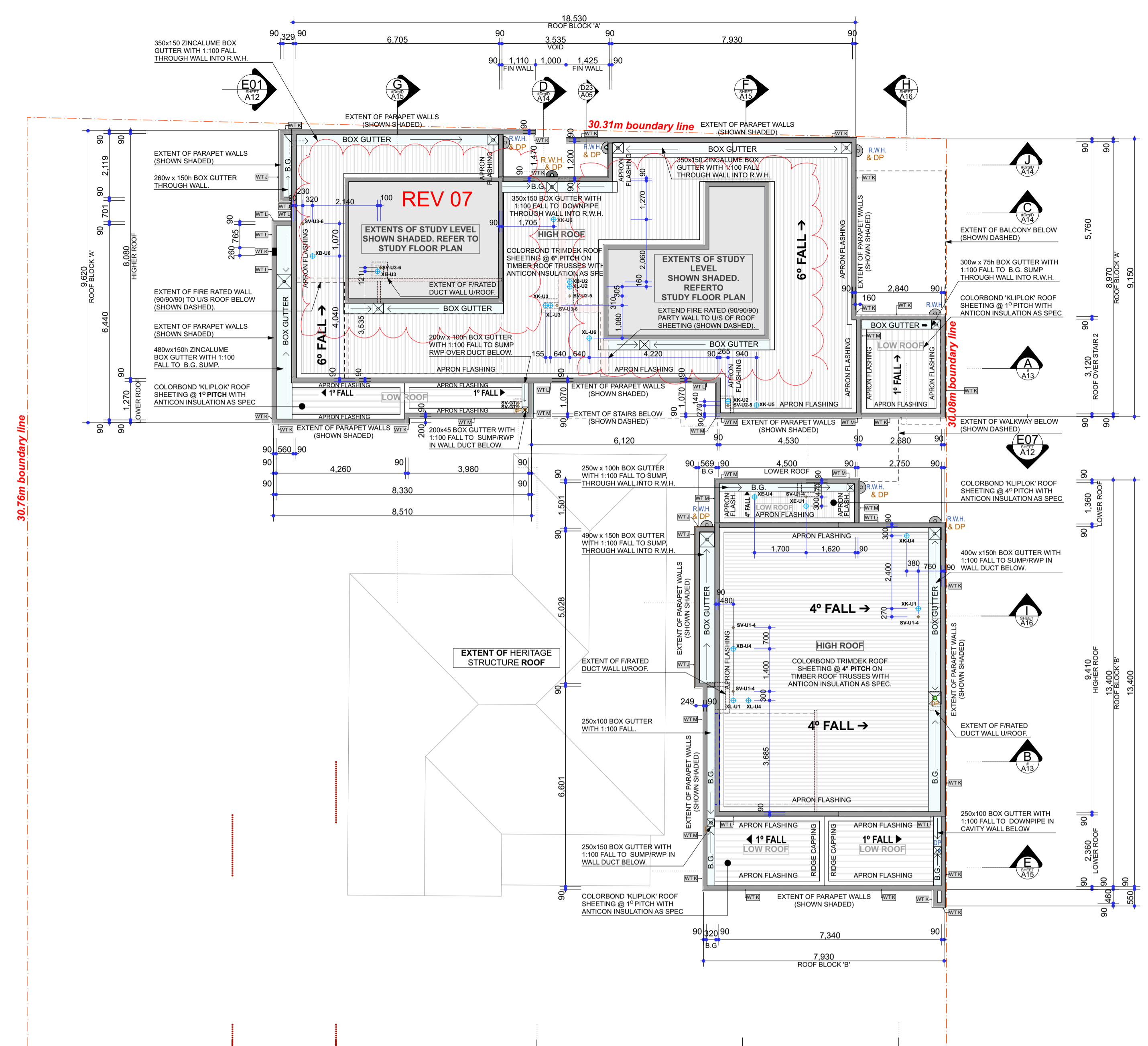
- 1. ALL ROOF TO BE COLORBOND SHEETING AS NOTED ON THE DRAWINGS WITH ANTICON INSULATION UNDER AND COMPRESSED AT ITS EDGES.
- 2. ALL ROOF PENETRATION TO BE BACK-SEALED WATER TIGHT TO COMPLY WITH BCA AND AUSTRALIAN STANDARDS.
- 3. ALL ROOF PENETRATION NON-COMBUSTIBLE POWDERCOATED METAL PIPES AND COWLS TO MATCH ROOF SHEETING.
- 3. INTER-TENACY WALL TO EXTEND TO THE UNDER SIDE OF ROOF SHEETING WITH FIRE SEALED TOP AND FIRE BLANKET OVERLAPPING 300mm INTO EACH TENACY

ROOF NOTES:

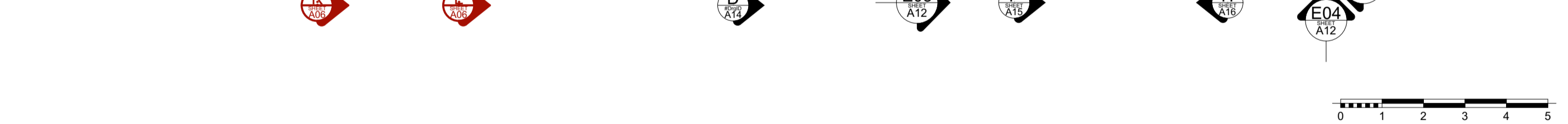
- COLORBOND ROOF & ACCESSORIES (as per AS 1562.1);
- COLORBOND CAPPING & FLASHINGS, ROOF INSULATION, ANTICON INSULATION U/ROOF.
- COLORBOND EXTERNAL RWP's
- PVC INTERNAL RWP's
- ZINCALUME GUTTERS AND SUMPS.
- NON-COMBUSTIBLE POWDER COATED FLUMES & COWLS.



STUDY LEVEL UNIT 5 & 6
Scale 1:100



ROOF PLAN
Scale 1:100



ROOF PLAN
Scale 1:100

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 WA 6000
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 www.techoffice.com.au

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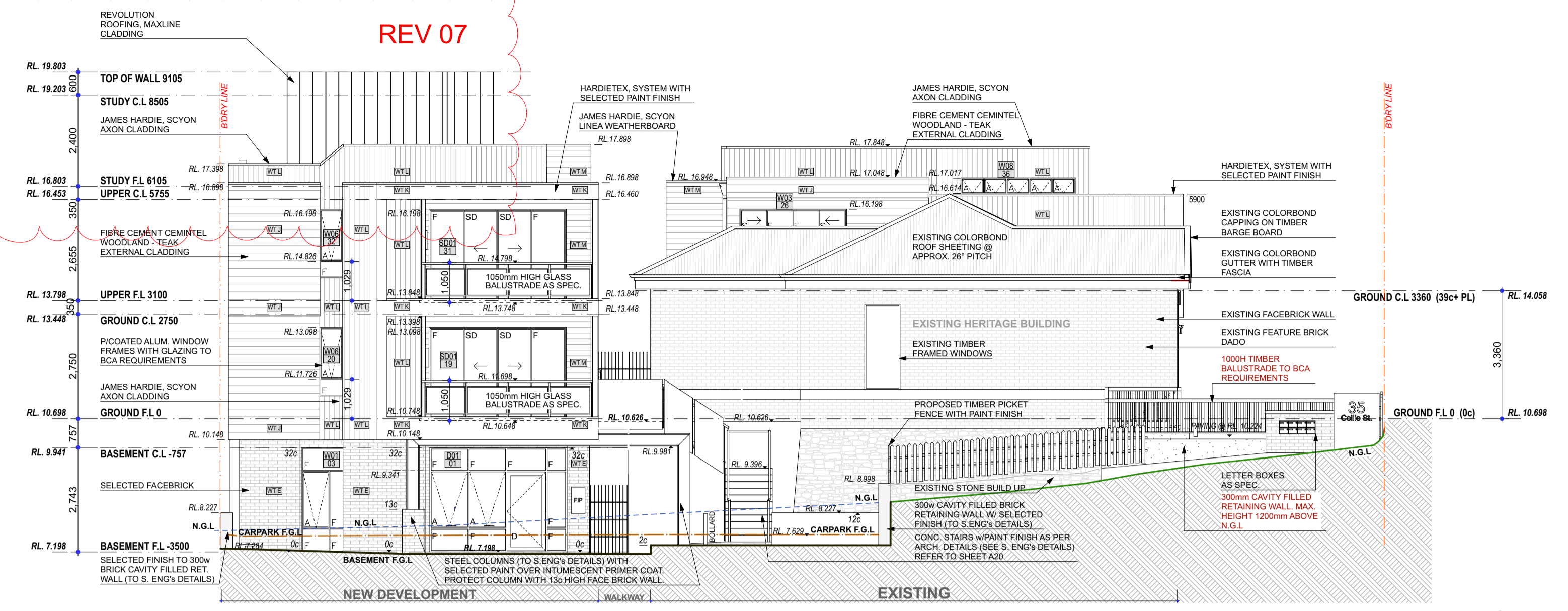
Project:
Proposed Mixed Use Development

Client:
Great Southern Endeavour Projects Pty Ltd

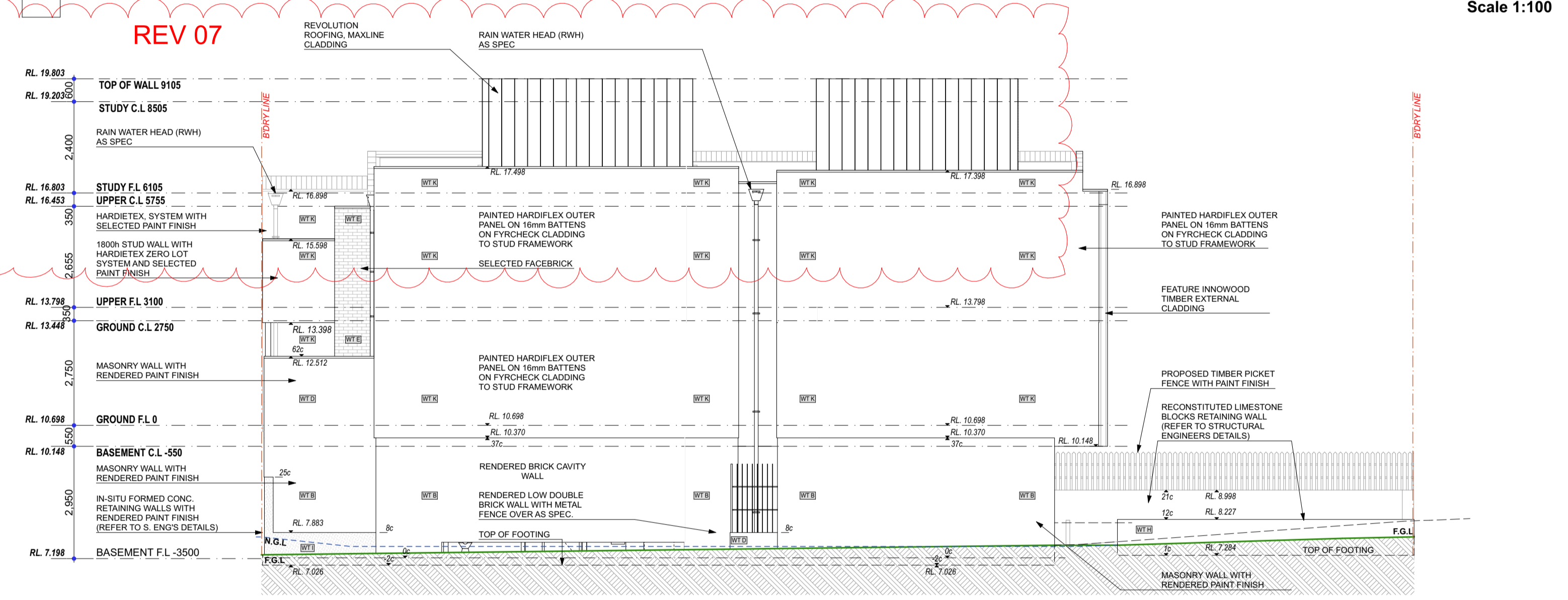
Address:
Lot 20 (#35) Collie Street, Albany

06	18/08/20	ISSUED FOR BUILDING LICENSE	CLIENT
07	03/02/21	ISSUED FOR COMMENTS	CLIENT
Rev.	Date	Item	Issued To

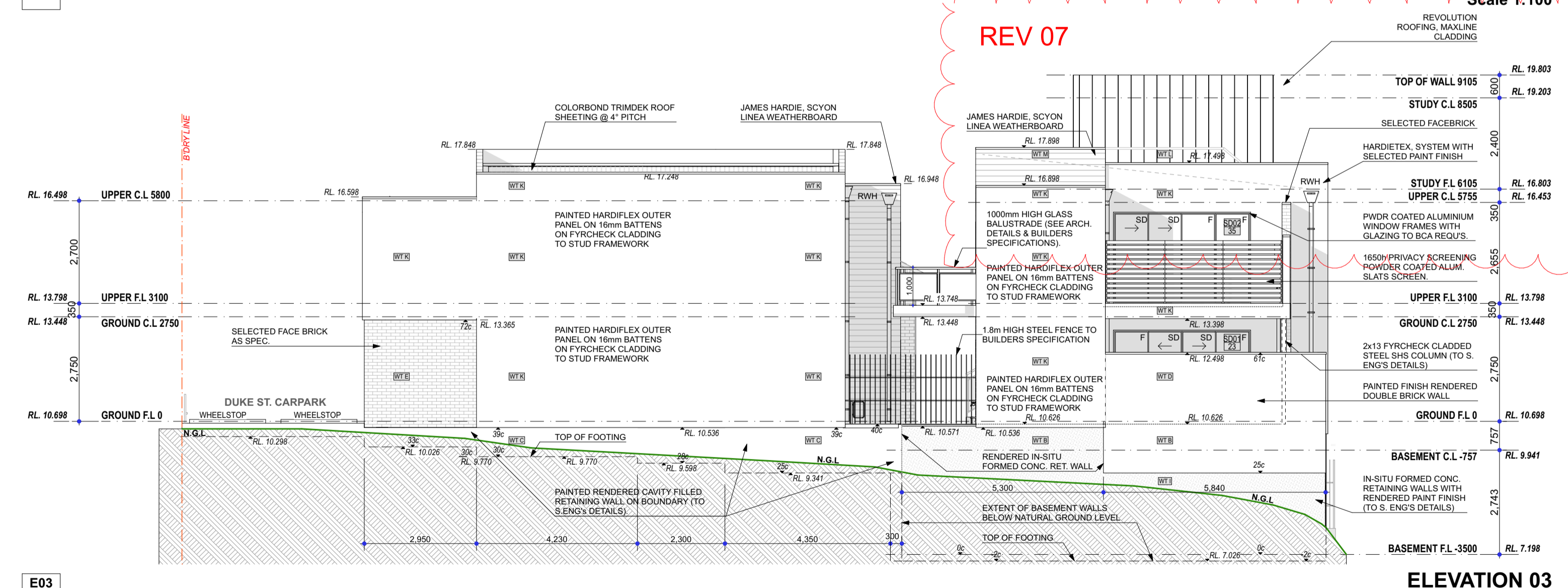
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Checked:	BT	Scale:	AS SHOWN	Stage / Revision:	WD-07		



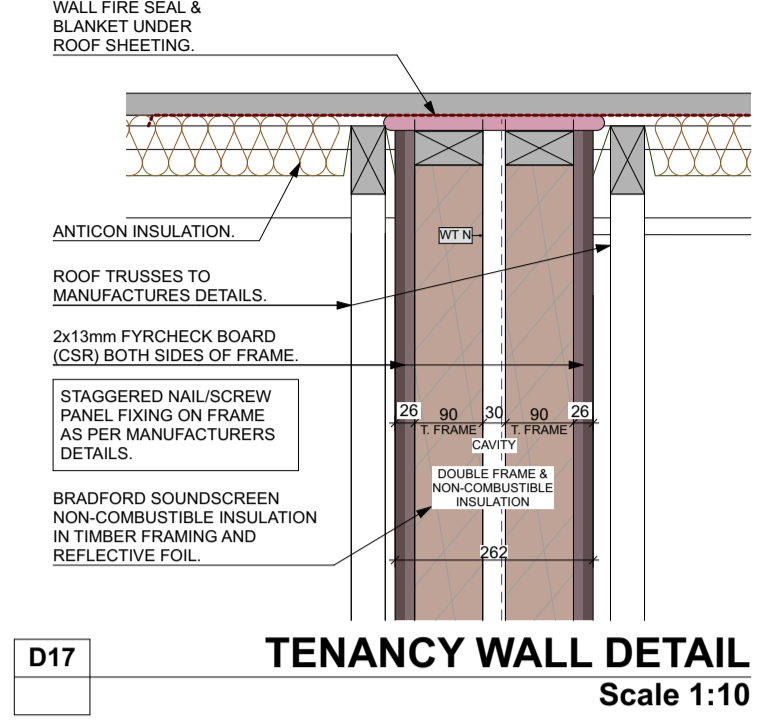
ELEVATION 01
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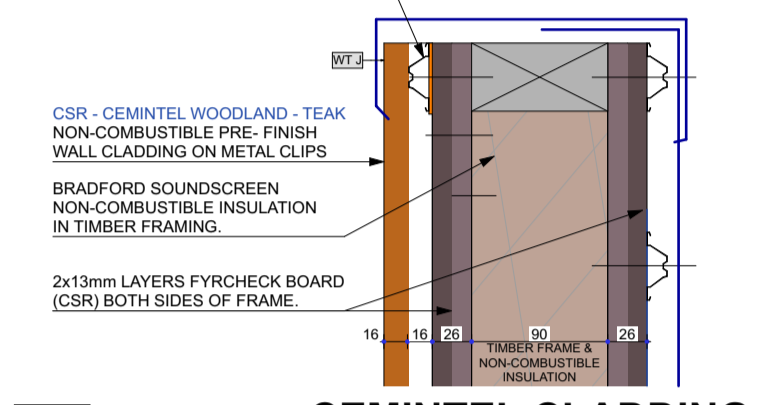
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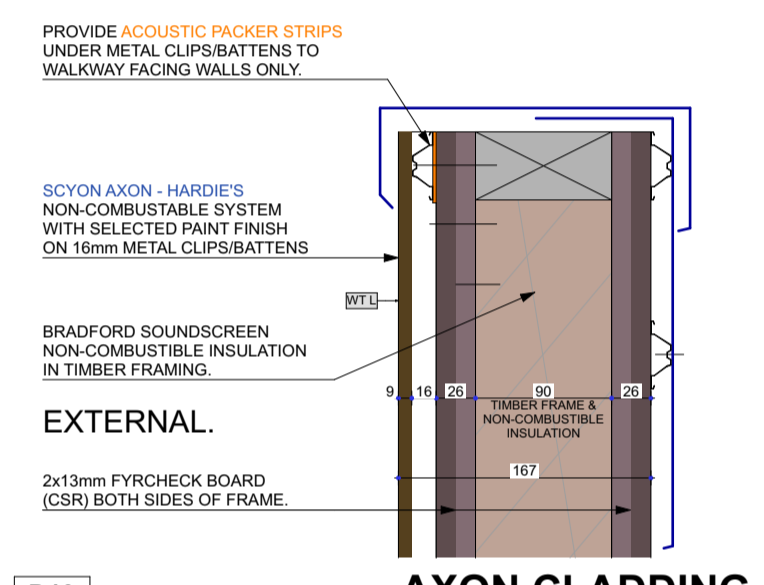
ELEVATION 03
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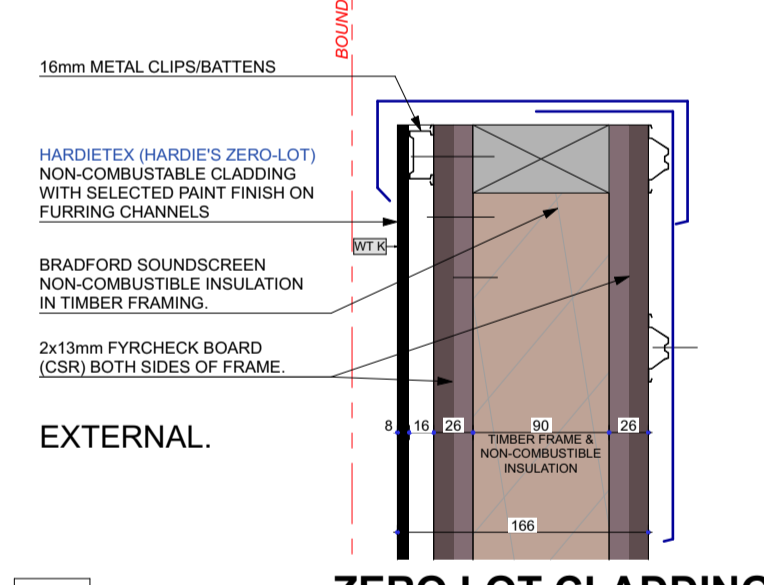
D17 TENANCY WALL DETAIL
Scale 1:10



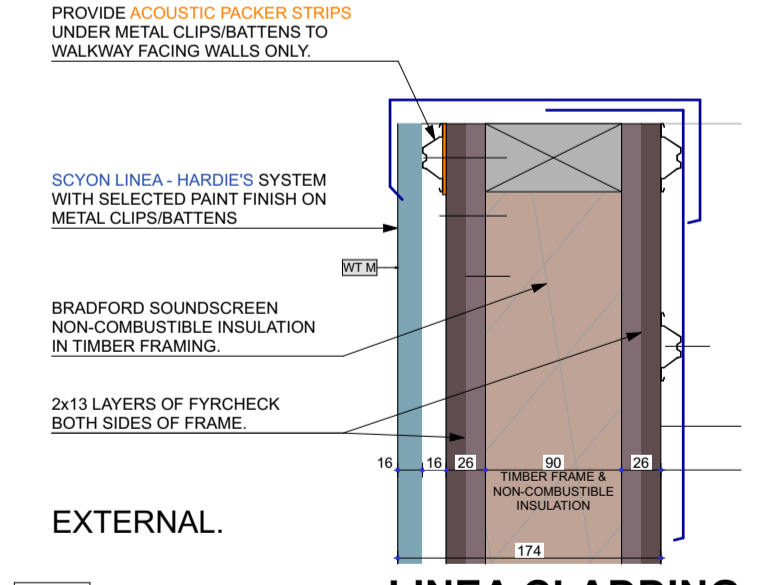
D18 CEMENTEL CLADDING
Scale 1:5



D19 AXON CLADDING
Scale 1:5



D20 ZERO LOT CLADDING
Scale 1:5



D21 LINEA CLADDING
Scale 1:5

GENERAL NOTES - DIS261 REFERS

- OWNER AND/OR BUILDER SHALL COMPLY WITH :-**
ALL STATUTORY AUTHORITY RELEVANT TO THIS PROJECT, INCLUDING BUILDING REGULATIONS, RESIDENTIAL DESIGN CODES AND SHALL PRECEED THESE DRAWINGS.
- CONTRACTOR/SUBCONTRACTOR :-**
BUILDER TO REQUEST ALL SUBCONTRACTORS, CERTIFICATE OF QUALIFICATIONS AND CERTIFICATE OF COMPLIANCE WITH BCA AND STANDARDS FOR ALL MATERIALS USED AND METHODOLOGIES APPLIED. BUILDER TO USE AND ORGANISE A SCHEDULE OF CONSULTANTS INSPECTIONS IN ACCORDANCE WITH THE SCHEDULE OF WORKS AND REQUEST THEIR CERTIFICATION OF CONSTRUCTION COMPLIANCE AT COMPLETION OF WORKS.
- CONSULTANTS :-**
ALL CONSULTANTS TO PROCEED WITH DUE INSPECTIONS DURING AND AT COMPLETION OF CONSTRUCTION WORKS IN ACCORDANCE WITH SCHEDULE OF WORKS AND SHALL CERTIFY COMPLIANCE PRIOR TO CCC.
- ELECTRICAL CONTRACTOR :-**
ALL ELECTRICAL CONTRACTORS SUPPLYING MAIN SWITCHBOARD SUSTAINING EMERGENCY EQUIPMENT TO COMPLY WITH AS AS2013.
- COMPACTION :-**
SUBMIT AN ENGINEER APPROVED PENETROMETER TEST OF COMPACTED FILL PRIOR TO CONCRETING STAGE.
- PLUMBING :-**
TO COMPLY WITH WATER AUTHORITY REQUIREMENTS AND NATIONAL PLUMBING CODE.
- TERMITE PROTECTION :-**
A SUBMITTER'S NOTE INDICATING THE METHOD USED FOR TERMITE BARRIER SHALL COMPLY WITH THE BCA AND SHALL BE DISPLAYED PROMINENTLY ON THE BUILDING.
- STORMWATER :-**
ROOF RUNOFF TO BE CONTAINED ON SITE AND DISPOSED TO COUNCIL COLLECTION.
- PAVING :-**
DRIVEWAY AND CROSSOVER TO BE CONSTRUCTED WITH A STABLE IMPERVIOUS SURFACE TO BE NOTIFIED TO COUNCIL.
- FLASHINGS :-**
ALL FLASHINGS ABOVE ALL OPENINGS, WALL COLLARS AND WET AREAS WITH DETAILING TO COMPLY WITH BCA F.
- VENTILATION :-**
SMALL COMPARTMENTS (BATHROOMS, TOILETS, VANITIES, EXHAUST FAN ROOMS, LIGHTING, VENTILATION AND CONSTRUCTION) REQUIREMENTS. EXHAUST FAN SHALL COMPLY WITH ALL RELEVANT STANDARDS AND APPROX. SHALL BE FITTED TO SUIT LOCATION OF ROOF AND CEILING DETAILS.
- MASONRY :-**
ALL MASONRY CONSTRUCTION TO COMPLY WITH AS 3700.
- INTELS :-**
PROVIDE SUITABLE INTELS OVER OPENINGS. ALL EXTERNAL STEEL INTELS TO BE NOTIFIED TO COUNCIL.
- EXPOSED TIMBER :-**
ALL EXPOSED TIMBER TO BE TREATED WITH PRESERVATIVE TO WEATHER AND TO PROTECT FROM GALVANISATION.
- PINE TIMBER :-**
ALL TIMBER TO BE M10P GRADE UNLESS NOTED OTHERWISE (U.N.O).
- ROOFING BATTENS :-**
SHALL BE 100mm x 18mm x 800mm MAX CTS TO FIRST AND LAST SPAN WITH 1150mm MAXIMUM INTERNAL CENTRES.
- DOUBLE LAMINATIONS :-**
CONSTRUCT DOUBLE LAMINATIONS TO TIMBER BEAMS AND JOISTS AS PER RELEVANT FRAMING CODES UNLESS NOTED OTHERWISE.
- FLOOR, ROOF, CEILING FRAME :-**
TO COMPLY WITH AS 1684 FRAMING CODES AND BCA DRAWN DIAGRAMMATICALLY ONLY.
- CHECK DIMENSIONS ON SITE :-**
TO BE READ IN CONJUNCTION WITH RELEVANT CONSULTANT DRAWINGS AND SHALL PRECEED THESE DRAWINGS.

WALLS LEGEND

- MASONRY (BASEMENT FLOOR, PART GROUND FLOOR)**
- | | |
|-------|---|
| WT A | 250mm CAVITY WALL w/ SELECTED FACE BRICK EXTERNALLY PLASTERED BRICK INTERNALLY WITH REFLECTIVE FOIL INSULATION (FRL 90/90/90) |
| WT A2 | 270mm CAVITY WALL w/ RENDERED BRICK BOTH SIDES & SKIN COAT PLASTERED BRICK INTERNALLY WITH REFLECTIVE FOIL INSULATION (FRL 120/120/120) |
| WT B | 230mm CAVITY WALL w/ RENDERED BRICK EXTERNALLY & PLASTERED BRICK INTERNALLY w/ REFLECTIVE FOIL INSULATION (FRL 90/90/90) |
| WT C | 300mm WIDE CONC. CAVITY FILLED RETAINING WALL WITH RENDERED BRICK TO EXPOSED SIDE ONLY |
| WT CA | 300mm WIDE CONC. CAVITY FILLED RETAINING WALL CLADDED WITH 16mm PLASTERBOARD INTERNAL SIDE ONLY; PAINTED FINISH (110 g/m²) |
| WT D | 190mm WIDE DOUBLE BRICK WALL WITH RENDER FINISH |
| WT E | 110mm SINGLE DOUBLE BRICK LEAF OR CAVITY WALL OF SELECTED FACE BRICK |
| WT F | 110mm COMMON BRICK LEAF WALL PAINT FINISH (FRL 90/90/90) |
| WT G | 90mm PAINT FINISH SINGLE BRICK LEAF WALL PLASTERED BOTH SIDES (20mm each) (FRL 90/90/90) |
| WT H | 300mm (AT TOP) NATURAL FINISH RETAINING WALL CLADDED WITH 16mm PLASTERBOARD INTERNAL SIDE ONLY; PAINTED FINISH (110 g/m²) |
| WT I | 230mm PAINTED RENDERED FINISH CONCRETE INSTU EXTERNAL RETAINING WALL |

TIMBER STUDWORK (GROUND & UPPER FLOORS)

- | | |
|------|--|
| WT J | 90mm TIMBER STUD FRAMED WALL CLADDED WITH 2x13mm LAYERS OF FYRCHECK (CSR) BOARD BOTH SIDES OF FRAME; AND NON-COMBUSTIBLE BATTENS CLADDING EXTERNALLY (174 g/m²); WITH R2.5 SOUNDSCREEN BRADFORD INSULATION & REFLECTIVE FOIL (FRL 90/90/90) |
| WT K | 90mm TIMBER STUD FRAMED WALL CLADDED WITH 2x13mm LAYERS OF FYRCHECK (CSR) BOARD BOTH SIDES OF FRAME; AND NON-COMBUSTIBLE BATTENS CLADDING EXTERNALLY (174 g/m²); WITH R2.5 SOUNDSCREEN BRADFORD INSULATION & REFLECTIVE FOIL (FRL 90/90/90) |
| WT L | 90mm TIMBER STUD FRAMED WALL CLADDED WITH 2x13mm LAYERS OF FYRCHECK (CSR) BOARD BOTH SIDES OF FRAME; AND NON-COMBUSTIBLE BATTENS CLADDING EXTERNALLY (174 g/m²); WITH R2.5 SOUNDSCREEN BRADFORD INSULATION & REFLECTIVE FOIL (FRL 90/90/90) |
| WT M | 90mm TIMBER STUD FRAMED WALL CLADDED WITH 2x13mm LAYERS OF FYRCHECK (CSR) BOARD BOTH SIDES OF FRAME; AND NON-COMBUSTIBLE BATTENS CLADDING EXTERNALLY (174 g/m²); WITH R2.5 SOUNDSCREEN BRADFORD INSULATION & REFLECTIVE FOIL (FRL 90/90/90) |
| WT N | 240mm TIMBER STUD FRAMED WALL CLADDED WITH 2x13mm LAYERS OF FYRCHECK (CSR) BOARD BOTH SIDES OF FRAME; AND NON-COMBUSTIBLE BATTENS CLADDING EXTERNALLY (174 g/m²); WITH R2.5 SOUNDSCREEN BRADFORD INSULATION & REFLECTIVE FOIL (FRL 90/90/90) |
| WT O | 90mm TIMBER STUD FRAMED WALL CLADDED WITH 2x13mm LAYERS OF FYRCHECK (CSR) BOARD BOTH SIDES OF FRAME; AND NON-COMBUSTIBLE BATTENS CLADDING EXTERNALLY (174 g/m²); WITH R2.5 SOUNDSCREEN BRADFORD INSULATION & REFLECTIVE FOIL (FRL 90/90/90) |
| WT P | 90mm TIMBER STUD FRAMED WALL CLADDED WITH 2x13mm LAYERS OF FYRCHECK (CSR) BOARD BOTH SIDES OF FRAME; AND NON-COMBUSTIBLE BATTENS CLADDING EXTERNALLY (174 g/m²); WITH R2.5 SOUNDSCREEN BRADFORD INSULATION & REFLECTIVE FOIL (FRL 90/90/90) |
| WT Q | 90mm TIMBER STUD FRAMED WALL CLADDED WITH 2x13mm LAYERS OF FYRCHECK (CSR) BOARD BOTH SIDES OF FRAME; AND NON-COMBUSTIBLE BATTENS CLADDING EXTERNALLY (174 g/m²); WITH R2.5 SOUNDSCREEN BRADFORD INSULATION & REFLECTIVE FOIL (FRL 90/90/90) |
| WT R | 90mm TIMBER STUD FRAMED WALL CLADDED WITH 2x13mm LAYERS OF FYRCHECK (CSR) BOARD BOTH SIDES OF FRAME; AND NON-COMBUSTIBLE BATTENS CLADDING EXTERNALLY (174 g/m²); WITH R2.5 SOUNDSCREEN BRADFORD INSULATION & REFLECTIVE FOIL (FRL 90/90/90) |

- DIMENSIONS NOTE:-**
REFER TO SHEETS A08, A10 & A11 FOR ALL DIMENSION PLANS.
- ALTERATIONS & ADDITIONS NOTES:-**
- ARCHITECTURAL MEASUREMENTS TO AN EXISTING BUILDING ARE SUBJECT TO AN ON-SITE MEASURE BY BUILDER FOR CONFIRMATION PURPOSES.
- THE BUILDER IS REQUIRED TO DOUBLE CHECK & CONFIRM PROPOSED SIZES OF NEW DOORS & WINDOW FRAMES IN THE EXISTING WALLS PRIOR TO COMMENCE CONSTRUCTION/ORDERING WITH A RE-MEASURE OF THE EXISTING BUILDING WHERE REQUIRED TO ENSURE THE CORRECT SIZE HAS BEEN NOMINATED.**
- LOAD BEARING WALLS:-**
ALL GROUND FLOOR FRAMED WALLS TO BE LOAD BEARING WALLS. REFER TO S.ENG'S DETAILS.
- CLADDING NOTE:-**
- BUILDER TO ALLOW FOR CLADDING FINISHES FOR ALL SETOUT & SETBACK MEASUREMENTS.
- OUTER CLADDING NOTE:-**
EXTERNAL CLADDING APPLIED TO THE OUTSIDE OF FYRCHECK IS TO BE WITH STAGGERED FIXINGS TO THE STUDWORK @ 600 CTS AND 300-450 CTS STAGGERED AS PER MANUFACTURER'S DETAILS. REFER TO THE RED BOOK FOR STAGGERED FIXING OF FYRCHECK & OUTER CLADDING.
- GATES:**
ALL GATES LATCH OPERATION TO COMPLY WITH BCA (D2.21).
- DOORS (SPECIAL):-**
DOOR D0101 (BASEMENT OFFICE ENTRY) AND RESTAURANT (HERITAGE BUILDING) ENTRY DOOR WITH LEVER HANDLE AND EXTERNAL LOCK ONLY LATCH OPERATION TO COMPLY WITH BCA (D2.21).
- WINDOWS NOTE:-**
ALL WINDOWS TO BE POWDER COATED ALUMINUM FRAMES WITH GLAZING TO BCA REQ'S AND AUSTRALIAN STANDARDS AS1588:2008 & AS1247:2014. REFER TO WINDOWS SCHEDULE.
- FRAMELESS GLASS BALUSTRADE :-**
CONTRACTOR/MANUFACTURER TO PROVIDE CERTIFICATE OF ENGINEERED STRUCTURAL ADEQUACY.
- DUCTS NOTE:-**
- PROVIDE ALL PIPEWORK PENETRATING FIRE RATED SUSPENDED FLOORS WITH PROMAT OR SIMILAR FIRE RATED COLLARS OR FIRE RATED FLOOR SEALANTS.
- PROVIDE WATERTIGHT SEALS TO ALL PIPEWORK PENETRATING ROOF SHEETING TO COMPLY WITH BCA.
- WET AREA SETDOWN:-**
STRUCTURAL FLOOR TO BE SET DOWN 25mm FOR FLOOR TILES IN WET AREAS.
- SUSPENDED FLOOR COMPONENTS:-**
- 4515 REGUPOL ACOUSTIC UNDERLAY.
- SCYON SECURA F-CEMENT FLOORING (INTERNAL AND/OR EXTERNAL).
- WATERPROOF ON WET AREAS & BALCONIES 240, 190, 140 TIMBER FLOOR JOISTS AS PER S.ENG'S DETAILS.
- R2.5 SOUNDSCREEN NON-COMBUSTIBLE ACOUSTIC INSULATION.
- 3x16 OR 3x13 FYRCHECK SOFFIT LINING SUSPENDED ON FURRING CHANNELS ON ACOUSTIC MOUNTS.
- INSULATION NOTES:-**
- ROOF: ANTICON INSULATION UNDER ROOF SHEETING.
- UPPER CEILING: R4.0 Batts INSULATION.
- SUSPENDED FLOORS: R2.5 Batts BRADFORD SOUNDSCREEN NON-COMBUSTIBLE INSULATION AND REFLECTIVE FOIL. PROVIDE 4515 REGUPOL ACOUSTIC UNDERLAY BALCONY FLOORS/CEILING: R4.0 Batts.
- STUD WALLS GENERALLY: R2.5 Batts BRADFORD SOUNDSCREEN NON-COMBUSTIBLE INSULATION AND REFLECTIVE FOIL.
- BRICK CAVITY WALLS: REFLECTIVE FOIL.
- PIPEWORK AND BOX-GUTTER: PROVIDE ALL PIPEWORK / FLOOR / CEILING SPACE AND DUCTS WITH 25mm PYROTECH 4525 ACOUSTIC WRAP TO ACHIEVE Rv = Cn 40 PERFORMANCE.

GENERAL NOTES - DIS261 REFERS

- OWNER AND/OR BUILDER SHALL COMPLY WITH** - ALL STATUTORY AUTHORITIES (L.A.S., B.C.A., AUSTRALIAN STANDARDS, REGULATIONS, RESIDENTIAL DESIGN CODES) AND SHALL PRECEED THESE DRAWINGS.
- CONTRACTOR/SUBCONTRACTOR** - BUILDER TO REQUEST ALL SUBCONTRACTORS, CERTIFICATE OF QUALIFICATIONS AND CERTIFICATE OF COMPLIANCE WITH BCA AND STANDARDS FOR ALL MATERIALS USED AND METHODOLOGIES APPLIED. BUILDER TO USE AND ORGANISE A SCHEDULE OF CONSULTANTS INSPECTIONS IN ACCORDANCE WITH THE SCHEDULE OF WORKS AND REQUEST THEIR CERTIFICATION OF CONSTRUCTION COMPLIANCE AT COMPLETION OF WORKS.
- CONSULTANTS** - ALL CONSULTANTS TO PROCEED WITH DUE INSPECTIONS DURING AND AT COMPLETION OF CONSTRUCTION WORKS IN ACCORDANCE WITH SCHEDULE OF WORKS, AND SHALL CERTIFY COMPLIANCE PRIOR TO CCC.
- ELECTRICAL CONTRACTOR** - ALL ELECTRICAL CONTRACTORS, SUPPLYING MAIN SWITCHBOARD SUSTAINING EMERGENCY EQUIPMENT TO COMPLY WITH AS/NZS 3013.
- COMPACTION** - SUBMIT AN ENGINEER APPROVED PENETROMETER TEST OF COMPACTED FILL PRIOR TO CONCRETING STAGE.
- PLUMBING** - TO COMPLY WITH WATER AUTHORITY REQUIREMENTS AND NATIONAL PLUMBING CODE.
- TERMITE PROTECTION** - A BARRIER TO THE METHOD USED FOR TERMITE BARRIER SHALL COMPLY WITH THE BCA AND SHALL BE DISPLAYED PROMINENTLY ON THE BUILDING.
- STORMWATER** - ROOF RUNOFF TO BE CONTAINED ON SITE AND DISPOSED TO COUNCIL SATURATION.
- PAVING** - DRIVEWAY AND CROSSOVER TO BE CONSTRUCTED WITH A STABLE IMPERVIOUS SURFACE TO MEET LOCAL REQUIREMENTS.
- FLASHINGS** - PROVIDE SUITABLE FLASHINGS AROUND ALL OPENINGS, WALL COLLUMS AND WET AREAS WITH DETAILING TO COMPLY WITH BCA P.F.
- VENTILATION** - SHALL COMPLY WITH SEWERAGE (LIGHTING, VENTILATION AND CONSTRUCTION) REQUIREMENTS. EXHAUST FAN SHALL BE FITTED TO ALL MECHANICAL EXHAUSTS AND APPROX. SHALL BE FITTED TO SUIT LOCATION OF ROOF AND CEILING TIMBERS.
- MASONRY** - ALL MASONRY CONSTRUCTION TO COMPLY WITH AS 3700.
- LINTELS** - PROVIDE SUITABLE LINTELS OVER OPENINGS. ALL EXTERNAL STEEL LINTELS TO BE HOT DIP GALVANIZED.
- EXPOSED TIMBER** - ALL SCOTCHWOODS TO BE CCA TREATED WHERE EXPOSED TO THE WEATHER AND/OR IN CONTACT WITH GROUND SURFACES.
- PINE TIMBER** - ALL TIMBER TO BE MG19 GRADE UNLESS NOTED OTHERWISE (U.N.O.).
- ROOFING BATTENS** - SHALL BE 19mm x 100mm x 100mm MAX CTS TO FIRST AND LAST SPAN WITH 1100mm MAXIMUM INTERNAL CENTRES.
- DOUBLE LAMINATIONS** - CONSTRUCT DOUBLE LAMINATIONS TO TIMBER BEAMS AND JOISTS AS PER RELEVANT FRAMING CODES UNLESS NOTED OTHERWISE.
- FLOOR, ROOF, CEILING FRAME** - TO COMPLY WITH AS 1684. TIMBER FRAMING CODES AND BCA DRAWING DIAGRAMMATICALLY ONLY.
- CHECK DIMENSIONS ON SITE** - PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- DRAWINGS AND DETAILS** - TO BE READ IN CONJUNCTION WITH RELEVANT CONSULTANT DRAWINGS AND SHALL PRECEED THESE DRAWINGS.

DIMENSIONS NOTE:-

REFER TO SHEETS A09, A10 & A11 FOR ALL DIMENSION PLANS.

ALTERATIONS & ADDITIONS NOTES:-

- ARCHITECTURAL MEASUREMENTS TO AN EXISTING BUILDING ARE SUBJECT TO AN ONSITE MEASURE BY BUILDER FOR CONFIRMATION PURPOSES.
- THE BUILDER IS REQUIRED TO DOUBLE CHECK & CONFIRM PROPOSED SIZES OF NEW DOORS & WINDOW FRAMES IN THE EXISTING WALL(S) PRIOR TO COMMENCE CONSTRUCTION ORDERING WITH A RE-MEASURE OF THE EXISTING BUILDING WHERE REQUIRED TO ENSURE THE CORRECT SIZE HAS BEEN NOMINATED.

LOAD BEARING WALLS:-

ALL GROUND FLOOR FRAMED WALLS TO BE LOAD BEARING WALLS. REFER TO S.ENG'S DETAILS.

CLADDING NOTE:-

- BUILDER TO ALLOW FOR CLADDING FINISHES FOR ALL SETOUT & SETBACK MEASUREMENTS.

CLADDING NOTE:-

- BUILDER TO NOTIFY DRAFTSPERSON IF CLADDING WILL AFFECT EXTERNAL AND/OR INTERNAL DIMENSIONS.

EXTERNAL CLADDING NOTE:-

EXTERNAL CLADDING APPLIED TO THE OUTSIDE OF FYRCHECK IS TO BE WITH STAGGERED FININGS TO THE STUDWORK @ 600 CTS AND 300-450 CTS STAGGERED AS PER MANUFACTURE'S DETAILS. REFER TO THE RED BOOK FOR STAGGERED FINING OF FYRCHECK & QUITER CLADDING.

GATES:

ALL GATES LATCH OPERATION TO COMPLY WITH BCA (D2.21).

DOORS (SPECIAL):-

DOOR D0101 (BASEMENT OFFICE ENTRY) AND RESTAURANT (HERITAGE BUILDING) ENTRY DOOR WITH LEVER HANDLE AND EXTERNAL LOCK ONLY. LATCH OPERATION TO COMPLY WITH BCA (D2.21).

WINDOWS NOTE:-

ALL WINDOWS TO BE POWDER COATED ALUMINUM FRAMES WITH GLAZING TO BCA REG'S AND AUSTRALIAN STANDARDS AS1288-200 & AS1297-2014. REFER TO WINDOWS SCHEDULE.

FRAMELESS GLASS BALUSTRADE :-

CONTRACTOR/MANUFACTURER TO PROVIDE CERTIFICATE OF ENGINEERED STRUCTURAL ADEQUACY.

DUCTS NOTE:-

- PROVIDE ALL PIPEWORK PENETRATING FIRE RATED SUSPENDED FLOORS WITH PROMANT OR SIMILAR FIRE RATED COLLARS OR FIRE RATED FLOOR SEALANTS.

WET AREA SETDOWN:-

STRUCTURAL FLOOR TO BE SET DOWN 25mm FOR FLOOR TILES IN WET AREAS.

SUSPENDED FLOOR COMPONENTS:-

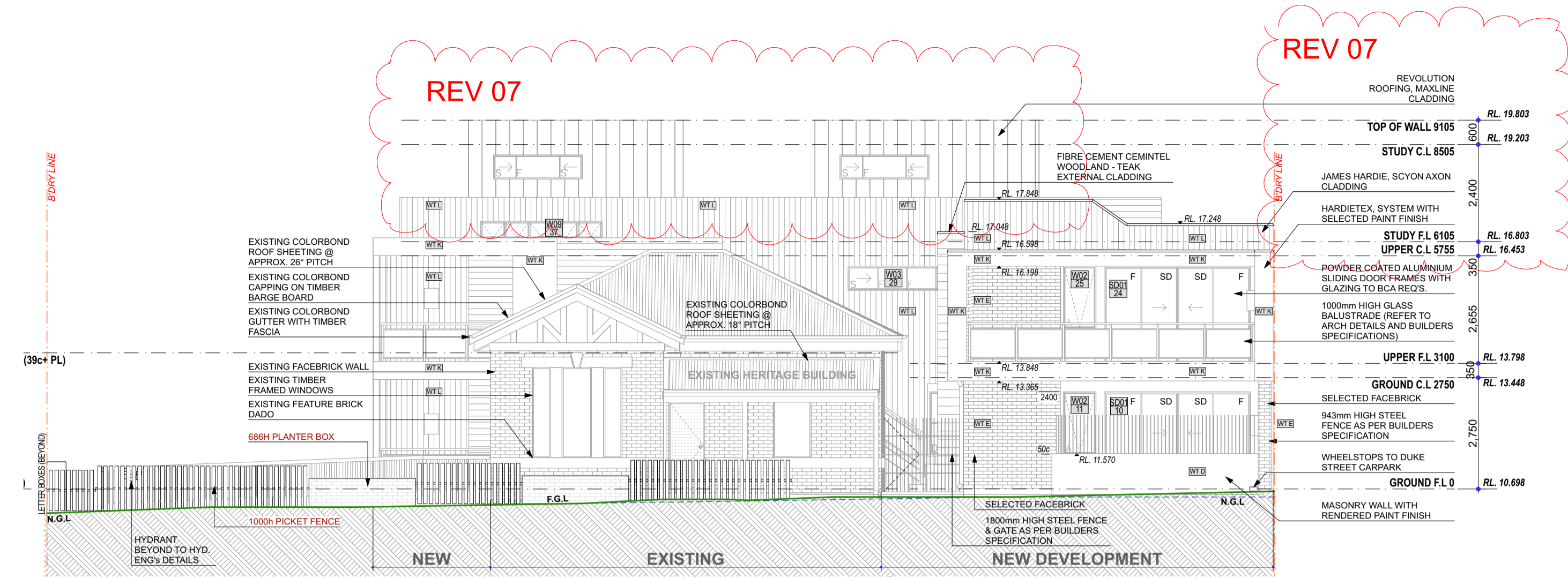
- 4515 REGIOPOL ACOUSTIC UNDERLAY.
- SCYON SECURA FIBREMENT FLOORING (INTERNAL AND/OR EXTERNAL).
- WATERPROOF ON WET AREAS & BALCONIES.
- 240, 190, 140 TIMBER FLOOR JOISTS AS PER S.ENG'S DETAILS.

INSULATION NOTES:-

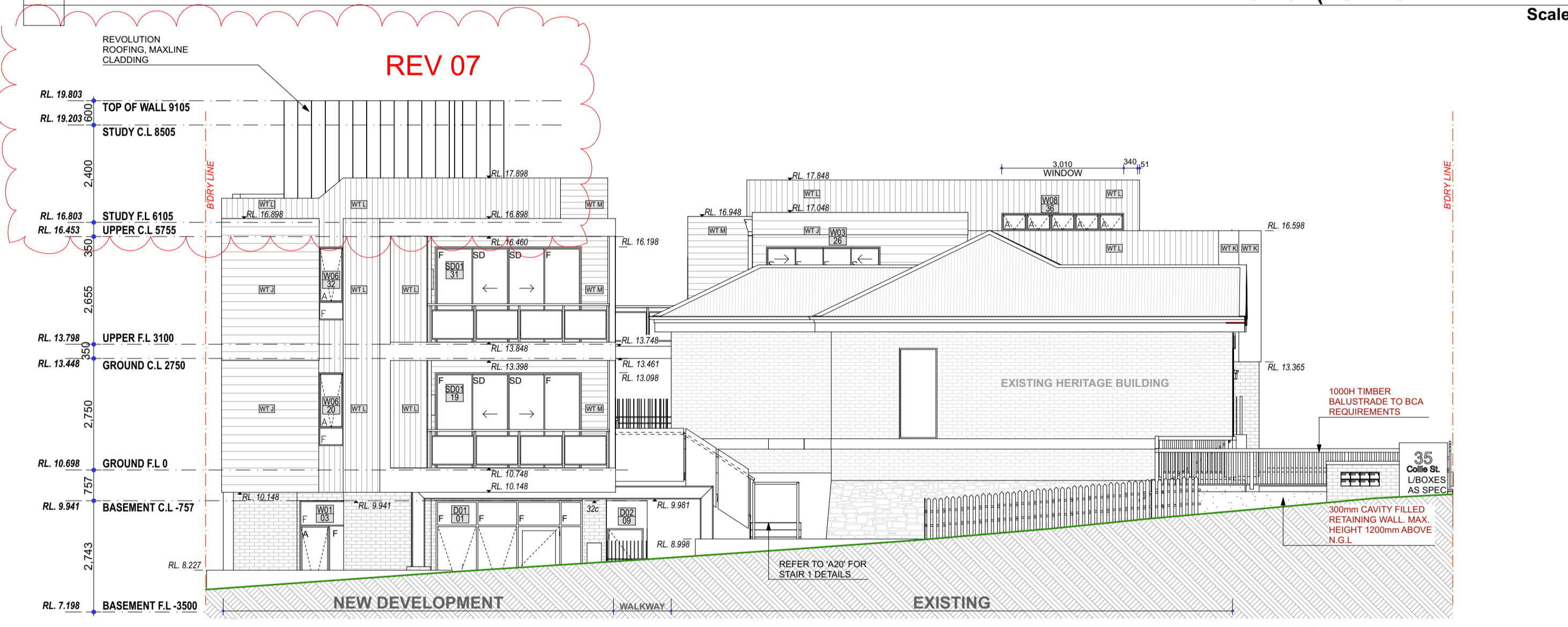
- ROOF: ANTI CON INSULATION UNDER ROOF SHEETING.
- UPPER CEILING: R4.0 BATT INSULATION.
- SUSPENDED FLOORS: R2.5 BATTINS BRADFORD SOUNDSCREEN NON-COMBUSTIBLE INSULATION AND REFLECTIVE FOIL. PROVIDE R2.5 SOUNDSCREEN BRADFORD INSULATION & REFLECTIVE FOIL.
- STUD WALLS GENERALLY: R2.5 BATTINS BRADFORD SOUNDSCREEN NON-COMBUSTIBLE INSULATION AND REFLECTIVE FOIL.
- BRICK CAVITY WALLS: REFLECTIVE FOIL.
- PIPEWORK AND BOX/GUTTER: PROVIDE ALL PIPEWORK FLOOR, CEILING AND DUCTS WITH 25mm PYRCHECK 46SS ACOUSTIC WRAP TO achieve Rv = 0.40 PERFORMANCE.

LS LEGEND

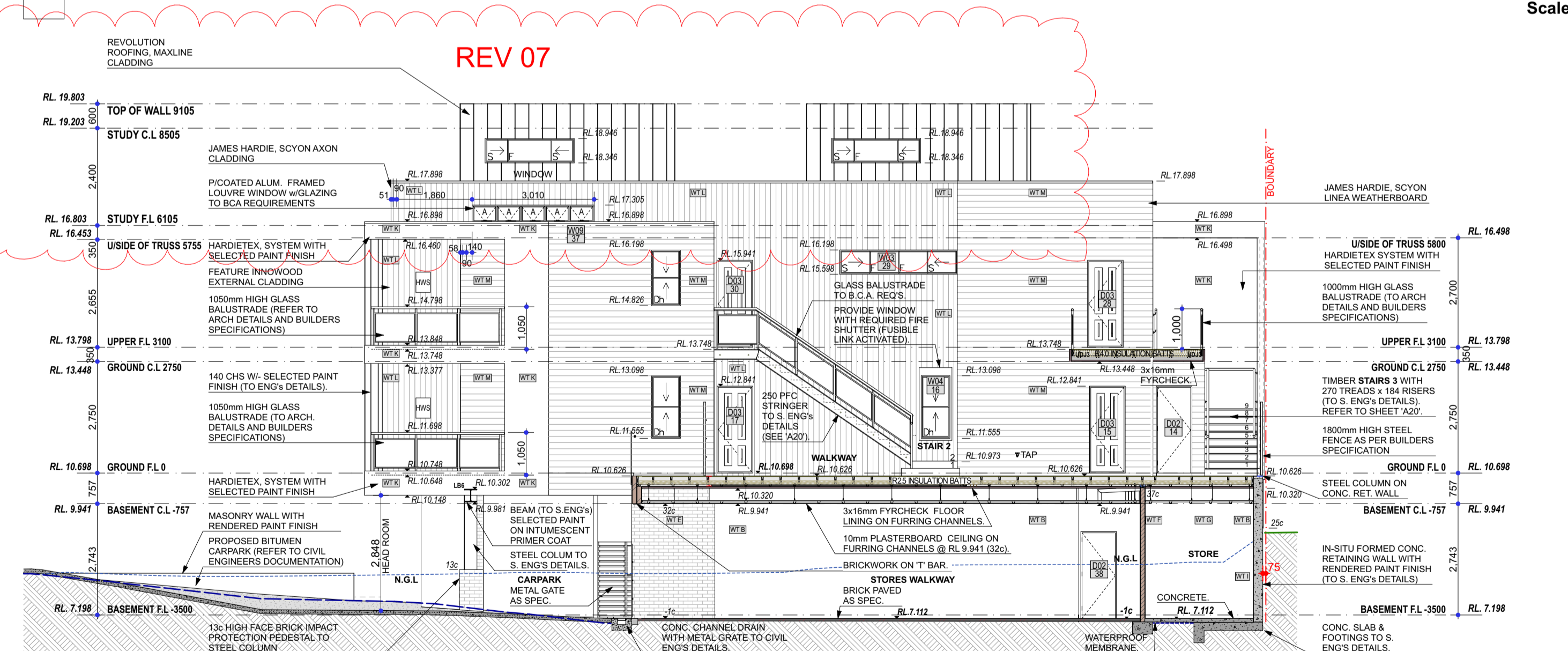
JOINT: REFER TO ELECTRICAL DRAWINGS



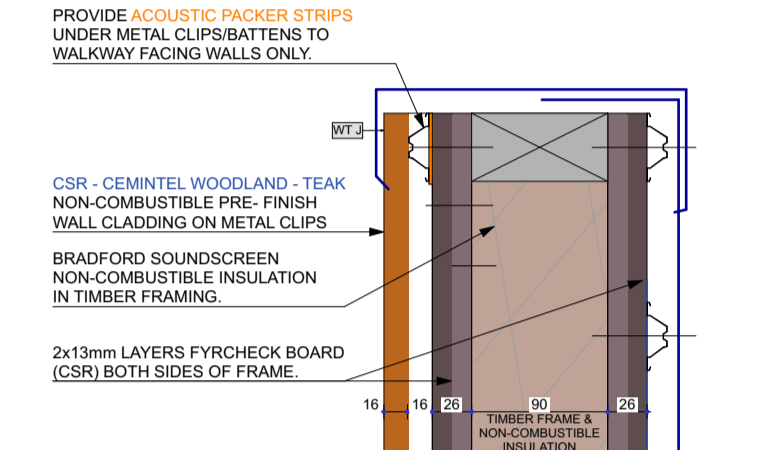
ELEVATION 04 (DUKE STREET ELEVATION)
Scale 1:100



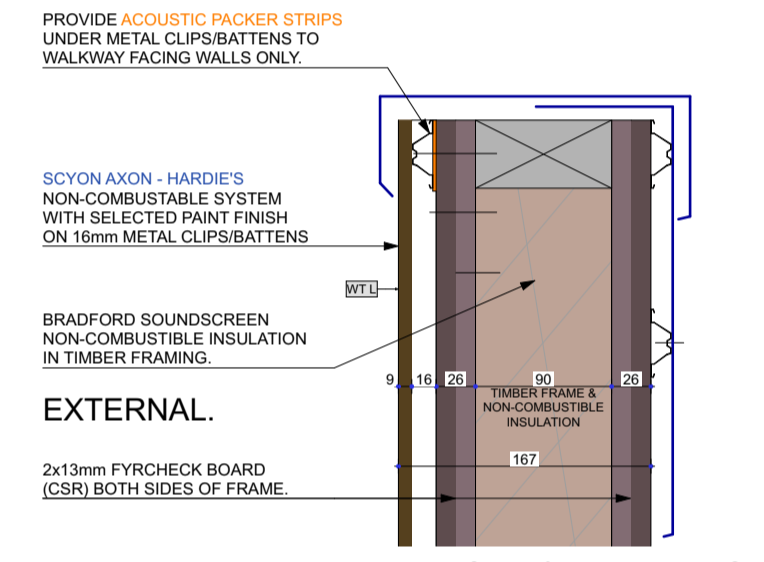
ELEVATION 05 (COLLIE STREET ELEVATION)
Scale 1:100



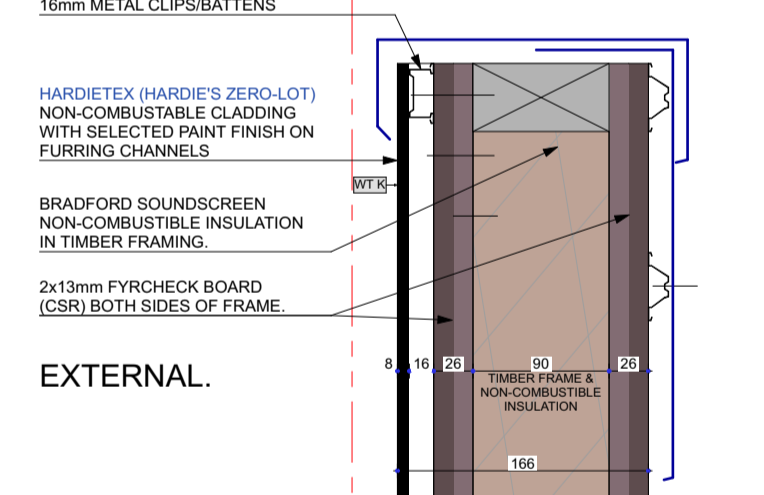
ELEVATION 06
Scale 1:100



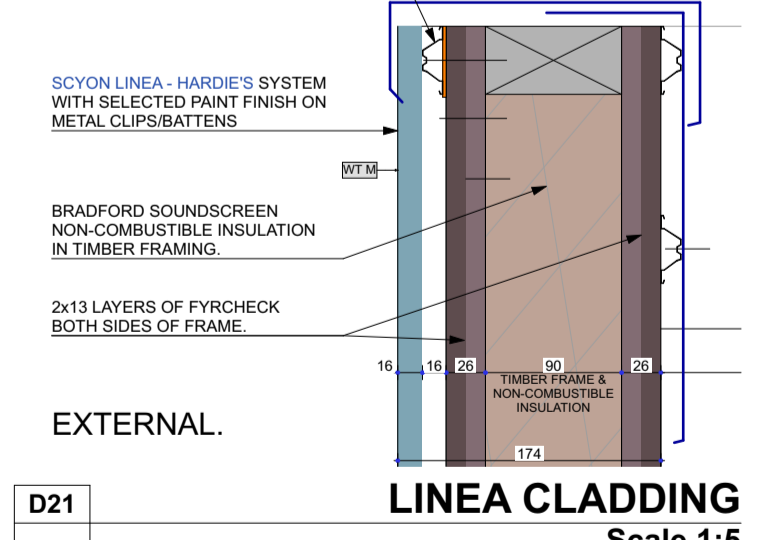
D18 CEMENTEL CLADDING
Scale 1:5



D19 AXON CLADDING
Scale 1:5



D20 ZERO LOT CLADDING
Scale 1:5



D21 LINEA CLADDING
Scale 1:5

WALLS LEGEND

MASONRY (BASEMENT FLOOR, PART GROUND FLOOR)

- WT A: 250mm CAVITY WALL w/ SELECTED FACE BRICK EXTERNALLY & PLASTERED BRICK INTERNALLY WITH REFLECTIVE FOIL INSULATION (FRL 90/90/90)
- WT A1: 270mm CAVITY WALL w/ RENDERED BRICK BOTH SIDES & SKIN COAT PLASTERED BRICK INTERNALLY WITH REFLECTIVE FOIL INSULATION (FRL 120/120/120)
- WT B: 230mm CAVITY WALL w/ RENDERED BRICK EXTERNALLY & PLASTERED BRICK INTERNALLY w/ REFLECTIVE FOIL INSULATION (FRL 90/90/90)
- WT C: 300mm WIDE CONC. CAVITY FILLED RETAINING WALL WITH RENDERED BRICK TO EXPOSED SIDE ONLY
- WT CA: 300mm WIDE CONC. CAVITY FILLED RETAINING WALL CLADDED WITH 16mm PLASTERBOARD INTERNAL SIDE ONLY. PAINTED FINISH (110 g/m²)
- WT D: 190mm WIDE DOUBLE BRICK WALL WITH RENDER FINISH
- WT E: 110mm SINGLE DOUBLE BRICK LEAF OR CAVITY WALL OF SELECTED FACE BRICK
- WT F: 110mm COMMON BRICK LEAF WALL PAINT FINISH (110 g/m²) RENDERED BOTH SIDES (20mm each) (FRL 90/90/90)
- WT G: 90mm PAINT FINISH SINGLE BRICK LEAF WALL PLASTERED BOTH SIDES (20mm each) (FRL 90/90/90)
- WT H: 300mm (AT TOP) NATURAL FINISH RECONSTITUTED LIMESTONE EXTERNAL RETAINING WALL TO BE USED AT CAR PARKING
- WT I: 230mm PAINTED RENDERED FINISH CONCRETE IN-SITU EXTERNAL RETAINING WALL

TIMBER STUDWORK (GROUND & UPPER FLOORS)

- WT J: 90mm TIMBER STUD FRAMED WALL CLADDED WITH 2x13mm LAYERS OF FYRCHECK (CSR) BOARD BOTH SIDES OF FRAME AND NON-COMBUSTIBLE GUTTER (SCYON LINEA WEATHERBOARD) (CSR) ON 16mm STEEL BATTENS CLADDING EXTERNALLY (174 g/m²) WITH R2.5 SOUNDSCREEN BRADFORD INSULATION & REFLECTIVE FOIL (FRL 90/90/90)
- WT K: 90mm TIMBER STUD FRAMED WALL CLADDED WITH 2x13mm LAYERS OF FYRCHECK (CSR) BOARD BOTH SIDES OF FRAME AND NON-COMBUSTIBLE GUTTER (SCYON AXON/JAMES HARDIE) ON 16mm STEEL BATTENS CLADDING EXTERNALLY (167 g/m²) WITH R2.5 SOUNDSCREEN BRADFORD INSULATION & REFLECTIVE FOIL (FRL 90/90/90)
- WT L: 90mm TIMBER STUD FRAMED WALL CLADDED WITH 2x13mm LAYERS OF FYRCHECK (CSR) BOARD BOTH SIDES OF FRAME AND PAINTED NON-COMBUSTIBLE SCYON LINEA/JAMES HARDIE ON 16mm STEEL BATTENS CLADDING EXTERNALLY (174 g/m²) WITH R2.5 SOUNDSCREEN BRADFORD INSULATION & REFLECTIVE FOIL (FRL 90/90/90)
- WT M: 240mm TIMBER STUD FRAMES WALL CLADDED WITH 2x13mm LAYERS OF FYRCHECK (CSR) BOARD ON BOTH SIDES OF THE STUD FRAME, TO PROTECT DUCT INTERNAL STUD WALLS (129 g/m²). PROVIDE R2.5 SOUNDSCREEN BRADFORD INSULATION & REFLECTIVE FOIL (FRL 90/90/90)
- WT N: 90mm TIMBER STUD FRAMED WALL CLADDED WITH 2x13mm LAYERS OF FYRCHECK (CSR) BOARD AND R2.5 SOUNDSCREEN BRADFORD INSULATION & REFLECTIVE FOIL (129 g/m²)
- WT O: 90mm TIMBER STUD FRAMED WALL CLADDED WITH 2x13mm LAYERS OF FYRCHECK (CSR) BOARD AND R2.5 SOUNDSCREEN BRADFORD INSULATION & REFLECTIVE FOIL (142 g/m²) (FRL 90/90/90)
- WT P: 90mm TIMBER STUD FRAMED WALL CLADDED WITH 2x13mm LAYERS OF FYRCHECK (CSR) BOARD AND R2.5 SOUNDSCREEN BRADFORD INSULATION & REFLECTIVE FOIL (142 g/m²) (FRL 90/90/90)
- WT Q: 90mm TIMBER STUD FRAMED WALL CLADDED WITH 2x13mm LAYERS OF FYRCHECK (CSR) BOARD AND R2.5 SOUNDSCREEN BRADFORD INSULATION & REFLECTIVE FOIL (142 g/m²) (FRL 90/90/90)
- WT R: 90mm TIMBER STUD FRAMED WALL CLADDED WITH 2x13mm LAYERS OF FYRCHECK (CSR) BOARD AND R2.5 SOUNDSCREEN BRADFORD INSULATION & REFLECTIVE FOIL (142 g/m²) (FRL 90/90/90)

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Project: Proposed Mixed Use Development

Client: Great Southern Endeavour Projects Pty Ltd

Address: Lot 20 (#35) Collie Street, Albany

06	18/08/20	ISSUED FOR BUILDING LICENSE	CLIENT
07	03/02/21	ISSUED FOR COMMENTS	CLIENT
Rev.	Date	Item	Issued To

Drawn: AG/KH/DT/JG
Checked: BT
Date: 3/2/21
Scale: AS SHOWN
Drawing Number: A07 of A08
Job No.: C-1627-15
Stage / Revision: WD-07

GENERAL NOTES - SEM DIS261 REFERS

- OWNER AND/OR BUILDER SHALL COMPLY WITH :-**
 ALL STATUTORY AUTHORITY BY LAWS, BCA, AUSTRALIAN STANDARDS, REGULATIONS, RESIDENTIAL DESIGN CODES AND SHALL PRECEED THESE DRAWINGS.
- CONTRACTOR/SUBCONTRACTOR :-**
 BUILDER TO REQUEST ALL SUBCONTRACTORS, CERTIFICATE OF QUALIFICATIONS AND CERTIFICATE OF COMPLIANCE WITH BECA AND ALL OTHER STANDARDS FOR ALL MATERIALS USED AND METHODS/PRACTICES APPLIED.
 BUILDER TO USE AND ORGANISE A SCHEDULE OF CONSULTANTS INSPECTIONS IN ACCORDANCE WITH THE SCHEDULE OF WORKS AND REQUEST THEIR CERTIFICATION OF CONSTRUCTION COMPLIANCE AT COMPLETION OF WORKS.
- CONSULTANTS :-**
 ALL CONSULTANTS TO PROCEED WITH DUE INSPECTIONS DURING AND AT COMPLETION OF CONSTRUCTION WORKS IN ACCORDANCE WITH SCHEDULE OF WORKS AND SHALL CERTIFY COMPLIANCE PRIOR TO CCC.
- ELECTRICAL CONTRACTOR :-**
 ALL ELECTRICAL CONTRACTORS SUPPLYING MAIN SWITCHBOARD SUSTAINING EMERGENCY EQUIPMENT TO COMPLY WITH AS/NZS 3013.
- COMPACTION :-**
 SUBMIT AN ENGINEER APPROVED PENETROMETER TEST OF COMPACTED FILL PRIOR TO CONCRETING STAGE.
- PLUMBING :-**
 TO COMPLY WITH WATER AUTHORITY REQUIREMENTS AND NATIONAL PLUMBING CODE.
- TERMITE PROTECTION :-**
 A SUITABLE NOTICE INDICATING THE METHOD USED FOR TERMITE BARRIER SHALL COMPLY WITH THE BECA AND SHALL BE DISPLAYED PROMINENTLY ON THE BUILDING.
- STORMWATER :-**
 ROOF RUNOFF TO BE CONTAINED ON SITE AND DISPOSED TO COUNCIL SATISFACTION.
- PAVING :-**
 DRIVEWAY AND CROSSOVER TO BE CONSTRUCTED WITH A STABLE IMPERVIOUS SURFACE TO COMPLY WITH REQUIREMENTS.
- FLASHINGS :-**
 PROVIDE SUITABLE FLASHINGS AROUND ALL OPENINGS, WALL COLUMNS AND WET AREAS WITH DETAILING TO COMPLY WITH BECA P.F.
- VENTILATION :-**
 SHALL COMPLY WITH SEWERAGE (LIGHTING, VENTILATION AND CONSTRUCTION) REQUIREMENTS. EXHAUST FAN (WITH OTHER CEILING FIXINGS) LOCATIONS AND APPROX. SHALL BE FITTED TO SUIT LOCATION OF ROOF AND CEILING TIMBERS.
- MASONRY :-**
 ALL MASONRY CONSTRUCTION TO COMPLY WITH A.3.370.
- LINTELS :-**
 PROVIDE SUITABLE LINTELS OVER OPENINGS. ALL EXTERNAL STEEL LINTELS TO BE REINFORCED GALVANISED.
- EXPOSED TIMBER :-**
 ALL SCOTCHWOODS TO BE CCA TREATED WHERE EXPOSED TO THE WEATHER AND/OR LAWNWAYS.
- PINE TIMBER :-**
 ALL TIMBER TO BE MG19 GRADE UNLESS NOTED OTHERWISE (U.N.O).
- ROOFING BATTENS :-**
 SHALL BE 45mm THICK @ 900mm MAX CTS TO FIRST AND LAST SPAN WITH 1150mm MAXIMUM INTERNAL CENTRES.
- DOUBLE LAMINATIONS :-**
 CONSTRUCT DOUBLE LAMINATIONS TO TIMBER BEAMS AND JOISTS AS PER RELEVANT FRAMING CODES UNLESS NOTED OTHERWISE.
- FLOOR, ROOF, CEILING FRAME :-**
 TO COMPLY WITH A.194 FRAMING CODES AND BCA DRAWN DIAGRAMMATICALLY ONLY.
- CHECK DIMENSIONS ON SITE :-**
 PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- DRAWINGS AND DETAILS :-**
 TO BE READ IN CONJUNCTION WITH RELEVANT CONSULTANT DRAWINGS AND SHALL PRECEED THESE DRAWINGS.

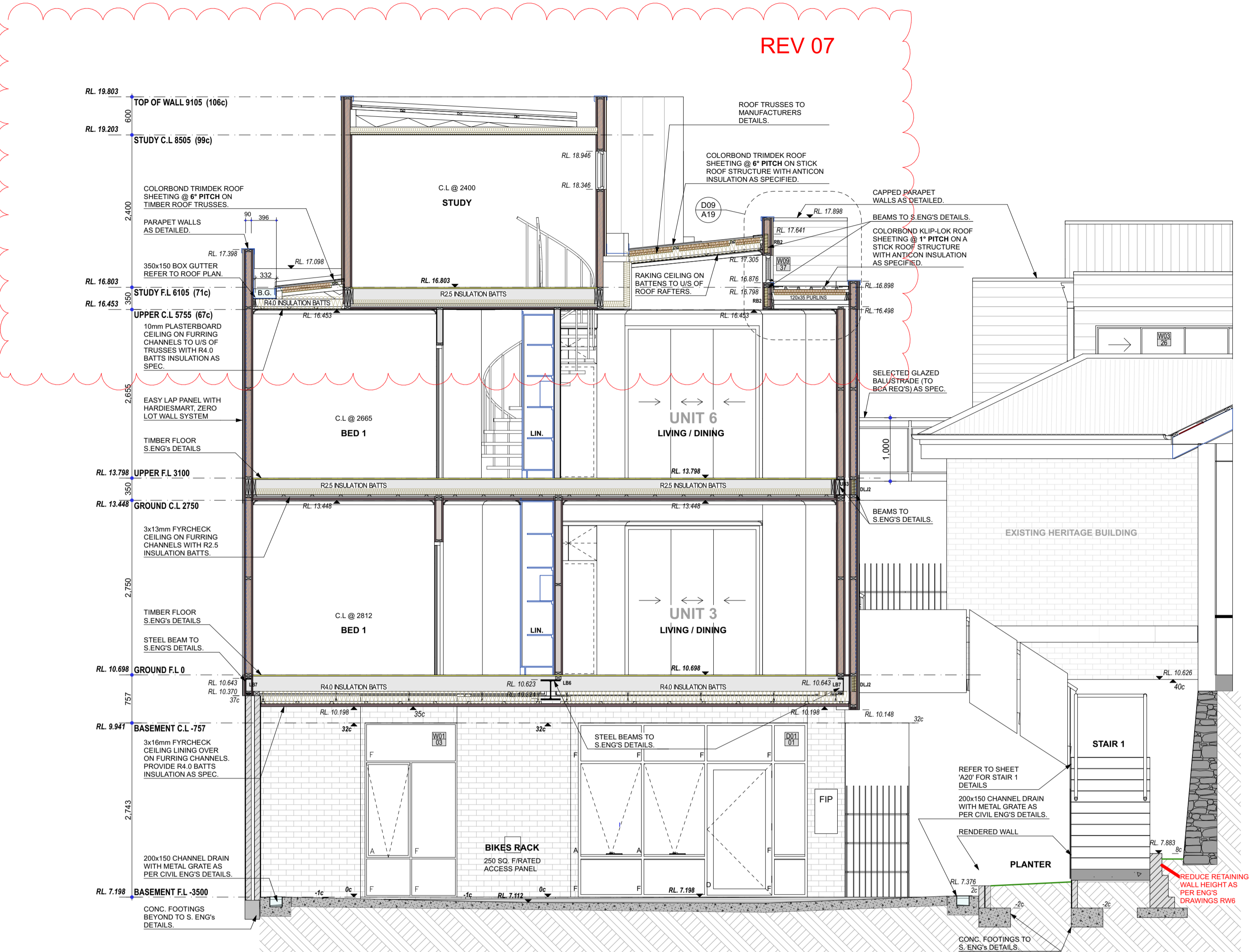
WALLS LEGEND

MASONRY (BASEMENT FLOOR, PART GROUND FLOOR)

WT A	250mm CAVITY WALL w/ SELECTED FACE BRICK EXTERNALLY & PLASTERED BRICK INTERNALLY WITH REFLECTIVE FOIL INSULATION (FRL 90/90/90)
WT A*	270mm CAVITY WALL w/ RENDERED BRICK BOTH SIDES & SKIM COAT PLASTERED BRICK INTERNALLY WITH REFLECTIVE FOIL INSULATION (FRL 120/120/120)
WT B	230mm CAVITY WALL w/ RENDERED BRICK EXTERNALLY & PLASTERED BRICK INTERNALLY w/ REFLECTIVE FOIL INSULATION (FRL 90/90/90)
WT C	300mm WIDE CONC. CAVITY FILLED RETAINING WALL WITH RENDERED BRICK TO EXPOSED SIDE ONLY
WT C*	300mm WIDE CONC. CAVITY FILLED RETAINING WALL CLADDED WITH 16mm PLASTERBOARD EXTERNAL SIDE ONLY. PAINTED FINISH (110 g/m²)
WT D	190mm WIDE DOUBLE BRICK WALL WITH RENDER FINISH
WT E	110mm SINGLE DOUBLE BRICK LEAF OR CAVITY WALL OF SELECTED FACE BRICK
WT F	110mm COMMON BRICK LEAF WALL PAINT FINISH (FRL 90/90/90)
WT G	90mm PAINT FINISH SINGLE BRICK WALL PLASTERED BOTH SIDES (20mm each) (FRL 90/90/90)
WT H	300mm (AT TOP) NATURAL FINISH EXTERNAL RETAINING WALL TO BE USED AT CAR PARKING
WT I	230mm PAINTED RENDERED FINISH CONCRETE IN situ EXTERNAL RETAINING WALL

TIMBER STUDWORK (GROUND & UPPER FLOORS)

WT J	90mm TIMBER STUD FRAMED WALL CLADDED WITH 2x13mm LAYERS OF PYRCHCK (CSR) BOARD BOTH SIDES OF THE FRAME AND NON-COMBUSTIBLE CEILING LINING (JAMES HARDIE) ON 16mm STEEL BATTENS CLADDING EXTERNALLY (174 g/m²) WITH R2.5 SOUNDSCREEN BRADFORD INSULATION & REFLECTIVE FOIL (FRL 90/90/90)
WT K	90mm TIMBER STUD FRAMED WALL CLADDED WITH 2x13mm LAYERS OF PYRCHCK (CSR) BOARD BOTH SIDES OF THE FRAME AND PAINTED NON-COMBUSTIBLE SCOTCHWOOD (JAMES HARDIE) ON 16mm STEEL BATTENS CLADDING EXTERNALLY (167 g/m²) WITH R2.5 SOUNDSCREEN BRADFORD INSULATION & REFLECTIVE FOIL (FRL 90/90/90)
WT L	90mm TIMBER STUD FRAMED WALL CLADDED WITH 2x13mm LAYERS OF PYRCHCK (CSR) BOARD BOTH SIDES OF THE FRAME AND PAINTED NON-COMBUSTIBLE SCOTCHWOOD (JAMES HARDIE) ON 16mm STEEL BATTENS CLADDING EXTERNALLY (167 g/m²) WITH R2.5 SOUNDSCREEN BRADFORD INSULATION & REFLECTIVE FOIL (FRL 90/90/90)
WT M	90mm TIMBER STUD FRAMED WALL CLADDED WITH 2x13mm LAYERS OF PYRCHCK (CSR) BOARD BOTH SIDES OF THE FRAME AND PAINTED NON-COMBUSTIBLE SCOTCHWOOD (JAMES HARDIE) ON 16mm STEEL BATTENS CLADDING EXTERNALLY (174 g/m²) WITH R2.5 SOUNDSCREEN BRADFORD INSULATION & REFLECTIVE FOIL (FRL 90/90/90)
WT N	240mm TIMBER STUD FRAMED WALL CLADDED WITH 2x13mm LAYERS OF PYRCHCK (CSR) BOARD BOTH SIDES OF THE TRAVEL FRAME. SEPARATED BY A 20mm CENTRAL CAVITY (202 g/m²). PROVIDE R2.5 SOUNDSCREEN BRADFORD INSULATION & REFLECTIVE FOIL (FRL 90/90/90)
WT O	90mm TIMBER STUD FRAMED WALL CLADDED WITH 2x13mm LAYERS OF PYRCHCK (CSR) BOARD ON BOTH SIDES OF THE STUD FRAME. TO PROTECT DUCT INTERNAL STUD WALLS (122 g/m²). PROVIDE R2.5 SOUNDSCREEN BRADFORD INSULATION & REFLECTIVE FOIL (FRL 90/90/90)
WT P	90mm TIMBER STUD FRAMED WALL CLADDED WITH 2x13mm LAYERS OF PYRCHCK (CSR) BOARD AND R2.5 SOUNDSCREEN BRADFORD INSULATION & REFLECTIVE FOIL (FRL 90/90/90)
WT Q	90mm TIMBER STUD FRAMED WALL CLADDED WITH 2x13mm LAYERS OF PYRCHCK (CSR) BOARD BOTH SIDES OF THE FRAME. PAINTED FINISH (142 g/m²) (FRL 90/90/90)
WT R	90mm TIMBER STUD FRAMED WALL CLADDED WITH 16mm PLASTERBOARD BOTH SIDES OF THE FRAME. PAINTED FINISH (110 g/m²)
EXT *	16mm BATTEN FOR OUTER CLADDING AT WALKWAY PROVIDE 3mm PACKER AS ACOUSTIC MOUNT FOR ALL OUTER CLADDING BATTENS TO BE USED IN WALLS FRONTING THE PUBLIC WALKWAY AREA



SECTION GG
Scale 1:50

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Project:
Proposed Mixed Use Development

Client:
Great Southern Endeavour Projects Pty Ltd

Address:
Lot 20 (#35) Collicie Street, Albany

06	18/08/20	ISSUED FOR BUILDING LICENSE	CLIENT
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Rev.	Date	Item	Issued To

Drawn:	AG/KH/DT/JG	Date:	3/2/21	Drawing Number:		Job No.:	C-1627-15
Checked:	Scale:	AS SHOWN				Stage / Revision:	WD-07
				A08 of A08			

The original heritage impact statement has been reviewed.

The footprint of the previously proposed development has changed little. The front setback to Duke St has been retained. The setback to Collie St has been increased over the previously approved by 2 meters to 5 meters.

The height of the proposed development has increased a little

Considerable design development has occurred to bring to bear the contemporary understanding of heritage site development.

The following review has been considered with a view to assessing those comments that should be considered to the extent that changes made to the new proposal make it necessary.

Cheers



Review of Heritage impact statement dated 15/10/2009.

Sergeants Quarters (frm)

Albany Courthouse Precinct

As originally Prepared by Laura Grey Heritage and Conservation Consultant.

Heritage Listings

Register of Heritage Places (Courthouse Precinct)

Register of National Estate (Courthouse Precinct)

National Trust classified (Courthouse Precinct)

City of Albany Municipal inventory (category B)

Statement of Significance (Heaver 2002)

No change is noted to this section.

Summary of Documentary Evidence (per conservation plan)

No Change is noted to this section.

Physical Description

No Change to this section

Conservation Plan

Policy 5 (pp. 17, 194 “..... conserve and if possible, use as intended use of residence, or if this is not possible, for a compatible use.”

The developers intend to modify the use of the building to a coffee shop/ food shop. Providing a use that opens up the building to the public. It is intended that décor would follow the theme of the historical place with pictorial reverence being made to its prior use and inclusion as part of the police history of Albany.

Policy 7. (pp.17, 194): “There is scope for considerable development to occur on the site of the Albany Courthouse precinct, particularly..... and on the vacant land between the Lockup and Keeper’s Quarters and the Sergeant’s Quarters.”

No change to this section

Policy 8 (pp.17, 194): “The form, scale and materials of any proposed development should respect the form, scale and materials and cultural heritage significance (sic) buildings adjacent.”

The development adopts modern design principles framing the original house within the structure, retaining a sense of the colour and materials in use within the original house. Purchase of recycled bricks made in the same brick factory of similar materials as the original bricks is intended to bring a visual as well as a mental connection.

Policy 9 (pp.18, 194): “.... any development should be setback from these buildings. Any new development could be linked to the buildings.... but with as little impact.... as possible

Setbacks have been observed with no linking of the Original house to the new development.

Policy 16 (p.199) (in part with reference to Some significance): “There should be no new building work in open space areas which will adversely affect the setting of the place or obscure important views to and from the site.”

The building work has been designed to retained views of the existing house from the promenade down Peels Place to Duke street and beyond. The fig tree is to be retained perhaps to be moved further to the front to protect it from intrusion of the car parking. Providing further amenity to the front grounds of the house.

Policy 42 (p.213) “.... precinct should be assessed by a professional archaeologist to determine areas of potential archaeological findings..... “

No finds have been evidenced in the time the current owners have enjoyed the site. However, construction workers will be instructed to be alert during construction.

(Precinct) Relationship to Collie Street (p.62)

“The northern end of Collie Street provides an important vista of the rear of the courthouse. In particular, the hipped roof of the first-floor courtroom and the plastered frieze are important landmark features.”

The development does not hinder the vista of the rear of the courthouse. A view that is the back of a building. Viewing vantage can be gained from the carpark to the rear of the courthouse and Collie street.

Graded Zones & Elements of Significance (pp.175-176, 187-189)

Sergeant’s Quarters, and the original section of the rear outbuilding are deemed to be of some significance. The remainder of the outbuilding, toilet addition on the rear veranda and the rear enclosure under the verandah, are deemed to be of little significance. Most interior elements are deemed of some significance, except recent fitouts, and the aluminium window frames and verandah enclosure are considered intrusive, as well as the front fence and gate.

Above is agreed. The front fence and gate will be removed. The veranda will be reconstructed as an open veranda as original.

CENTRAL ALBANY URBAN DESIGN POLICY

Central Business District (extract of issues relevant to the proposal)

Policy 7.2.1 Urban Setting and Context

New development should respond to the scale and mass of surrounding buildings and unsympathetic contrasts of scale should be avoided.

The design is sympathetic to the design memes in the immediate area including, but not limited to the Courthouse and extensions, the adjacent multi story offices across Collie St. As well as Collie St developments.

Policy 7.3.1 Built Edges

To strengthen the streetscapes in the Central Business District buildings shall generally be built up to the street boundary(s) in the areas designated on Figure 3. (includes the subject site)

The proposal has been carefully designed to provide best use of the site while retaining alignments that best match other nearby elements.

Policy 7.4.1 Articulation and modeling

A variety of architectural expression to be encouraged with strong emphasis on promoting high quality contemporary design.

Development should however establish sets of design elements, and materials which break down the bulk of developments, and provide visual interest through the articulation of their built form.

This building has been years in the design. Considerable architectural and design experience has been bought to bear on this project. The contemporary design highlights and emphasizes the relative ages, uses and design elements. Encouraging the eye to instantly compare and contrast the old with the new.

Policy 7.4.9 Materials

New buildings do not have to imitate the materials, colours or finishes of the existing buildings in the locality. The emphasis is on the blending of new buildings with the best elements of the existing streetscape.

The design blends and balances the existing streetscape. An opportunity to use a feature wall of recycled bricks brings a sympathetic color and texture, unifying the exterior

Policy 9.4 Development within a Heritage Area

The developers have a serious ethic to respect and compliment the heritage significance of the area. The views of the house from the street retain the community’s connection with the building. The intention to develop the house into a coffee shop further encourages the community to connect with the building and the history of its background. This development is imaginative, well designed and harmonious.

Policy 9.5 Development Adjoining Properties of Heritage Significance

Sympathetic colour’s and finishes complimentary to the existing House have been chosen.

Policy 9.7 Considerations in Assessing Proposals Affecting Heritage Places

In assessing proposals affecting places of heritage significance the Council shall have regard to:

- **The level of heritage significance of the place.**
- **Measures proposed to conserve the heritage significance of the place and its setting.**
- **The structural condition of the place.**
- **Whether the place is capable of adaptation to a new use which will facilitate its retention and conservation.**
- **The impacts of any relaxations of scheme or policy provisions on the amenity of adjoining properties and the locality.**

The proposal considers all of the above points.

The place will lend itself to a new use that enhances its heritage use and enjoyment by the public.

Little or no impact will be felt by adjoining properties.

THE PROPOSAL

The proposal is to retain and conserve the existing Sergeant’s Quarters in response to the Conservation Plan recommendations regarding works and removal of intrusive elements. The intent is to expand the houses use and enjoyment by the public, by using it as a coffee shop. The mature planting in the northeast front corner will be retained. The freestanding outbuilding at the rear will be demolished.

The existing Sergeant’s Quarters will form the centre of a residential development on the site, across the rear and along the west side. The residential development will be a two-storey structure that will have a setback street frontage on both Duke Street (aligned with existing front setback of Sergeant’s Quarters) and Collie Street (minimal setback). The fabric of the development will be contemporary with elements that respond to the Sergeant’s Quarters, and the contemporary Courthouse within the precinct.

Aspects of the proposal that respect or enhance the heritage significance of the place.

The proposal will enhance the heritage significance of the place:

- Restore the Sergeant's Quarters and remove intrusive elements and make it a viable public facility, thereby also the public amenity to the place.
- The siting of the residential development considers the important retention of the extensive Duke and Collie street setbacks and corner streetscape views of the Sergeant's Quarters, and the retention of mature fig tree to minimise visual streetscape impact.
- The proposed residential development makes a considered response to the existing Sergeant's Quarters and the Albany Courthouse Precinct in totality, responding to the scale, form and elements of the contemporary Courthouse facility in Stirling Terrace. Urban Design Policy 9.4 reiterates the importance of response to the area in which the proposal is located, the subject building being within a specific heritage precinct and responding to a contemporary element within.
- The proposed residential development is clearly identified as contemporary, thereby enhancing and informing of the heritage significance of the Sergeant's Quarters.
- The proposed residential development provides facilities to continue appropriate uses on the site. Those facilities negate any need to impact on the significant authentic fabric of the Sergeant's Quarters thus retaining the high degree of authenticity with no intervention.

Aspects of the proposal that could have a detrimental impact on the heritage significance.

- Although the proposed residential development does not physically impact on the existing Sergeant's Quarters, visually, the scale dominates the existing building, but responds to the adjacent corner building and east side of Collie Street. Providing Framing for the existing structure is a product of the colours and features of the development.
- The form and scale particularly dominate the view in Collie Street from the south, obscuring the Sergeant's Quarters in that direction, and possibly obscuring some view of the rear of the original courthouse as mentioned in the Conservation Plan, when viewing from the north.
- The proposed demolition of the outbuilding that documentary evidence suggest is partially original 1909 fabric. Nb Careful inspection does not carry this thought through to reality.

Alternative solutions that have been considered and why they have been discounted.

- Many alternatives have been considered in the development of this extensive and professional proposal. The work of professionals who have carried out this work in the past, as well as extensive study of good and bad heritage development worldwide has resulted in the presentation of this considered proposal.

Conclusion about the nature and extent of the heritage impact of the proposal.

The proposal:

- Complies with the relevant policies in the Central Albany Urban Design Policy (2007), with reference to Policies 9.4, 9.5 and 9.7.
- Complies with the appropriate policies in the Conservation Plan (2002)
- Ensures proper conservation of Sergeant's Quarters.
- Ensures a viable appropriate use for Sergeant's Quarters.
- Has no physical impact on Sergeant's Quarters?
- Enhances the Duke and Collie streets streetscape corner views of Sergeant's Quarters with clear views, except for the mature planting, of the north frontage and east side.
- Responds to the Sergeant's Quarters in a contemporary manner that highlights the heritage significance.
- Makes a considered response to contemporary elements in the Albany Courthouse Precinct
- In response to the Stirling Terrace contemporary structure, the proposal provides a visual connection within the Albany Courthouse Precinct

HERITAGE IMPACT STATEMENT

Name **Sergeant's Quarters (fmr)**
 Albany Courthouse Precinct

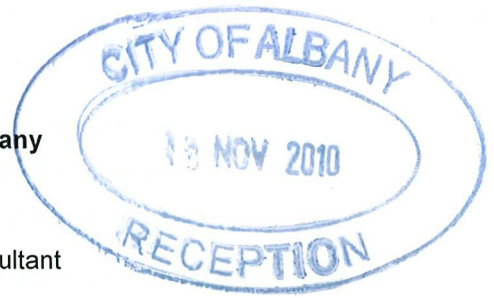
Address **1 Duke Street, cnr (35) Collie Street, Albany**

Date 16 November 2010

Prepared by Laura Gray, Heritage & Conservation Consultant

Prepared for: [REDACTED]

Heritage Listings Register of Heritage Places (Courthouse Precinct)
 Register of National Estate (Courthouse Precinct)
 National Trust classified (Courthouse Precinct)
 City of Albany Municipal Inventory (Category B)



CONSERVATION PLAN: Albany Courthouse Precinct (Heaver 2002)

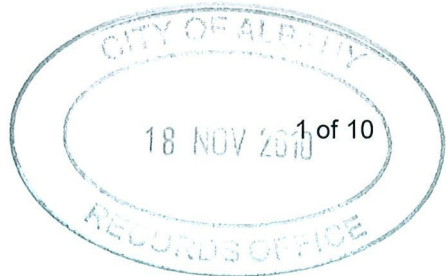
The Conservation Plan predominately addresses issues associated with the then proposed redevelopment of the Courthouse and does not address development of other areas within the precinct in any comprehensive or informative manner to guide any such development.

Subsequent to the 2002 Conservation Plan, the Courthouse was redeveloped and more recently, a delineated site for the Sergeant's Quarters (fmr) (subject site) was subdivided from the remainder of the precinct and sold into private ownership, with a Heritage Agreement.

HERITAGE AGREEMENT: The proposal is compliant with the Heritage Agreement in general, and specifically, as required in Sections 3.2 (refers to annexure A) and 3.3, whereby conservation works, scoped in Annexure A, will be undertaken to the Sergeant's Quarter's (fmr) in association with the proposed development.

CONSERVATION WORKS: Further to, and reiterating the conservation works outlined in Annexure A (per Conservation Plan and Heritage Agreement), the external face brick, limestone foundations, timber framed windows and other timber detailing on the exterior of Sergeant's Quarters (fmr), will be restored in association with the proposed development.

HERITAGE IMPACT STATEMENT
SERGEANT'S HOUSE (fmr)
 Albany Courthouse Precinct



Statement of Significance for Sergeant's Quarters (extract from Conservation Plan)

The Albany Sergeant's Quarters (fmr), constructed of Albany brick with a corrugated iron roof, has cultural heritage significance for the following reasons:

the place is representative of the development of law and order facilities in Western Australia and in Albany and its fabric reflects the facilities required to establish a police presence in Albany;

the place is part of a precinct of three law and order buildings that are representative of the development of law and order in the region;

the place has aesthetic value as a single storey Federation Queen Anne house;

the place contributes positively to the streetscape of Collie Street and Duke Street;

the place is part of the historic centre of Albany and contributes to the local community's sense of place; and,

the place has a high level of integrity and authenticity.

The original (west) section of the toilet and laundry to the rear of the Sergeant's Quarters also has cultural heritage significance.

Summary of documentary evidence (per Conservation Plan)

The Sergeant's Quarters (fmr) was constructed in 1909, replacing a former facility on the site. The toilet store and laundry were constructed in 1957. In 1990, police officers resided in the place, and still did so when the Conservation Plan was prepared, in June 2002.

Physical description

The Sergeant's Quarters (fmr) is located central on a steeply sloping site that fronts Duke Street and slopes down to the rear, parallel with Collie Street. The Duke Street streetscape is significantly impacted by an expansive two storey masonry building that curves around the northeast corner of the Duke and Collie streets intersection (roundabout), opposite the Sergeant's Quarters (fmr). On the west side of the Sergeant's Quarters (fmr) are a series of expansive fronted single storey contemporary commercial properties, some at minimal setback to Duke Street. Collie Street, sloping down to the south, comprises other elements of the Albany Courthouse Precinct along the west side of the street, from the rear of the Sergeant's Quarters (fmr). The east side of the street has one and two storey contemporary offices at zero setback along the majority of the street. The corner view of the Sergeant's Quarters (fmr) is enhanced by a mature Fig tree in the vicinity of the northeast front corner, within the subject site.

HERITAGE IMPACT STATEMENT

SERGEANT'S HOUSE (fmr)

Albany Courthouse Precinct

2 of 10

Sergeant's Quarters (fmr) is described as Federation Queen Anne style (Conservation Plan), although it is more typical of the more modest Federation Bungalow architectural style of the period. (refer to 'Identifying Australian Architecture': Apperly, Irving & Reynolds, 2002, pp.144-147, and MHI record)

The single storey masonry residence forms a double storey at the rear with a weatherboard-enclosed storeroom under the main floor level of the place. The face brickwork features a horizontal rendered dado band detail. The random coursed granite foundation has lined mortar. The predominately hipped roof clad with corrugated iron, features a protruding front gable detailed in roughcast and timber, and the front verandah is a separate skillion. Tall face brick chimneys with moulded corbel detail dominate the roofline. The timber-framed windows are double hung sashes, and the prominent front features a set of three with narrow windows flanking the central window, separated by concrete mullions, with a keystone above. The front verandah is mostly enclosed, allowing for access to the front door, and clad with fibrocement sheeting, and an aluminium framed window installation.

The interior comprises five rooms and a short entry corridor with rooms each side, opening into the living room that continues to the rear verandah that has been enclosed, and accesses the kitchen. The rear verandah enclosure also accommodates a bathroom and toilet facility, and opens to rear access at ground level via a steel staircase. There is a freestanding weatherboard laundry and former toilet facility at the rear of the site, and a weatherboard enclosed storeroom beneath the rear verandah.

Conservation Policies (per Conservation Plan: extract of issues relevant to the proposal)

Most policies are general and not specific to the Sergeant's Quarters (fmr) site.

Policy 5 (pp.17, 194): "..... conserve and if possible use as intended use of residence, or, if this is not possible, for a compatible use."

Policy 7. (pp.17, 194): "There is scope for considerable development to occur on the site of the Albany Courthouse precinct, particularly..... and on the vacant land between the Lockup and Keeper's Quarters and the Sergeant's Quarters."

Policy 8 (pp.17, 194): "The form, scale and materials of any proposed development should respect the form, scale and materials and cultural heritage significance (sic) buildings adjacent."

Policy 9 (pp.18, 194): "... any development should be setback from these buildings. Any new development could be linked to the buildings.... but with as little impact.... as possible.

HERITAGE IMPACT STATEMENT

SERGEANT'S HOUSE (fmr)

Albany Courthouse Precinct

Policy 16 (p.199) (in part with reference to Some Significance):

“There should be no new building work in open space areas which will adversely affect the setting of the place or obscure important views to and from the site.”

Policy 19 (p.200 & Fig 29 p.217)

Refers to the setting of each element within the precinct, to “provide a buffer zone around the buildings within which development is precluded.” Sergeant’s Quarters: “Any new additions to the front (north), east and west facades are unacceptable. Additions to the rear of the building would be acceptable providing they were setback from the west and east facades and respect the form and materials of the original building.”

Policy 42 (p.213)

“... precinct should be assessed by a professional archaeologist to determine areas of potential archaeological findings..... “

Other issues (per Conservation Plan)

(Precinct) Relationship to Collie Street (p.62)

“The northern end of Collie Street provides an important vista of the rear of the courthouse. In particular, the hipped roof of the first floor courtroom and the plastered frieze are important landmark features.”

Graded Zones & Elements of Significance (pp.175-176, 187-189)

Sergeant’s Quarters, and the original section of the rear outbuilding are deemed to be of some significance. The remainder of the outbuilding, toilet addition on the rear veranda and the rear enclosure under the verandah, are deemed to be of little significance. Most interior elements are deemed of some significance, except recent fitouts, and the aluminium window frames and verandah enclosure are considered intrusive, as well as the front fence and gate.

ALBANY HISTORIC TOWN DESIGN POLICY

Central Business District (extract of issues relevant to the proposal)

Policy 4.7 Heritage

4.7.2 Alterations, Extensions or change of use

Development should conserve the cultural significance of a heritage place, and minimize the extent of change to significant fabric.

HERITAGE IMPACT STATEMENT

SERGEANT’S HOUSE (fmr)

Albany Courthouse Precinct

4.7.4 Development within a Heritage Precinct

Development within a heritage precinct should respect and compliment the heritage significance of the area. Particular consideration should be given to the siting, scale, architectural form, materials and finishes of any proposed development in terms of impacts on the cultural significance of the locality.

A general presumption should apply in favour of retaining buildings that make a positive contribution to the significance of the area.

New development that is imaginative, well designed and harmonious will be encouraged.

4.7.6 Relaxations of Scheme or Policy Provisions

Where existing buildings are deemed by the Council to either have cultural heritage significance or make a contribution to the urban character of the locality the Council will, where practicable, seek the conservation or adaptation of such buildings in whole, or in part, by granting relaxations to development requirements under the provisions of Town Planning Scheme No 1A.

Relaxations to Scheme or Policy provisions may apply to the following:

- Land Use
- Plot Ratio
- Site Coverage, and
- Car parking requirements.

Policy 4.7.7 Considerations in Assessing Proposals Affecting Heritage Places

In assessing proposals affecting places of heritage significance the Council shall have regard to:

- The level of heritage significance of the place.
- Measures proposed to conserve the heritage significance of the place and its setting.
- The structural condition of the place.
- Whether the place is capable of adaptation to a new use which will facilitate its retention and conservation.
- The impacts of any relaxations of scheme or policy provisions on the amenity of adjoining properties and the locality.

THE PROPOSAL

The proposal is to retain and conserve the existing Sergeant's Quarters (fmr). The intent is to reinstate a residential function for the place. The mature planting in the northeast front corner will be retained. The rear verandah enclosure and freestanding outbuilding at the rear will be demolished.

The existing Sergeant's Quarters (fmr) will form the centre of a residential development on the site, across the west half of the rear and along the west side. The residential development will be a two-storey masonry structure that will have setback street frontages on both Duke Street (behind the existing front setback of Sergeant's Quarters (fmr)) and Collie Street. The fabric of the development will be contemporary.

The proposal and rationale (design concept evolution) for the proposed development is illustrated in Drawings 1of 7 - 7of 7 of Job No: C-1321-09 dated 12 August 2010.

Response to Conservation Plan policies and recommendations:

- Policy 5: as recommended the proposal is to use as the intended use of residence.
- Policy 7: as suggested, the proposal responds to the "scope for considerable development to occur particularly..... and on the vacant land between the Lockup and Keeper's Quarters and the Sergeant's Quarters."
- Policy 8: the proposal responds in scale to the contemporary Courthouse within the precinct and the adjacent corner development on the southeast corner of Collie and Duke streets, and respects the significance of the Sergeant's Quarters (fmr) in presenting a clear distinction between contemporary and historic elements, as demonstrated by the Courthouse development.
- Policy 9: as recommended, the proposed development is setback from the Sergeant's Quarters (fmr) and has no physical impact on that heritage place.
- Policy 16: the proposal is sited deliberately to the west and south of the Sergeant's Quarters (fmr) to retain the complete streetscape views of the Sergeant's Quarters (fmr) in the corner aspect views looking to the west, southwest and south. There is some impact of views in Collie Street although the extensive setback of the proposal is such that any impact is minimal.
- Policy 19: recommends a buffer zone around the heritage buildings. The relevant diagram does not provide adequate guidance for the Sergeant's Quarters (fmr), and is inconsistent in relation to the Sergeant's Quarters (fmr) and the arguably more significant Keeper's

HERITAGE IMPACT STATEMENT

SERGEANT'S HOUSE (fmr)

Albany Courthouse Precinct

Quarters. It could be interpreted that the Sergeant's Quarters (fmr) was not considered in the context of the diagram. However, the proposal does provide for a buffer between the Sergeant's Quarters (fmr) and the new construction.

Policy 19 also rejects any additions to the front (north), east and west facades of the Sergeant's Quarters (fmr). There are no additions proposed to the Sergeant's Quarters (fmr) on any sides. The separate new construction will be constructed on the northwest and southwest sides, separated from the Sergeant's Quarters (fmr). The proposal for that location is deliberately to minimise any impact on the corner vistas of the heritage place.

Policy 42: No archaeological investigations are proposed.

Other issues

(Precinct) Relationship to Collie Street

The proposal is setback significantly from the Collie Street frontage and therefore has a minimal impact on the important landmark features of the first floor courtroom.

Graded Zones & Elements of Significance

The proposal is to retain and restore the Sergeant's Quarters (fmr) with minimal impact as appropriate for a place of some significance.

Response to Albany Historic Town Design Policy (Central Business District)

Policy 4.7 Heritage

4.7.2 Alterations, Extensions or change of use

The proposed development conserves and enhances the cultural significance of the heritage place, and has minimal impact on the significant fabric, by way of removal of an outbuilding and a rear verandah enclosure.

4.7.4 Development within a Heritage Precinct

The proposed development is well considered in its design and response to the heritage significance of the immediate site and heritage precinct as well as contemporary buildings in Duke Street.

4.7.6 Relaxations of Scheme or Policy Provisions

Given the retention and conservation of the existing heritage building, some relaxation to development requirements under the provisions of Town Planning Scheme No 1A may be considered by the City.

HERITAGE IMPACT STATEMENT

SERGEANT'S HOUSE (fmr)

Albany Courthouse Precinct

Policy 4.7.7 Considerations in Assessing Proposals Affecting Heritage Places

- The site of the proposal has a high level of heritage significance.
- The existing building of heritage significance is proposed for retention and conservation. The new development will be adjacent to the two non street sides of the existing place, minimizing the impact of the corner setting of the heritage place.
- The heritage place is structurally sound.
- Retention and conservation of the heritage place will require minimal adaptation.

Aspects of the proposal that respect or enhance the heritage significance of the place.

The proposal will enhance the heritage significance of the place:

- Restore the Sergeant's Quarters (fmr) and remove intrusive elements and make it a viable residential facility, thereby also retaining a high level of integrity.
- The siting of the development considers the important retention of the extensive Duke and Collie street setbacks and corner and Collie Street streetscape views, from the north, of the Sergeant's Quarters (fmr), and the retention of mature fig tree, to minimise visual streetscape impact.
- The proposed development makes a considered response to the existing Sergeant's Quarters (fmr) and the Albany Courthouse Precinct in totality, responding to the scale, form and elements of the contemporary Courthouse facility in Stirling Terrace. Urban Design Policy 9.4 reiterates the importance of response to the area in which the proposal is located, the subject building being within a specific heritage precinct and responding to a contemporary element within.
- The proposed development is clearly identified as contemporary, thereby enhancing and informing of the heritage significance of the Sergeant's Quarters (fmr).
- The proposed development provides residential facilities to continue appropriate uses on the site. Those facilities negate any need to impact on the significant authentic fabric of the Sergeant's Quarters (fmr) thus retaining the high degree of authenticity with no intervention.

Aspects of the proposal that could have a detrimental impact on the heritage significance

Although the proposed residential development does not physically impact on the existing Sergeant's Quarters (fmr), visually, the scale dominates the existing building, but responds to the adjacent corner building and southeast corner of Collie Street, and is consistent in the Duke Street context.

HERITAGE IMPACT STATEMENT

SERGEANT'S HOUSE (fmr)

Albany Courthouse Precinct

The form and scale does have an impact on the view from the south in Collie Street, but the Collie Street setback of the proposal provides unobstructed views of the Collie Street side of Sergeant's Quarters (fmr). Those views were previously obstructed by outbuildings on the site.

The proposed demolition of the outbuilding that the Conservation Plan suggests is partially original 1909 fabric, (although physical evidence does not support that contention).

Alternative solutions that have been considered and why they have been discounted

Numerous options have been considered in the rationalisation of the design and the significance of responding to the heritage place (Sergeant's Quarters (fmr)).

A previous proposal was presented and discussed with Office of Heritage staff. This proposal was developed in response to feedback received from that meeting. This proposal addressed a number of issues that were identified in the previous option, including:

- Enhanced 'view in the round' of Sergeant's Quarters (fmr).
- Contemporary design with clear form and fewer materials.
- Less dominant in the streetscape by considerably increasing Collie Street setback.
- Removal of Alfresco area deck and frame on Collie Street side.
- The scale of the proposal on the Collie Street frontage has been reduced and setback considerably more to enhance views of the Sergeant's Quarters (fmr) and more clearly demonstrate the 'in round' separation between the proposal and existing. The amended setback also provides for retention of views down Collie Street to the roof pitch of the Courthouse that is indicated as a valued vista in the Conservation Plan.
- That increased setback has also minimised the visual and physical impact of the view north/northwest up Collie Street.
- The roofline has been amended to allow the existing building be more defined in the context.
- The proposed new building has been set further away from the Sergeant's Quarters (fmr) to facilitate clear definition and visual separation of the 'in round' view of the Sergeant's Quarters (fmr).
- The previous garage entry directly onto Collie Street has been removed to facilitate a more pedestrian scale street frontage.
- More explanatory plans were requested. The proposal responds to that request with plans and further details informing of the philosophical design approach to the proposal and the heritage issues in particular.

The proposal to maximise the development as a separate entity to the Sergeant's Quarters (fmr), emphasising physical separation, contemporary construction and minimal impact on streetscape views of the Sergeant's Quarters (fmr) and other heritage elements in the precinct, other than to provide a backdrop, were important criteria in progressing this proposal.

HERITAGE IMPACT STATEMENT

SERGEANT'S HOUSE (fmr)

Albany Courthouse Precinct

Conclusion about the nature and extent of the heritage impact of the proposal.

The proposal:

- Complies with the relevant policies in the Albany Historic Town Design Policy (Central Business District) (2009), with particular reference to Policies 4.7.2 and 4.7.4.
- Complies with the appropriate policies in the Conservation Plan (2002) as discussed aforementioned.
- Ensures proper conservation of Sergeant's Quarters (fmr).
- Ensures a viable appropriate use for Sergeant's Quarters (fmr).
- Has no physical impact on Sergeant's Quarters (fmr).
- Enhances the Duke and Collie streets streetscape corner views of Sergeant's Quarters (fmr) with clear views, except for the mature planting.
- Has minimal impact on views along Collie Street, particularly views of other heritage places in the precinct.
- Responds to the Sergeant's Quarters (fmr) in a contemporary manner that contrasts and highlights the heritage significance.

In summary, the proposal conserves a significant heritage place, removes intrusive elements, enhances the streetscape views and appreciation, and importantly has no physical impact on the Sergeant's Quarters (fmr), while providing a contemporary backdrop that serves to highlight the heritage place.

References & attachments

Drawings: 1 of 7 - 7 of 7 of Job No: C-1321-09 dated 12 August 2010.
HCWA Register documentation
Conservation Plan: Albany Courthouse Precinct. Heaver 2002.
Heritage Agreement.
Albany Historic Town Design Policy. City of Albany Dec 2009.

Duke Street Elevation

