



INFORMATION BULLETIN

ORDINARY COUNCIL MEETING

Tuesday 15th June 2010

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1.2

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Taylor Gunn

From: Robert Forgione [rob@cbdd.com.au]
Sent: Tuesday, 6 April 2010 10:21 AM
To: Taylor Gunn
Cc: Amanda Meldrum
Subject: EF1010970 - A139992 - RE: signage (x2) at 28 Campbell Road, Albany (P2105058)

SynergySoft: EF1010970

Hi Taylor

Our justification for the proposed signage submission is as follows:

As you are aware the previous use of this site was a daycare centre ABC Learning and while occupied had a fairly large sign on the corner of Cockburn Rd and Campbell Rd of approximately 5sqm and up to 2.4m in height, our signs provided for the same site are a lot smaller, also across the road Reeves on Campbell have a fairly high sign which has set a precedent in the same area, there are also other examples of site signs of Outdoor World again across the Road from our Site.

We are consistent with the street in regards to signage and believe that our proposal is within your policy.

If you have any questions regarding my response please do not hesitate in contacting me.

Robert Forgione
Director - Building Designer

M 0418 936 614 • P 08 9842 1157 • E rob@cbdd.com.au



concept building design

Please consider the environment before printing this email

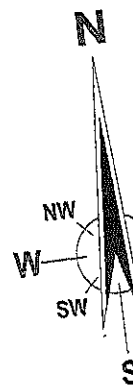


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CAMPBELL ROAD

Existing building 100

101



LOT 10
1712m²

EXISTING BUILDING

103

Existing building
23.65
Floor level

TO SEWER CONNECTION POINT
(BUILDER TO CHECK ON SITE)

26.13m

COCKBURN ROAD

SITE PLAN

Scale 1:200

0 5 10 15

Bulletin 1.1.1
Agenda Item Refers 13.1.14 pages

2990Lx1200H RENDERED
AND FACE BRICK WALL
WITH RAISED LETTERING.
REFER SHEET 07

EXISTING SECURITY FENCE AND
GATE TO BE REMOVED

EXPOSED
AGGREGATE @ -1c

PORCH

EXTERNAL LOAD
CENTRE

UP

FPL @ 00c

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EXISTING
POLE BRICK PAVING @ -1c

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P:\C-1359-09 - B0THA, Ockert (Dental Centre)\12 Export Drawings & Presentations\03 Working Drawings\PDF\REV02\07.dwg
A2 PDF

GENERAL NOTES :

COMPACTION :-

SUBMIT AN ENGINEER APPROVED PENETROMETER TEST OF COMPACTED FILL PRIOR TO CONCRETING STAGE.

PLUMBING :-

TO COMPLY WITH WATER AUTHORITY REQUIREMENTS AND NATIONAL PLUMBING CODE.

TERMITE PROTECTION :-

A SUITABLE NOTICE INDICATING THE METHOD USED FOR TERMITE BARRIER SHALL COMPLY WITH THE BCA AND SHALL BE DISPLAYED PROMINENTLY ON THE BUILDING.

STORMWATER :-

ROOF RUNOFF TO BE CONTAINED ON SITE AND DISPOSED OF TO COUNCIL SATISFACTION.

PAVING :-

DRIVEWAY AND CROSSOVER TO BE CONSTRUCTED WITH A STABLE IMPERVIOUS SURFACE.

FLASHINGS :-

PROVIDE SUITABLE FLASHINGS AROUND ALL OPENINGS, WALL COLUMNS AND WET AREAS WITH DETAILING TO COMPLY WITH BCA Pt F.

VENTILATION :-

SHALL COMPLY WITH SEWERAGE (LIGHTING, VENTILATION AND CONSTRUCTION) REQUIREMENTS. EXHAUST FAN (MFV) AND OTHER CEILING ITEM LOCATIONS ARE APPROXIMATE AND SHALL BE FITTED TO SUIT LOCATION OF ROOF AND CEILING TIMBERS.

MASONRY :-

ALL MASONRY CONSTRUCTION TO COMPLY WITH A.S.3700.

LINTELS :-

PROVIDE SUITABLE LINTELS OVER OPENINGS. ALL EXTERNAL STEEL LINTELS TO BE HOT-DIP GALVANISED.

EXPOSED TIMBER :-

ALL SOFTWOODS SHALL BE CCA TREATED WHERE EXPOSED TO THE WEATHER AND/OR AS NOTED ON DRAWINGS.

PINE TIMBER :-

ALL PINE TIMBER TO BE MGP10 GRADE UNLESS NOTED OTHERWISE.

CUSTOM-ORB ROOFING BATTENS :-

SHALL BE 45x70mm PINE @ 900mm MAX CTS TO FIRST AND LAST SPAN WITH 1150mm MAXIMUM INTERNAL CENTRES.

DOUBLE LAMINATIONS :-

CONSTRUCT DOUBLE LAMINATIONS TO TIMBER BEAMS AND JOISTS AS PER RELEVANT FRAMING CODES UNLESS NOTED OTHERWISE.

FLOOR, ROOF, CEILING FRAME :-

SHALL COMPLY WITH A.S.1684, TIMBER FRAMING CODES AND THE BCA, DRAWN DIAGRAMMATICALLY ONLY.

CHECK DIMENSIONS ON SITE :-

PRIOR TO COMMENCEMENT OF CONSTRUCTION.

DRAWINGS AND DETAILS :-

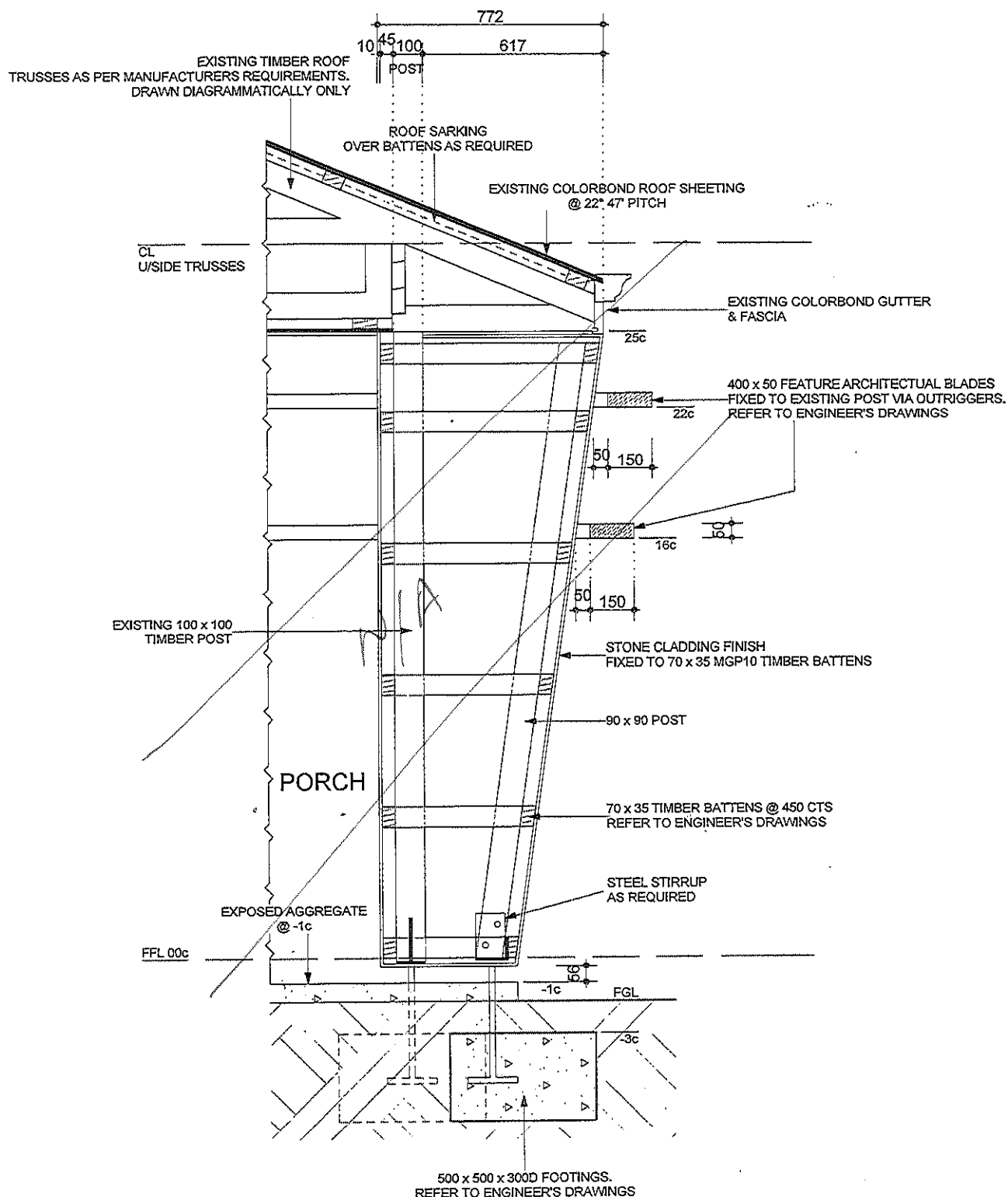
TO BE READ IN CONJUNCTION WITH RELEVANT CONSULTANT DRAWINGS AND SHALL PRECEED THESE DRAWINGS.

DRAWINGS TO BE READ :-

IN CONJUNCTION WITH ENGINEER DRAWINGS, DETAILS AND SPECIFICATIONS AND SHALL PRECEED THESE DRAWINGS.

OWNER AND/OR BUILDER SHALL :-

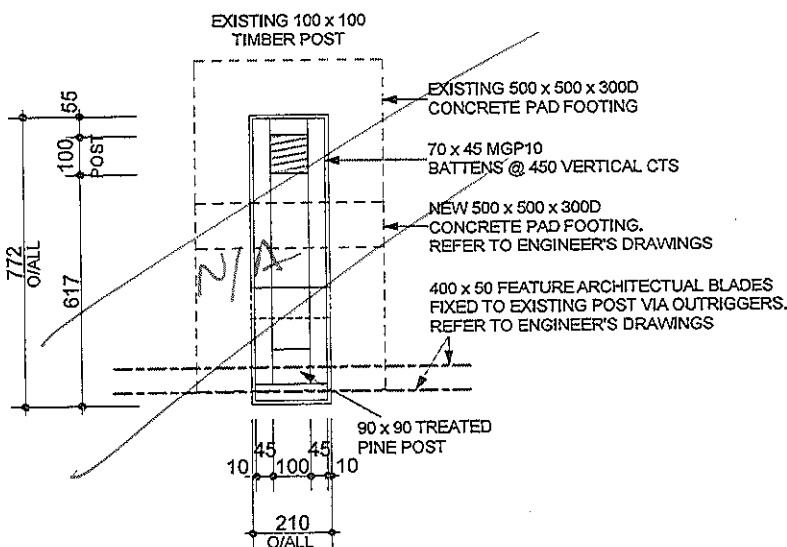
COMPLY WITH ALL STATUTORY AUTHORITY BY-LAWS, AUSTRALIAN STANDARDS, REGULATIONS, RESIDENTIAL DESIGN CODES AND THE BCA AND SHALL PRECEED THESE DRAWINGS.



SH 06

DETAIL 01 - PIER

Scale 1:20



SH 02

DETAIL 03 - SINGLE PIER

Scale 1:20

02



2990Lx1200H RENDERED AND FACE BRICK WALL WITH RAISED LETTERING

SIGN WALL PLAN

Scale 1:50

RENDERED BRICKWORK BAND 3c HIGH 305 LONGREACH BRICK WITH GALVANISED STEEL LINTEL AS REQUIRED

FGL

CONCRETE STRIP FOOTING

ALBANY DENTAL CLINIC

SIGN WALL ELEVATION

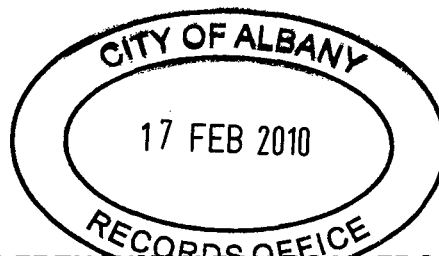
Scale 1:50

Bulletin 1.11
Agenda Item Refers 13.1.14 pages 29
2990Lx1200H
RAISEL SIGN WRT



AMD295
CSTATP

Jan Van Der Mescht
Coordinator Statutory Planning
City of Albany
PO Box 484
ALBANY WA 6331



Dear Sir

PROPOSAL TO TRANSFER PART OF LOT 1 AND LOT 2 FRENCHMAN BAY ROAD FROM THE 'PARKS AND RECREATION RESERVE' TO 'SPECIAL SITE (CARAVAN PARK)' ZONE.

Thank you for the opportunity to comment on this proposed Scheme Amendment No 295.

The Albany Office of the Department of Environment and Conservation (DEC) has considered this request on the basis of previous advice tendered for a draft planning scheme consent application (December 2008) and a subdivision/amalgamation application involving Lots 1 and 2 (November 2008). The site and surrounds have also been visited by DEC staff on numerous occasions over many years.

1. Vegetation

The bulk of this site is highly disturbed having previously accommodated a caravan park and associated infrastructure. The remnant vegetation is primarily sparse peppermint woodland which has been selectively allowed to flourish for provision of shade, visual screening and shelter to the former caravan park. The portion in the west of the area has been less disturbed and is located upslope and within the catchment of the beach springs to the north of that vicinity. Any removal of native vegetation within the subject land should therefore still be subject to normal Clearing Permit processes.

There should also be liaison with DEC regarding dieback hygiene (and possibly weed management) procedures during any future site works.

2. Fire

DEC wishes to be involved in the development of fire protection plans for the subject land due to the proximity of Torndirrup National Park and also in assessment of any impacts upon native flora or fauna habitat which could result from proposed protection measures.

3. Fauna

There is no known unique fauna value from the area however, it is likely that the peppermint trees may attract Western Ringtail possums (*Pseudocheirus occidentalis*) as well as the usual array of avifauna, small mammals, reptiles and snakes. Hence, DEC recommends that a fauna management plan be prepared for the development phase. This will include protocols for any handling of native fauna or relocation of fauna into Torndirrup National Park or elsewhere.

4. Other Issues

Careful consideration will be required regarding visual and other amenity issues associated with any development upon the nearby Torndirrup National Park as the site is within the view-shed of some tourist roads and is particularly visible from Misery Hill (Bald Head Trail) within the park.

Advice on a number of other issues of interest to DEC , in particular potential site contamination and the environmental impacts of any upgrading of services such as sewerage for effluent disposal, has been provided by the Environmental Protection Authority in its advice to you of 2 November 2009.

Yours sincerely,

A handwritten signature in black ink, appearing to read 'Bruce Bone', with a stylized, cursive script.

Bruce Bone
Regional Manager

15 February 2010



Government of **Western Australia**
Department of **Health**

Bulletin 1.1.10

Agenda Item Refers 13.2.3 25 pages

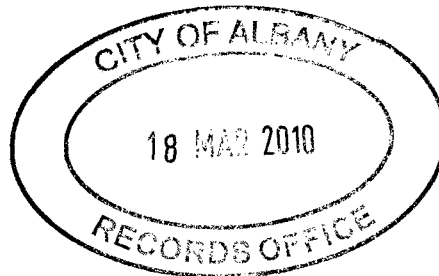
Doc No: City of Albany Records
File: ICR80100219
AMD295

Your Ref: AMD295/PA30522/AMDAMD295
Our Ref: EHB-00062/03
Enquiries: Michelle Vojtisek (9388 4936)

Date: 18 MAR 2010
Officer: CSTATP

Attach:

Chief Executive Officer
City of Albany
PO Box 484
ALBANY WA 6331



Attention: Jan Van Der Mescht

**PROPOSAL TO TRANSFER PART OF LOT 1 AND LOT 2 FRENCHMAN
BAY ROAD, TORNDIRUP FROM THE 'PARKS AND RECREATION
RESERVE' TO 'SPECIAL SITE (CARAVAN PARK)' ZONE**

Thank you for your letter of 1 February 2010 inviting comment from the Department of Health (DOH) in regard to the above.

The DOH has no objection to the proposed amendment, subject to the development being connected to reticulated sewerage.

Yours faithfully

Richard Theobald
MANAGER WATER UNIT
PUBLIC HEALTH DIVISION

10 March 2010

S:\EHD\Water Unit\WASTE\Typing\2010\100310vm1.doc

Environmental Health
All Correspondence: PO Box 8172 Perth Business Centre Western Australia 6849
Grace Vaughan House 227 Stubbs Terrace Shenton Park WA 6008
Telephone (08) 9388 4999 Fax (08) 9388 4955
wa.gov.au
ABN 28 684 750 332



Your ref: AMD 295/PA31168/AMDAMD295 *looking after all our water needs*
Our ref: RF 109 / SRS 26760
Enquiries: Karen McKeough, Ph: 9841 0128



Chief Executive Officer
City of Albany
PO Box 484
ALBANY WA 6331

Doc No: City of Albany Records
File: ICR1012866
AMD295

Date: 14 MAY 2010
Officer: CSTATP

Attach:



Attn: Jan Van Der Mescht

Dear Sir

Amendment 295 – Lots 1 & 2 Frenchman Bay Road

Thank you for the opportunity to comment on the above proposal. The Department of Water (DoW) provides the following comments:

Foreshore Reserve Boundary

The present foreshore reserve boundary does not align to landform features, vegetation or recreational areas. The present boundary is on a steep slope, and within a high or moderate risk area for landslide. It is recommended that the foreshore reserve boundary be adjusted, as a part of this scheme amendment process.

In commenting on the appropriate width of a foreshore reserve, the DoW utilizes a range of policy guidance (including EPA's Guidance Note 33, Country Coastal Planning Policy, AWMA Policy Manual, State Coastal Planning Policy), as well as taking into account local circumstances. These local site considerations, include amongst other things landform (particularly slope), coastal processes, vegetation and ecosystem values. They also include the nature of the development, its degree of impact and the level of recreational activity likely.

When seeking to protect foreshore areas, the DoW would aim to reserve an area that includes landform areas A, B and C on the attached diagram (attachment A). By including elevated land, adjacent to the near shore slope (area C) it is possible to provide for recreational trails, vantage points and picnic areas, that are not normally suitable within areas A and B. Examples of such advice and foreshore reserves consistent with this advice are found in the Bayonet Head area and new development at Little Grove.

The interpretation of these policies and advice would suggest a suitable foreshore reserve would need to include flatter terrain above the steep slope. However, it is recognised that the immediate foreshore in this location is already highly developed for recreational use, and as such the extension of the reserve would not appear to be justified based on public recreational needs alone.

The flatter area above the slope (area C) is important for other reasons, including protecting the stability of the slope. Land capability information previously provided for this site indicated this land to be at high or moderate risk of landslide. In the west of the site the private land includes an area that falls within a springs catchment area that has a very high

risk of landslide and is vegetated. It is recommended that this area becomes part of the foreshore reserve. This will provide additional protection to the culturally significant Vancouver Springs.

Previous planning exercises, including the Frenchman Bay to Woolstores Foreshore Management Plan, emphasised user conflicts already occurring on the existing public foreshore reserve. These conflicts were evident between pedestrian and vehicles, boat launching and picnicking, and car parking and culturally sensitive sites.

In light of the existing recreational pressures on the public foreshore reserve, and the need to protect the slope it is recommended that the foreshore reserve is extended.

Realignment of Foreshore Reserve Boundary Recommendations (see attachment B):

Preference 1: This line demarcates the extent of land affected by coastal processes (landform D), and as such an additional development exclusion zone within Lots 1 & 2 should not be warranted.

Preference 2: this line indicates the region (landform C) where land uses can still impact upon the coastal processes, as such a development exclusion zone (width to be determined) within Lots 1 & 2 may be required.

During the development application and subdivision processes that have been occurring over this site since 2006, the DoW has consistently advised that the foreshore reserve boundary should be relocated to protect the integrity of the foreshore. This is the ideal opportunity to achieve this outcome

Should you wish to discuss this matter further please contact Karen McKeough of this office.

Yours sincerely



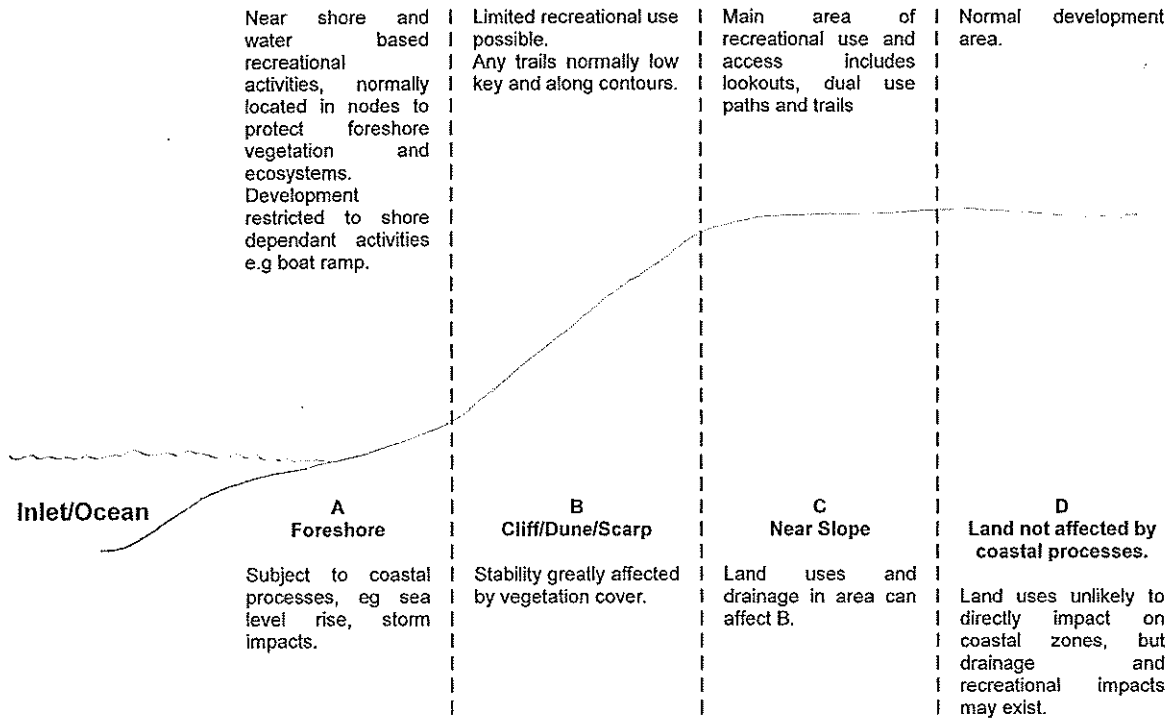
for **CHRIS GUNBY**
ACTING REGIONAL MANAGER
SOUTH COAST REGION

13 May 2010

cc: Dept of Planning, Albany

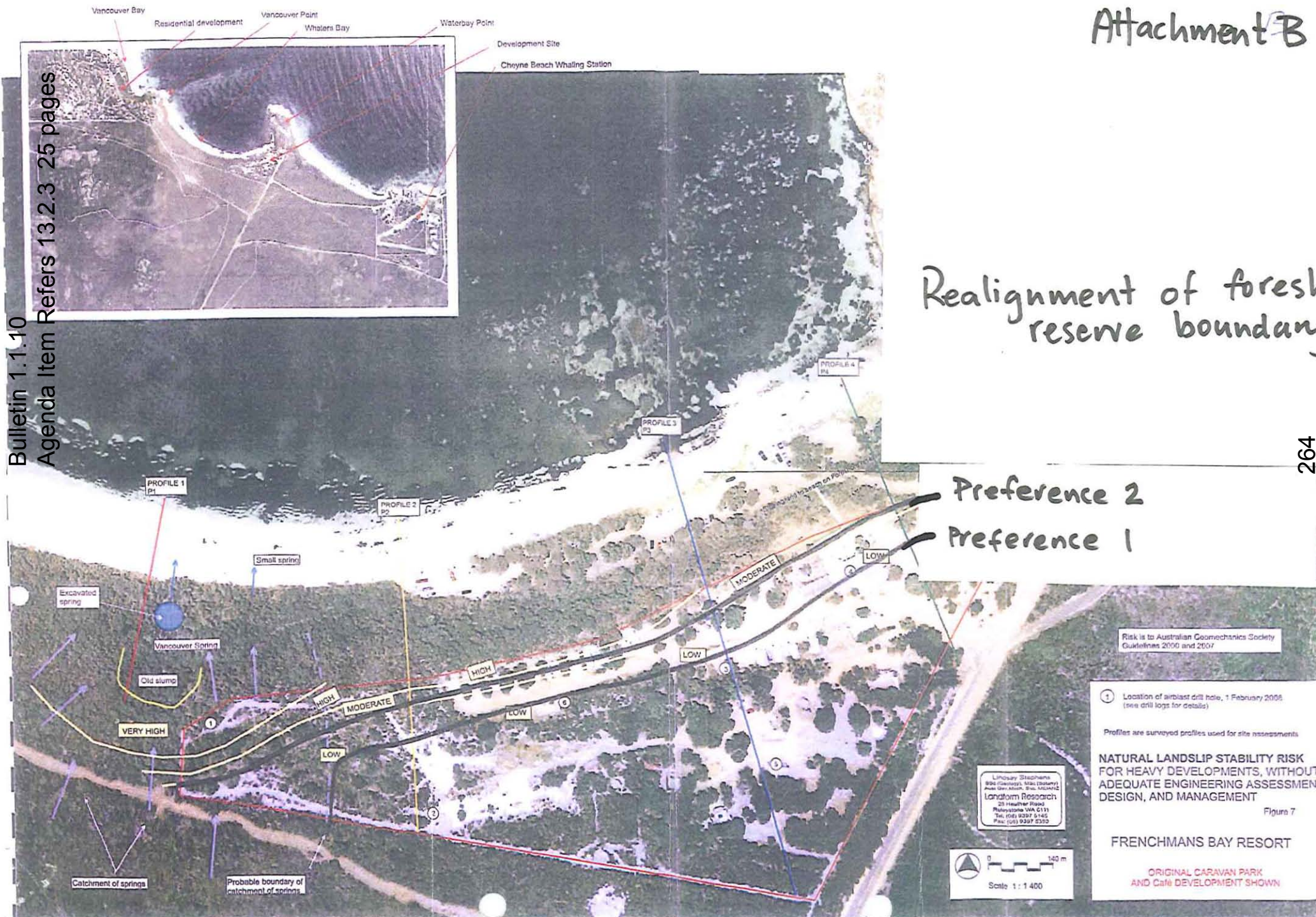
Attachment A

'Typical' Foreshore Area, Albany Harbours



Attachment B

Realignment of foreshore reserve boundary



Your Ref: AMD295/PA30522/AMDAMD295
Our Ref: Grange 5056662
Enquiries: G Wright
Telephone: 98424230



February 23, 2010

City of Albany
PO Box 484
ALBANY WA 6331

Great Southern Regional Office
215 Lower Stirling Terrace
ALBANY WA 6330

PO Box 915
ALBANY WA 6331

Tel (08) 9842 4211
Fax (08) 9842 4255

www.watercorporation.com.au

Attention: Mr Jan Van Der Mescht

**CITY OF ALBANY
PROPOSAL TO TRANSFER PART OF LOT 1 AND LOT 2 FRENCHMAN BAY
ROAD**

Dear Jan,

Further to my interim response regarding the above.

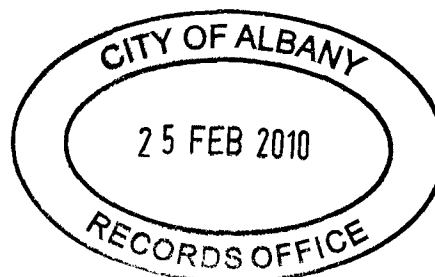
The land subject of this application is located within the Water Corporation's Water and Wastewater Operating License Areas and as such, the Corporation recommends that connection to the reticulated water and wastewater schemes are included as a condition of approval for this planning amendment.

The developer would be required to engage the services of a consulting engineer to discuss with the Corporation, servicing of the area with water and wastewater services.

Yours sincerely

A handwritten signature in black ink, appearing to read "Graham Wright", written over a horizontal line.

Graham Wright
Senior Asset Planner
Great Southern Region
Asset Management Division



Jan Van Der Mescht

From: Planning (External Use ONLY)
Sent: Friday, 5 February 2010 1:14 PM
To: Jan Van Der Mescht
Subject: FW: Jan Van Der Mescht - Ref AMD295/PA30522 - Proposed Amendment No 295 to Town Planning Scheme No 3 for Loc 7584 Frenchmans Bay Road, Albany re-zoning from "Parks and Recreation" to "Special Site(Caravan Park) "

Gayle Sargeant
Administration Officer (Planning)

City of Albany
 PO Box 484
 ALBANY WA 6331
 Telephone: (08) 9841 9383
 Facsimile: (08) 9841 4099
 Email : gayles@albany.wa.gov.au
 Website: www.albany.wa.gov.au

Plan your next holiday at www.amazingalbany.com

From: Lynn Walker [<mailto:lynn.walker@westernpower.com.au>] **On Behalf Of** Works Admin General
Sent: Friday, 5 February 2010 1:10 PM
To: Planning (External Use ONLY)
Subject: Jan Van Der Mescht - Ref AMD295/PA30522 - Proposed Amendment No 295 to Town Planning Scheme No 3 for Loc 7584 Frenchmans Bay Road, Albany re-zoning from "Parks and Recreation" to "Special Site(Caravan Park) "



Locked Bag 2520, Perth WA 6001 | T: 13 10 87 | F: (08) 9225 2073 | E:
works.admin.general@westernpower.com.au

To:	Jan Van Der Mescht	From:	Lynn Walker
Organisation:	City of Albany	Section:	Connections
Email / Fax:	planning@albany.wa.gov.au		
Your Ref:	AMD295/PA30522		
Date:	5/02/2010		

RE: Proposed Amendment No 295 to Town Planning Scheme No 3 for Loc 7584 Frenchmans Bay Road, Albany

re-zoning from "Parks and Recreation" to "Special Site(Caravan Park) "

Dear Jan,

In future please send your request/s to Western Power at the following address, preferably by email or fax, as this will avoid delays;

Post: Locked Bag 2520 Perth WA 6001
 Fax: 9225 2073
 Email: works.admin.general@westernpower.com.au

Western Power wishes to advise the following in respect to the proposed changes to the Perth One Call Service. **Agenda Item Refers 18.2.3 25 pages**


1. To the best of my knowledge, there are no objections to the changes you propose to carry out for the above-mentioned project.

Please note:

- A) Perth One Call Service (Freecall 1100 or visit dialbeforeyoudig.com.au) must be contacted and location details (of Western Power underground cabling) obtained prior to any excavation commencing.
- B) Work Safe requirements must also be observed when excavation work is being undertaken in the vicinity of any Western Power assets.

Western Power is obliged to point out that any change to the existing(power) system; if required, is the responsibility of the individual developer.

Regards,
Lynn Walker
Network Services Officer
Western Power - 363 Wellington Street Perth WA 6000 [[map](#)]

 Please consider the environment before you print this e-mail.

Electricity Networks Corporation, trading as Western Power
ABN: 18 540 492 861

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VIRUSES - Western Power scans all outgoing emails and attachments for viruses, however it is the recipient's responsibility to ensure this email is free of viruses.



ate: 04 NOV 2009
fficer: CSTATP

ttach:

Chief Executive Officer
City of Albany
PO Box 484
ALBANY WA 6331

Our Ref CRN222298
Enquiries Leanne Thompson 6467 5246

Attn: Jan Van Der Mescht

Dear Sir/Madam

DECISION UNDER SECTION 48A(1)(a)
Environmental Protection Act 1986

SCHEME AMENDMENT TITLE: City of Albany TPS 3 Amendment 295 rezoning from
Parks and Recreation reserve to Special Site
(Caravan Park)
SCHEME AMENDMENT LOCATION: Loc 7584, Pt Lot 1 and Lot 2 Frenchmans Bay Road
LOCALITY: City of Albany
RESPONSIBLE AUTHORITY: City of Albany
DECISION: Scheme Amendment Not Assessed - Advice Given
(no appeals)

Thank you for your letter of 4 September 2009 referring the above proposed scheme amendment.

After consideration of the information provided by you, the Environmental Protection Authority (EPA) considers that the proposed scheme amendment should not be assessed under Part IV Division 3 of the *Environmental Protection Act 1986* (EP Act).

The EPA however, re-iterates its previous advice regarding development at Lots 1 and 2, Frenchman's Bay Road, Frenchman's Bay. A copy of this previous advice is attached.

Yours faithfully

Warren Tacey
A/Director
Environmental Impact Assessment Division

2 November 2009

Att





Environmental Protection Authority

The Atrium,
Level 8, 168 St Georges Terrace,
Perth, Western Australia 6000.
Telephone: (08) 6364 6500.
Facsimile: (08) 6467 5557.

Postal Address: Locked Bag 33,
Cloisters Square, Perth, Western Australia 6850.
Website: www.epa.wa.gov.au

Frenchman Bay 5 Star Resort Unit Trust
C/O Mr Henry Dykstra
Dykstra Planning
6/2954 Albany Highway
KELMSCOTT WA 6111

Your Ref: 05/368/0808071 - epa
Our Ref: CRN220515
Enquiries: Gerard O'Brien

Dear Mr Dykstra

PUBLIC ADVICE

PROPOSAL: Frenchman Bay Holiday Resort
LOCATION: Lots 1 & 2 Frenchman Bay Road, Frenchman Bay
LOCALITY: Albany
PROPONENT: Frenchman Bay 5 Star Resort Unit Trust
ASSESSMENT: Not Assessed – Public Advice Given

Further to the Environmental Protection Authority (EPA) letter of 8 September 2008 with regard to the above proposal, the EPA Service Unit (EPASU) advises that no appeals were received against the EPA's determination that your proposal should be treated as *Not Assessed-Public Advice Given*.

Accordingly, the EPASU provides the following advice:

ADVICE AND RECOMMENDATIONS

1. Environmental Issues

- a. Water Quality and Quantity
- b. Coastal Setback and Foreshore Management
- c. Site Contamination
- d. Native Vegetation
- e. Fauna
- f. Effluent Disposal
- g. Fire Management

2. Advice and Recommendations regarding Environmental Issues

The EPA's decision to not assess this proposal was based on the information submitted in the proponent's documentation. This includes documentation which states commitments with regard to the connection of the site to reticulated sewerage to lower the potential impacts of the proposal on the environment. The following additional advice is provided:

a. Water Quality and Quantity

The EPA considers that management of water quality and quantity for the protection of ground surface and marine water is of particular importance at this locality.

The EPA is aware that two natural springs discharge onto Whalers Beach in front of the proposed development and that there is some uncertainty surrounding the hydrology of the springs. The Department of Water (DoW) has advised that baseline data and further investigations are required in order to determine any potential impacts of the development on both the catchment and water quality of the springs.

Please visit the DEC's website at the following web address <http://nvp.environment.wa.gov.au> for information on the provisions of the *Environmental Protection (Clearing of Native Vegetation) Regulations 2004* and the procedures in relation to applying for a Clearing Permit. The DEC will make a decision to grant or refuse a permit. The decision of the EPA to not assess your proposal carries no presumption about the outcome of an application for a Clearing Permit.

It should be noted that clearing cannot be undertaken until the clearing permit application process is concluded.

e. Fauna

Although no species of Specially Protected (Threatened) Fauna have been identified on the site, the EPA expects that advice should be sought by the proponent from the DEC with regard to detailed fauna surveys that may exist for that region of Western Australia. The proponent should comply with any advice offered by DEC with respect to significant fauna species on the site, including undertaking a more comprehensive fauna survey and/or the preparation of a management plan or translocation plan if required.

f. Effluent Disposal

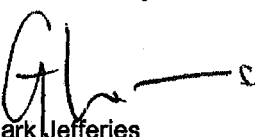
The EPA supports the proposed development being connected to a reticulated sewer. However, the proponent should note that the route alignment for reticulated services has not been assessed as part of this proposal, and therefore may be subject to referral under s38 of the *Environmental Protection Act 1986* if it is likely to have significant environmental impacts.

g. Fire Management

The EPA also expects that a condition of planning approval be imposed which requires a Fire Management Plan to be prepared for the subject land in consultation with the DEC regional office. Roads and fire breaks should be located to ensure that remnant vegetation is not fragmented into smaller, less sustainable areas.

The EPA expects the relevant decision-making authorities to consider and implement this advice through the approvals process. If you have any enquiries, please contact the person cited above.

Yours sincerely


Mark Jefferies
A/Director
Environmental Impact Assessment

29 October 2008

CC: City of Albany (Attention: Ian Humphrey)
Department of Water, Albany (Attention: Chris Gunby)
Department for Planning and Infrastructure, Coastal Planning, Head Office (Attention: Vivienne Panizza)
Department for Planning and Infrastructure, Albany Office (Attention: Georgina Folvig)
Department of Environment and Conservation, Albany (Attention: John Watson)



Environmental Protection Authority

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Frenchman Bay 5 Star Resort Unit Trust
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Your Ref: 05/368/0808071 - epa
Our Ref: CRN220515
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Dear Mr Dykstra

PUBLIC ADVICE

PROPOSAL: Frenchman Bay Holiday Resort
LOCATION: Lots 1 & 2 Frenchman Bay Road, Frenchman Bay
LOCALITY: Albany
PROPONENT: Frenchman Bay 5 Star Resort Unit Trust
ASSESSMENT: Not Assessed – Public Advice Given

Further to the Environmental Protection Authority (EPA) letter of 8 September 2008 with regard to the above proposal, the EPA Service Unit (EPASU) advises that no appeals were received against the EPA's determination that your proposal should be treated as *Not Assessed-Public Advice Given*.

Accordingly, the EPASU provides the following advice:

ADVICE AND RECOMMENDATIONS

1. Environmental Issues

- a. Water Quality and Quantity
- b. Coastal Setback and Foreshore Management
- c. Site Contamination
- d. Native Vegetation
- e. Fauna
- f. Effluent Disposal
- g. Fire Management

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2. Advice and Recommendations regarding Environmental Issues

The EPA's decision to not assess this proposal was based on the information submitted in the proponent's documentation. This includes documentation which states commitments with regard to the connection of the site to reticulated sewerage to lower the potential impacts of the proposal on the environment. The following additional advice is provided:

a. Water Quality and Quantity

The EPA considers that management of water quality and quantity for the protection of ground surface and marine water is of particular importance at this locality.

The EPA is aware that two natural springs discharge onto Whalers Beach in front of the proposed development and that there is some uncertainty surrounding the hydrology of the springs. The Department of Water (DoW) has advised that baseline data and further investigations are required in order to determine any potential impacts of the development on both the catchment and water quality of the springs.

The EPA expects that the proponent will liaise with the DOW to determine requirements for additional investigations. The proponent should comply with any advice offered by DoW, including undertaking a hydrological studies and ongoing management and/or monitoring requirements. This should occur prior to any development approvals being issued to ensure that no detrimental impacts occur as a result of the development.

The EPA advises ongoing monitoring of the springs, and the installation and ongoing monitoring of bores up and down the gradient of the development may be required as a condition of planning approval in order to detect any water quality impacts.

The EPA expects that as a condition of planning approval, a Drainage and Nutrient Management Plan will be prepared and implemented to the satisfaction of the DoW. It is expected that this plan will be prepared in accordance with the principles of Best Management Practice as outlined in the DOW *Stormwater Management Manual for Western Australia (2004-2007)*.

The proponent is encouraged to work closely with the DOW regarding advice for Best Management Practices, and drainage solutions to demonstrate total water cycle management on the site.

b. Coastal Setback and Foreshore Management

While the EPA has determined that formal environmental impact assessment of this proposal is not required, it is noted that the DoW, and the Department for Planning and Infrastructure (DPI) have raised concerns regarding the adequacy of the proposed Coastal Foreshore Reserve. In particular, concerns have been raised in relation to consideration of recreation, public access, coastal hazards, landscape and visual amenity. In addition, major concerns have been raised regarding the utilisation of the Foreshore Reserve for drainage purposes.

The EPA expects that the Coastal Foreshore Reserve will be determined in accordance with the Western Australian Planning Commission (WAPC) *State Coastal Planning Policy 2.6 (2006)* to the satisfaction of the DPI. This may require the Coastal Setback to be increased.

The EPA also expects that as a condition of planning approval a Foreshore Management Plan be prepared and implemented. The Foreshore Management plan should provide for the ongoing management of the Foreshore Reserve in order to protect and conserve coastal values, particularly in areas of cultural significance, while also providing for public foreshore access. The Management Plan should be undertaken to the satisfaction of Council on the advice of the DoW, the DPI and the Department of Environmental and Conservation (DEC).

c. Site Contamination

The EPA notes that as a result of historical land use there may be a possibility of soil and/or groundwater contamination. It is acknowledged that the proponent has undertaken some form of site assessment and rubbish removal, however this does not address the issue of potential contaminants or pollution impacts on the groundwater systems.

The EPA expects that the proponent's obligations under the Contaminated Sites Act (2003) will be met, and that investigations and any necessary management plans/remediation will be undertaken in accordance with DEC's Contaminated Sites Management Series to the satisfaction of DEC, prior to any development or ground disturbing activities commencing.

Preliminary and detailed site investigation and subsequent management plans, if required, should be prepared and implemented in accordance with the DEC's Contaminated Sites Management Series and to the satisfaction of the DEC's Land and Water Quality Branch.

The EPA also expects that a condition of planning approval be imposed which requires the undertaking of a site investigation, prior to any ground disturbing activities, to determine the extent and severity of contamination of the site. If the site is found to be contaminated as a result of this investigation, then a 'Site Remediation and Validation Report' should be produced to the satisfaction of the DEC's Land and Water Quality Branch.

d. Native Vegetation

The EPA notes that the proposal involves the clearing of native vegetation.

Please visit the DEC's website at the following web address <http://nvp.environment.wa.gov.au> for information on the provisions of the *Environmental Protection (Clearing of Native Vegetation) Regulations 2004* and the procedures in relation to applying for a Clearing Permit. The DEC will make a decision to grant or refuse a permit. The decision of the EPA to not assess your proposal carries no presumption about the outcome of an application for a Clearing Permit.

It should be noted that clearing cannot be undertaken until the clearing permit application process is concluded.

e. Fauna

Although no species of Specially Protected (Threatened) Fauna have been identified on the site, the EPA expects that advice should be sought by the proponent from the DEC with regard to detailed fauna surveys that may exist for that region of Western Australia. The proponent should comply with any advice offered by DEC with respect to significant fauna species on the site, including undertaking a more comprehensive fauna survey and/or the preparation of a management plan or translocation plan if required.

f. Effluent Disposal

The EPA supports the proposed development being connected to a reticulated sewer. However, the proponent should note that the route alignment for reticulated services has not been assessed as part of this proposal, and therefore may be subject to referral under s38 of the *Environmental Protection Act 1986* if it is likely to have significant environmental impacts.

g. Fire Management

The EPA also expects that a condition of planning approval be imposed which requires a Fire Management Plan to be prepared for the subject land in consultation with the DEC regional office. Roads and fire breaks should be located to ensure that remnant vegetation is not fragmented into smaller, less sustainable areas.

The EPA expects the relevant decision-making authorities to consider and implement this advice through the approvals process. If you have any enquiries, please contact the person cited above.

Yours sincerely


 Mark Jefferies
 A/Director
 Environmental Impact Assessment

29 October 2008

CC: City of Albany (Attention: Ian Humphrey)
 Department of Water, Albany (Attention: Chris Gunby)
 Department for Planning and Infrastructure, Coastal Planning, Head Office (Attention: Vivienne Panizza)
 Department for Planning and Infrastructure, Albany Office (Attention: Georgina Folvig)
 Department of Environment and Conservation, Albany (Attention: John Watson)



GREAT SOUTHERN
DEVELOPMENT COMMISSION

Bulletin 1.1.10

Agenda Item Refers 13.2.0 25 pages

Doc No:
File.

City of Albany Records
ICR8098729
STR078;AMD295

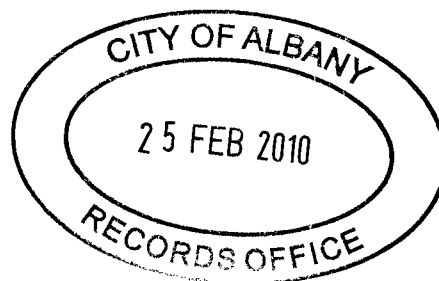
Date: 25 FEB 2010
Officer: SPLO2

Attach:

Your ref: STR078 / LT8030937
Our ref: U1:0010
Enquiries: Russell Pritchard

22 February 2010

Mr Paul Richards
Chief Executive Officer
City of Albany
PO Box 484
Albany, WA 6330



Dear Paul

RE-PROPOSAL TO TRANSFER PART OF LOT 1 AND LOT 2 FRENCHMAN BAY ROAD FROM THE "PARKS AND RECREATION RESERVE" TO THE SPECIAL SITE (CARAVAN PARK) ZONE

Thank you for the invitation to provide comment on the proposed amendment to Town Planning Scheme 3, the transfer of part of Lot 1 AND Lot 2 Frenchman Bay Road from the "Parks and Recreation reserve" to special site (Caravan Park) Zone as outlined in Mr Jan Van Der Mescht's letter of 1 February 2010

The Great Southern Development Commission (GSDC) notes the proposed changes to the Scheme, but will not make any comment in this instance.

If you wish to discuss this matter further, please contact Russell Pritchard at the GSDC Albany office on 98 424888.

Yours faithfully

BRUCE MANNING
CHIEF EXECUTIVE OFFICER



Albany Pyrmont House, 110 Serpentine Road, PO Box 280, Albany WA 6331, Phone: (08) 9842 4888 Fax: (08) 9842 4828 Email: gsd@gsdc.wa.gov.au

Katanning 10 Dore Street, PO Box 729, Katanning WA 6317 Phone: (08) 9821 3211 Fax: (08) 9821 3336 Email: katanning@gsdc.wa.gov.au

Web site: www.gsd.wa.gov.au

Doc No: City of Albany Records
File: ICR8099002
AMD295
Date: 02 MAR 2010
Officer: CSTATP

24 February 2010

Attach:

Chief Executive Officer
City of Albany
PO Box 484
ALBANY WA 6331
Attention: Jan Van Der Mescht

CSTATP

Dear Sir

**Frenchman Bay Whaling Station (fmr), Albany
Proposed Re-Zoning of part of Lot 1 and Lot 2 - Frenchman Bay Road**

Thank you for your correspondence received on 4 February 2010 requesting our comments regarding the proposed amendment to Town Planning Scheme 3 to transfer part of Lot 1 and Lot 2 Frenchman Bay Road from the 'Parks and Recreation Reserve' to 'Special Site (Caravan Park) Zone'. We understand you are seeking our comments because the lots are located adjacent to the *Frenchman Bay Whaling Station (fmr), Albany*, that is listed on the State Register of Heritage Places.

We received the following information prepared by the City of Albany (not dated):

Copy of the City of Albany Town Planning Scheme No.3 Amendment No.295

We understand the re-zoning is to allow for the progress of the holiday accommodation development that has previously been approved. The development was conditionally supported by the Heritage Council in September 2007 and supported under delegated authority once again in November 2008. Our support of the proposal was subject to the following conditions:

1. Due care is to be taken in regard to the existing concrete steps.
2. An interpretation proposal is to be developed and implemented as part of the development to convey the significance of the site in terms of its connection with the Norwegian Whaling Station.

In light of the above, a Conservation Officer, with delegated authority from the Heritage Council, has assessed the proposal in the context of the identified heritage significance of the adjacent place. We confirm that the proposed scheme amendment is supported and we have no comments to provide.

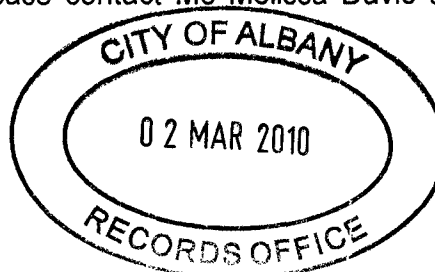
We would appreciate a copy of your Council's determination for our records.

Should you have any queries regarding this advice please contact Ms Melissa Davis at melissa.davis@hc.wa.gov.au or on 9220 4140.

Yours sincerely


Graeme Gammie
EXECUTIVE DIRECTOR

cc: Helen Munt, Regional Heritage Adviser - Albany & Great Southern Region



Our Ref: 05/368/100121L – Albany

Doc No: ICR8097213
File: AMD295Date: 03 FEB 2010
Officer: CSTATP

Attach:

29 January 2010

Chief Executive Officer
City of Albany
PO Box 484
ALBANY WA 6330**Attention: Planning Department**

Dear Sir

Submission on Scheme Amendment No. 295 to City of Albany Town Planning Scheme No.3 Frenchman Bay Resort Site**1.0 Purpose of Submission**

This submission has been prepared by Dykstra Planning on behalf of Frenchman Bay Pty Ltd. The submission seeks to modify the current Scheme Amendment by including the entire site of the approved Frenchman Bay Five Star Resort within an "Additional Use Site" under Clause 3.8 and Schedule 2 of the Town Planning Scheme. The purpose would be to allow, under certain circumstances, a proportion of the holiday accommodation apartments to be approved by Council for permanent residential use.

The background, details, and supporting rationale associated with this request are further detailed in the report below.

2.0 Background

In February 2006 a Development Application was submitted by the current owner to the City of Albany for a Five Star Holiday Accommodation Resort planned for Lots 1 and 2 Frenchman Bay Road, Frenchman Bay, Albany. This application included a 25% Residential component within the development, whereby these units could be either available for permanent residential or could be incorporated into the overall resort and made available for short stay holiday accommodation purposes. Council's Technical Officers were generally supportive of the concept of a 25% permanent residential component, however, following receipt of advice from Council solicitors it became apparent that the Special Site Caravan Park zoning was a limiting factor in terms of the discretion that Council had in approving a residential component. Accordingly, the application was amended at that time and the residential component was removed.

The Five Star Holiday Accommodation Resort was approved by Council at their October 2009 meeting, and includes the following key attributes:-

- 100 fully self contained holiday units including beach houses and apartments of both single and two storey; and



Kelmscott WA 6991
P: 08 9495 1947
F: 08 9495 1948
admin@dykstra.com.au
www.dykstra.com.au

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- A village centre comprising; reception area and bar; café restaurant, a reception centre/convention facility; swimming pool and fitness centre; office and administration facilities; and potential for apartments on a second level above the village centre.

The approved plans do not include any semi-permanent or permanent residential component, but remain exclusively for tourist holiday accommodation. The introduction of a residential component integrated into the development requires alteration to the zoning provisions under the Scheme.

3.0 Details of Proposal

Succinctly, this submission proposes that the entire site comprising Lots 1 and 2 Frenchman Bay Road, Frenchman Bay be included within the Additional Use Site Provision under Clause 3.8 and within Schedule 2 of the Town Planning Scheme as follows:-

Code No.	Land Particulars	Additional Uses	Special Conditions
12	Lots 1 & 2 Frenchman Bay Road, Frenchman Bay	Grouped Dwelling Multiple Dwelling	Council may only grant approval to the Additional Uses where:- a) At least 75% of the accommodation units remain exclusively for holiday accommodation purposes; b) Tourist facilities, other than accommodation, have been developed on site; c) The built form achieves a high standard of architectural quality and water and energy conservation.

This Additional Use Table would be incorporated into Schedule 2 of the Scheme and would in itself not constitute a Planning Approval for the resort incorporating a permanent residential component. A separate Planning Application would need to be lodged with the Council, and Council would need to give due consideration to the merits of the application at that time.

4.0 Key Supporting Rationale

The proposed Additional Use of grouped dwelling and/or multiple dwellings as an incidental component of the holiday accommodation use of the land is supported by the following rationale:-

- The Frenchman Bay Resort Site does not meet all the required criteria for a strategic tourism site, and hence the “Blanket No Residential” Policy should not be applied to this site, (refer to Dykstra Planning Submission on the Draft Tourism Accommodation Strategy dated 13 November 2008 – copy *attached*);

- b) Although the Albany City and regional area has a significant supply and variety of lower rating tourist accommodation, it does have a severe shortage of 4 – 5 star accommodation that is known to be in demand. Given that there is capacity to allow some residential components within tourists developments in Albany, it is entirely appropriate to use the residential component as a performance based incentive in order to attract development of the much needed 4 – 5 star holiday accommodation type;
- c) To rigidly prohibit any residential component on this site, will undermine the very viability that this site requires in order for it to become an iconic tourist resort. The location of this site, with limited passing trade and minimal local resident patronage, means that resort facilities (eg. café/restaurant, convenience store and recreation facilities) will struggle to stay open during the slower tourist periods. However, with a 25% permanent or semi-permanent resident population on the site resort facilities will be significantly more viable and more able to remain open and available as a service to the both local residents and to the public;
- d) The Frenchman Bay locality is an attractive living environment, with its relative isolation being part of that attraction, as evidenced by the popularity of the existing Goode Beach Residential area. The attraction of this living environment will be further enhanced by the additional amenities that will be available to residents both within and outside the resort; and
- e) The integration of incidental residential uses within holiday resorts within Western Australia is not a new concept, and is very common and successful in places such as Broome and Busselton. There are appropriate measures and mechanisms available to manage any of the onsite operational issues associated with the two land uses in a manner that still ensures the integrity of the primary tourist function of the development.

5.0 Conclusion

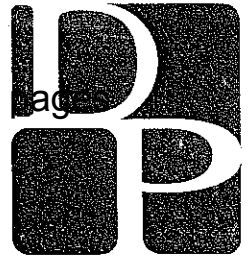
This submission has demonstrated that the inclusion of Lots 1 and 2 Frenchman Bay Road within the Additional Use Schedule of the Scheme, and consequently making provision for up to a 25% residential component within the holiday accommodation resort, will add to the viability and vibrancy of the resort and ultimately its economic and amenity benefits to the wider surrounding area. On the basis of the rationale outlined in the preceding submission, it is respectfully requested that Council modify the current Scheme Amendment by including the Additional Use Site particulars as detailed in Section 3 above.

I trust that this submission will be presented to Council for their consideration and look forward to discussing and elaborating on any of the matters raised in this submission further. Should you require any additional information or advice in relation to the request posed in this submission, please do not hesitate to contact the undersigned at this office.

Yours faithfully


Henry Dykstra
Director

Our Ref: 05/368/081113L – Albany



DYKSTRA
PLANNING

2953 Albany Highway
Kellmascott WA 6111
P: 08 9495 1947
F: 08 9495 1946
admin@dykstra.com.au
www.dykstra.com.au

13 November 2008

Chief Executive Officer
City of Albany
PO Box 484
ALBANY WA 6330

Attention: Planning Department

Dear Sir

**Submission to Draft Tourism Accommodation Planning Strategy
Frenchman Bay Resort Site (former caravan park site)**

1.0 Purpose of this Submission

This submission has been prepared on behalf of Frenchmans Bay Pty Ltd, and addresses the Frenchman Bay caravan park site and its context as affected by the draft Tourism Accommodation Planning Strategy recently advertised by the City of Albany.

Frenchmans Bay Pty Ltd acquired the land at Lots 1 and 2 Frenchman Bay Road, for the purpose of developing a five star tourist accommodation resort. Over the past two years a Planning Application for the resort has been progressing through various assessment and approval processes at State and Local Government levels. The resort proposal includes facilities that will be available to occupants and the general public, including:-

- Café restaurant;
- Function centre;
- Convenience store; and
- Recreation facilities.

The availability and viability of these resort facilities depends upon achieving high patronage. The location of the site, 20 minutes travel from Albany CBD, and at the end of a 17.5 km long cul-de-sac, results in minimal passing parade or local resident patronage, thereby marginalising the viability of the resort facilities.

To improve the overall viability of the five star resort in this relatively isolated location, Frenchmans Bay Pty Ltd has always sought to retain the option of applying for a residential component to the resort, comprising up to 25% of the units within the resort.

The draft Tourism Accommodation Planning Strategy seeks to prohibit any residential component from ever being approved on the Frenchman Bay resort site. This submission addresses and strongly objects against such a prohibition.

2.0 Why the Frenchman Bay Resort site is not a “strategic tourism site”?

The State Government Tourism Planning Taskforce noted the need to identify “strategic tourism sites” as those sites with particular attributes and characteristics: that enable viable short stay tourism developments; that have wider economic benefit in an area; and are

Agenda Item Refers 13.2.3 25 pages

critical in establishing a sustainable tourism industry. This is the foundational purpose of identifying strategic tourism sites.

When measuring the Frenchman Bay Resort site against this foundational intent, the following is observed:-

- a) The viability of the Frenchman Bay site for short stay tourism is significantly disadvantaged by the 20 minutes travel distance from the CBD, (this travel distance is compounded by the sites' location at the end of a 17.5 km long cul-de-sac);
- b) Whilst the Frenchman Resort site has the potential to offer some economic "flow on" effects to the locality, its isolated location and distance from other economic activities will mean that the economic benefits to the wider area are quite limited; and
- c) Albany has a well established and diverse tourism industry, were the Frenchman Bay Resort site is not critical to the sustainability of the Albany tourism industry.

From these observations it is clear that the characteristics of "strategic tourism sites", as identified by the Tourism Planning Taskforce, are not applicable to the Frenchman Bay Resort site.

3.0 Does a "blanket" Policy (from State government) suit the Albany experience?

The draft Tourism Accommodation Planning Study shows that Albany is quite unique, as it has a significant supply and variety of tourist accommodation, albeit with a shortage of 4/5 star accommodation. There is no shortage of tourist accommodation premises and future tourist sites in the locality. Given that tourist sites are by no means scarce, there is no pressing need to control or prohibit residential integration with tourist developments. In fact, the situation in Albany provides an opportunity to enhance the quality of existing and proposed tourist accommodation facilities by rewarding higher standards with allowing limited proportions of permanent stay accommodation.

The draft Tourism Accommodation Planning Strategy laments a lack of 4/5 star accommodation, and yet the rather rigid policy approach to classifying tourist sites and then prohibiting residential components on these does nothing to stimulate the provision of 4/5 star accommodation. Given that Albany has ample existing and potential tourist accommodation opportunities, there is plenty of room to allow residential components within tourist developments. This would provide a performance based incentive to achieving higher quality 4/5 star accommodation on all sites, including the strategic tourist sites.

4.0 Why the "blanket" Policy does not work for the Frenchman Bay Resort?

A "blanket" Policy approach to tourism sites is irresponsible, as it fails to recognise the diversity of sites and their contexts. To rigidly prohibit any residential component from all strategic tourism sites may undermine the very viability that a particular site desperately needs in order for it to become an iconic tourist resort.

Based upon the current suggested classification of the Frenchman Bay Resort site as a strategic tourist site, this represents a classic example why such "blanket" policies won't work. The Frenchman Bay locality is an attractive living environment, with its relative isolation being part of that attraction. This is evidenced by the popularity of the existing residential neighbourhood just 1.0 km to the west of the Frenchman Bay Resort site. Yet, for an exclusive tourism facility, it is this relative isolation that will seriously threaten the viability of a resort, with all its facilities.

Located 20 minutes away from the Albany City Centre, at the end of a 17.5 km long cul-de-sac, the Frenchman Bay Resort site will not benefit from significant passing trade or local resident patronage. This will marginalise viability of resort facilities that are usually available to guests and the public (eg. café restaurant; function centre; convenience store; and recreation facilities).

In contrast to this, allowing a proportion of the resort development to comprise permanent residential accommodation will ensure that the range of resort facilities are given a sustainable level of patronage throughout the year. Hence, even during low tourist periods the resort facilities can remain functional. Given that the resort, as currently designed, provides for just over 100 accommodation units, to allocate some 25% of these for permanent stay residential would still leave over 75 accommodation units available for exclusive tourist accommodation. This is a very respectable level of supply for a five star tourist accommodation resort, and in fact surpasses any other development of this quality in the Albany area at the present time.

5.0 Where to from here?

This submission has demonstrated why the Frenchman Bay Resort site does not qualify as a "strategic tourism site". Accordingly, the Frenchman Bay Resort site should be reclassified as a "prime tourism site".

This submission also discussed what it is that makes Albany different from other areas in Western Australia, in that Albany has no shortage of tourist accommodation premises and future tourist sites. On this basis, and in the interests of promoting higher quality tourist accommodation and facilities for Albany, this submission opposes the "Blanket No Residential Policy" on strategic or prime tourism sites. Rather, this submission calls for a performance based approach to all tourist accommodation sites, where residential incentives are only given to tourist developments that offer a higher quality and higher level of facilities and amenities.

I firmly believe that performance based planning outcomes are the best way forward in delivering to Albany a greater supply and variety of 4/5 star tourist accommodation. I would be quite willing to work further with Councillors and staff on the details of such performance based planning mechanisms.

I trust that the above submission will be presented to Council for careful consideration, and look forward to discussing and elaborating on the matters raised in this submission further. Should you require any further information or advice in relation to any of the matters raised in this submission, please do not hesitate to contact the undersigned at this office.

Yours faithfully



Henry Dykstra
Director

cc: Frenchmans Bay Pty Ltd

28 February 2010

Mr Paul Richards
The CEO
City of Albany
Box 484
Albany 6330

Dear Mr Richards

I have been advised that there is a proposal before the Planning Committee to rezone the Frenchman Bay 5 Star Resort site to allow private residential ownership.

If this is the case then I wish to state my emphatic objection to such a proposal.

I understood that the future of the site had been settled some months ago following several council meetings, conciliation meetings between the Council and the owners/developers, and a resolution by Council.

I am astounded that this matter has been reopened and even allowed to come before the Planning Committee.

As a resident opposing the original proposal put to the Council last year, one of my fears was that the resort proposal was really reliant on the private sale of some or most of the site for privately owned housing and apartments. This was never previously declared and explicitly prohibited in the resolution finally adopted by Council.

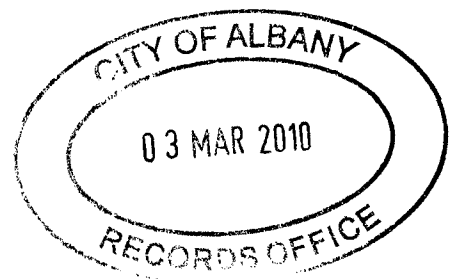
I find it disappointing that I only learned of the proposal for such a far-reaching amendment by stumbling last week across a notice near the entrance to the site.

Perhaps because of due process the City is obliged to refer the developer's proposal to the Planning Committee. If that is so I trust that the Committee will give it short shrift.

Yours sincerely



Max Angus
43 La Perouse Rd
Goode beach
6330
m.angus@ecu.edu.au





Environmental Protection Authority

Bulletin 1.1.11

Agenda Item Refers 13.2.4 4 pages

The Atrium,
Level 8, 160 St Georges Terrace,
Perth, Western Australia 6000.
Telephone: (08) 6467 5000.
Facsimile: (08) 6467 5557.

Postal Address: Locked Bag 33,
Cloisters Square, Perth, Western Australia 6850.
Website: www.epa.wa.gov.au

AMD 175
CSTATP

Chief Executive Officer
City of Albany
PO Box 484
ALBANY WA 6331

Your Ref AMD175/PA30491AMD175
Our Ref CRN222519
Enquiries Mike Pengelly 6467 5428

Attn: Jan Van Der Mescht

Dear Sir/Madam

DECISION UNDER SECTION 48A(1)(a) *Environmental Protection Act 1986*

SCHEME AMENDMENT TITLE: City of Albany TPS 1A Amendment 175 Including
Special Additional Use (Medical Clinic)
LOCATION: Lot 104 Cockburn Road
LOCALITY: Mira Mar
RESPONSIBLE AUTHORITY: City of Albany
DECISION: Scheme Amendment Not Assessed (no appeals)

Thank you for your letter of 28 January 2010 referring the above scheme amendment to the Environmental Protection Authority (EPA).

After consideration of the information provided by you, the EPA considers that the proposed scheme amendment should not be assessed under Part IV Division 3 of the *Environmental Protection Act 1986* (EP Act) and that it is not necessary to provide any advice or recommendations.

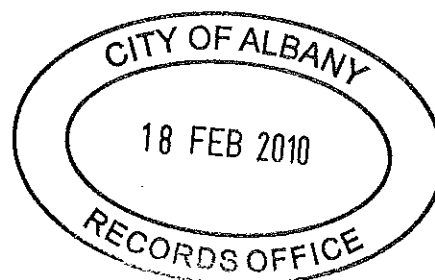
Please note the following:

- For the purposes of Part IV of the EP Act, the scheme amendment is defined as an assessed scheme amendment. In relation to the implementation of the scheme amendment, please note the requirements of Part IV Division 4 of the EP Act.
- There is no appeal right in respect of the EPA's decision to not assess the scheme amendment.
- This letter will be made available to the public on request.

Yours faithfully

Colin Murray
Director
Assessment and Compliance Services

15 February 2010



Jan Van Der Mescht

From: Planning (External Use ONLY)
Sent: Friday, 9 April 2010 3:46 PM
To: Jan Van Der Mescht
Subject: FW: EF1010657 - AMD175 - Jan Van Der Mescht - Ref AMD175/PA30860/AMD175 - ICR 8091093 - Proposed Amendment No 175 to Town Planning Scheme No 1A for Lot 104 Cockburn Road, Miramar to add "Special Additional Use S45" zone

SynergySoft: EF1010657

Gayle Sargeant | Planning Administration Officer

City of Albany | 102 North Rd, Albany | PO Box 484 Albany WA 6330
P: 9841 9383 | F: 9841 4099
E: gayles@albany.wa.gov.au | www.albany.wa.gov.au

From: Lynn Walker [<mailto:lynn.walker@westernpower.com.au>] **On Behalf Of** Works Admin General
Sent: Wednesday, 7 April 2010 9:21 AM
To: Planning (External Use ONLY)
Subject: EF1010657 - AMD175 - Jan Van Der Mescht - Ref AMD175/PA30860/AMD175 - ICR 8091093 - Proposed Amendment No 175 to Town Planning Scheme No 1A for Lot 104 Cockburn Road, Miramar to add "Special Additional Use S45" zone



Locked Bag 2520, Perth WA 6001 | T: 13 10 87 | F: (08) 9225 2073 | E: works.admin.general@westernpower.com.au

To:	Jan Van Der Mescht	From:	Lynn Walker
Organisation:	City of Albany	Section:	Connections
Email / Fax:	planning@albany.wa.gov.au		
Your Ref:	AMD175/PA30860/AMD175 - ICR 8091093		
Date:	7/04/2010		

RE: Proposed Amendment No 175 to Town Planning Scheme No 1A for Lot 104 Cockburn Road, Miramar to add "Special Additional Use S45" zone

Dear Jan,

Western Power wishes to advise the following in respect to the above mentioned proposal.

1. To the best of my knowledge, there are no objections to the changes you propose to carry out for the above-mentioned project.

Your Ref: AMD175/PA30860/AMD175
Our Ref: Grange 5112485
Enquiries: G Wright
Telephone: 98424230



March 25, 2010

City of Albany
PO Box 484
ALBANY WA 6331

Attention: Mr Jan Van Der Mescht

Great Southern Regional Office
215 Lower Stirling Terrace
ALBANY WA 6330

PO Box 915
ALBANY WA 6331

Tel (08) 9842 4211
Fax (08) 9842 4255

www.watercorporation.com.au

CITY OF ALBANY
TPS #1A AMENDMENT 175
LOT 104 COCKBURN ROAD, MIRA MAR

Dear Jan,

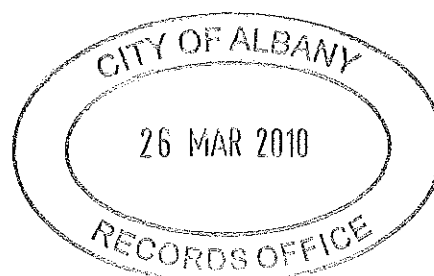
Thank you for your letter dated March 10, 2010 regarding the above.

You are advised that the Water Corporation has no objection to this proposal however the proponent should be advised to contact the Corporation at an early stage during the re-development phase to discuss specific requirements relating to the water and wastewater services affecting this property.

Yours sincerely

A handwritten signature in black ink, appearing to read "Graham Wright", written over a horizontal line.

Graham Wright
Senior Asset Planner
Great Southern Region
Asset Management Division



Jan Van Der Mescht

From: Planning (External Use ONLY)
Sent: Tuesday, 16 March 2010 9:18 AM
To: Jan Van Der Mescht
Subject: FW: EF8099752 - AMD165 - Additional use, medical clinic, Lot 104 Cockburn Road, Mira Mar

SynergySoft: EF8099752

Gayle Sargeant
Administration Officer (Planning)
City of Albany
PO Box 484
ALBANY WA 6331
Telephone: (08) 9841 9383
Facsimile: (08) 9841 4099
Email : gayles@albany.wa.gov.au
Website: www.albany.wa.gov.au

Plan your next holiday at www.amazingalbany.com

From: Nuttall, Paul [<mailto:Paul.Nuttall@team.telstra.com>]
Sent: Monday, 15 March 2010 4:10 PM
To: Planning (External Use ONLY)
Subject: EF8099752 - AMD165 - Additional use, medical clinic, Lot 104 Cockburn Road, Mira Mar

Attention: Jan van der Mescht

Additional use, medical clinic, Lot 104 Cockburn Road, Mira Mar - AMD/175/PA30860

In regard to the proposed additional use - Telstra has no negative comment to make

regards

Paul Nuttall BA (Urb & Reg Planning)

Strategic Forecaster
Forecasting & Area Planning - Western
Integrated Network Planning
Postal: Locked Bag 2525
Perth WA 6001
Phone: 08 9491 6255
Fax: 08 9221 5730
E-Mail: paul.nuttall@team.telstra.com

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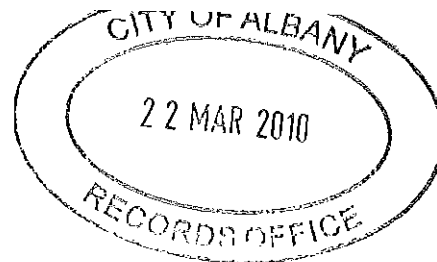


Our Ref: SPN/0136/1
Your Ref: ODP004/PA30543/AMDODP004
Enquiries: Mark Jendrzczak (9892 7306)

Doc No: ICR80100228
File: ODP004
Date: 22 MAR 2010
Officer: CSTATP

Attach:

Chief Executive Officer
City of Albany
PO Box 484
ALBANY WA 6331



ATTENTION: Jan Van Der Mescht

Dear Sir/Madam

OUTLINE DEVELOPMENT PLAN 004; LOT 48 MORGAN PLACE, LOT 49 MORGAN ROAD, LOTS 47, 50 AND 51 LANCASTER ROAD, MCKAIL

I refer to your correspondence dated 3 February 2010 regarding the above matter. In this regard, the Western Australian Planning Commission has resolved to:

1. advise that it is prepared to endorse the Outline Development Plan for Lot 48 Morgan Place, Lot 49 Morgan Road, and Lots 47, 50 and 51 Lancaster Road, McKail (ODP004), once the modifications detailed in the attached schedule have been completed; and

2. provide the following advice:

- a) It is requested that Council consider inclusion of medium density (R30-R40) development in portions of the ODP area with higher amenity (for example, adjacent to Public Open Space/foreshore areas). The WAPC supports and encourages higher residential densities where appropriate in order to provide greater housing choice; concentrate urban development in areas of higher amenity; and enable more efficient use of existing urban land.

If Council resolves to provide for medium density development, additional modifications to the ODP document and Plan will be required in order to incorporate these provisions appropriately. The WAPC does not envisage that further public consultation will be necessary in this regard unless medium density areas directly abut neighbouring allotments not subject to the ODP.

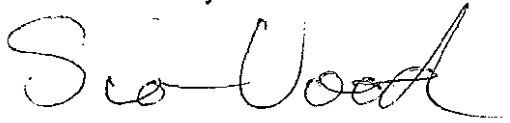
- b) The WAPC notes and supports Council's intention to protect remnant vegetation in the currently unconstructed portion of Morgan Place road reserve. However, retention of this land in the road reserve is not considered to be the most appropriate manner in which to protect vegetation contained within it. Council is therefore advised to effect

Albert Facey House, 469 Wellington Street (cnr Forrest Place), Perth, Western Australia 6000
Tel: (08) 9264 7777; Fax: (08) 9264 7566; TTY: (08) 9264 7535; Infoline: 1800 626 477
e-mail: corporate@planning.wa.gov.au; web address: <http://www.planning.wa.gov.au>



closure of that portion of Morgan Place road reserve intended for the vegetation/flora corridor and retain this land in a more appropriate reservation (for example, Recreation or Conservation).

Yours faithfully

A handwritten signature in black ink, appearing to read 'Tony Evans', written in a cursive style.

For Tony Evans
Secretary
Western Australian Planning Commission

17 March 2010

cc.

CITY OF ALBANY

**OUTLINE DEVELOPMENT PLAN, LOT 48 MORGAN PLACE, LOT 49
MORGAN ROAD, LOTS 47, 50 AND 51 LANCASTER ROAD, MCKAIL
Schedule of Modifications**

No.	Modification	Reason
1.	Include reference in ODP document and on ODP to the preparation and implementation of an Urban Water Management Plan (UWMP) that will be required at subdivision application stage. This document should specifically deal with the location of drainage infrastructure as required by the DOW.	In accordance with Water Sensitive Urban Design principles, as advised by Department of Water (DOW). Preparation of UWMP at time of lodging subdivision application is a requirement of Liveable Neighbourhoods and 'Better Urban Water Management' documents.
2.	Include reference in ODP document and on ODP for the preparation and implementation of a Foreshore Management plan and the establishment of a Living Stream as a condition of subdivision.	Flags requirement for foreshore management to be undertaken at subdivision stage, as advised by DOW.
3.	Remove provision for amalgamation of undeveloped, vegetated portion of Morgan Place road reserve into development site.	To retain existing vegetation and associated amenity, flora and fauna values (modification already completed).
4.	Denote on ODP that the undeveloped, vegetated portion of Morgan Place road reserve shall be closed by Council and retained in an appropriate new reservation.	Protection of this vegetation corridor is supported, however retention of this land in road reserve will not necessarily protect vegetation contained within it. Council will be advised to initiate measures to contain this portion of road reserve in a more appropriate designation - notation on ODP reflects this intent.
5.	Establish an access point to the development from Lancaster Road.	Road connectivity and to reduce traffic on Morgan Place (modification already completed).
6.	Convert northern access road onto Morgan Place to a Pedestrian Access Way and show as such on the ODP.	Additional protection of the vegetation corridor currently within unconstructed portion of Morgan Place road reserve (modification already completed).

7.	Indicate on the ODP that a Detailed Area Plan (DAP) shall be required as a condition of subdivision for those lots abutting POS/foreshore areas.	Consistent with ODP text under Section 7.3.12 - clearly denotes on ODP which areas will be subject to a DAP.



Overall Aim: To provide for the coordinated development of the subject land, encompassing key planning principles and practices regarding water sensitive urban design and traffic management.

- Only one road crossover onto Lancaster Road.
- 10 percent Public Open Space in a central, accessible location, which is to be fully landscaped and include drainage infrastructure
- 16 metre wide road reserves and 12 metre road reserves fronting Public Open Space;
- 'R20' base residential density for the subject land with 'R30' residential density overlooking Public Open Space;
- A Detailed Area Plan (DAP) shall be required as a condition of subdivision for lots abutting Public Open Space/foreshore areas.
- Development to proceed only when connection to deep sewer is established;
- The majority of drainage to be retained onsite and dispersed in accordance with water sensitive urban design principles
- Simple, uncomplicated subdivision pattern that fully utilises the opportunities and constraints of the subject land.
- No driveway access to Morgan Place from ODP area.
- A Foreshore Management Plan shall be submitted and implemented and a Living Stream shall be implemented as a condition of subdivision.
- An Urban Water Management Plan is required to be submitted at the subdivision application stage.

Outline Development Plan

Lot 48 Morgan Place, Lot 49 Morgan Road,
Lots 47, 50 and 51 Lancaster Road
McKail



Drawn:
SEP 26 03 10
Tracked:
JUN 26 03 10



Scale 1:1000
0 20 40 60 80 100
ALL DIMENSIONS ARE IN METRES

harley
global

316 Serpentine Road, ALBANY WA 6330
T: 08 9841 7333 F: 08 9841 3643
E: hsgn@harleyglobal.com.au

CITY OF ALBANY
PROPOSED AMENDMENT TO OUTLINE DEVELOPMENT PLAN

**Supplementary Report (Addendum) to May 2009 Report
prepared by Harley Survey Group**

**LOTS 32 & 37 SILVER STREET, MCKAIL
LOT 33 COSTIGAN STREET, MCKAIL
LOTS 35 & 134 LE GRANDE AVE, MCKAIL
LOT 36 JUNCTION STREET, MCKAIL**



Prepared by:



Prepared for: Trewick Holdings Pty Ltd
Golden Eight (WA) Pty Ltd
Prepared by: JH
Reviewed by: DM
Date: 22 December 2009
Job No: 07/583
Ref: 091221R
Status: Final

Dykstra Planning
2953 Albany Highway
KELMSCOTT WA 6111
Phone: (08) 9495 1947
Fax: (08) 9495 1946
Email: admin@dykstra.com.au

Disclaimer:

This report has been exclusively drafted. No express or implied warranties are made by Dykstra Planning regarding the research findings and data contained in this report. All of the information details included in this report are based upon the existent land area conditions, research provided and obtained at the time, Dykstra Planning conducted its analysis. Dykstra Planning will not be responsible for the application of its recommended strategies by the Client.

Please note that these strategies devised in this report may not be directly applicable towards another Client. We would also warn against adapting this report's strategies/contents to another land area which has not been researched and analysed by Dykstra Planning. Otherwise, Dykstra Planning accepts no liability whatsoever for a third party's use of, or reliance upon, this specific report.

Table of Contents

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4.1	Overview of Proposal	5
4.2	Grouped Dwelling	5
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APPENDIX A Amended Outline Development Plan

APPENDIX B Amended Detailed Area Plan

APPENDIX C Concept Development Plan

1.0 Introduction

Proposed Amendment to Outline Development Plan Lot 35 Le Grande Avenue, McKail

1.0 Introduction

1.1 Purpose of the Report

This submission has been prepared by Dykstra Planning on behalf of Trewick Holdings Pty Ltd and Golden Eight (WA) Pty Ltd, landowners of Lot 35 Le Grande Avenue, McKail.

This report and associated plans represent an application to Council requesting consideration of an amendment to the existing approved Structure Plan over the subject land comprising Lots 32 & 37 Silver Street, McKail, Lot 33 Costigan Street, McKail, Lots 35 & 134 Le Grande Avenue, McKail and Lot 36 Junction Street, McKail.

The proposed amendment to the Structure Plan relates only to Lot 35 Le Grande Avenue and therefore the supporting information outlined in this report is supplementary (or an addendum) to the information prepared by Harley Survey Group (HSG) in submission of the existing approved Structure Plan.

1.2 Background

In January 2008, the City of Albany received an application for approval of an Outline Development Plan (ODP) from HSG on behalf of landowners of Lots 32 & 37 Silver Street, McKail, Lot 33 Costigan Street, McKail, Lots 35 & 134 Le Grande Avenue, McKail and Lot 36 Junction Street, McKail.

After referral to relevant government agencies and nearby landowners the ODP was amended to address certain issues arising from public submissions before being adopted for final approval at the City of Albany Ordinary Council Meeting on 17 February 2009. The ODP was subsequently forwarded to the Western Australian Planning Commission (WAPC) with modifications in May 2009 and has since been endorsed by the WAPC.

1.0 Introduction (Cont'd)**Proposed Amendment to Outline Development Plan
Lot 35 Le Grande Avenue, McKail**

Conditional approval to subdivide the lot was granted by the Western Australian Planning Commission (WAPC) on 29 April 2009. This application proposed subdivision into a total of 19 residential lots ranging in size from 485m² to 1006m², however the owners of Lot 35 Le Grande Avenue have been exploring alternative subdivision and development options over their land for over a year, in an attempt to find an alternative acceptable solution to the layout depicted on the approved ODP.

The existing ODP layout over Lot 35 is somewhat inefficient, with a cul-de-sac servicing just 4 lots, and resultant irregular shapes for those lots as well as multiple crossovers to lots with frontages to Le Grande Avenue. Many alternative design options have been explored by the landowners, however through this process it has become evident that the property's location, dimensions and frontage characteristics are better suited to quality grouped dwelling development rather than low density residential subdivision.

With this background, a Concept Development Plan was prepared to provide the basis for discussions between Henry Dykstra (Dykstra Planning) and Robert Fenn / Graeme Bride (City of Albany). Further to this meeting which occurred on 26 November 2009, an application to amend the ODP as it relates to Lot 35 Le Grande Avenue is now proposed.

2.0 Site Details

**Proposed Amendment to Outline Development Plan
Lot 35 Le Grande Avenue, McKail****2.0 Site Details**

Lot 35 Le Grande Avenue is a 1.1315ha lot located approximately 5km north-east of the Albany City Centre. The property has frontage to Le Grande Avenue, Boundary Street and Junction Street.

The site is gently sloping between approximately 44.5m AHD in the north east of the lot and 48.5m AHD in the south west of the lot, with an average gradient across the property of approximately 1 in 28 (approximately 3.5%).

A dwelling is located near the southern boundary of the lot, but is in poor condition and is proposed to be removed upon future development of the property. The site contains a few trees, particularly adjacent to road reserves but is otherwise is sparsely vegetated as a result of historical clearing.

3.0 Zoning

Proposed Amendment to Outline Development Plan Lot 35 Le Grande Avenue, McKail

3.0 Zoning

The subject land is zoned “Residential Development” under the City of Albany Town Planning Scheme No.3. The approved ODP over the subject area does not indicate a definitive density applicable to the subject land, however a draft Detailed Area Plan (DAP) that was submitted with the ODP indicates that a density of R20 is currently applicable.

The draft DAP is proposed to be amended to allow for grouped dwelling development on Lot 35 Le Grande Avenue at a density of approximately R30.

4.0 Amendment Details

Proposed Amendment to Outline Development Plan Lot 35 Le Grande Avenue, McKail

4.0 Amendment Details

4.1 Overview of Proposal

The proposed amended Outline Development Plan (ODP) included at **Appendix A** is intended to supersede the ODP included at Appendix A of the May 2009 report prepared by Harley Survey Group.

The only significant change to the ODP is replacement of the residential subdivision layout over Lot 35 with a depiction of the existing lot boundaries and a 728m² area of public open space on the site at the intersection of Boundary Street and Le Grande Avenue. Similarly the draft Detailed Area Plan (DAP) has been amended and is included at **Appendix B** to depict the lot as a Grouped Dwelling Site and as public open space (POS).

An amendment to the text provisions of the draft DAP has been made to clarify that a density of R30 is applicable and that the R-Code variations and design elements of the draft DAP only apply to those lots to which the R20 density Code applies. Development requirements relating to the proposed grouped dwelling site will generally be as prescribed by the Residential Design Codes (R-Codes), however specific provisions and a Concept Development Plan for the lot are contained in this document (at **Appendix C**). Reference to development provisions in this document is included on the draft DAP in a similar manner to the other grouped dwelling site within the ODP area.

4.2 Grouped Dwelling Concept Development Plan and Development Provisions

The Concept Development Plan (at Appendix C) depicts one way in which the site could be developed with grouped dwellings at an approximate density of R30. The Concept Development Plan is not intended to prescribe the exact manner in which the site must be developed, however it is expected to form the

4.0 Amendment Details (Cont'd)

Proposed Amendment to Outline Development Plan Lot 35 Le Grande Avenue, McKail

basis for a future Development Application over the site. The Development Provisions included as Appendix C of this document prescribe the principles that must be adhered to in consideration of any future development application for the subject site.

The Concept Development Plan depicts a total of 29 grouped dwellings on Lot 35 with minimum site areas ranging from approximately 270m² to 378m².

Some of the key benefits of development in accordance with the Concept Development Plan and Development Provisions are outlined below:

- Utilisation of all existing road frontages to improve passive surveillance of public areas.
- Elimination of crossovers to Le Grande Avenue to improve pedestrian and vehicle safety and improve visual amenity of Le Grande Avenue.
- Provision of POS at the prominent intersection of Boundary Street and Le Grande Avenue to provide an attractive streetscape in a strategic location.
- Provision of housing choice to meet changing household needs
- Provision of affordable housing
- Medium density development located in close proximity to public open space, future public transport route (Le Grande Avenue), as well as proposed Primary School and shopping facilities within the McKail Local Structure Plan area.

4.3 Servicing

An investigation of servicing within the development area was undertaken by Wood & Grieve Engineers (WGE) in support of the existing approved ODP.

4.0 Amendment Details (Cont'd)

Proposed Amendment to Outline Development Plan Lot 35 Le Grande Avenue, McKail

The proposed amendment to the ODP will not significantly increase the density of development on the subject land and the same principles outlined in the WGE report will continue to apply.

There is an existing water main along the northern side of Boundary Street and along the eastern side of Le Grande Avenue. Upgrade of the main from South Coast Highway to the ODP area may be required however this would be determined in consultation with the Water Corporation at the time of development.

An underground electricity supply would be provided to any development within the ODP area. Should transformers be required, these would be located in consultation with Western Power.

The existing Telstra Corporation network can be connected to service the development.

In relation to sewerage the site can be easily connected to the existing network in Boundary Street and Le Grande Avenue.

Drainage would be managed in much the same way as described in the WGE report

4.4 Public Open Space

The HSG report includes a simple Public Open Space Contribution Schedule which indicates that Lot 35 Le Grande Avenue would contribute 10 percent cash-in-lieu of POS to the City of Albany. This schedule is proposed to be amended to reflect the proposed provision of POS at the intersection of Boundary Street and Le Grande Avenue on the amended ODP. Approximately 728m² is proposed to be provided as POS and the balance is to be provided as a cash-in-lieu contribution to the City of Albany. This does not have any impact on the POS contributions of other landowners.

5.0 Conclusion

Proposed Amendment to Outline Development Plan Lot 35 Le Grande Avenue, McKail

5.0 Conclusion

The proposed amended Structure Plan does not result in a substantial departure from the existing approved Structure Plan, and the underlying principles and rationale relating to the existing plan continue to apply.

The proposed R30 density for Lot 35 Le Grande Avenue will increase the overall dwelling yield for the lot from 20 dwellings to 29 dwellings. This change is not significant in the context of the overall development area and will only increase the potential number of dwellings from 97 to 106 for the ODP area as a whole.

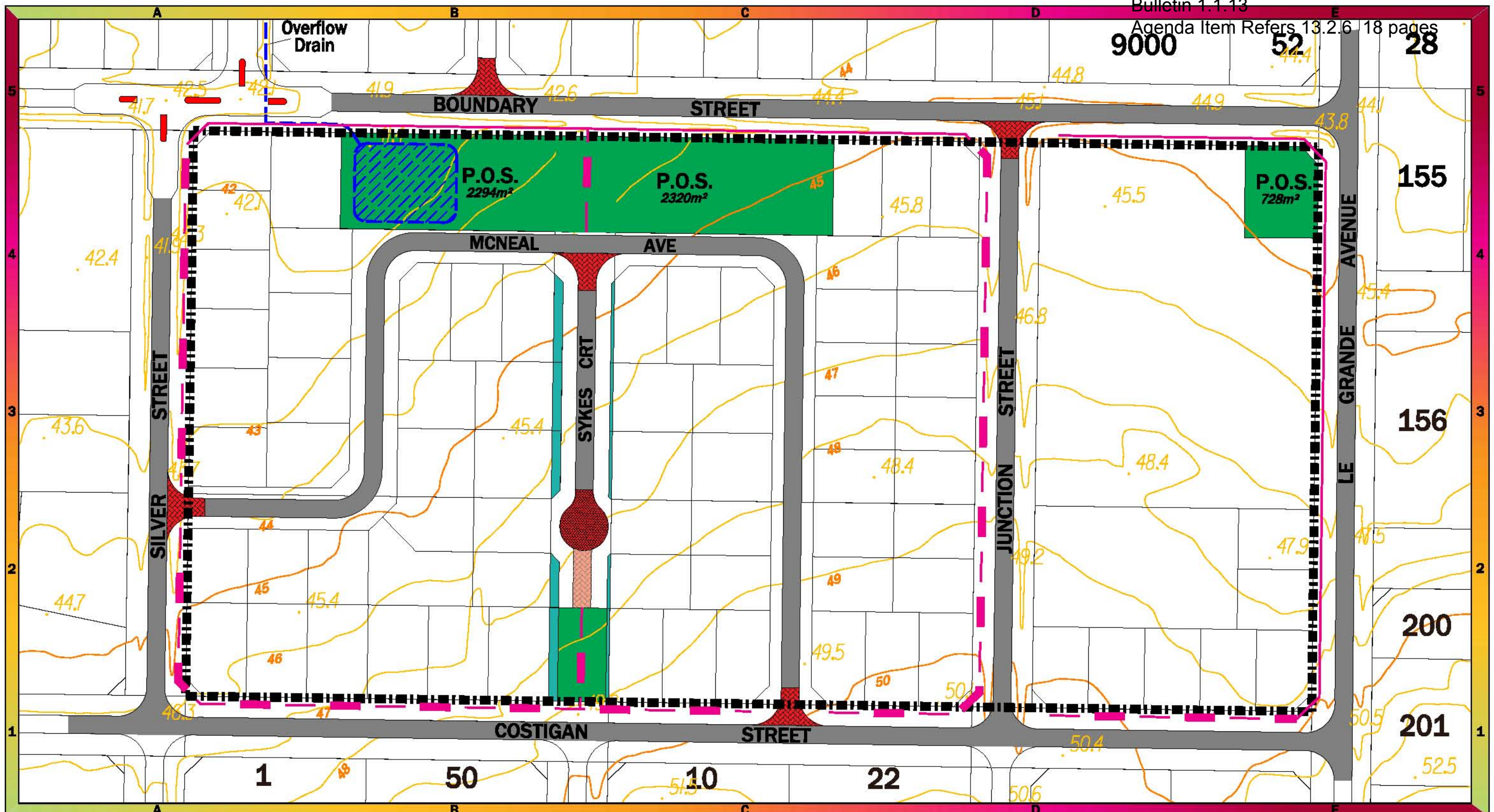
The proposal will result in increased housing choice and improved affordability within a location considered suitable for high quality medium residential development. The proposal will result in an attractive streetscape along Le Grande Avenue, through the provision of strategically well located POS and through the provision of vehicle access only at the rear of development facing Le Grande Avenue. Additionally, the existing road frontages to Boundary Street and Junction Street are ideally suited to provide safe and interconnected access to the grouped dwelling site.

Servicing associated with a slightly increased density does not have any impact on the balance of the ODP area as the site could be developed independent of other landowners.

On the basis of the supporting plans and rationale detailed in this report, Council's support for the amended ODP is respectfully requested.

Appendix A:
Amended Outline Development Plan

Proposed Amendment to Outline Development Plan
Lot 35 Le Grande Avenue, McKail



Outline Development Plan

Lots 32 & 37 Silver Street,
 Lot 33 Costigan Street,
 Lots 35 & 134 Le Grande Avenue and
 Lot 36 Junction Street, McKail

LEGEND

ODP Area

Wet/Dry Drainage Basin

P.O.S. Total Area = 6816m²

1.5m Footpath

Road Reserve Narrowing

Roads

2.5m Dual Use Path

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 notes
 This plan has been prepared for planning purposes. Areas, Outlines and Dimensions shown are subject to survey



Drawn
 ABS 23/12/09
 Checked



SCALE AT A3 1:1250
 ALL DIMENSIONS ARE IN METRES
 0 10 20 30 40 50 60

116 Serpentine Road. ALBANY WA 6330
T: 08 9841 7333 F: 08 9841 3643
E: hgalb@harleyglobal.com.au

Appendix B:

Amended Detailed Area Plan

Proposed Amendment to Outline Development Plan
Lot 35 Le Grande Avenue, McKail

The Residential Density Code which applies to Lot 35 Le Grande Avenue is R30. The Residential Density Code applying to all other lots is R20. The R-Code Variations and Design Elements in this DAP are only applicable to those lots to which the R20 density Code applies.

R-CODE VARIATIONS

The Town Planning Scheme and R-Codes are varied in the following manner:

1. The requirements of the R-Codes are varied as shown in the notations on this Detailed Area Plan.
2. The requirements of the R-Codes and Town Planning Scheme shall be satisfied in all other matters.
3. The requirements to consult with adjoining or other owners to achieve a variation of the R-Codes, where the variation is in accordance with notations on this Detailed Area Plan, is not required.

DESIGN ELEMENTS

- § The dwellings (including patios and gazebos) and garages must be constructed within the nominated building envelope.
- § An alternative garage location to that shown on the plan may be approved by the Manager of Planning subject to its design meeting solar orientation and streetscape objectives as well as statutory requirements.

Front Setbacks & Streetscape

- § Dwellings shall have a 3.0m minimum setback from the primary street no averaging.
- § Open sided porches are permitted to have a 1.5m minimum setback from the primary street.
- § Garages are to be located behind or level with the front wall of the dwelling to ensure that the dwelling is the dominant feature of the streetscape.

Site Coverage

- § All construction on individual lots will ensure that 40% of the site comprises Open Space as defined by the R-Codes 2002.

Outdoor Living Areas

- § Where ever possible courtyards should be located with a northerly aspect.

Corner Lots

- § Due to their prominence in the neighbourhood, and requirements to maintain passive surveillance of streets those dwellings situated on a corner lot shall be designed to address both streets.
- § At least one habitable room window (ideally to a living room), shall be provided within the front half of the wall fronting the secondary street per storey.
- § Fencing to the secondary street shall be limited to a height of 900mm if solid and 1.5m where the fence is more than 50% transparent for the front half of the boundary. The remaining length of this fence may be solid for the remaining portion of this boundary.

Lots adjoining public open space (POS)

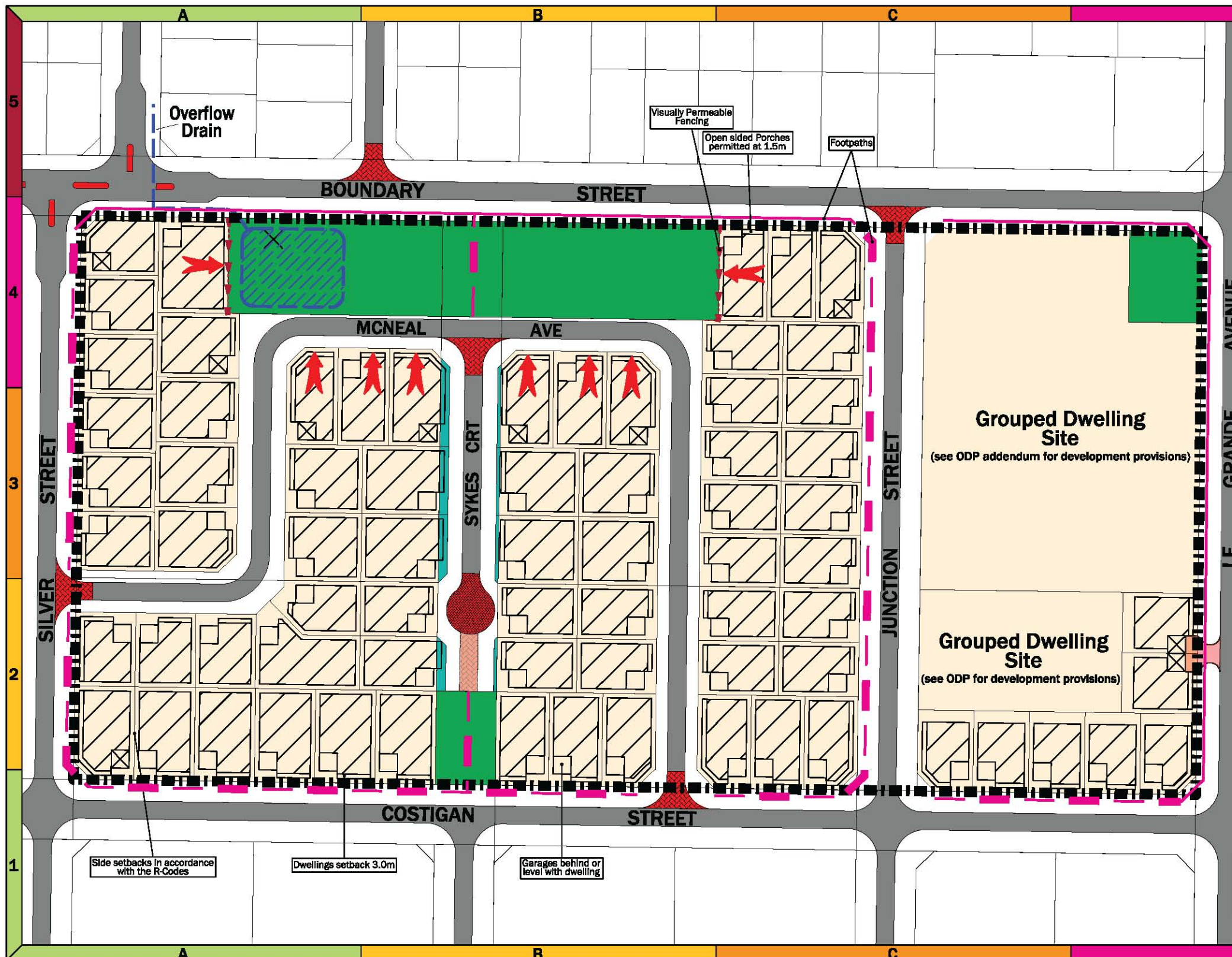
- § In order to achieve the principle of passive surveillance of POS areas at least one habitable room window, with a minimum size of two square metres, shall address the POS for lots marked on the DAP.
- § Balconies and verandah are encouraged to the front and rear of dwellings to provide for surveillance of the primary street and POS, whilst maintaining a reasonable level of privacy between dwellings.
- § Visually permeable fencing will be required for those lot boundaries abutting POS areas.

DESIGN ELEMENTS THAT CAN BE APPLIED MANDATORILY THROUGH CONDITIONS AND/OR DEVELOPMENT GUIDELINES (Sustainable Features):

- Install water sensitive features such as under-eave rainwater tanks.
- Utilise front veranda/porches.
- Install on-site drainage as the first step toward slowing stormwater water down and allowing it to infiltrate into the earth.
- Use of energy efficient glazing and other building elements.
- Living Areas with good solar access to the north.
- Install energy efficient fixtures such as solar hot water systems and rated appliances.

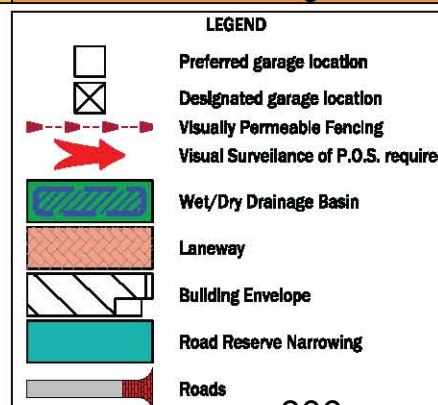
This Detailed Area Plan has been adopted by Council and signed by the Manager of Planning

Principal Planner..... Date.....



Detailed Area Plan

Lots 32 & 37 Silver Street,
Lot 33 Costigan Street,
Lots 35 & 134 Le Grande Avenue and
Lot 36 Junction Street, McKail

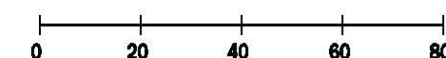


AIM

The primary aims of the detailed area plan are to provide encourage passive solar construction by providing access to northern light, increased opportunity for community interaction, a safe, pedestrian orientated development with high levels of passive surveillance, quality streetscape where the focus is on the dwelling and its interface with the surrounding streets and POS.

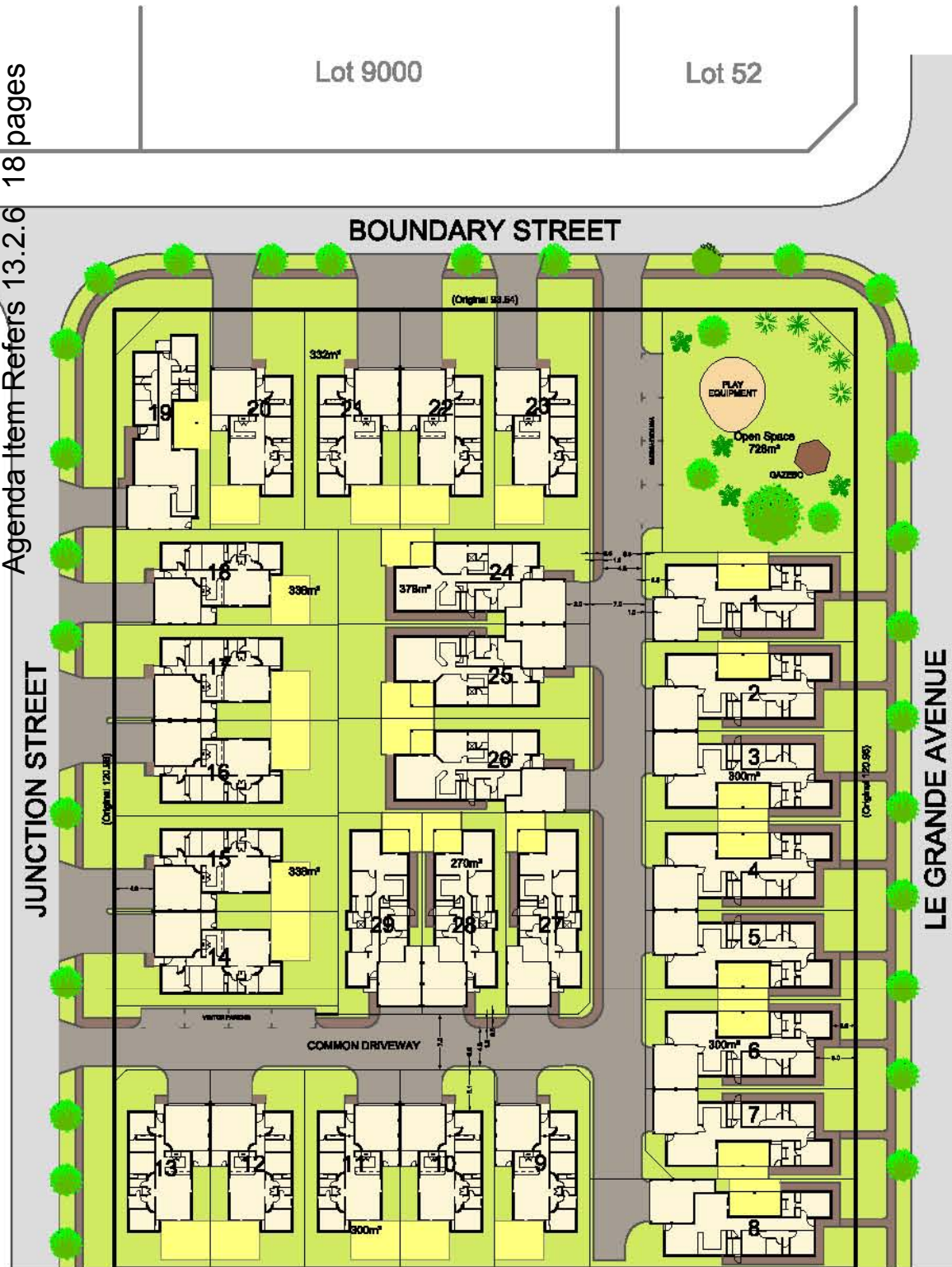


scale at A3 1:1500



Appendix C:
Concept Development Plan;
Development Provisions
Lot 35 Le Grande Avenue, McKail

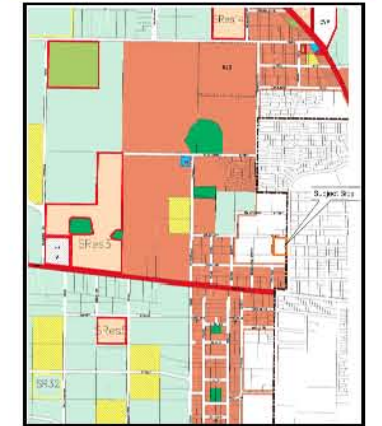
Proposed Amendment to Outline Development Plan
Lot 35 Le Grande Avenue, McKail



proposed development at lot 35 Le Grande Avenue McKail

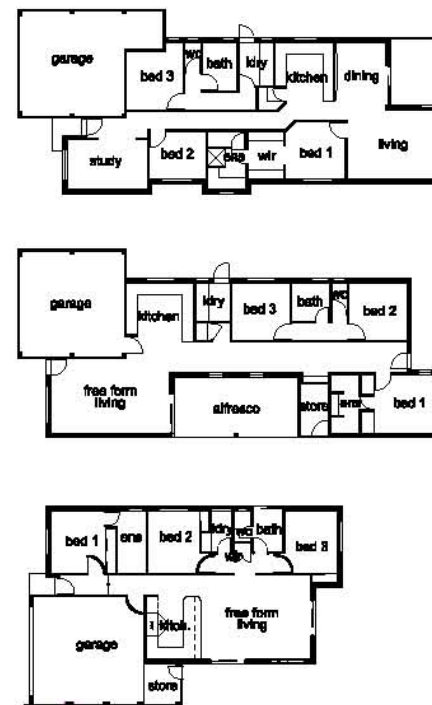
view from public open space

LOCATION PLAN



PROJECT DETAILS:

- | | |
|---------------------|--------------------------------------|
| 1. Lot Area | 1.1314ha |
| 2. P.O.S. | 727m ² |
| 3. No of Units | 29 |
| 4. Strata size | 270m ² -378m ² |
| 5. Proposed Density | R30 |



FLOOR PLANS
1:200



proposed development at lot 35 Le Grande Avenue McKail

view from Le Grande Avenue

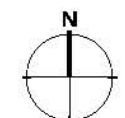
CONCEPT DEVELOPMENT PLAN

Lot 35 Le Grande Avenue
McKAIL



Subdivision, Rezoning, Structure
Planning, Development Planning,
Design, Advisory
2853 Albany Highway,
Kalgoorlie WA 6111
T: 9495 1947
F: 9495 1948
admin@dykstra.com.au

23 December 2009



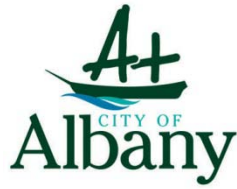
1:400 @ A1

Notes:
• This document may only be used
for the purpose for which it was
commissioned and in accordance
with the Terms of Engagement.
• The dimensions, areas and
number of lots are subject to
survey and also the requirements
of all authorities.
07583-004-FX-081127-B

Development Provisions – Lot 35 Le Grande Avenue, McKail

Development of Lot 35 Le Grande Avenue is to accord with the Residential Design Codes and additional design requirements outlined in the following provisions:

1. Development adjoining or adjacent to public open space (POS) is required to provide an outlook to the POS from at least one major opening (habitable room window).
2. No direct vehicle access is permitted from individual dwellings to Le Grande Avenue.
3. All dwellings with frontage to Le Grande Avenue are required to be provided with pedestrian paths linking the front entry of the dwelling with the dual use path.
4. Uniform fencing is to be provided to Le Grande Avenue that is visually permeable above 1.2 meters.
5. All dwellings with frontage to Le Grande Avenue are to be provided with at least two major openings (habitable room windows) with an outlook to the street.



Council Policy

Detailed Area Plans

© City of Albany 2007

1.0 Preamble

This local planning policy has been created to provide guidance for Council and landowners in preparation of Detailed Area Plans where required by Council or as condition of a subdivisional approval issued by the Western Australian Planning Commission.

Detailed Area Plans are generally required for increased density residential development (cottage type/R30 lots or greater), lots with rear laneways, lots adjoining areas of public open space, corner lots and for local centres. Detailed Area Plans for all lots listed in Schedule 1 will be attached as an appendix to this policy.

This planing policy sets out general criteria for the development of the lot types referred to above. However in some instances variation from these general criteria will be appropriate. Such variations will be included with each individual Detailed Area Plan in Schedule 1.

A LPP is not part of the Scheme and shall not bind the Local Government in any respect of any application for Planning Approval but the Local Government shall have due regard to the provisions of any Policy and the objectives which the Policy is designed to achieve before making its decision.

2.0 Aim

The aim of the City of Albany's Detailed Area Plan Policy is:

- To avoid the need for separate Local Planning Policies to be prepared for individual sites where Detailed Area Plans have been required as a condition of subdivision by the Western Australian Planning Commission or otherwise required by Council;
- To ensure a consistent approach to the treatment of lots with access via a rear laneway, those adjoining areas of Public Open Space, corner lots, local centres and all other lots subject to a Detailed Area Plan;
- To provide a detailed set of provisions to guide developers in the treatment and design of dwellings with regard to setbacks, site coverage, privacy and surveillance;
- To ensure that dwellings on lots adjoining Public Open Space are designed to provide passive surveillance; and,
- To ensure that corner lots are designed to address both the primary and secondary streets, whilst providing a high level of privacy to future occupants; and,
- To allow for variation of development standards where considered necessary to address site-specific criteria such as existing built form or sloping land.

3.0 Policy Application

This policy applies to those lots identified in Schedule 1, which have been created as part of a subdivision process and a Detailed Area Plan has been required as condition of the approval issued by the Western Australian Planning Commission or any lot for which Council has determined a Detailed Area Plan is required.

The provisions of this policy apply in addition to any other provisions contained within the City of Albany Town Planning Schemes 1A and 3, the Residential Design Codes (R-Codes) and the Building Code of Australia.

Landowners or development proponents seeking to vary the requirements of this policy or the relevant Detailed Area Plan must demonstrate how the policy objectives are to be achieved as part of any application for development.

This policy includes general development and design criteria for the following lot types:

- Cottage/R30 lots/Rear laneway lots;
- Lots adjoining areas of public open space; and,
- Corner lots.

4.0 Cottage/R30 Lots/Rear Laneway Lots

The detailed design of rear laneways shall be considered during the subdivision process, with the laneways being designed and constructed in accordance with the following design criteria:

- Laneways shall have a minimum width of 6.0m;
- Corner truncations to the street shall be provided with a minimum of 2.0m x 2.0m;
- Laneways shall be through roads with no 'dead-ends', the length shall be kept to a minimum and designed to allow for good visibility from one end of the laneway to the other;
- Laneways shall allow for two-way traffic;
- Laneways shall be designed to include good street lighting from lighting poles, with bollard lighting not considered acceptable. The design shall ensure that light spill into residential lots is minimised;
- On street car parking shall be provided along the primary street for use by visitors to the dwellings. Appropriate line making shall be provided to indicate there is no parking within the laneway.

4.1 Development Standards

The following criteria shall be applied for those lots with rear laneways subject to this policy, in addition to those required by the R-Codes.

Vehicle Access and Garages

- All vehicle and garage access shall be taken from the laneway.
- Where located on a corner, garages shall be located at the furthest point from the intersection of the street and laneway and shall be designated on Detailed Area Plans;
- Development over a garage is required to ensure personal and property safety within the laneways as follows:
 - Identification of lots at both ends of lanes and at the junction of laneways where provision for rear studio units is required;
 - Ensuring that these studio units are designed for independent occupation, have good sized windows overlooking the lane and have an independent entry from the street or lane;
- Development above a garage is encouraged, as follows:
 - Examples of development may include a studio apartment, ancillary accommodation or an area to be used for the purpose of a suitable home occupation.
 - Development over a garage will not be included in any calculation of the developments site coverage.
 - Any balcony over the garage can be used in the calculation of the sites courtyard area.

Dwelling Design

Dwellings should be designed to address all street frontages and laneways through appropriate window treatments and shall consider the following:

- Large areas of blank wall on areas with frontage to or visible from the street or laneway shall not be permitted
- Where a two-storey dwelling is proposed, at least one habitable room window on the upper floor shall address the rear laneway.
- Windows and openings shall be required to address secondary streets.

Setbacks

Rear

- Garages shall have a 1.0m minimum and a 1.5m maximum setback from the rear laneway and may be permitted with a nil setback to the side boundary in the location designated on the Detailed Area Plan.
- Development above a garage should be setback a minimum of 1.0m from the laneway
- The remainder of the dwelling should be setback to provide a variation to the building line with a minimum setback of 2.0m from the laneway

Front

- Dwellings should have a 2.0m minimum setback (averaged at 3m) from the primary street with open sided porches permitted to have a 1.5m minimum setback. No averaging is required for open side porches.

Sides

- Boundary walls are permitted for two thirds of the length of the southern or western boundary, in addition to a nil setback for the garage or as otherwise specified on a Detailed Area Plan. A nil setback to the side will not be permitted for a secondary street.
- The relevant provision of the R-Codes shall apply to northern and eastern boundaries.

Secondary Street

- Dwellings on corner lots shall have a 1.5m minimum setback from the secondary street and be designed to address the street.

5.0 Lots Adjoining Public Open Space (Subdivision Guidelines)

Subdivision layouts should be designed so that areas of public open space are fronted along all boundaries by streets, with lots orientated to overlook areas of public open space. Whilst not desirable, the City acknowledges that there may be situations where lots directly abut areas of public open space. In these instances, the following should occur:

- The boundary between the lots and the public open space should be clearly demarcated; and,
- As a minimum, a 600mm difference should be provided between the ground level of the open space and the finished ground level of abutting lots unless exceptional circumstances occur. In this instance individual Detail Area Plans can modify this design criteria.
- The difference in ground levels provides increased privacy and security for those living on the abutting properties and provides for surveillance of the open space from the properties.

5.1 Development Standards

The following design criteria shall be applied for those lots that abut an area of public open space subject to this policy, in addition to those required by the R-Codes or any outlined in the Detailed Area Plans:

Passive Surveillance

- Principle habitable spaces of each dwelling should be located to ensure that views of adjoining open space are available;
- At least one habitable room window, with a minimum size of two square metres, shall address the open space;

- Where a two-storey dwelling is proposed, at least one habitable room window on the upper floor shall address the open space, in addition to a window at ground floor level.
- Carports and Garage may not abut the public open space in order to encourage an active interface.

Fencing

- A minimum of 75% of the length of the fencing provided along the common boundary with the public open space shall be visually permeable above 1.2m to a maximum height of 1.8m.
- Windows or active habitable rooms should be located to address the visually permeable portion of the fence.
- Corrugated fibre cement sheeting is not permitted.

6.0 Corner Lots

The following criteria shall be applied for those corner lots subject to this policy, in addition to those required by the R-Codes or any outlined in the Detailed Area Plans.

6.1 Development Standards

Dwellings shall address both street frontages through respective elevation treatments and design. This shall be achieved using the following criteria:

- No entirely blank walls shall be permitted for any storey that addresses a street;
- A minimum of 50% of the length of the fencing provided along the boundary with the secondary shall be visually permeable above 1.2m to a maximum height of 1.8m.
- At least one habitable room (major opening) window shall address the area of permeable fencing fronting the secondary street;
- Where a two storey dwelling is proposed, at least one habitable room window on the upper floor shall address the street frontages, in addition to the window on the ground floor level;

Crossovers and Garage/Carport Location

- Crossovers and driveways may be permitted from either road frontage, but shall be located at the furthest point from the intersection of the two streets

7.0 Variations

It is recognised that individual lots will have site specific characteristics which will require further variation of the provisions of the R-Codes. This is particularly evident with regard to street and side setbacks, the location of building

envelopes, vehicular access, the provision of front fencing and retaining walls. In such instances a more specific Detailed Area Plan can be prepared and included as part of Schedule 1.

All land identified in Schedule 2 shall comply with the general provisions of this Policy only.

Where a Detailed Area Plan is included as part of Schedule 1, the provisions identified in that Plan shall take precedence over the General Provisions of this Policy and the Residential Design Codes. Where the Detailed Area Plan is silent on an issue, the general provisions of this Policy and then the Residential Design Codes shall provide direction in that instance.

Schedule 1

No	Locality	Lots
1	McKail	Lot 2 South Coast Highway
2	Lower King	Lot 2 Mason Road/Lower King Road, Lange
3	Lower King	Lot 94 & 95 The Esplanade
4	Lower King	Lots 42 and 47 Lower King Road, Bayonet Head (Plans 1-5)
5	Lockyer	Lot 247 Cull Road ,South Lockyer
6	Yakamia	Lot 10 and 322 Galle street ,Yakamia
7	Little Grove	Lots 15, 25 & 35 Jeffcott Street, Little Grove
8	Mt Melville	Verdi and Jeffries Street ROW's







Schedule 2

No	Locality	Lots

Detailed Area Plan - Verdi and Jeffries Street Area DAP 005

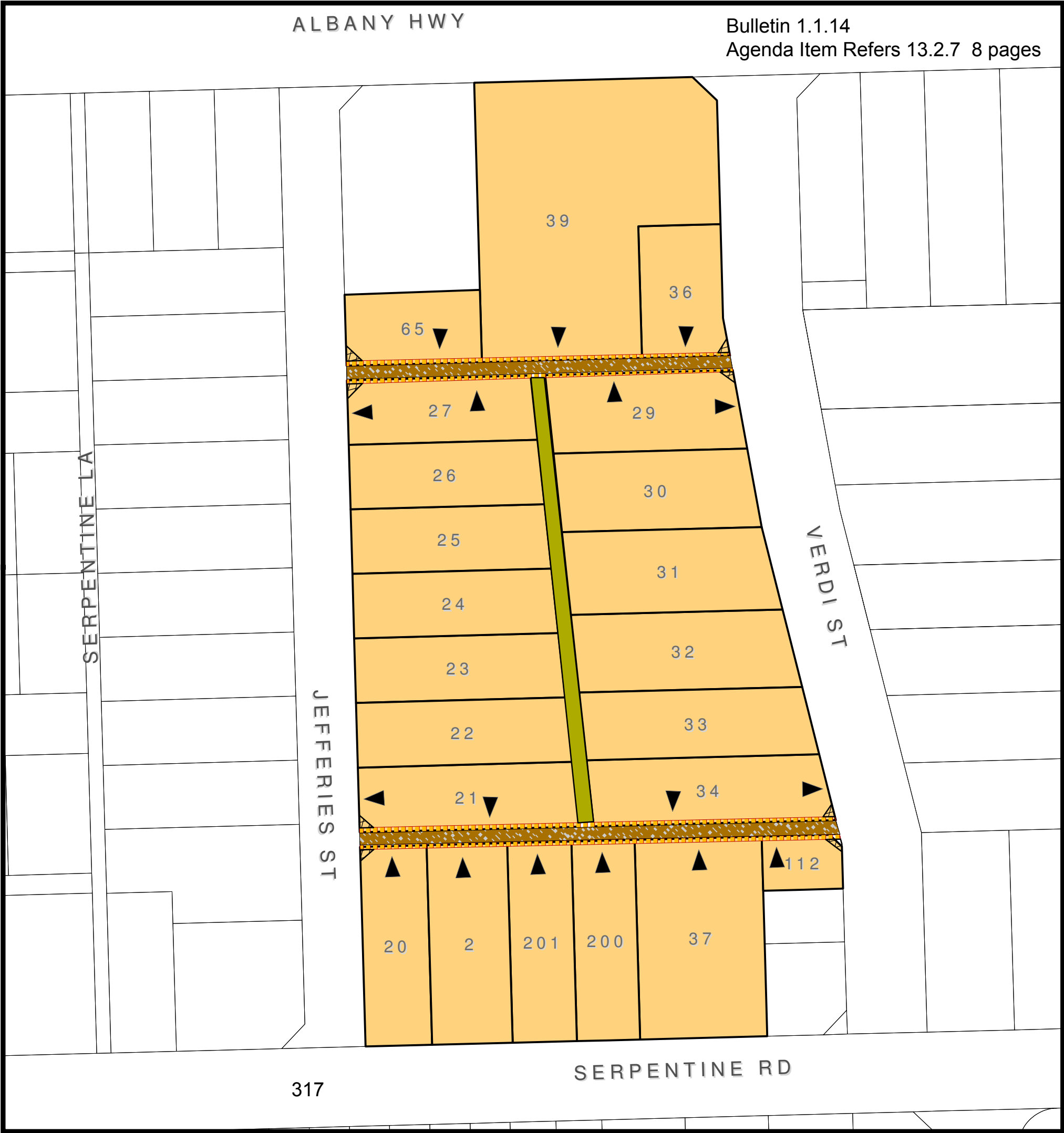
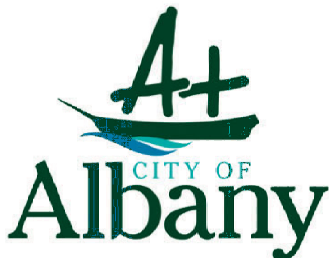
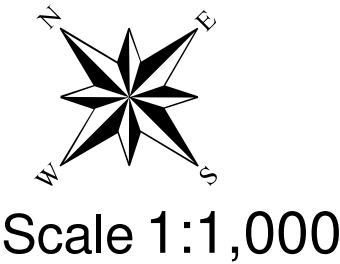
The Purpose of the DAP is to guide the development of the lots that adjoin the Right of Ways (ROW) between Jefferies Street and Verdi Street.

The following provisions apply in addition to the provisions of the Detailed Area Plans Policy.

-  DAP Policy Area
-  A 1m Widening of the ROW will be required at the time of subdivision or development.
-  Buildings shall be orientated to address the ROW or Road and provide surveillance over the ROW and/or Road from at least 1 Habitable Room
-  ROW to be closed / Drainage reserve
-  Truncation (indicative only) to be ceded to Council specifications as part of any subdivision
-  Right of Way (ROW) - to be constructed as part of development and subdivision to Council specification as a "One Way" System.

Setback
Dwelings shall as a minimum be setback 2.5 m from the widened ROW.
Any porch , verandah, balcony or equivalent maybe setback 1.5m from the widened ROW.

Fencing
All fencing should be visually permeable above 1.2 M





Our Ref P10011
Contact Lorraine Elliott

Cardno (WA) Pty Ltd
ABN 77 009 119 000

1 June 2010

2 Bagot Road
Subiaco WA 6008
Australia

City of Albany
A/Executive Director Development Services
102 North Road
Yakamia WA 6330

P.O. Box 155
Subiaco WA 6904
Australia

Attention: Graeme Bride

Phone: 61 8 9273 3888
Fax: 61 8 9388 3831

www.cardno.com.au

Dear Graeme

ALBANY LOCAL PLANNING STRATEGY SUBMISSION

I refer to the above draft Albany Local Planning Strategy (herein referred to as "ALPS") which is currently pending adoption by the Council at the June Council meeting.

This submission is lodged by Cardno on behalf of our client, Charter Hall Retail REIT, who own Albany Plaza, which is located within the Albany Regional Centre. This letter objects to the submission by Centro that proposes to allow a Discount Department Store (DDS) at Centro Albany (formerly Centro Brookes Garden). We support Council's position to adopt the ALPS as is, and to revisit the need for a DDS at Centro Albany upon next undertaking a review of the ALPS.

The major objective outlined within the ALPS in relation to retail and commerce is to *"facilitate and maintain Albany as a vibrant regional centre providing a wide range of retail and commercial facilities and activities to service regional, local and tourist populations with neighbourhood and local centres for convenience retailing"*. Under the Strategy, Farm Fresh / Brookes Garden has been identified as having the potential to be a future sub-regional centre to cater for additional regional population growth. However, both the ALPS and the Albany Centres Planning Strategy (ACPS) have recommended that the current classification of Centro Albany as a large neighbourhood centre be retained. It is proposed that this hierarchical classification and the allowance of a DDS be revisited upon review of the ALPS, which may be instigated by increased population or demand, within the next 5 years. We support this recommendation as it is critical that the viability of the Regional (Town) Centre is retained.

On 2 December 2009, the WAPC advised the City of Albany that five substantial modifications differing from the originally advertised version of the ALPS would need to be placed on public advertising seeking comments. Modification 3 proposed to modify the retail components of the ALPS in accordance with the Albany Centres Planning Strategy (ACPS). The ACPS looks to promote the viability of the Albany City Centre as the regional commercial and retail centre of the district and the Lower Great Southern, and to facilitate and maintain the neighbourhood and local centres for convenience retailing. We support the Council's position in relation to neighbourhood and local centres. Should a DDS be allowed at Centro Albany, the established hierarchy for the centres is likely to be compromised.

In response to the advertising of the proposed modifications, the City received a submission on behalf of Centro requesting that the ALPS be modified to support a DDS and additional specialty retail stores at Centro Albany. The grounds for this request were contained within an Economic Impact Assessment (EIA) prepared by Urbis for the Centro Albany Shopping Centre. As part of preparing this submission, we have reviewed the Executive Summary of the Urbis EIA.

In relation to the ALPS, ACPS and the Urbis EIA, we make the following general comments:

1. Based on previous work undertaken by Cardno on behalf of landowners and developers in Albany, it is understood that major retailers have been required to locate within the Albany Plaza/town centre area due to the lack of support from Council for major retail operators to be located in the surrounding neighbourhood and local centres. In many instances, the central location has not been ideal for major retailers, in particular for supermarkets and discount department stores. However, retailers have complied with Council's longstanding policy of supporting the Albany Town Centre. As such, any support for the Centro Albany proposal at this time would be contrary to Council's previous requirements to support the Regional (Town) Centre until there is sufficient population to support major centres outside the CBD.
2. The ACPS states that one of the fundamental characteristics of a sustainable city is economic efficiency, and has proposed that this can best be achieved through ensuring that the needs of the local community and visitors are considered, and establishing a highly commercial environment with a measure of certainty for land developers and activity centre users. However, the Urbis EIA argues that economic efficiency could be achieved more effectively through the inclusion of a DDS at Centro Albany. In reviewing the Urbis EIA, it would appear that the success of Centro Albany should be achievable, however the implications to the Regional (Town) Centre through the promotion of a second major centre located in such close proximity at this point in time does not appear to have been assessed.
3. It is noted that the ACPS is designed to guide commercial development in Albany until 2026. However, the ACPS also makes some recommendations for the short to medium term (i.e. 5 to 8 years). This includes a recommendation to review the future centre classification of Centro Albany, which is only supported as a large neighbourhood centre in the present strategy.
4. It is understood that Centro have advised the City that the proposed DDS would not be constructed for approximately five years, by which time there would be a demand for a DDS in the area. If the ALPS were amended to allow the provision of a DDS and additional specialty retail at Centro Albany now, there will not be any mechanism to stop Centro proceeding with a development application immediately. It is important to note that the introduction of a DDS at Centro Albany will change the hierarchy of Albany's centres and could have a major impact on the Regional (Town) Centre. It is incumbent on Centro to assess this impact prior to seeking to amend the ACPS or ALPS.
5. Upon establishment of actual demand for the DDS, or the realisation of the forecast population whereby it could be supported without adversely impacting on the Regional (Town) Centre, it is acknowledged that a review of the ACPS and ALPS would be appropriate in order to reassess whether the designation Centro Albany as a District Centre is warranted and thus a DDS can be supported.
6. It is understood that the Council are of the opinion that any short term major expansion to Centro Albany would either have a significant impact on other retail uses in the Regional (Town) Centre or would not be fully tenanted. Charter Hall Retail REIT support this view, particularly given that any expansion at Centro Albany would likely detract from the viability of the retail outlets and supermarket located at Albany Plaza, despite the central location.
7. Figure 31 of the ACPS demonstrates that Centro Albany is located just beyond the boundary of the 5 minute drive to the Regional Centre catchment. Charter Hall Retail REIT agrees with the ACPS that the introduction of a DDS at Centro Albany would result in the centre's classification being upgraded to District Centre, with the main anchors of such a centre being a major supermarket and a DDS. Due to the proximity of Centro Albany to the Regional (Town) Centre, the Centro Albany centre would serve a proportion of the retail trade within the Regional Centre's catchment, as opposed to serving a new 'district' catchment.
8. We do not believe that a DDS at Centro Albany should be precluded indefinitely, however it is important that demand for a further DDS in Albany is established prior to permitting the development to proceed. It is suggested that a review of the ALPS and ACPS in five years time could be appropriate and would allow an assessment of the population growth in order to determine if the

projected population forecasts are being realised and the DDS is therefore supported by its own catchment and not prematurely developed.

Due to the somewhat conflicting findings of the Urbis EIA and the ACPS, particularly in relation to the demand for a DDS at Centro Albany, Charter Hall Retail REIT would support the engagement of an independent third party consultant to undertake a review of the commercial and economic circumstances and the predicted demand levels prior to any modifications to either the ACPS or the ALPS being undertaken.

It would be appreciated if Cardno could be kept informed of the progress of the finalisation of the ALPS. It is understood that our comments have been received following the closure of the advertising period and the completion of the officer's report, however it is requested that this submission be forwarded direct to Councillors for their consideration at the June meeting at which the ALPS is being presented.

Thank you for your attention to this matter. Charter Hall Retail REIT welcomes the strong focus on preserving and enhancing the role of the Albany Regional (Town) Centre that is evident in the Strategy and trusts this will be implemented through future policy and zoning controls.

Please do not hesitate to contact me if you have any queries on any matters raised in this submission.

Yours faithfully



Lorraine Elliott
Senior Planner
For Cardno

cc: Drew Good, Charter Hall

LOCAL GOVERNMENT ACT 1995

DIVIDING FENCES ACT 1961

CITY OF ALBANY

FENCING LOCAL LAW 2010

Under the powers conferred by the *Local Government Act 1995* and under all other powers enabling it, the Council of the City of Albany resolved on2010 to make the following local law.

PART 1 — PRELIMINARY

1.1 Citation

This local law may be cited as the *City of Albany Fencing Local Law 2010*.

1.2 Repeal

The *City of Albany Local Laws Relating to Fencing 2001* as published in the *Government Gazette* on 15 January 2002 are repealed.

1.3 Application of local law

This local law applies throughout the district.

1.4 Commencement

This local law will come into operation 14 days after the day it is published in the *Government Gazette*.

1.5 Interpretation

In this local law unless the context requires otherwise —

“**Act**” means the *Dividing Fences Act 1961*;

“**AS**” means an Australian Standard published by the Standards Association of Australia;

“**boundary fence**” has the meaning given to it for the purposes of the Act;

“**Building Surveyor**” means a Building Surveyor of the local government;

“**CEO**” means the Chief Executive Officer of the local government;

“**commercial lot**” means a lot where a commercial use —

- (a) is or may be permitted under the local planning scheme; and
- (b) is or will be the predominant use of the lot;

“**dangerous**” in relation to any fence means —

- (a) an electrified fence other than a fence in respect of which a licence under Part 5 of this local law has been issued and is current;
- (b) a fence containing barbed wire other than a fence erected and maintained in accordance with this local law;
- (c) a fence containing exposed broken glass, asbestos fibre, razor wire or any other potentially harmful projection or material; or
- (d) a fence which is likely to collapse or fall, or part of which is likely to collapse or fall, from any cause;

“**district**” means the district of the local government;

“**dividing fence**” has the meaning given to it in and for the purposes of the Act;

“**electrified fence**” means a fence carrying or designed to carry an electric charge;

“**fence**” means any structure, including a retaining wall, used or functioning as a barrier, irrespective of where it is located and includes any gate;

“frontage” means the boundary line between a lot and the thoroughfare upon which that lot abuts;

“height” in relation to a fence means the vertical distance between —

- (a) the top of the fence at any point; and
- (b) the ground level or, where the ground levels on each side of the fence are not the same, the higher ground level, immediately below that point;

“industrial lot” means a lot where an industrial use —

- (a) is or may be permitted under the local planning scheme; and
- (b) is or will be the predominant use of the lot;

“local government” means the City of Albany;

“local planning scheme” means a local planning scheme of the local government made under the *Planning and Development Act 2005*.

“lot” has the meaning given to it in and for the purposes of the *Planning and Development Act 2005*;

“notice of breach” means a notice referred to in clause 6.1;

“owner” has the meaning given to it in the Act;

“residential lot” means a lot where a residential use —

- (a) is or may be permitted under the local planning scheme; and
- (b) is or will be the predominant use of the lot;

“retaining wall” means any structure which prevents the movement of soil in order to allow ground levels of different elevations to exist adjacent to one another;

“rural lot” means a lot where a rural use —

- (a) is or may be permitted under the local planning scheme; and
- (b) is or will be the predominant use of the lot;

“Schedule” means a Schedule to this local law;

“setback area” has the meaning given to it for the purposes of the local planning scheme;

“special residential lot” means a lot where a special residential use —

- (a) is or may be permitted under the local planning scheme; and
- (b) is or will be the predominant use of the lot;

“special rural lot” means a lot where a special rural use —

- (a) is or may be permitted under the local planning scheme; and
- (b) is or will be the predominant use of the lot; and

“sufficient fence” means a fence described in clause 2.1.

1.6 Licence fees and charges

All licence fees and charges applicable under this local law shall be as determined by the local government from time to time in accordance with section 6.16 of the *Local Government Act 1995*.

PART 2 — SUFFICIENT FENCES

2.1 Sufficient fences

- (1) Unless by agreement between the owners of adjoining properties, a person shall not erect a dividing fence or a boundary fence that is not a sufficient fence.

- (2) Subject to subclauses (3) and (4), a sufficient fence —
 - (a) on a residential lot is a dividing fence or a boundary fence constructed and maintained in accordance with the specifications and requirements of Schedule 1;
 - (b) on a commercial lot and on an industrial lot is a dividing fence or a boundary fence constructed and maintained in accordance with the specifications and requirements of Schedule 2;
 - (c) on a rural lot, a special residential lot and a special rural lot is a dividing fence or a boundary fence constructed and maintained in accordance with the specifications and requirements of Schedule 3;
- (3) Where a fence is erected on or near the boundary between —
 - (a) a residential lot and an industrial lot, a sufficient fence is a dividing fence constructed and maintained in accordance with the specifications and requirements of Schedule 1;
 - (b) a residential lot and a commercial lot, a sufficient fence is a dividing fence constructed and maintained in accordance with the specifications and requirements of Schedule 2;
 - (c) a residential lot and a rural lot, a sufficient fence is a dividing fence constructed and maintained in accordance with the specifications and requirements of Schedule 3;
 - (d) a residential lot and a special rural lot or a special residential lot, a sufficient fence is a dividing fence constructed and maintained in accordance with the specifications and requirements of Schedule 1; and
 - (e) a special residential lot or a special rural lot and a rural lot, a sufficient fence is a dividing fence constructed and maintained in accordance with the specifications and requirements of Schedule 3.
- (4) Unless the Building Surveyor specifies otherwise, a sufficient fence on a boundary between lots other than those specified in subclause (3) is a dividing fence constructed in accordance with the specifications and requirements of Schedule 2.
- (5) Notwithstanding any other provisions in this local law, a fence constructed of stone or concrete shall be a sufficient fence only if it is designed by a structural engineer where —
 - (a) it is greater than 1800 mm in height; or
 - (b) the Building Surveyor so requires.

PART 3 — GENERAL

3.1 Fences within front setback areas

- (1) A person shall not, without the written consent of the Building Surveyor, erect a free-standing fence greater than 1200 mm in height, within the front setback area of a residential lot within the district.
- (2) The Building Surveyor may approve the erection of a fence of a height greater than 1200 mm in the front setback area of a residential lot only if the fence on each side of the driveway into the lot across the front boundary is to be angled into the lot for a distance of not less than 1500 mm along the frontage to a distance of not less than 1500 mm from the frontage in order to provide appropriate splayed lines of vision for a motorist using the driveway for access to a thoroughfare.
- (3) The provision of subclause (2) shall not apply to a fence —
 - (a) of open construction that does not obscure the lines of vision of a motorist using the driveway for access to a thoroughfare; or
 - (b) that does not adjoin a footpath.

3.2 Gates in fences

A person shall not erect a gate in a fence which does not —

- (a) open into the lot; or
- (b) open by sliding parallel to and on the inside of the fence, which it forms part of, when closed.

3.3 Fences on rural lots, special residential lots and special rural lots

A person shall not without the written consent of the Building Surveyor, erect a fence on rural lots, special rural lots or special residential lots, within 7.5 metres of a thoroughfare, of a height exceeding 1500 mm.

3.4 Maintenance of fences

An owner of a lot on which a fence is erected, that abuts land under the care and control of the local government, shall maintain the fence in good condition so as to prevent it from becoming dangerous, dilapidated, or unsightly.

3.5 General discretion of the local government

- (1) Notwithstanding clause 2.1, the local government may grant consent to the erection or repair of a fence which is not a sufficient fence, where all owners of land which adjoins the relevant boundary make an application for approval for that purpose.
- (2) In determining whether to grant its consent to the erection or repair of any fence, the local government may consider, in addition to any other matter that it is authorised to consider, whether the erection or retention of the fence would have an adverse effect on —
 - (a) the safe or convenient use of any land; or
 - (b) the safety or convenience of any person.

PART 4 — FENCING MATERIALS**4.1 Fencing materials**

- (1) A person shall construct a fence on a residential lot, a commercial lot or an industrial lot from only brick, stone, concrete, wrought iron, tubular steel framed, link mesh, timber, plastic coated or galvanised link mesh, corrugated fibre reinforced cement sheeting, pre-painted metal or a material approved by the Building Surveyor.
- (2) Where the Building Surveyor approves the use of pre-used materials in the construction of a fence under subclause (1), that approval shall be conditional on the applicant for approval painting or treating the pre-used material as directed by the Building Surveyor.

4.2 Barbed wire and broken glass fences

- (1) This clause does not apply to a fence constructed wholly or partly of razor wire.
- (2) An owner or occupier of a residential lot or a commercial lot shall not erect or affix to any fence on such a lot any barbed wire or other material with spiked or jagged projections, unless the prior written approval of the Building Surveyor has been obtained.
- (3) An owner or occupier of an industrial lot shall not erect or affix on any fence bounding that lot any barbed wire or other materials with spiked or jagged projections unless the wire or materials are carried on posts at an angle of 45 degrees, and unless the bottom row of wire or other materials is set back 150 mm from the face of the fence and is not nearer than 2000 mm from the ground level.

- (4) If the posts which carry the barbed wire or other materials referred to in subclause (3) are angled towards the outside of the lot bounded by the fence the face of the fence must be set back from the lot boundary a sufficient distance to ensure that the angled posts, barbed wire or other materials do not encroach on adjoining land.
- (5) An owner or occupier of a lot shall not —
 - (a) affix any broken glass to; or
 - (b) allow any broken glass to remain on or as part of,any fence or wall, whether internal or external, on that lot.
- (6) An owner or occupier of a rural lot, special rural lot or special residential lot shall not —
 - (a) place or affix barbed wire;
 - (b) allow barb wire to remain,on a fence on that lot where the fence is adjacent to a thoroughfare or other public place unless the barbed wire is fixed to the side of the fence posts furthest from the thoroughfare or other public place.

PART 5 — ELECTRIFIED AND RAZOR WIRE FENCES

5.1 Requirements for a licence

- (1) An owner or occupier of a lot, other than a rural lot or special rural lot, shall not —
 - (a) have and use an electrified fence on that lot without first obtaining a licence under subclause (2); or
 - (b) construct a fence wholly or partly of razor wire on that lot without first obtaining a licence under subclause (3).
- (2) A licence to have and use an electrified fence shall not be issued —
 - (a) in respect of a lot which is or which abuts a residential lot;
 - (b) unless the fence complies with AS/NZS 3016:2002; and
 - (c) unless provision is made so as to enable the fence to be rendered inoperable during the hours of business operations, if any, on the lot where it is erected.
- (3) A licence to have a fence constructed wholly or partly of razor wire shall not be issued —
 - (a) if the fence is within 3000 mm of the boundary of the lot;
 - (b) where any razor wire used in the construction of the fence is less than 2000 mm or more than 2400 mm above the ground level.
- (4) An application for a licence referred to in subclauses (2) or (3) shall be made by the owner of the lot on which the fence is or is to be erected, or by the occupier of the lot with the written consent of the owner.
- (5) An application for a licence referred to in subclauses (2) or (3) may be —
 - (a) approved by the local government;
 - (b) approved by the local government subject to such conditions as it thinks fit; or
 - (c) refused by the local government.

5.2 Transfer of a licence

A licence referred to in clause 5.1 shall transfer with the land to any new occupier or owner of the lot.

5.3 Cancellation of a licence

Subject to Division 1 Part 9 of the *Local Government Act 1995*, the local government may cancel a licence issued under this Part if —

- (a) the fence no longer satisfies the requirements specified in clause 5.1(2) or 5.1(3) as the case may be; or
- (b) the licence holder breaches any condition upon which the licence has been issued.

PART 6 — NOTICE OF BREACH

6.1 Notice of breach

- (1) Where a breach of clause 3.4 of this local law has occurred in relation to a fence on a lot which abuts land under the care and control of the local government, the local government may give a notice in writing to the owner of that lot (“notice of breach”).
- (2) A notice of breach shall —
 - (a) specify the provision of this local law which has been breached;
 - (b) specify the particulars of the breach; and
 - (c) state that the owner of the lot is required to remedy the breach within 28 days from the giving of the notice.

PART 7 — OFFENCES AND PENALTIES

7.1 Offences and penalties

- (1) An owner who fails to comply with a notice of breach commits an offence and is liable upon conviction to a maximum penalty of \$5000 and, if the offence is a continuing offence, a maximum daily penalty of \$500.
- (2) A person who fails to comply with or who contravenes any provision of this local law commits an offence and is liable to a maximum penalty of \$5000 and, if the offence is a continuing offence, a maximum daily penalty of \$500.

7.2 Modified penalties

- (1) An offence against any provision of this local law is a prescribed offence for the purposes of section 9.16 of the *Local Government Act 1995*.
- (2) Unless otherwise specified, the amount of the modified penalty for an offence against any provision of this local law is \$150.

7.3 Form of notices

For the purposes of this local law —

- (1) the form of the infringement notice referred to in section 9.17 of the *Local Government Act 1995* is to be in the form of Form 2 of Schedule 1 of the *Local Government (Functions and General) Regulations 1996*;
- (2) the form of the withdrawal of infringement notice referred to in section 9.20 of the *Local Government Act 1995* is to be in the form of Form 3 in Schedule 1 of the *Local Government (Functions and General) Regulations 1996*.

7.4 Objections and review

When the local government makes a decision under this local law as to whether it will —

- (a) grant or refuse to grant a person a licence;
- (b) cancel a licence; or
- (c) give a person a notice under clause 6.1,

the provisions of Division 1 of Part 9 of the *Local Government Act 1995* and regulation 33 of the *Local Government (Functions and General) Regulations 1996* shall apply to that decision.

Schedule 1**SPECIFICATIONS FOR A SUFFICIENT FENCE ON A RESIDENTIAL LOT**

Each of the following is a “sufficient fence” on a residential lot —

- (A) A fully enclosed timber fence built to manufacturer's specifications or in accordance with established construction techniques, the height of the fence to be 1800 mm except with respect to the front setback area for which there is no minimum height but which is subject to clause 3.1.
- (B) A fence constructed of corrugated fibre reinforced pressed cement or steel sheeting erected to manufacturer's specifications or which satisfies the following specifications —
 - (a) a minimum in-ground length of 25 per cent of the total length of the sheet, but in any case shall have a minimum in-ground depth of 600 mm;
 - (b) the total height and depth of the fence to consist of a single continuous fibre reinforced cement or steel sheet;
 - (c) the sheets to be lapped and capped with extruded “snap-fit” type capping in accordance with the manufacturers written instructions; and
 - (d) the height of the fence to be 1800 mm except with respect to the front set back area for which there is no minimum height but which is subject to clause 3.1.
- (C) A fence constructed of brick, stone or concrete, which satisfies the following specifications —
 - (a) footings of a kind appropriate to the soil type;
 - (b) fences to be offset a minimum of 200 mm at maximum 3000 mm centres or 225 mm x 100 mm engaged piers to be provided at maximum 3000mm centres;
 - (c) expansion joints in accordance with the manufacturer's written instructions; and
 - (d) the height of the fence to be 1800 mm except with respect to the front set back area for which there is no minimum height but which is subject to clause 3.1.
- (D) A composite fence having a minimum overall height of 1800 mm except with respect to the front set back area for which there is no minimum height but which is subject to clause 3.1, which satisfies the following specifications for the brick construction —
 - (1)
 - (a) brick piers of minimum 345 mm x 345 mm at 1800 mm centres bonded to a minimum height base wall of 514 mm;
 - (b) each pier shall be reinforced with one R10 galvanised starting rod 1500 mm high with a 250 mm horizontal leg bedded into a 500 mm x 200 mm concrete footing and set 65 mm above the base of the footing. The top of the footing shall be 1 course (85 mm) below ground level;
 - (c) the minimum ultimate strength of brickwork shall be 20 mpa. Mortar shall be a mix of 1 part cement, 1 part lime and 6 parts sand;
 - (d) the ground under the footings is to be compacted to 6 blows per 300 mm and checked with a standard falling weight penetrometer; and
 - (e) control joints in brickwork shall be provided with double piers at a maximum of 6 metre centres; or
 - (2)
 - (a) brick piers of a minimum 345 mm x 345 mm x 2700 mm centres bonded to the base; and
 - (b) each pier shall be reinforced with two R10 galvanised starting rods as previously specified.

Schedule 2

**SPECIFICATIONS FOR A SUFFICIENT FENCE ON A
COMMERCIAL LOT AND AN INDUSTRIAL LOT**

Each of the following is a “sufficient fence” on a commercial lot and an industrial lot —

- (A) A fence constructed of galvanised or PVC coated rail-less link mesh, chain mesh or steel mesh which satisfies the following specifications —
 - (a) corner posts to be minimum 50 mm nominal bore x 3.5 mm and with footings of a 225 mm diameter x 900 mm;
 - (b) intermediate posts to be minimum 37 mm nominal bore x 3.15 mm at maximum 3.5 metre centres and with footings of a 225 mm diameter x 600 mm;
 - (c) struts to be minimum 30 mm nominal bore x 3.15 mm fitted at each gate and two at each corner post and with footings 225 mm x 600 mm;
 - (d) cables to be affixed to the top, centre and bottom of all posts and to consist of two or more 3.15 mm wires twisted together or single 4 mm wire;
 - (e) rail-less link, chain or steel mesh is to be to a height of 2000 mm on top of which are to be three strands of barbed wire carrying the fence to a height of 2400 mm in accordance with clause 4.2(3) of this local law; and
 - (f) galvanised link mesh wire to be 2000 mm in height and constructed of 50 mm mesh 2.5 mm galvanised iron wire and to be strained, neatly secured and laced to the posts and affixed to cables. Vehicle entry gates shall provide an opening of not less than 3.6 metres and shall be constructed of 25 mm tubular framework with one horizontal and one vertical stay constructed of 20 mm piping and shall be covered with 50 mm x 2.5 mm galvanised link mesh strained to framework. Gates shall be fixed with a drop bolt and locking attachment.
 - (B) A fence of fibre reinforced cement sheet or steel sheeting constructed to the minimum specifications referred to in category (B) of Schedule 1.
 - (C) A fence constructed of aluminium sheeting when supported on posts and rails provided that it is used behind a building line and is of a minimum height of 1800 mm but no greater than 2400 mm.
 - (D) Fences of timber, brick, stone or concrete constructed to the minimum specifications referred to in Schedule 1.
-

Schedule 3

**SPECIFICATIONS FOR A SUFFICIENT FENCE
ON A RURAL LOT, A SPECIAL RURAL LOT AND A SPECIAL RESIDENTIAL LOT**

- (A) In the case of a non-electrified fence, a sufficient fence on a rural lot, special rural lot or a special residential lot is a fence of posts and wire construction, the minimum specifications for which are —
- (a) wire shall be high tensile wire and not less than 2.5 mm. A minimum of five wires shall be used, generally with the lower wires spaced closer together than the higher wires so as to prevent smaller stock passing through, and connected to posts in all cases.
 - (b) posts shall be of indigenous timber or other suitable material including —
 - timber impregnated with a termite and fungicidal preservative;
 - standard iron star pickets; or
 - concrete;
 - (c) if timber posts are used, posts are to be cut not less than 1800 mm long x 50 mm diameter at small end if round or 125 mm x 60 mm if split or sawn. Posts to be placed at not more than 10 metre intervals, set minimum 600 mm in the ground and 1200 mm above the ground; and
 - (d) strainer posts, if timber, shall be not less than 2250 mm long and 150 mm diameter at the small end (tubular steel to be 50 mm in diameter) and shall be cut from indigenous timber or other suitable material. These shall be placed a minimum of 1000 mm in the ground and set at all corners, gateways and fence line angles but not exceeding 200 metres apart.
- (B) An electrified fence having four wires only is a sufficient fence if constructed generally in accordance with (1).
-

Dated2010.

The Common Seal of the City of Albany was affixed by authority of a resolution of the Council in the presence of:

W P MADIGAN
Acting Chief Executive Officer

MILTON EVANS JP
Mayor

**CITY OF ALBANY
BUSH FIRE MANAGEMENT COMMITTEE
MINUTES**

Minutes for the meeting held at 3:30pm, 24th MARCH 2010
in the Margaret Coates Boardroom

The Chairperson declared the meeting opened at 3:30pm and Ken Johnson was nominated as chairperson.

1.0 ATTENDANCES

Ken Johnson	Chairperson DCBFCO (SW)
Ross Fenwick	CBFCO
Martin Van Donden	FCO Highway
Allan Lubcke	DCBFCO (NE)
Kevin Parson	District Manager FESA (Guest)
Keith Barnett	Acting Executive Director Development Services
Andriena Ciric	Emergency Coordinator
Garry Turner	Fire Break Coordinator

2.0 APOLOGIES

D Wolfe	Councillor
M Leavesley	Councillor
C Gilmour	North East Sector
V Hilder	DEC

3.0 DECLARATION OF INTEREST

Nil

4.0 CONFIRMATION OF MINUTES OF MEETING

MOVED: Allan Lubcke
SECONDED: Ross Fenwick

THAT the minutes of the Bush Fire Management Committee Meeting held on 25 November 2009, as previously distributed, be CONFIRMED as a true and accurate record of proceedings.

CARRIED 3/0

6.0 GENERAL BUSINESS

6.1 Prohibition of burning Garden Refuse (Bush Fires Act S24G)

Proposal to restrict the burning of Garden Refuse within the City of Albany Gazetted Fire District.

Committee Discussion

MOVED: Ross Fenwick
SECONDED: Martin Van Dongen

THAT Council work towards the banning of burning within the Gazetted Fire District but should not include the hazard reduction burns.

CARRIED 3/0

6.2 Training

Bulletin 1.1.16

Agenda Item Refers 13.5.1 to 19 pages

Brigades have raised concerns in reference to the lack of training on offer especially the Intro to Fire Fighting Course and a request that a training officers meeting be held one month prior to the BFAC. It is difficult to organise a training officers meeting in April

MOVED: Martin Van Dongen

SECONDED: Allan Lubcke

The City of Albany in conjunction with FESA hold a training meeting one month prior to the BFMC meeting and informs brigades of the training Courses that will be offered by FESA's in accordance with their Guidelines.

Brigades are encouraged to identify and nominate members of the brigade to complete the Certificate 4 in Training & Assessment to enable brigades to facilitate accredited training courses.

Carried 3/0

7 Guests of Committee

Representatives from Fire & Emergency Services Authority and Department of Environment and Conservation have been invited to attend.

Mr Kevin Parson District Manager of FESA.

8 Matters for consideration

8.1 Appointment of Officers

Chairman of the BFAC – Martin Van Dongen

Deputy Chairperson of the BFAC – Morgan Souness

Chief Bush Fire Control Officer — Ross Fenwick

Deputy Chief Bush Fire Control Officer (North East) — Alan Lubcke

Deputy Chief Bush Fire Control Officer (South West) — Ken Johnson

Bush Fire Control Officers— Brigades to advise by 1 June 2010

Bush Fire Control Officers (Permit Issuing only) - Sarah Abbott

Senior Bush Fire Control Officer (North East) – Terry Bradshaw

Senior Bush Fire Control Officer (South West) – Kevin Martin

Chief Fire Weather Officer — Ross Fenwick

Deputy Fire Weather Officers — Ken Johnson, Terry Bradshaw, Alan Lubcke, Kevin Martin

Fire Weather Recording Officers - C Norton, A Marshall, B Lester, J Bocian, J Plug, J Hood, K Martin, J Whitem, C Gilmour, M Souness, I Smith, A Lubke, G Pile, S Hall

Radio Schedule Officers – All FCO's of both the South West and North East sectors be appointed as Radio Schedule Officers.

Clover Burning Officers — Ross Fenwick, Chris Gilmour

MOVED: Allan Lubcke
SECONDED: Ross Fenwick

THAT Council endorse the above Officer as authorised officers of Council.

CARRIED 3/0

8.2 Debrief Reports

That the City of Albany distributes the reports from debriefs to all brigade secretaries and FCO's.

MOVED: Ross Fenwick
SECONDED: Martin Van Dongen

The City will distribute the Post incident analysis reports to Bush Fire brigade as soon as practical after the debriefing.

CARRIED 3/0

8.3 Website

That the City of Albany establishes a separate website and domain name for use by brigades for brigade purposes

MOVED: Ross Fenwick
SECONDED: Allan Lubcke

That the City funds the cost for a separate website and domain names for use by the brigades and to be maintained by the brigades.

CARRIED 3/0

8.4 Bush Fire Control Officers Advertising & Gazettal

That a standing agenda item be placed on the BFAC to minute changes required to the appointment of Bush Fire Control Officers to ensure that these changes are appropriately actioned.

MOVED: Martin Van Dongen
SECONDED: Ross Fenwick

A standing agenda item be placed on the BFAC in insure that changes to the FCO be actioned correctly.

CARRIED 3/0

8.5 Fire Break Notice 2010/11

That a sub-committee be formed consisting of the CBFCO, DCBFCO NE, DBFCO SW, to review the annual Fire Break Notice.

MOVED: Ross Fenwick
SECONDED: Allan Lubcke

That the City of Albany form a sub committee consisting of the CBFCO, both Deputies when reviewing the annual Bush Fire notice.

CARRIED 3/0

8.6 Western Power Infrastructure

That the City of Albany expresses its concern to Western Power over the perilous state of its powerlines infrastructure. The letter and response from Western Power to be tabled at the next BFAC.

MOVED: Ross Fenwick
SECONDED: Martin Van Dongen

The City contacts the Western Power and the Office of Energy and Safety expressing its concern to over its perilous state of its power lines within the City of Albany.

CARRIED 3/0

8.7 Brigade Records

That:

- a. *A standard template in both electronic and hard copy form be developed in cooperation with Brigade Treasurers for brigades to use to record financial information and to provide an asset register for insurance purposes;*
- b. *Brigades submit their end of financial year transaction listing to the City of Albany with a copy of supporting invoices by 31 July each year and failure to submit those records will result in funding being withheld;*
- c. *Brigades holding unspent ESL funds from previous years, and are unlikely to spend those funds in the 2009/10 or 2010/11 financial year make arrangements with the City to return those funds and that the City establish a Reserve account for those funds; and*
- d. *Brigades compile a complete inventory of items in their shed &/or buildings and submit the inventory to the City of Albany prior to the next BFAC meeting.*

MOVED: Allan Lubcke

SECONDED: Martin Van Dongen

*The City will have a standard template in both electronic and hard copy form be developed in cooperation with Brigade Treasurers for brigades to use to record financial information and to provide an asset register for insurance purposes;
Brigades to submit their end of financial year transaction listing to the City of Albany with a copy of supporting invoices by 31 July each year and failure to submit those records will result in funding being withheld;
Brigades holding unspent ESL funds from previous years, and are unlikely to spend those funds in the 2009/10 or 2010/11 financial year make arrangements with the City to return those funds and that the City establish a Reserve account for those funds;
and
Brigades compile a complete inventory of items in their shed &/or buildings and submit the inventory to the City of Albany prior to the next BFAC meeting.*

CARRIED 3/0

+

8.8 Mapping

The City of Albany installs the Mapmaker programme (free) and the associated data maps for the Albany region on the laptop computer allocated to the ICV.

MOVED: Ross Fenwick

SECONDED: Allan Lubcke

The City of Albany will have the IntraMaps and Tatuk mapping installed onto the computer in the IC Van

CARRIED 3/0

8.9 Redmond 2.4

That the City of Albany writes to the FESA CEO expressing its dissatisfaction with FESA's inspection and certification of refurbished trucks. Pointing out that this failure has placed the lives of Redmond brigade members at risk and has left the Redmond community and assets in danger. Should no response be received within 4 weeks, a further letter be written to the Minister for Emergency Services, with a copy of the original letter. All letters and responses to be copied to CBFCO and tabled at the next advisory committee meeting in October.

MOVED: Ross Fenwick

SECONDED: Martin Van Dongen

That the City write to all brigades advising that a process and correct protocols should be maintained when dealing with external sources.

CARRIED 3/0

10.0 CLOSURE OF MEETING

Agenda Item Refers 13.5.1 19 pages

10.1 The Chairperson declared the meeting closed at 5:30pm.

FESA

Accident Investigation Report

**Burn Over of Elleker Bush Fire Brigade Light Tanker .
Incident No 134753**

Report accepted by Sponsor:

Grant Olsen Regional Director

Date: / /09

Contents

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Executive Summary

Incident details

The Elleker Fast Attack was burnt over during a fire at Grassmere on the 17/10/09.

The driver suffered minor burns to the face and hand while the passenger received no injuries.

The crew were attempting to gain intelligence on the fire in very thick coastal heath.

At the time of the burn over they were on a very over grown track where it was difficult to find a place to turn around.

By traversing this track they had placed themselves close to the western flank fire, very close to the head of the fire.

They were well inside the area known as the Dead Man Zone and a wind direction change pushed the fire in their direction, not giving them time to escape to a safe area.

The driver's action of driving directly in to the fire and through the head fire on to burnt ground thereby reducing the time the vehicle was affected by the heat of the flames, possibly saving them from more serious injury.

It is very questionable what value there was in actually being in the location given that the fire at this point was only 500mts from the coast and was being driven in that direction by a North Westerly wind.

There were no assets at risk in this location, apart from bush.

Terms of Reference

Event / Incident Description The event occurred at a track that traverses Reserve 4732, Grassmere, in an east west direction Map zone 50 East0567210: North 6121799

The event occurred at 13:15hrs 17/10/09

The event involved the burn over of a City of Albany four wheel drive Fast Attack appliance (driven by VFF1).

No serious injury was caused but the driver sustained some burns to the face and left hand.

Investigation team

Role	Name	Position
Sponsor	Grant Olsen	Regional Director
Team Leader	Kevin Parsons	District Manager Gt Southern
Team member		
Team member		

Terms of reference The scope of the investigation includes the following key areas:

• Describe the facts leading up to and relating to the event/incident
• Identify underlying causes that may have contributed to the accident/event
• Identify any new or significant hazards, and underlying causes that may have contributed to these
• Identify all relevant Operational Instructions and FESA Policies, and determine whether they have been followed, and how effective they were during the event
• Identify items for consideration for the Corrective Action Plan
•
•

Event Description

On the 17/10/09 at 12 15hrs a member of the Elleker Bush Fire Brigade reported fire in the Grassmere area.

In the first instance King River 2 assumed the role of controller of initial response.

Units from several City of Albany Bush Fire brigades responded to the incident.

The weather conditions at the time were:	Temp	29 deg cels
	Humidity	25%
	Wind at fire location	NW at 15k/ph gusting to

30k/ph

- This equates to a Fire Danger Index Rating of 7 to 20 (with wind gusts) or moderate to high.
- The vegetation at the location of the fire would be classified as coastal heath with a fuel loading of 40 + tonnes per hectare.
- The rate of fire spread on the day would have been around 1.3km /hr

NOTE: Wind direction at Albany, approx 13 km to the east, was ESE.

The City of Albany Mobile Control Van was mobilised and set up on Lt 9 or No# 408 Elleker – Grassmere Rd.

Prior to this, incident management was being conducted remotely.

After completion of the setting up of the City of Albany Mobile Control Van, and immediately after the report of the burn over, VFF 4 assumed the role of Incident Controller

Prior to this a Light Tanker from Elleker Bush Fire Brigade, with two volunteers on board, had attended the incident and entered the fire area via lot 9 Elleker Grassmere Rd (Pt 1 –App:1).

While the remotely located Controller was advised of the fact that they were going to investigate the fire he was not advised of exactly where they planned to go or there progress.

He did on several occasions advice them to exit the fire location and report to any control point being set up.

They travelled along various tracks in the Grassmere Hill area on Reserve 4732 until they came to a track that runs east west.(Pt 4 – App:1) At this point they observed 2 private vehicles travelling on this track in an easterly direction, towards the area of the head fire.

They then turned on to this track and travelled in an easterly direction, towards the area of the head fire. They travelled some distance along this track getting closer to the fire all the time.

At Pt 9 on the map (App:1) there appeared to be a wind change and they were about to become over run by the fire.

Not being able to turn around at this location, the driver turned the vehicle in to the fire head (North East) and drove directly through the flames to clearer burnt ground.

I am unable to determine if the wind change was due to the gully effect or a more general wind change. The wind did however change to an East - North Easterly driving the fire in a Westerly direction along the coast.

The vehicle sustained substantial external damage by the fire but the passenger cab remained untouched, therefore providing good heat protection to the occupants.

The vehicle engine stalled after travelling approx 20 to 30 mtrs through the flames and at this point the driver opened the cab door to get out of vehicle and extinguish any fire on the vehicle but in the first attempt found the ambient air temperature to hot. (this is when he sustained the radiant heat burns to his face).

Bulletin 1.1.16

Agenda Item Refers 13.5.1 19 pages

He then closed the door started the engine and drove the appliance a further 20 to 30 mtrs.
He was then able to open the door, exit the cab and use the hose reel to extinguish any fire still affecting the vehicle (this is when he sustained burns to his left hand from handling the hose reel branch without wearing gloves).

The volunteers involved at this point, radioed advice of the incident to the control point and another appliance was despatched to the location to pick them up.
The damaged appliance was then driven back to the control point by another volunteer fire fighter, even though it had 1 flat tyre due to the burn over damage.

The two volunteers involved in the incident were taken to Albany Regional Hospital for treatment and later released.

Findings

1. The fire was travelling in a South Easterly direction on a North Westerly wind with a Fire Danger Index of moderate to high
2. Tracks in the area are generally over grown by thick coastal heath and relatively large peppermint trees making it difficult to turn a vehicle around.
3. The crew of the appliance did not report their exact location to the Incident Controller or log in at any control point.
4. The Incident Controller at the time did not know exactly where the appliance was.
5. The fire at the location of the burn over was approximately 500mtrs from the coast.
6. With the wind from the north west and limited tracks in the area, there was probably no way of stopping the travel of the fire to the coast.
7. By driving down the east west track the driver put his appliance directly in to the dead man zone with the fire only metres to the north of them.
8. A change in the over all wind direction or a gully wind forced the fire directly towards the appliance.
9. The actions of the driver in turning in to the flames and driving directly through the head fire may have saved them from more serious injury by reducing the amount of time they were actually in the direct flame contact area.
10. The affected crew were able to report their location to the control van after the incident by utilising the GPS mode of the VHF radio fitted to the appliance.
11. Lack of early on ground Incident Management on the day prevented successful early tracking and recording of:
 - Number and location of resources at the incident
 - Strategies and tactics employed to combat the fire.

Conclusions

Summary of findings

In summary, it is found that:

- Weather conditions and FDI were Moderate to High
- The appliance was operating in the dead man zone
- It was very unlikely the southerly travel of the fire could have been stopped at that or any other point.
- The drivers actions reduced amount of injury
-

Items for consideration in Corrective Action Plan

It is recommended that the following items be considered as part of the sponsors Corrective Action Plan to be developed by the Sponsor:

- All City of Albany brigades be reminded of the concept of the dead man zone at bush fires.
- A heightened awareness to all City of Albany Brigades to the fact that fires in coastal heath in this type of terrain and vegetation are going to be extremely difficult to extinguish by direct attack.
- The importance of reporting to control points and being tasked by the person/s in charge be reiterated to all City of Albany brigades.
- City of Albany consider options to develop pre-planned Incident Management Teams to respond to fires across the area.

Appendices

The following appendices are provided to support this accident investigation report:

1. Map showing path of travel of Fast Attack
2. Photos of location where Fast attack left the track
3. Report given by appliance passenger VFF 2
4. Report given by appliance driver VFF 1
5. Report given by Incident Controller VFF 3

App 1

Elleker L/T Burnover - Path of Travel



Map showing path of travel of Fast Attack from Pt 1 to Pt 9

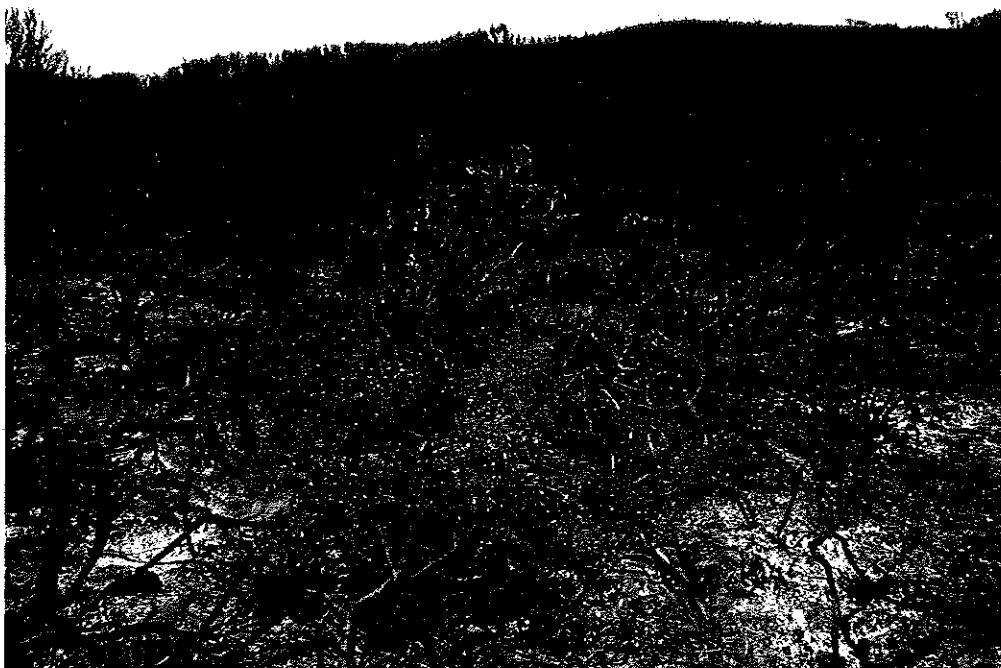
App 2



Location where fast Attack left track to the left



Path of travel through scrub



Path of travel through scrub



Final resting spot

App 3

Report Given By Appliance Passenger VFF 2

I attended the Elleker fire on the 17 Nov09.

At some point I travelled as passenger in the Elleker Fast Attack from the location of the control point along bush tracks as indicated on App 1 to the location Pt 9 on the map where the appliance was subsequently burn over by the fire.

Our intention was to investigate where the fire was at the time and provide information to the control point.

At Pt 4 on the map we observed two private vehicles travelling along the east / west track in an easterly direction, towards the fire.

We proceeded along this track in an easterly direction, all of the time progressing closer to the fire.

At several points I suggested to the driver that we probably should not be where we were and should leave and return to the control point.

At Pt 7 on the map we were very close to the fire but were unable to turn around.

We continued in an easterly direction with the fire very close on our left. At Pt 9 the direction of the fire seemed to change and come directly towards and it was obvious it was going to go right over our appliance.

The driver turned the appliance to the left, driving off the track and in to the scrub directly through the head fire.

After travelling approx 30 mtrs the appliance engine stopped. The driver opened his door to get out but realising it was too hot outside the vehicle closed it again.

He then started the motor and drove the appliance another 30 mtrs or so to slightly clearer ground.

At this point we were able to get out of the appliance and extinguish any fire still affecting it by utilising the hose reel.

We then reported the incident to the control point via the radio in the appliance.

App 4

Report Given By Appliance Driver VFF 1

I attended the Elleker fire on the 17 Oct 09.

Some time early afternoon I entered the fire area driving Elleker Fast Attack(reg AL . 1060) with another VFF as passenger.

I drove along bush tracks as indicated on the map APP 1 by points Pt1 to Pt9.

At Pt 4 we observed two private vehicles travelling along the east west track in an easterly direction, directly in to the fire area.

I turned left in to this track and travelled along it in an easterly direction.

At Pt 9 the fire was very close on our left and the wind seemed to change, directing the flames straight on to our appliance;

At this point I turned the vehicle to the left, leaving the track and drove straight through the flames of the head fire.

I drove approx 30 mtrs before the appliance engine stalled. I attempted to get out to extinguish any fire on the appliance but found it to be too hot.

I then started the appliance engine again and drove a bit further in to the burnt area.

At this point I was able to exit the appliance and use the hose reel to extinguish fire burning it.

We then reported the incident to the control point via the VHF radio fitted to the Appliance.

App 5

Report Given By Incident Controller VFF 3

I attended the fire at Elleker on the 17 Oct 09

I arrived at the control point and assisted the Emergency Management Officer, City of Albany, to set up the Control Van.

At this time there did not appear to be any level of Incident Management taking place at the fire and no designated IC.

Some logistics management was taking place via a King River member (VFF 4)

While setting up the van I heard the message on the VHF radio from one of the crew on the Elleker Light Tanker reporting the vehicle burn over and.

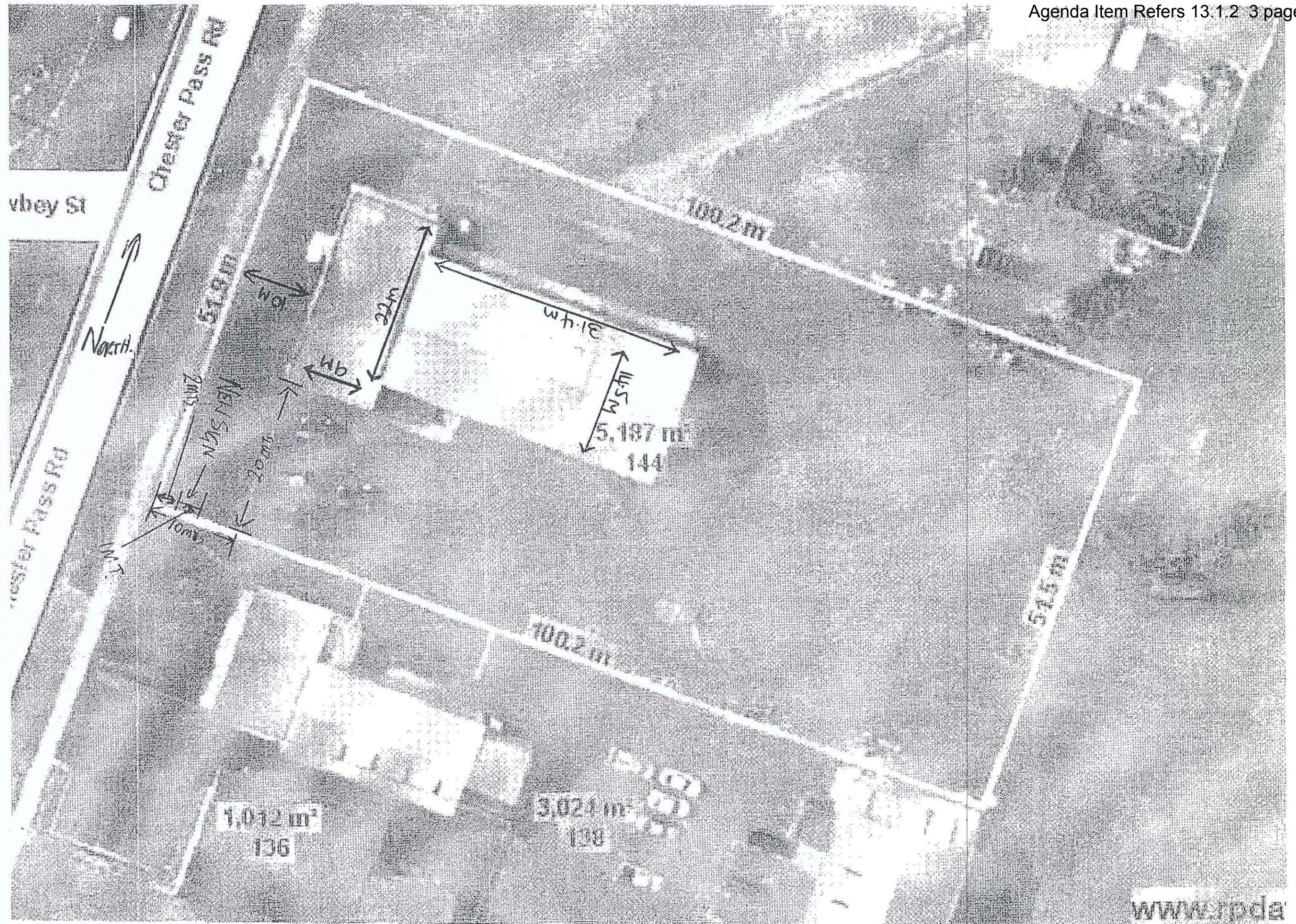
On hearing this information and discussing with CoA EMO it was decided I should become the on scene Incident Controller.

At this time I did not know how many appliances or fire fighters were actually at the incident and the size or extent of the fire.

I immediately despatched a tanker appliance to the location of the burn over to pick up the crew for return to control point and medical attention as required.

Both crew members were conveyed to Albany Hospital for medical checking.

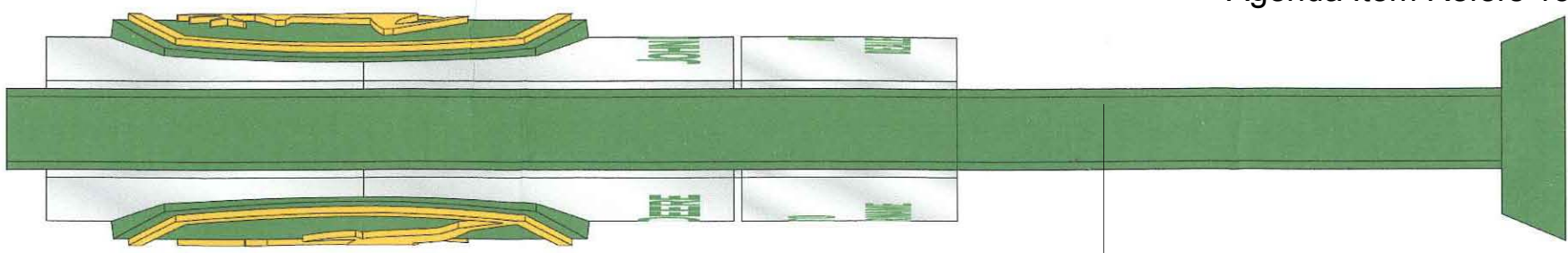
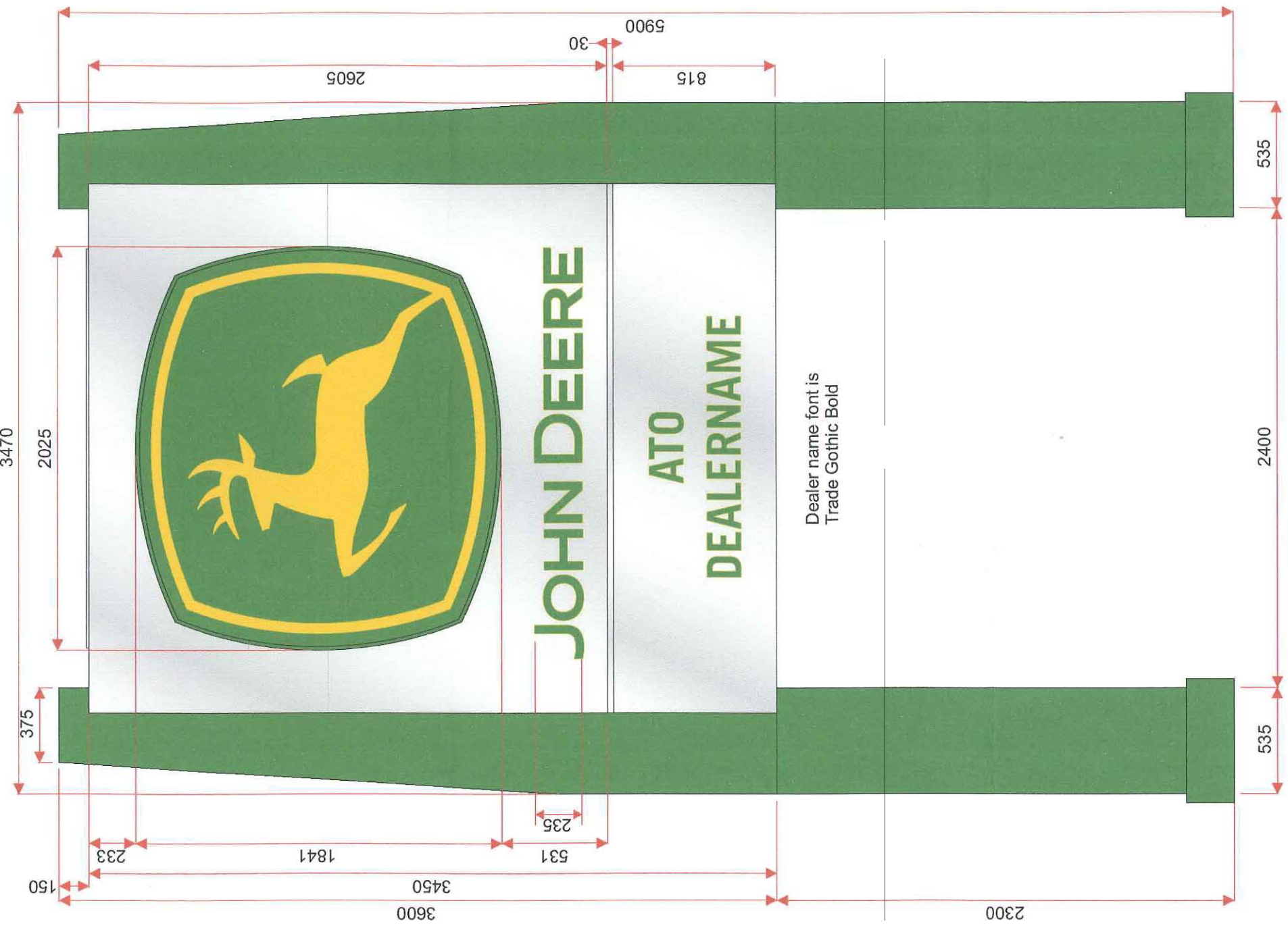
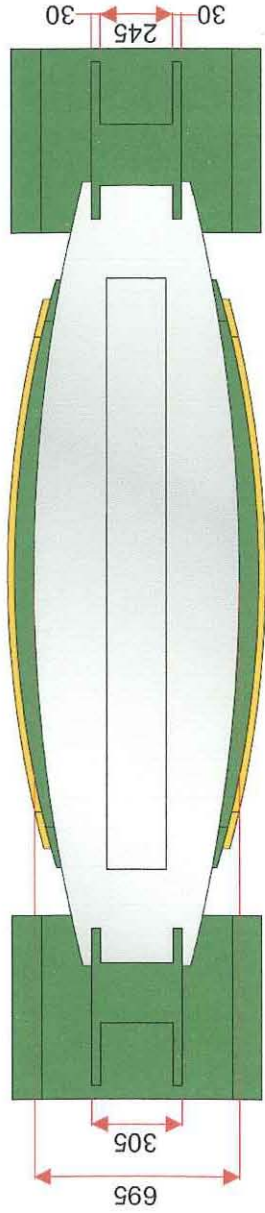
I continued as IC until shift changeover later that night.

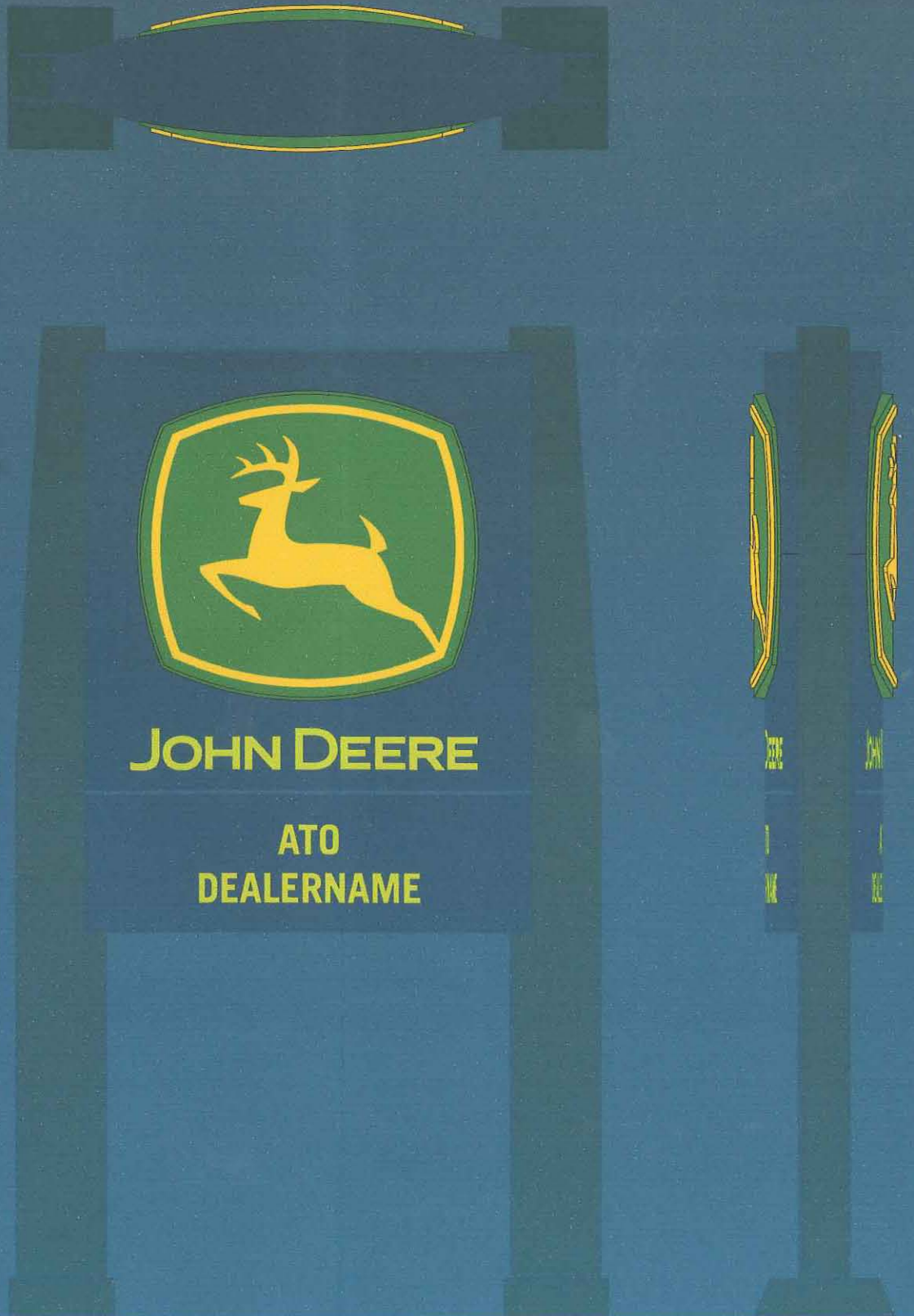


PMS 364

PMS 109

SILVER





AS VIEWED AT NIGHT

Bulletin Item 1113
Agenda Item 13.1.3 refers 2 pages

Doc No: [REDACTED]
File: A152320
Date: 31 MAR 2010
Officer: SPLAN
Attach:

Tom Wenbourne
Senior Planning Officer – Development Control
City Of Albany
102 North Road
Yakamia WA 6330

30th March 2010

Ref: A152320/PA30847/P295374

Dear Sir,

In response to a letter sent to us concerning the application to change the Town Planning Scheme for 155 Ulster Road. As a resident on Ulster Road I am not happy that the council is considering the change to allow a business in this rural residential area.

We have been in residence here for nearly sixty years this is a residential area peaceful and tranquil, my objection is such we already have a difficult time exiting our drive way as the traffic flow at times is just incredible both in the early morning, school times, after school times and just in general.

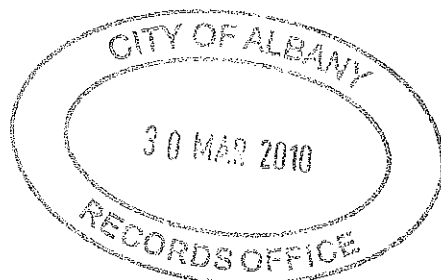
My fellow residents we have spoken to are concerned but do not wish to rock the boat as it were, but being [REDACTED] we believe the impact on us is greater.

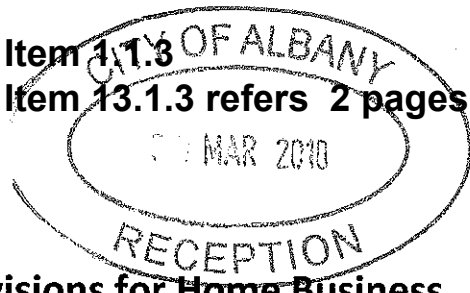
Businesses belong in the CBD not in a residential area.

Please consider this information such as names and address not be open to public scrutiny.

Respectfully

[REDACTED]
[REDACTED]





Dear Planners and Councillors,

**RE: P295374 – Relaxation of Scheme provisions for Home Business
at 155 Ulster Road, Yakamia.**

A152320
splan

I am writing to query the above referenced application recently advertised in the Albany Advertiser and with a sign onsite.

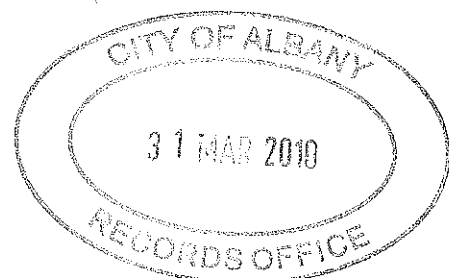
The application is for a home business, but the house in question does not look like it is lived in or to a decent standard to be lived in. Does the person live at the property or will they be required to live there, otherwise it cannot be a home business.

Also, a friend of mine made enquiries about hiring equipment from their house and were advised that hiring could only be undertaken from a shop and a shop is not a permitted use from a house. Having checked your Town Planning Scheme 1A, my understanding is that the home business definition specifically precludes hiring of any nature. How can you relax such a definition in a document that goes through such extensive checks and consultation before being formally adopted?

I do not understand how Council can even contemplate approving something that contravenes something that is explicit in its Town Planning Scheme.

Please refer this matter back to Council for explanation and reconsideration.

A concerned Ratepayer and Resident.





State
Administrative
Tribunal

Western Australia

Your Ref:



City of Albany
PO Box 484
ALBANY WA 6331

Doc No: City of Albany Records
ICR1010272
File: A208963

Date: 01 APR 2010
Officer: SPLAN

Attach:

NOTICE OF MEDIATION

Woodhams & Anor v City of Albany

MATTER NO: DR 56 of 2010

**An Application under the Planning and Development Act 2005 -
Section 250(1)**

Dear Sir or Madam

Please find enclosed orders made on 29 March 2010. This matter has been listed for:

Mediation

Place : Hearing Room 8.05 State Administrative Tribunal
12 St Georges Terrace

Date : 28 May 2010

Time : 10:00AM

If you require any of the following services or have questions relating to these services please call and ask for the Tribunal's Listings Officer on 9219 3111 (toll free on 1300 306 017):

Interpreting Services.

Special accessibility requirements (eg: wheelchair access, hearing loop,).

If you have any further queries please do not hesitate to contact the Tribunal on 9219 3111.

Yours Sincerely

for Executive Officer
30 March 2010

c.c Elton Woodhams
c.c Katie Wignall
c.c D Caddy





IN THE MATTER OF:

Elton Woodhams and Katie Wignall
-and-
City of Albany

Applicant

Respondent

Matter Number: DR 56 2010
Application Lodged: 3 March 2010

ORDER

Upon the matter being referred for mediation on 29 March 2010 before Member Jennifer Hawkins and as a result of the agreement reached by the parties at that mediation it is hereby ordered;

By consent;

1. In contemplation of the respondent reviewing the size of sheds allowable in its outbuilding policy in the near future, the matter is referred to the respondent for reconsideration pursuant to s 31 of the *State Administrative Tribunal Act 2004* on the basis of following agreement between the parties;
 - (a) that the applicants will immediately take steps to remove one bay of the shed the subject of these proceedings that is positioned closest to Henty Road, Kalgan, via Albany by no later than the May 2010 ordinary meeting of the Council of the respondent.
 - (b) that the applicants are agreeable to the respondent in any reconsideration imposing a time limit upon the use of the shed for habitation being linked to the applicants principal place of residence becoming habitable and at that time the respondent requiring the applicant to inhabit their principal place of residence and for the use of the shed being converted to a Class 10 building only, with liberty to apply to the respondent to later convert the use of part of the shed to ancilliary accommodation building to the extent permitted under any Town Planning Scheme or policies of the respondent that may be in force at that time.
2. The matter is otherwise adjourned to a further mediation on 28 May 2010 to enable final orders to be made or to enable the matter to be programmed to final hearing should the respondent not have reconsidered the matter.


Member Jennifer Hawkins



I certify the foregoing to be a true
and correct copy of the original



State Administrative Tribunal
Date: 30/3/10

Bulletin Item 1.1.4
Agenda Item 13.1.4 refers 3 pages



Offices: 102 North Road
Postal Address: PO Box 484, ALBANY WA 6331
Phone: (08) 9841 9333
Fax: (08) 9841 4099
Email: staff@albany.wa.gov.au
Synergy Reference No: MAN 189/ NF0910338
Version: 8/12/09

REVOKING OR CHANGING DECISIONS MOTION - FORM

In accordance with Regulation 10(1a) of the Local Government (Administration) Regulations 1996, we the undersigned hereby move to have **ITEM 11.1.2 – RECONSIDERATION OF DECISION – NOTICE OF PLANNING SCHEME CONSENT REFUSAL AND ORDERS TO REMOVE, LOT 150 HENTY ROAD, KALGAN** which was moved at the 18/11/2008 Council Meeting be reconsidered.

<u>Don Dupuy</u> Name	<u>[Signature]</u> Signature	<u>12-5-10</u> Date
<u>Roberta Sear</u> Name	<u>[Signature]</u> Signature	<u>18-5-10</u> Date
<u>DAVID BOSTOCK</u> Name	<u>[Signature]</u> Signature	<u>18/5/10</u> Date
<u>Mervyn Leavelle</u> Name	<u>[Signature]</u> Signature	<u>18/5/10</u> Date
<u>CHRIS HOLDEN</u> Name	<u>[Signature]</u> Signature	<u>18/5/10</u> Date

ITEM 13.1.3 – OFFICER RECOMMENDATION 1

VOTING REQUIREMENT: ABSOLUTE MAJORITY

THAT the motion of the Council meeting of the 18th November 2008, item 11.1.2, which states:

“THAT Council resolves to advise the State Administrative Tribunal that Council AFFIRMS the decision to issue a Notice of Planning Scheme Consent Refusal for the outbuilding at Lot 150 (previously Lot 9001) Henty Road, Kalgan and the issuing of Notices under Section 401 (1)(c) of the Local Government (Miscellaneous Provisions) Act 1960 and Sections 214 (2) and (3) of the Planning and Development Act 2005 requiring the removal of the unauthorised structure”.

be rescinded.

[Section 5.25 (1)(e) of the Local Government Act 1995 refers]

Milpara

Albany 6330.

0898413371

19-10-09.

To whom it may concern,

From June 09 our lives have been turned up side down, from a phone call from M^r David Maher, saying we have over built on our property, we have since had many phone call's plus two meetings on our property, still with no satisfaction either with David Maher or our selves.

My husband is in the building trade and no way would we build or close any thing in, if it was not right

That is why I'm asking you please look closely at our application,

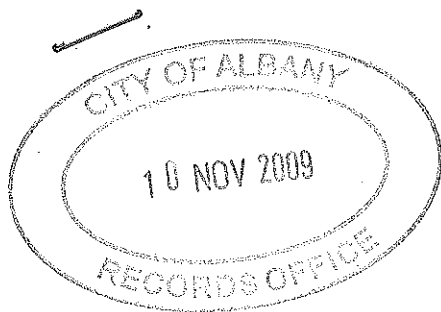
We have both got good clean records, always been private people, never bother any one, just work hard and look after our property,

My husband now is 68 still working but does not need this hassel now he is on treatment for depression which he has never ever had before, doctor letter enclosed,

I just want this matter clear'd up as soon as possible so we can get our lives on track again please,

Yours Truly

J. H. Shann.



Doc No:

File:

Date:

Officer:

Attach:

City of Albany Records

ICR8092347

A21254

10 NOV 2009

PLAN17

Dear Mr Mayor and Councillor's
Of City of Albany.

We the under signed would like to explain why we enclosed the sides of our Patio of our Shed, We did have a 6' high fence along side, and to keep the weather out we use to fix tarp's around, one day while having a barbie we decided to remove the fence and put full sheets down from top to bottom in the same colour as the Patio, but then we realised we would have to line the walls for any noise factor, so we did, mainly so we would not be disturbing our neighbours, Not noing we where breaking council planning rules in doing this,

Our Two small sheds were on the property when we bought it in 1995, we moved one to come inline with the other one makes it look a lot neater, and giving us a drive way,

The Two Green House's we put up as we do like to grow our own Fresh Veggies and Herb's, plus we get great pleasure in giving it away to Charity's here in town also to the Old People Home's, we believe in sharing the fruits of our labour, The Green House's are not permanent fixtures also once again not noing we were breaking council planning rule's,

Our Gazebo has been built since 1999, and is in our inside property, once again not noing we needed a permit to build as it is a free standing building,

We do have a water way on our property, which we where told we are responsible for, as long as we did not back flood our neighbour's, we clean'd it out, coffeerock both sides and land scap it all to our expence, as for us doing this all our neighbour's water flow down and run's into your drain across the road in Adelaide street, so we have a well drain block, plus helping our neighbours, which do not seem to care, for we do take pride in our property,

Please we would like this problem to come before council, so we can finally get on with our lives for it has gone on long enough, as it is starting to affect our health, worrying over it all, so we would therefore like it to come to council,

If there are more costs to pay, we will pay them even if we have to pay extra rate's for the extra buildings on our properties which truly did not realise we had to apply for permits to build,

Yours Truly.

SEAN LILIAN SHANN.

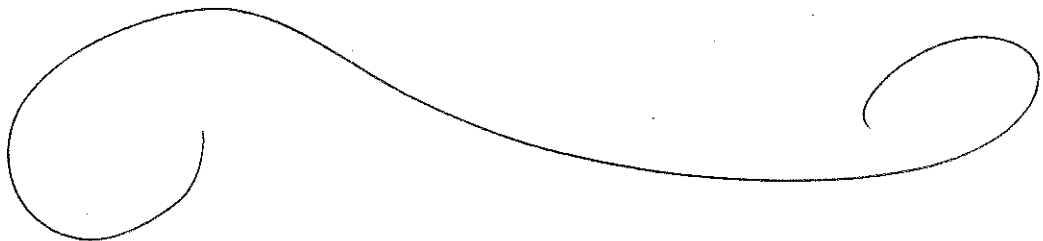
J. L. Shann.

DAVID HENRY SHANN

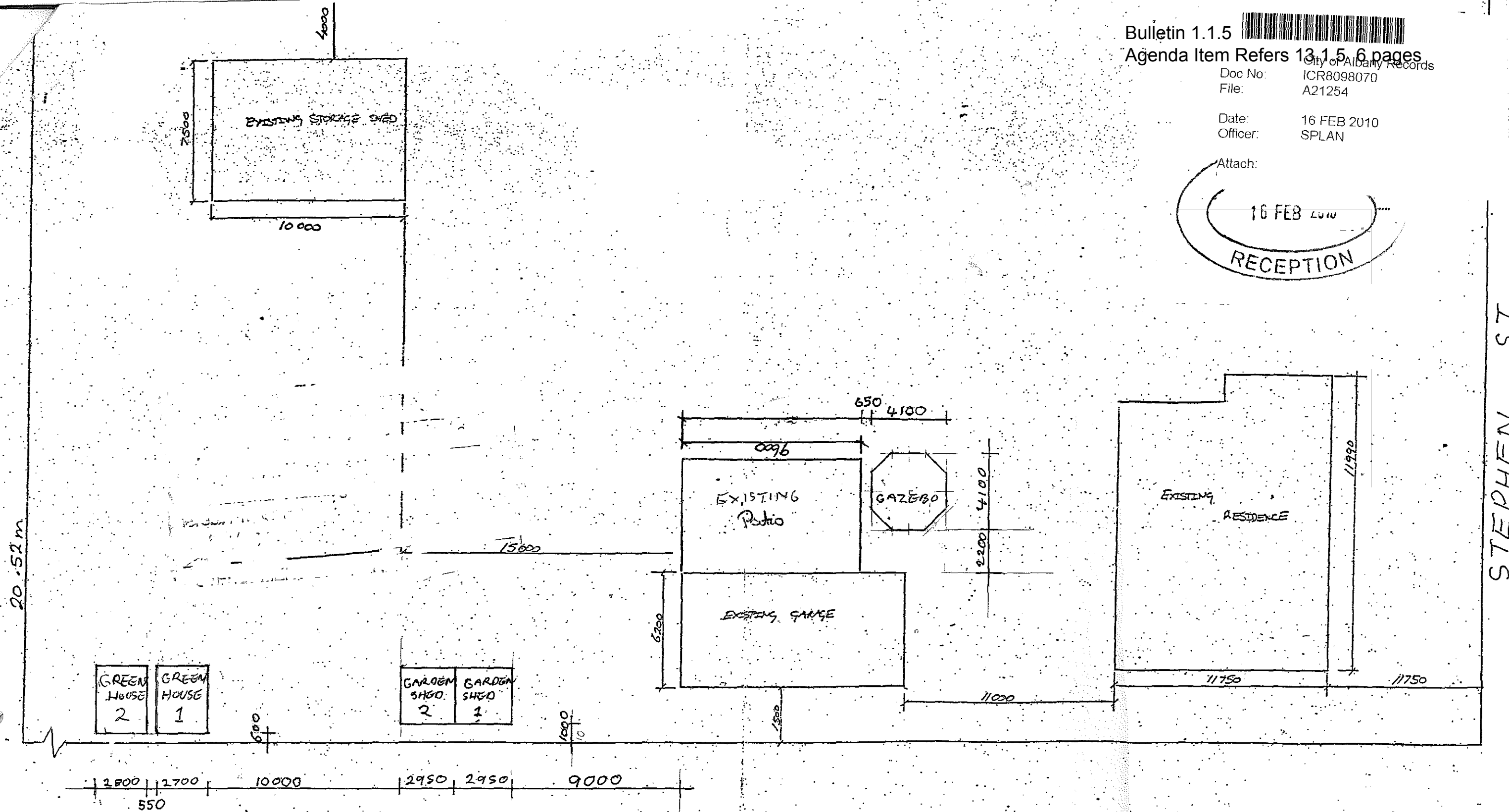
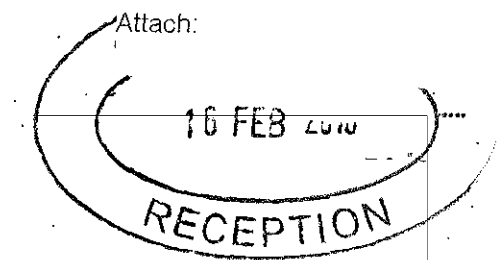
D. H. Shann

P.S.

To Mr Mayor and Councillors you are all more than welcome to come on our properties and inspect for your selves.

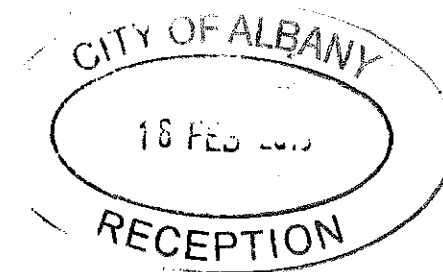
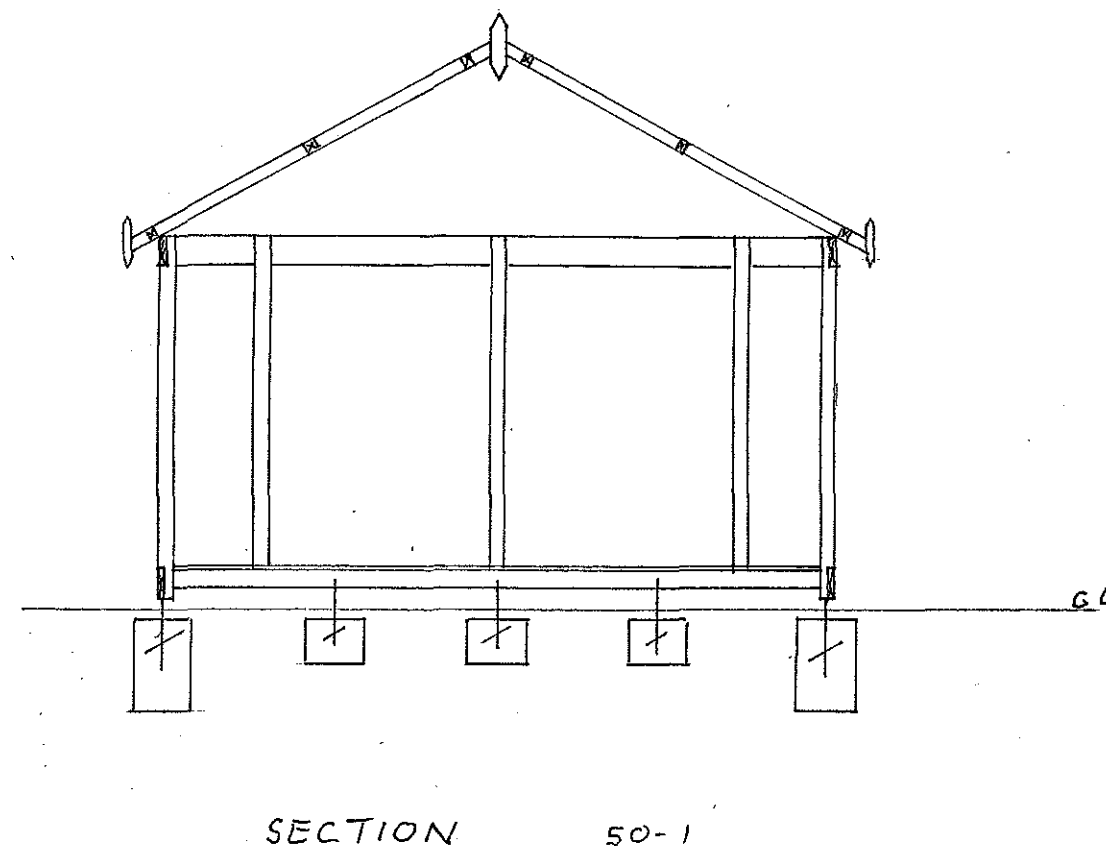
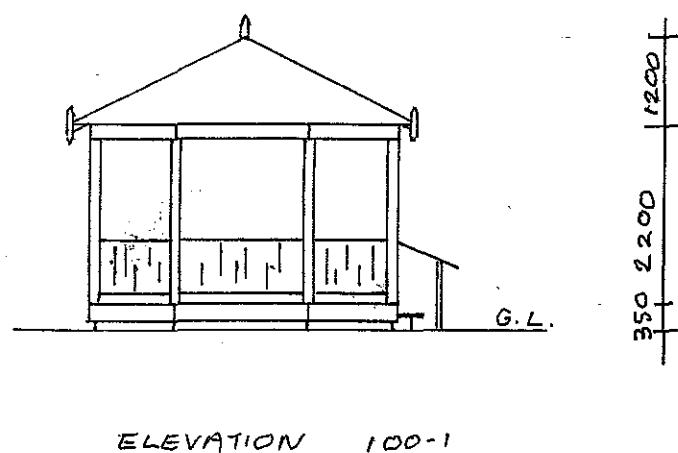
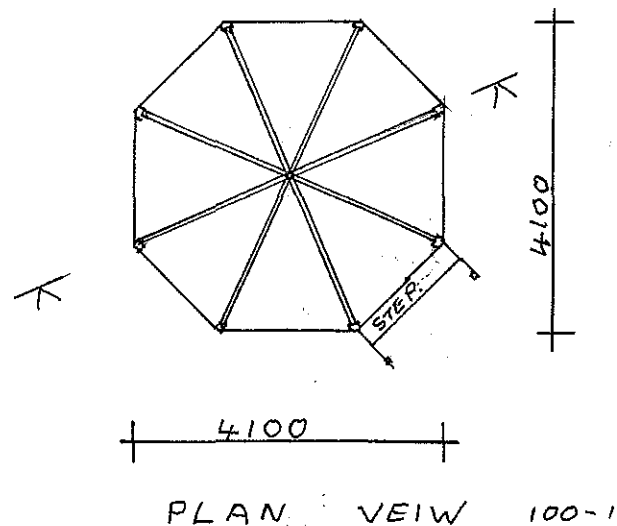


Attach:



PROPOSED GARDEN SHEDS + GAZEBO + GREEN HOUSES.					
TITLE: DH 4 SL SHANNY 3 STEPHEN ST MILPARA ALBANY PROPOSED PATIO					
Drawn:	16	Scale:	N.T.S. 200:1	Date:	13-2-10
DRWNo:				1/3	

POST FOOTINGS 400X400 X 600
STUMP FOOTINGS 400X400 X 300
PITCHING + FLOOR BEAM 190X35 CCA
RAFTERS 90X45 CCA
ROOF BATTONS 70X35 CCA
BOLTS FOR BEAMS 10 Ø



PROPOSED GARDEN SHEDS + GAZEBO + GREENHOUSES

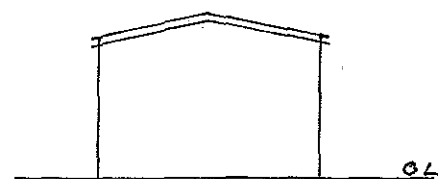
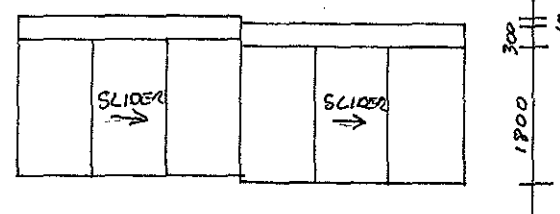
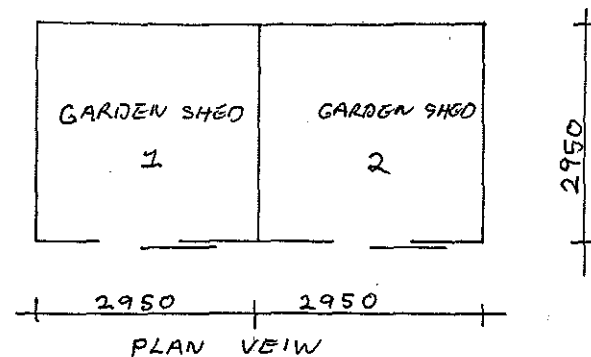
DH + JL SHANN 3 STEPHEN ST MILPARA ALBANY

17

SCALE 100-1 / 50-1

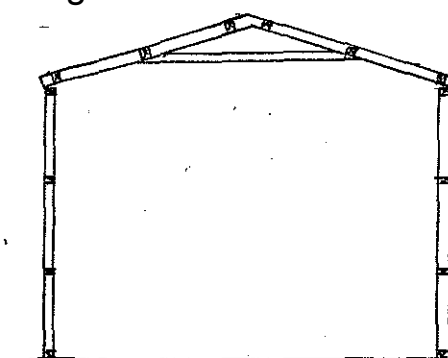
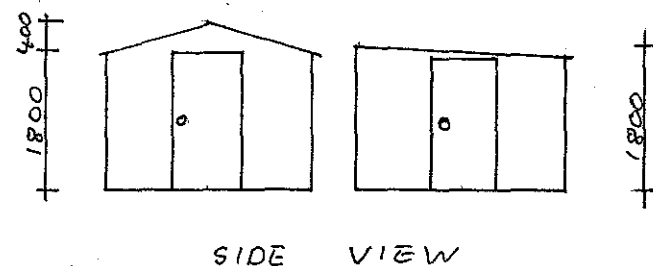
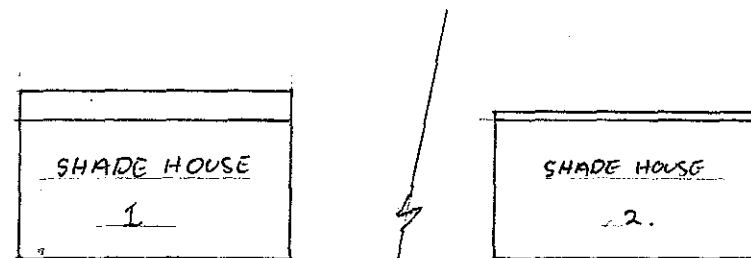
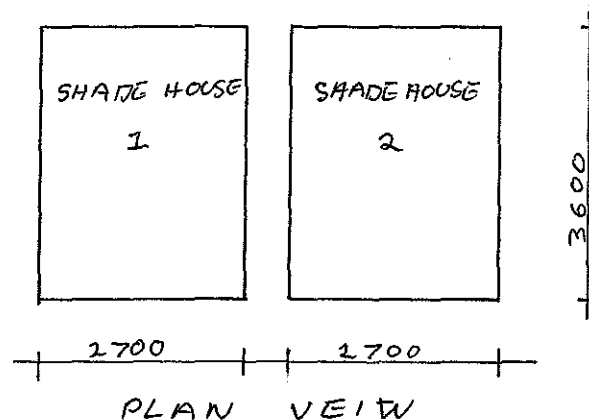
DATE 13-2-10

DRW NO 2/3



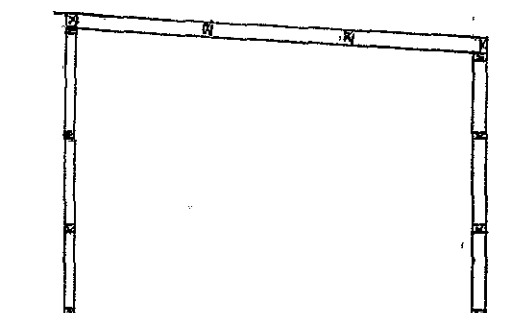
TYPICAL GARDEN SHED CONSTRUCTION
ZINKALUME WALLS + ROOF.
LI SECTION TOP + BOTTOM OF WALLS,
SCREW FIXINGS

GARDEN SHEDS 1 + 2



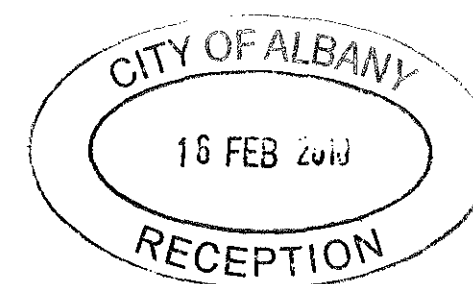
SECTION GREEN HOUSE 1

70x35 CCA WALL FRAME
70x35 CCA RAFTERS
70x35 CCA ROOF + WALL BATONS.
POLYCARBONATE WALL + ROOF CLADDING



SECTION GREEN HOUSE 2

70x35 CCA WALL FRAME
70x35 CCA RAFTERS
70x35 CCA ROOF + WALL BATONS
POLYCARBONATE WALL + ROOF CLADDING



PROPOSED GARDEN SHEDS + GAZEBO + GREENHOUSES

DH + JL SHANN 3 STEPHEN ST MILPARRA ALBANY
18

SCALE 100-1 / 50-1

DATE 13-2-10

DRAWING 3/2

Tom Wenbourne

From: Rob Lynn [rob.lynn1@bigpond.com]
Sent: Monday, 17 May 2010 10:17 AM
To: Tom Wenbourne
Cc: Graeme Bride
Subject: FW: Application for Planning Scheme Consent P295353 & Building Licence 300297

Dear Tom,

Thank you for your email regarding applications we currently have before the department.

As you appreciate some time has passed since we have embarked on this process and I have to admit to some frustration with regard to the speed of progress although I do appreciate your efforts to progress the required approvals on our behalf and understand the current difficulties being faced by the city and its staff.

In your email you have indicated the shed has been added to the current planning application for our main and caretakers residences. While I am happy for this to occur as per your suggestion I am keen (as is our architect) to receive planning scheme consent for our main and caretaker residences and as a result if the issues surrounding the shed are going to hold up the DA for the houses I would prefer for the two applications to be separated. I would welcome your advice on this matter.

With regard to the proposed machinery shed in support of maintaining the current dimensions I would offer the following for your consideration:

1. The property is one of the "non conforming use" lots on the Nullaki.
2. The property is being operated as a farm and currently runs cattle and horses.
3. The proposed shed is to house agricultural machinery, fire fighting equipment, vehicles, horse float and related farm equipment. (equipment is currently stored either outside or offsite which is inconvenient and only a short term solution).
4. The height and size is the minimum required to safely accommodate the machinery required to adequately maintain the property.
5. The proposed shed is a "standard off the shelf" design supplied by the local Albany office of national shed supplier Ranbuild.

Given the above circumstances I would ask that special consideration be given to a relaxing of the current outbuilding policy to allow construction of the proposed machinery shed.

Thank you for your consideration of this request – please don't hesitate to contact me if you require any further details or action on our part.

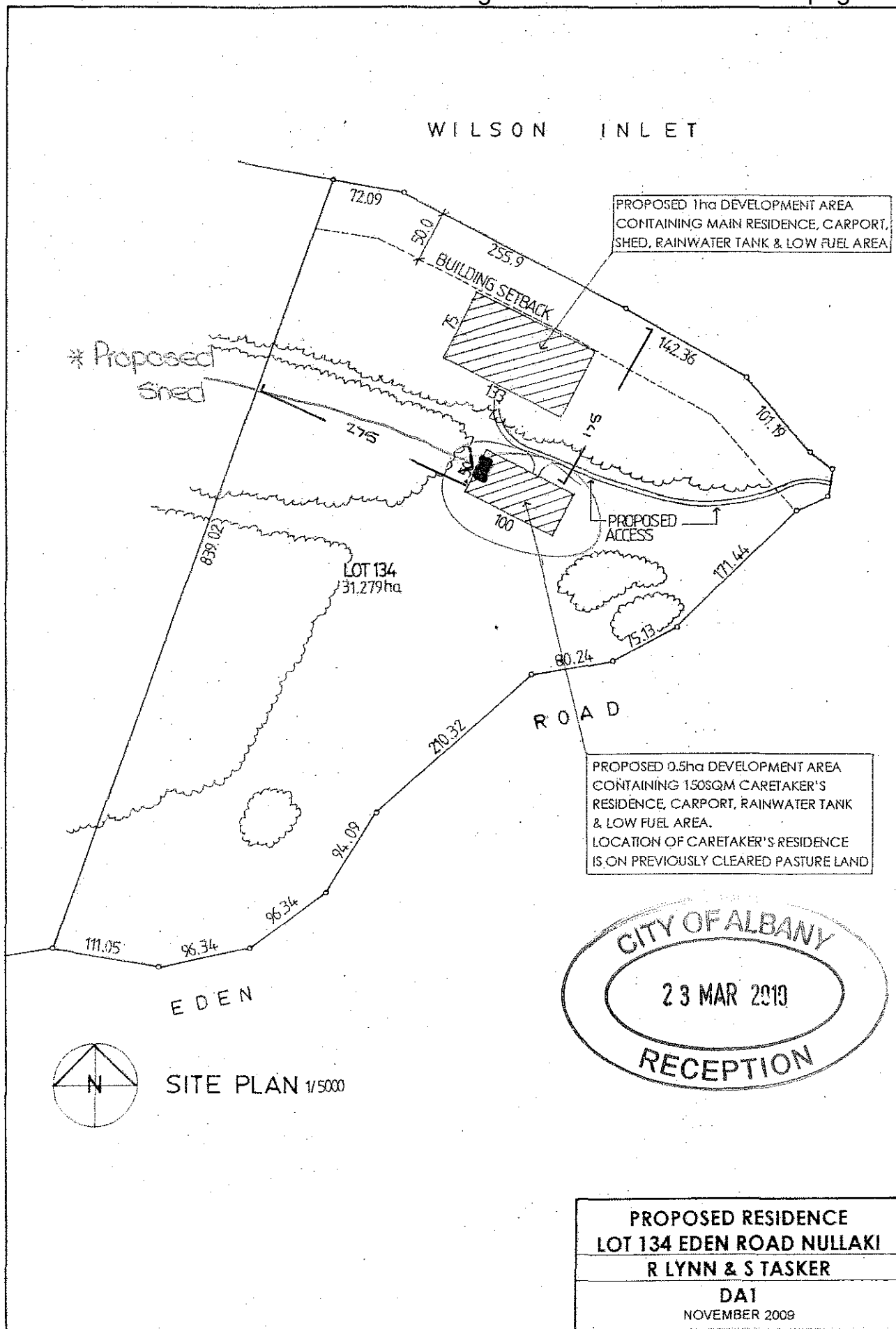
Yours sincerely,

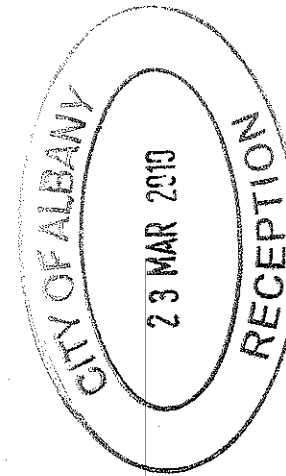
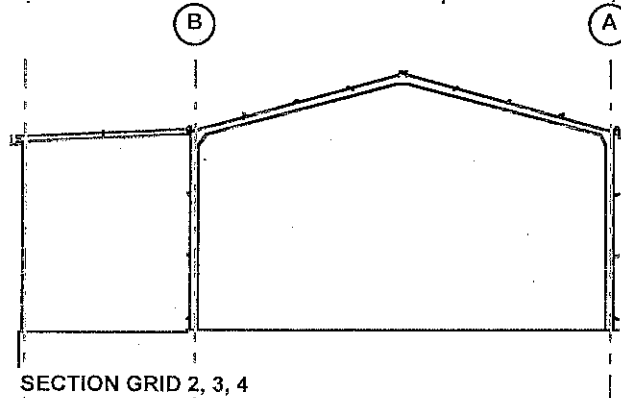
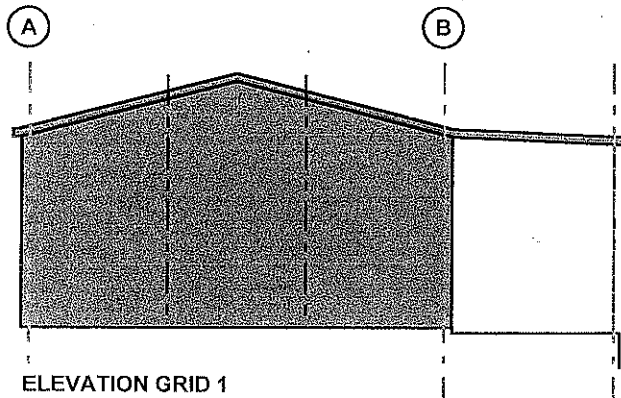
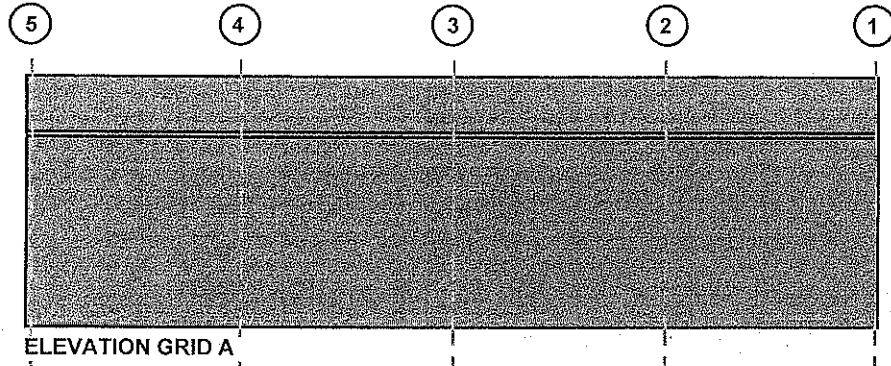
Rob Lynn
0400835997


From: Tom Wenbourne [mailto:tomw@albany.wa.gov.au]
Sent: Tuesday, 11 May 2010 11:48 AM
To: 'Rob.Lynn@wiltrading.com.au'
Cc: 'Rob.Lynn1@bigpond.com'
Subject: Application for Planning Scheme Consent P295353 & Building Licence 300297

Dear Mr Lynn,

I apologise for the delay in dealing with your applications, but I have now been through the Fire Assessments, Flora and Fauna Survey and have considered the plans in detail. As your Building Licence is for the shed only and planning



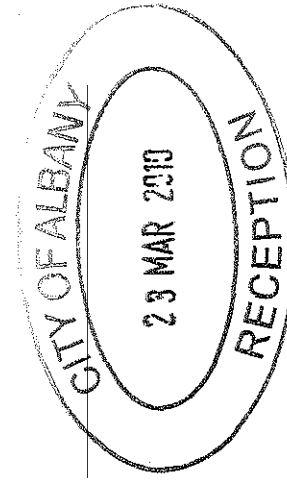
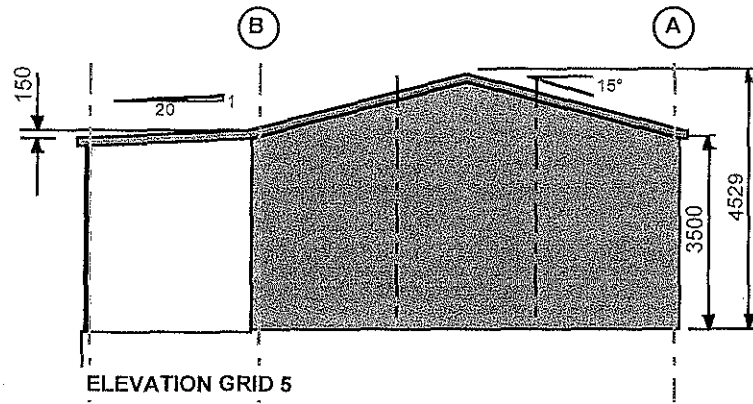




RANBUILD
 Better sheds. Bigger choice.

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 Lysaght Building
 Solutions Pty Ltd
 trading as RANBUILD

SCALE A4 SHEET 1:125	
DRAWING NUMBER ALBANY- 11224	PAGE 3/3

Bulletin 1.1.6
 Agenda Item Refers 13.1.6 5 pages

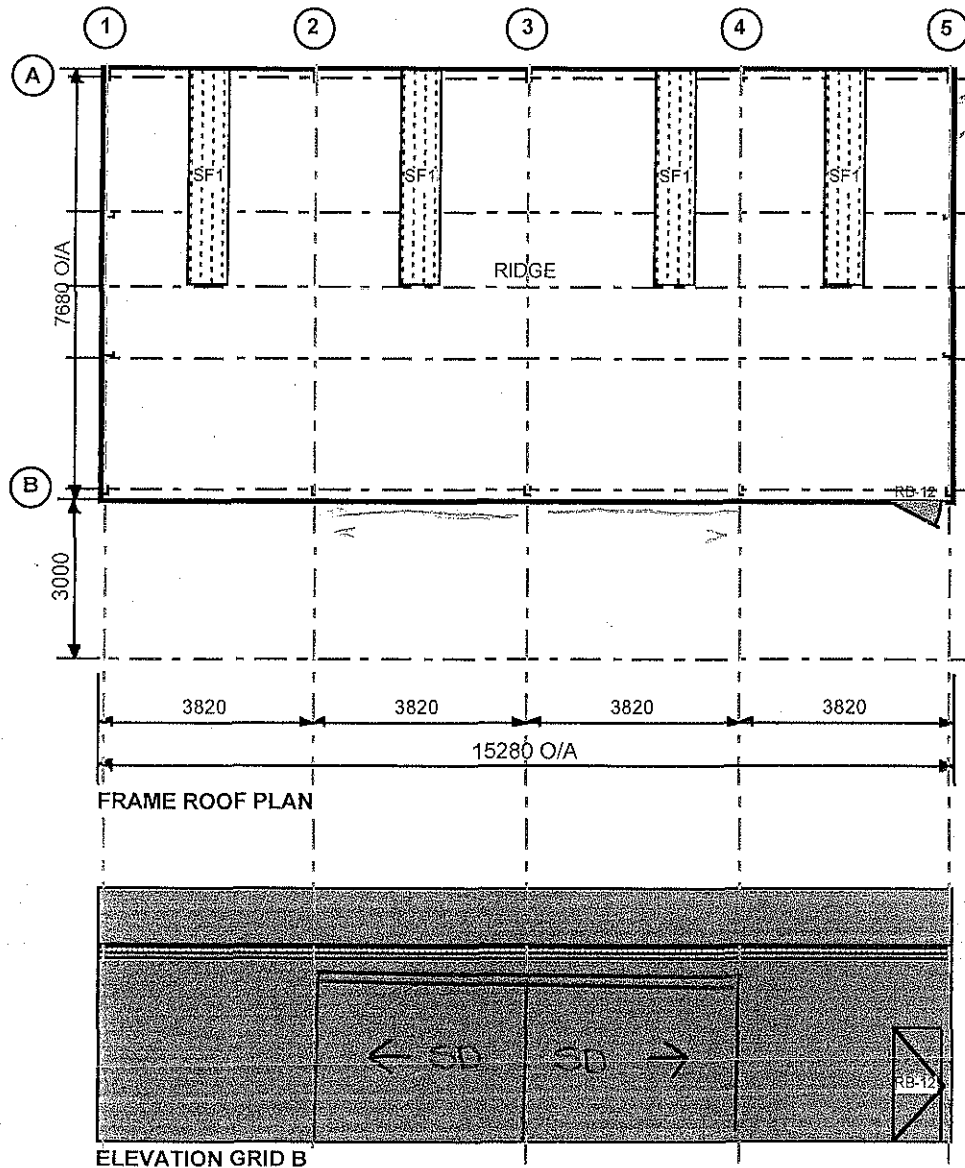



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SCALE A4 SHEET 1:125	
DRAWING NUMBER ALBANY- 11224	PAGE 2/3

Bulletin 1.1.6
Agenda Item Refers 13.1.6 5 pages



Cont. on page 3

CITY OF ALBANY
23 MAR 2010
RECEPTION



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Lysaght Building
Solutions Pty Ltd
trading as RANBUILD

CLADDING

ITEM	PROFILE (min)	FINISH	COLOUR
ROOF	TRIMDEK 0.42	COLORBOND	WL
WALLS	TRIMDEK 0.35	COLORBOND	WL
CORNERS	-	COLORBOND	WL
BARGE	-	COLORBOND	WL
GUTTER	SHEERLINE	COLORBOND	WL

ACCESSORY SCHEDULE & LEGEND

QTY	MARK	DESCRIPTION
1	RB-12	Premium Access Door Kit, C/B (D).
4	SF1	Translucent Sheeting, 1800gm F/glass, High Profile SGFGS/AACB)

ARCHITECTURAL DRAWING ONLY
NOT FOR CONSTRUCTION USE

WIND DESIGN

IMPORTANCE LEVEL	REGION	TERRAIN
2	A	2.5

CLIENT
Robert Lynn

SITE
NULLAKI PENINSULA
DENMARK WA 6333

BUILDING
SUNDOWN DELUXE
7680 SPAN x 3500 EAVE x 15280 LONG
PLUS 3000 AWNING

TITLE
GENERAL ARRANGEMENT

SCALE
A4 SHEET 1:125

DRAWING NUMBER
ALBANY-11224

PAGE
1/3

Bulletin 1.1.6
Agenda Item 1.1.6
Refers 13.1.6
5 pages

Cont. on page 2

A summary of the proposed Live-in Jobs Training Project at 51B Discovery Drive.

Prospect House

Tackling homelessness as a barrier to employment in Albany.

"The best solution to homelessness is a job. "

The plan.

The plan is simple:-

- 1) Set up a five bedroom house as a residential training unit.
- 2) Employ a full time proven case worker to run the programme.
- 3) Select homeless clients who are willing to "have a go" at a three month's intensive job placement programme. They will be assessed for eligibility by the management and if successful, will be offered a place. The essence of the selection process is to ensure that the client will be suitable for the programme. For example, heavy substance abuse, serious mental health difficulties or major behavioural problems would probably disqualify an applicant. These issues are best handled by other existing professional agencies and are beyond the resources of this project. Assessment will be handled off site by the management; there will be no "store front" service.
- 4) Facilitate exit housing.
- 5) Continue mentoring until a stable job and housing situation have been realised.

The programme.

The model is based on national award winning work done in Katanning with indigenous long term unemployed based on the goal of :-

Get the clients job ready, get them a job, keep them in the job.

A full time project officer will deliver the programme.

. The key to success is close mentoring of the clients by the project officer and harnessing the team dynamic of the group. Initially the manager will live on site but once the group has settled in, the house will operate as a normal household without overnight supervision. Assistance is on call 24/7.

Implementation

There are two key partnerships in this project, firstly between the WA state government who are providing the house and secondly between Community First International and St Vincent de Paul who will operate and maintain the project. The Terms of Reference describing this partnership states :-

- 1) St Vincent de Paul will deliver the project operationally.
- 2) Community First International will administer the project.

This project is the result of extensive public support from a variety of community groups over a period of about three years. Stakeholder and supporters are :- The Salvation Army, Albany Youth Support Association, Anglicare, Centrelink, Community First International, Resources4Men, Great Southern Development

Commission, Troode Street Church, Regional Counselling and Mentoring Services, St Vincent de Paul, Great Southern Community Housing, Department of Housing.

The partnership will call on the assistance of an independent advisory committee drawn from representatives from the above group who will provide strategic advice, negotiate and liaise with community stakeholders and promote the project in the community.

Letters of support are attached from Albany Youth Support Association, Department of Housing, Regional Counselling and Mentoring Services and the Salvation Army.

Prospect House is a "lean and mean" initiative to increase its long term viability. For example, there is no car or bus. In the real world, clients have to make their own travel arrangements to and from work. There is no food provided. Clients have to work out how best to buy and prepare meals as a group and this fosters a powerful team dynamic.

Exit housing.

The client will be assisted into transitional housing on exit.

Continued mentoring.

Mentoring will continue after the three months course to ensure that the clients hold their job or move up to a better one.

Demand and rationale.

Homelessness is a blight on our society both financially and socially. The Prospect House project is aimed at fixing this problem by providing a pathway to a job for the homeless. It is a direct response to the recommendations (specifically #1, #3 and #4) of the **Cotton Report** which was funded by the GSDC.

(The Cotton Report, a 37 page document aka "Men's Crisis Accommodation in the Lower Great Southern. Feasibility Study: Final Report", was produced by Daphne COTTON in 2008. It is available from the GSDC in Albany. The conclusions are that homelessness is alive and well in our region and that we should do something about it.)

Financial contribution.

1) The house. The primary contribution is from the WA state government in the provision of a four bedroom house (prefer five), rate free. This was committed to by the treasurer, Hon. Troy BUSWELL, and is on the public record.

2) The project officer. The main expense is the employment of a full time project officer for which funding is being sought from the Innovation Fund of the Department of Education, Employment and Workplace Relations (DEEWR). The package will amount to around \$109,000 per annum over three years and the decision on this funding will be available in February 2010.

3) Operational Management. This will be provided gratis by the Albany conference of SVdP. At a nominal value of \$15 per hour for ten hours per week.

This key contribution, without which there would be no project, comes to around \$7,800 p.a.

4) Day to day expenses. To be funded by a levy of around \$70 per week per client. At an average of 4 clients x 52 weeks x \$70 is a maximum of \$14,560 p.a.

5) Furnishings. St Vincent de Paul will furnish the house with :-

Bedrooms x 5

- 1 x alarm clock
- 1 x bedside table with reading lamp
- 1 x single bed and mattress.
- 1 x desk with reading lamp and chair
- 1 x small fridge
- 1 x wardrobe
- 1 x chest of drawers

Linen, bedding and towels

Two sets of linen and towels for each client, say 6.
Doonas for each bed with washable covers.
Two pillows for each room.
Linen press

Lounge

- 2 x sofas
- 3 x chairs
- Coffee table
- Book case
- TV and video
- Scatter rugs
- Lamps

Laundry

- Washing machine
- Cupboard for detergents etc
- Ironing board
- Drier
- Clothes horse

Bathroom

- Towel rack
- Cupboard for toiletries etc
- Floor mats

Appliances

- Fridge
- Freezer
- Iron
- Microwave
- Toaster

Kettle
Vacuum cleaner.

Kitchen

Dining table and 5 chairs
Crocery, cutlery and kitchen utensils.

Training room

TV and video
2 x computers with internet
Printer
Whiteboard
2 x filing cabinets
Bookshelves
Overhead projector
Table and 8 chairs

Outdoor

BBQ
Pool table
2 x Kennels
Outdoor setting

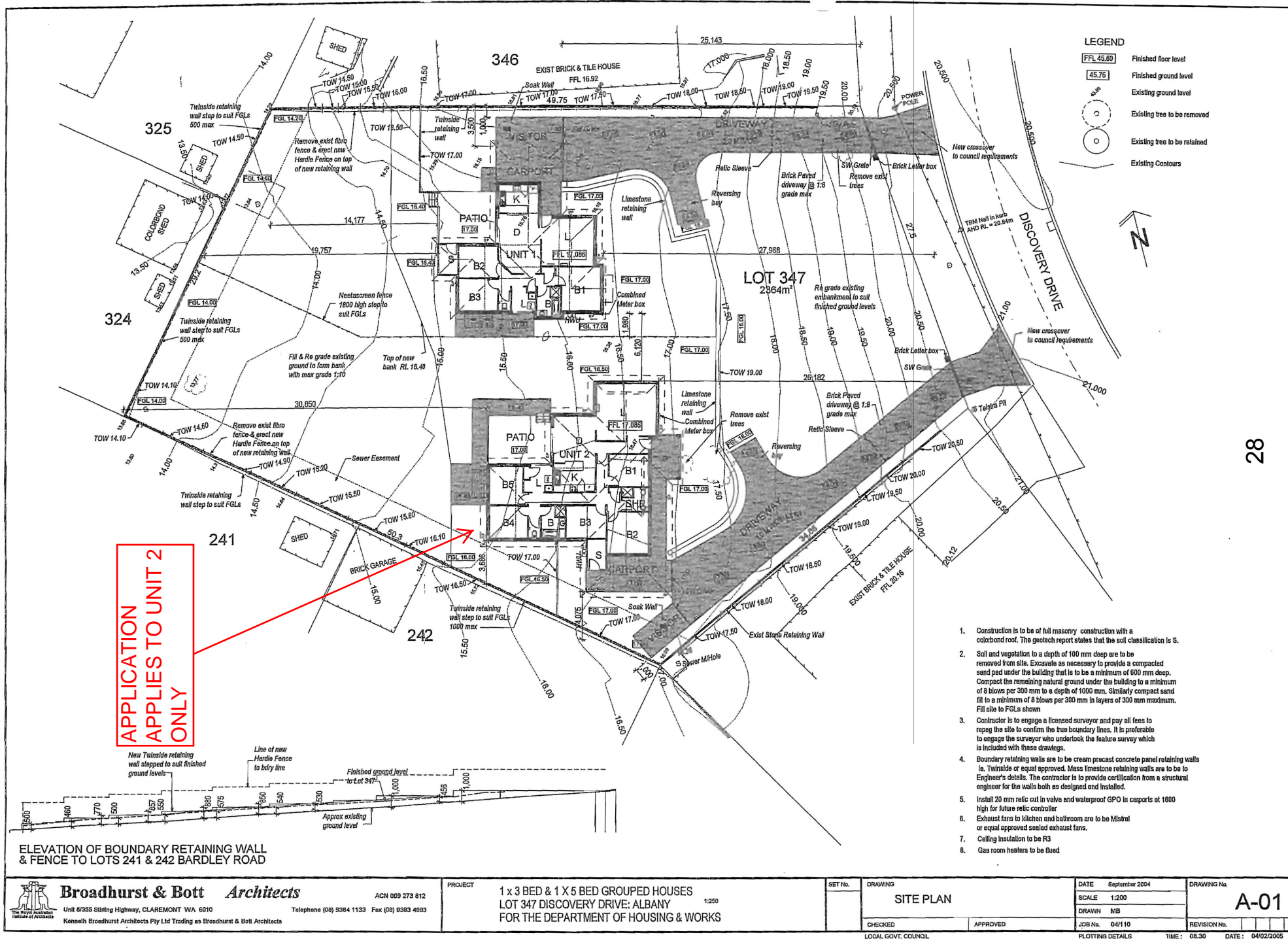
Maintenance

Lawn mower
Whipper snipper
Spades
Rake
Brooms
Buckets, mops brushes.

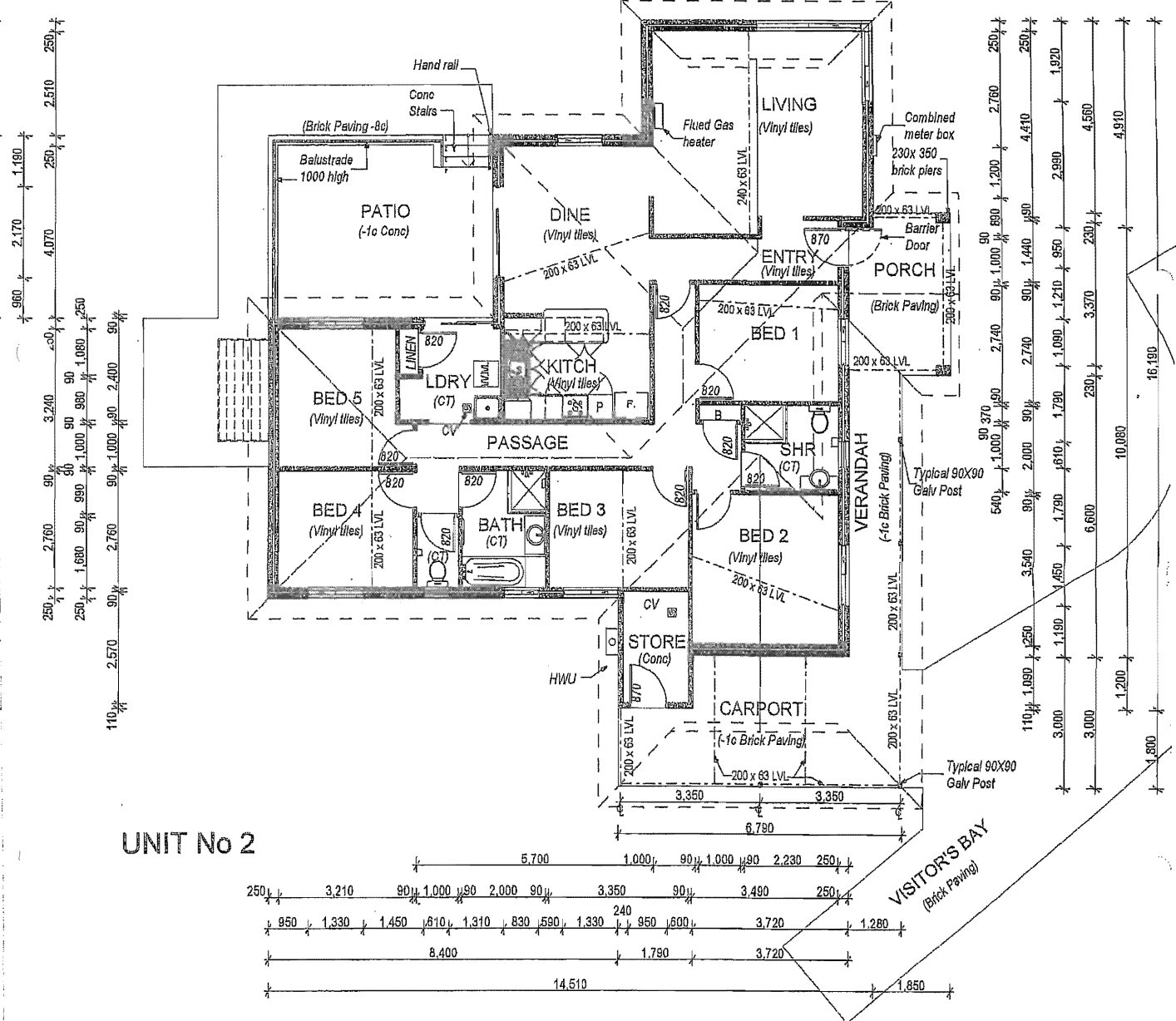
The budget is \$18,000 for house furnishings and setup.

Timeline

The project will be ready to start as soon as public consultation has been completed and funding from DEEWR is secured.

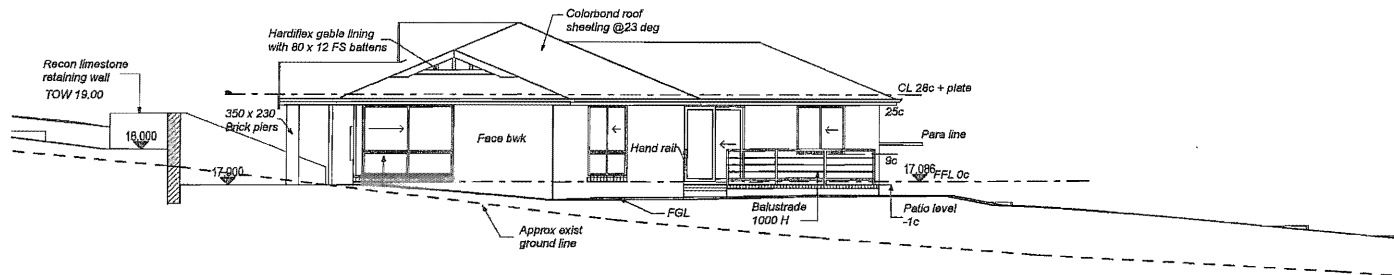


Agenda Item Refers 13.1.7 104 pages

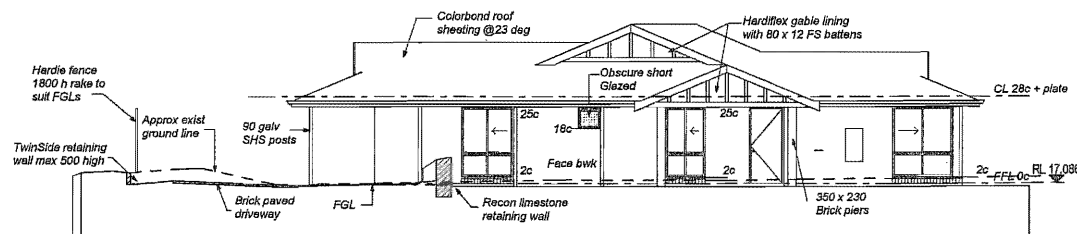


UNIT No 2

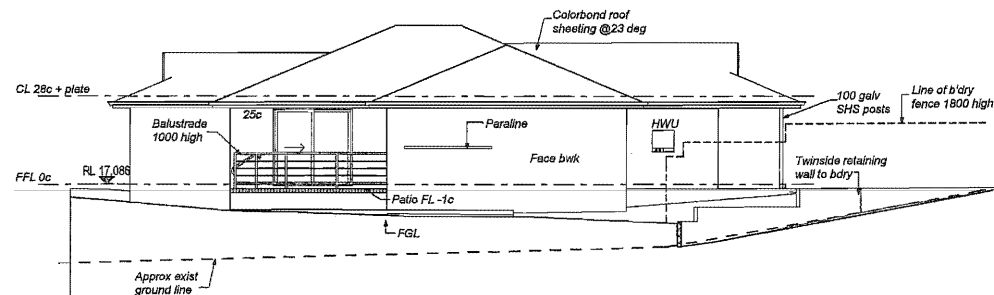
UPED HOUSES E: ALBANY F HOUSING & WORKS	SET No.	DRAWING FLOOR PLANS		DATE September 2004		DRAWING No. A-02		
				SCALE 1:100				
					DRAWN MB			
		CHECKED	APPROVED	JOB No. 04/110		REVISION No.		
LOCAL GOVT. COUNCIL			29		PLOTTING DETAILS		TIME: 08.30	DATE: 04/02/2005



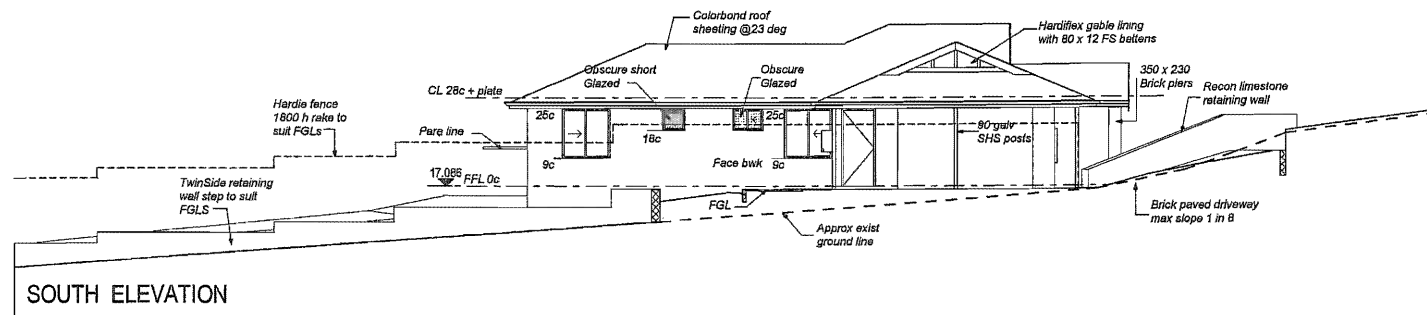
NORTH ELEVATION



EAST ELEVATION



WEST ELEVATION



SOUTH ELEVATION

30



Broadhurst & Bott Architects

Unit 8/235 Stirling Highway, CLAREMONT WA 6010

Telephone (08) 9384 1133 Fax (08) 9383 4983

Kenneth Broadhurst Architects Pty Ltd Trading as Broadhurst & Bott Architects

ACN 009 273 612

PROJECT

1 x 3 BED & 1 x 5 BED GROUPED HOUSES
LOT 347 DISCOVERY DRIVE: ALBANY
FOR THE DEPARTMENT OF HOUSING & WORKS

SET No.

DRAWING

ELEVATIONS UNIT No 2

DATE September 2004

SCALE 1:100

DRAWN MB

JCB No. 04/110

DRAWING No.

A-04

REVISION No.

LOCAL GOVT. COUNCIL

PLOTTING DETAILS

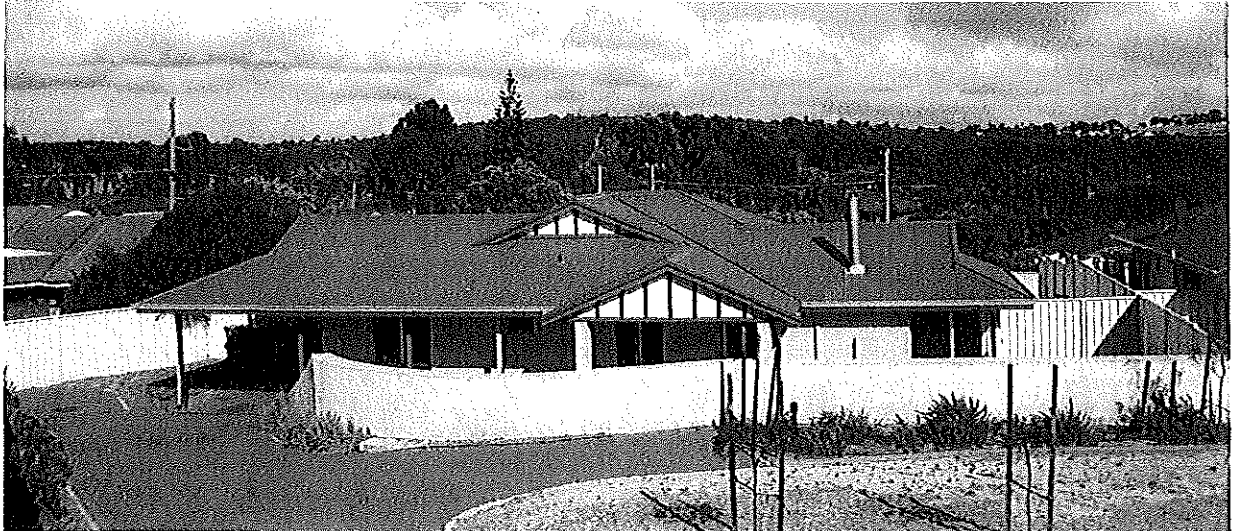
TIME: 08.30 DATE: 04/02/2005

Proposed Change of Use

Accommodation for Homeless P2105028

Prospect House

Tackling homelessness in Albany by assisting people back into the workforce.



Over the last couple of years, a group comprising representatives from the Albany Youth Support Association; Anglicare; the Salvation Army; Centrelink; Community First International; the Department of Housing; Great Southern Development Commission; Great Southern Community Housing; Mental Health; Palmerston; Regional Counselling and Mentoring Services; Relationships Australia; Men's Resource Centre; Troode Street Church; and St Vincent de Paul, has been meeting to explore ways of reducing homelessness in Albany.

They have concluded that the best solution to homelessness is to actively assist homeless people to get a job!

Based on this simple premise, the following action plan has been put in place:

- Establish a five bedroom house as a residential training unit.
- Employ a full time proven case worker to run the programme.
- Using a rigorous selection and allocation process, invite homeless clients who are willing to "have a go" to participate in a three-month intensive job placement programme.
- Facilitate and co-ordinate exit housing.
- Along with other agencies who have pledged their support, continue mentoring until a stable job and housing situation have been realised.

The House

The State Government has offered a house at 51B Discovery Drive, Spencer Park. The project is still under assessment by the Department of Housing and this process will not pre-empt any decisions the City of Albany may make on the Change of Use application process.

The Programme

The model is based on national award winning work done in Katanning with indigenous long term unemployed. **"Get the client job ready, get them a job, keep them in the job."**

Exit Housing

Upon completion of the programme, the client will be assisted into transitional housing.

Ongoing Support and Mentoring Services

Mentoring will continue after the three-month course to ensure that the clients hold their job or progress to a better one. With other agencies who have pledged assistance, the project will continue support during the transition stage into longer-term housing. This will assist clients to get their life back together by addressing two important elements - stable accommodation and employment.

Management

The project will be managed by a partnership between Community First International and the St Vincent de Paul Society of Albany. There is also an advisory body consisting of: Albany Youth Support Association; Department of Housing; Great Southern Development; Commission; Men's Resource Centre; Regional Counselling and Mentoring; Salvation Army; Community First International; and the St Vincent de Paul Society.

Public submissions

Here is the advertisement placed by the City of Albany calling for submissions on the application for Change of Use for the house.

For the project to proceed, this application must be approved. There have been a number of contrary submissions and a petition from neighbouring residents, based mainly on misconceptions about the project. These issues are discussed in detail below.

To balance this perception, positive submissions from the public will be canvassed and a petition gathered in favour of the change of use.

These will be delivered to Council prior to the closing date of Tuesday 16th March 2010.

APPLICATION AVAILABLE FOR INSPECTION

Proposed Change of Use
- Accommodation For
Homeless / P2105028

Council wishes to advise that it has received an application for Change of Use - Accommodation For Homeless AT 51 Discovery Drive, Spencer Park.

Details on this proposal are available for inspection from the Development Services Team at Council's Administration Office, 102 North Road, Yakamia.

Prior to making a formal assessment of the proposed development, Council is seeking written comment (whether supportive or opposing) from the community.

Should you wish to make a submission on this application, please write to the Chief Executive Officer, PO Box 484, Albany WA 6331, before 16th March 2010.

Please note that any comments submitted may be included in a report to Council on this matter, which will be available to the public.

To comply with the requirements of the Freedom of Information Act please advise if you consider any of this information should be withheld.

CHIEF EXECUTIVE OFFICER

Addressing Neighbouring Resident Concerns

Unruly behaviour of the clients

Clients will be assessed for eligibility and those with severe mental health, behavioural or substance abuse issues will not be accepted into the programme. There will be an on-site manager and residents will forfeit their place if they behave anti-socially.

There will be too much traffic for a quiet suburban street

The maximum number of residents will be four plus the manager with no street parking.
There will be no "walk-in" traffic; all assessments will be completed off-site.

There is no transport or facilities nearby

There is a bus stop 400 m from the house; a shopping centre 750 m from the house; and hospital and medical facilities 600 m from the house.

We don't want our street to become a centre for long term homeless people

Neither do we! Prospect House is a jobs-focussed programme with a maximum stay of three months. The aim is to get the clients into a job and out of Prospect House as quickly as possible.

There must be other locations better suited to the project. Why here?

The house has been provided by Department of Housing on the basis of a normal residential situation. It is an ordinary house in a normal neighbourhood so that the residents have a stable secure environment from which to get back into the workforce.

For further information, please call Chris PROBERT on 0402112074 or email Chris at chris@ncplasma.com.au.

TERMS OF REFERENCE FOR PROSPECT HOUSE

AN INNOVATION FUND INITIATIVE

THIS DOCUMENT REPRESENTS AN AGREEMENT BETWEEN

ST VINCENT DE PAUL SOCIETY

AND

COMMUNITY FIRST INTERNATIONAL

1. GENERAL

1.1 These Terms of Reference are written as an agreement between St Vincent's De Paul (SVDP), and Community First International Ltd (CFI), and outline inter-organizational agreement and responsibilities in support of an Innovation Fund application to the Department of Education and Employment, Workplace Relations (DEEWR).

1.2 This DEEWR application is made as a business case to establish and fund a Men's Accommodation Centre in Albany, Southern WA. This application is written in accordance with the specific requirements of the Innovation funding guidelines and addresses a specific criteria annotated within the guidelines of reducing social barriers to employment.

2. INDEPENDENT ADVISORY COMMITTEE (IAC)

2.1 The terms of reference identifies partnerships and support from the following Albany Community Service Representatives as an Independent advisory committee to assist with strategic planning and operational service delivery of the centre. These representatives are:

- Anglicare
- Albany Youth Services Association
- Community First International
- Great Southern Development Commission
- Men's Resource Centre
- Regional Counseling

2.2 Representatives of the IAC agree to:

- i. Provide strategic advice in support of the project to quality assure the governance of the program.
- ii. Negotiate and liaise with community stakeholders, as required, to maintain and promote the program to the wider community .
- iii. Acknowledge St Vincent De Paul Society as the lead organization of this project responsible for the day to day decision making and operation of the program.
- iv. Acknowledge Community First International as the administrator of the program responsible for complying with DEEWR reporting criterion, as the applicant of the business case.

3. AIMS AND PROPOSED OUTCOMES OF THE PROJECT

3.1 SVDP agrees to deliver the project in accordance with the submitted application to achieve the outcomes of the project. These outcomes are as follows but are not limited to:

- i. Eligibility assessment of suitable homeless men into program who are willing to engage
- ii. Mentoring and tailored support to enable engagement back into workforce
- iii. Transition into more stable accommodation within 3 months
- iv. A reduction in the number of recurring homelessness in the Albany region by 50%
- v. Reduction of social barriers to employment
- vi. A sustainable initiative by June 2012
- vii. Establishment of a community model deployable to other communities

4. PROVISION AND COMPOSITION OF SERVICES

4.1 Listed below are specific requirements of provision necessary for the successful implementation and management of the program. Stakeholders agree that:

- i. The project will be implemented by SVDP, the lead organization, in accordance with Innovation Fund Guidelines.
 - ii. SVDP will be responsible for the day to day management and running of the facility and for driving partnership arrangements with community groups to ensure that outcomes within the parameters of the funding agreement are achieved.
 - iii. SVDP will deliver a program pertinent to the requirements of the innovation fund application as listed in section 3.1.i. to section 3.1.vii.
 - iv. CFI will act as party to this initiative as the administering body responsible for the contractual requirements, such as milestone reports, acquittal of funds and other administrative commitments as required by DEEWR.
 - v. CFI will provide other administrative support to SVDP as requested on an ad hoc basis if required and appropriate in accordance with the fund guidelines..
 - vi. Strategic direction and functional business planning of the project will be conducted in partnership with all parties, (SVDP, CFI) and the IAG. Subsequent meetings between parties to occur monthly.
 - vii. SVDP will inform the IAC of operational and financial performance on a quarterly basis.
 - viii. The Men's Accommodation Centre program will be delivered from (**Address to be inserted**).
 - ix. Under no circumstances will the project principles focus away from the primary concern of the business case – to address social barriers to employment and that all parties acknowledge this project as an employment orientated venture.
- 4.2 It is agreed that the management of human resource (to include recruitment and performance management), should be the responsibility of the managing agency, (SVDP)

5. TIMEFRAMES

5.1 Approval from DEEWR will affect a program roll out within one month of funding being provided.

6. CONFIDENTIALITY

6.1. This document acknowledges the sharing of relevant information between all parties and information will be readily available to the stakeholders as requested in accordance with freedom of information legislation. The following protocols must be applied:

- i. SVDP, CFI and the IAG will maintain appropriate client and service confidentiality protocols at all times.
- ii. SVDP will ensure all confidential information is maintained in a secure environment.

7. DISPUTE RESOLUTION

7.1. Both parties agree that if any disputes arise they should be resolved in a collaborative manner and to be a tiered process based on best practice. All processes and negotiations are aimed at achieving the best outcome for clients.

8. DATE EFFECTIVE

8.1. All parties agree that:

- i. This document is effective as soon as all parties have agreed to the terms of reference, and will remain so until written notification is received from either party declaring the wish to dissolve the alliance.
- ii. Quarterly meetings are proposed to discuss outcomes of the project as well as address any issues and matters arising.
- iii. Any additional alliances will necessitate the revision of current terms of reference currently signed by agreeing parties.

Signed

Dated

(Mark Furr - Executive Manager Community First International.)

Signed

Dated

(Chris Probert – Coordinator St Vincent’s De Paul Society)

Signed

Dated

(Andrew Markovs – Men’s Accommodation Centre Independent Advisory Group)

Prospect House.

The best solution to homelessness is to get a job.

To the planning department of the City of Albany 15Jan10:

This is an abbreviated copy of a successful funding submission to the Great Southern Development Commission and gives a good overview of the project.



Bulletin 1.1.7
Agenda Item Refers 15.1.7 104 pages
A117778.

Royalties for Regions Great Southern Regional Grants Scheme Small Grants Program Application Form

For Grants up to and including \$10,000

Please read the *Guidelines for Applicants* prior to completing this application form.

1. ORGANISATION DETAILS

ORGANISATION NAME: St Vincent de Paul Society (WA) Inc

ABN: 18 332 550 061

IS THE ORGANISATION REGISTERED FOR GST? YES

POSTAL ADDRESS: PO Box 1503, ALBANY WA 6331

STREET ADDRESS: 17 Chevalier St, ALBANY 6330

CONTACT PERSON: Chris PROBERT

POSITION TITLE: President

AUTHORISING OFFICER: As above

POSITION TITLE: _____

TELEPHONE: 0402112074

FACSIMILE: 08 98428406

E-MAIL: chris@ncplasma.com.au

2. GENERAL PROJECT INFORMATION

PROJECT TITLE: Prospect House

ESTIMATED START DATE:	January 2010
ESTIMATED COMPLETION DATE:	On going
TOTAL VALUE OF PROJECT (EXCLUDING GST):	\$85,000 p.a.
FUNDS REQUESTED FROM REGIONAL GRANTS SCHEME (EXCLUDING GST):	\$10,000
NUMBER OF JOBS CREATED AS A RESULT OF SUCCESSFUL RGS APPLICATION:	PROJECT PHASE JOBS: <u>1</u> ONGOING JOBS: <u>10 p.a.</u>

5.2 The project must fit within the framework of the Great Southern Development Commission's Strategic Directions 2006-2010 or other nominated regional planning documents.

40 ***Guide:** Please describe how the project fits within (a) the Great Southern Development Commission's Strategic Directions 2006-2010 (according to the funding priority you have ticked in Section 4.1, page 2), or (b) other regional planning documents.*

The **GSDC Strategic Directions 2006-10** calls for, among other things, "regional prosperity", "a vibrant and sustainable future", "infrastructure that facilitates...community development" and "improved services to the region". Decoding the spin, we must conclude that the GSDC recognises the need to support projects that enhance both the financial and social prosperity of the region.

Homelessness is a blight on our society both financially and socially. The Prospect House project is aimed at fixing this problem by providing a pathway to a job for the homeless. It is a direct response to the recommendations (specifically #1, #3 and #4) of the **Cotton Report** which was funded by the GSDC.

(The Cotton Report, a 37 page document aka "Men's Crisis Accomodation in the Lower Great Southern. Feasibility Study: Final Report", was produced by Daphne COTTON in 2008. The conclusions are that homelessness is alive and well in our region and that we should do something about it. Copies are available from GSDC archives.)

Prospect House is a "lean and mean" initiative to increase its long term viability. For example, there is no car or bus. In the real world, clients

Bulletin 1.1.7
Agenda Item Refers to 1.1.7
104 pages

have to make their own travel arrangements to and from work. There is no food provided. Clients have to work out how best to buy and prepare meals as a group and this fosters a powerful team dynamic.

5.3 Applicants should demonstrate a high level of financial commitment to the project through sourcing other project funding and/or a direct financial contribution.

***Guide:** Provide details of financial contribution by the applicant or other sources. Specify if you have received previous State Government funding for this project. Explain if your project is unable to source supporting funds. Your response must be on this form – no attachments.*

Headworks applicants – see Attachment A of the Guidelines for Applicants for additional requirements.

Financial contribution.

1) The house. The primary contribution is from the WA state government in the provision of a five bedroom house, rate free. This was committed to by the treasurer, Hon. Troy BUSWELL, and is on the public record. The house at 51B Discovery Drive, Spencer Park has been offered by the Department of Housing and accepted.

2) The project officer. The Prospect House project will be run by a partnership between Community First International (CFI) and St Vincent de Paul Society (WA) Inc (SVdP). The main expense is the employment of a full time project officer for which funding is being sought from the Innovation Fund of the Department of Education, Employment and Workplace Relations (DEEWR). The package will amount to around \$90,000 per annum over three years and the decision on this funding will be available in December 2009.

3) Operational Management. This will be provided gratis by the Albany conference of SVdP. At a nominal value of \$15 per hour for ten hours per week. This key contribution, without which there would be no project, comes to around \$7,800 p.a.

4) Day to day expenses. To be funded by a levy of around \$70 per week per client. At an average of 4 clients x 52 weeks x \$70 is a maximum of \$14,560 p.a.

5) Furnishings. St Vincent de Paul will furnish the house with :-

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- 1 x chest of drawers

Linen, bedding and towels

- Two sets of linen and towels for each client, say 6.
- Doonas for each bed with washable covers.
- Two pillows for each room.
- Linen press

Lounge

- 2 x sofas
- 3 x chairs
- Coffee table
- Book case
- TV and video
- Scatter rugs
- Lamps

Laundry

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- Cupboard for detergents etc
- Ironing board
- Drier
- Clothes horse

Bathroom

- Towel rack

Cupboard for toiletries etc
Floor mats

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Fridge
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Microwave
Toaster
Kettle
Vacuum cleaner.

Kitchen

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Crocery, cutlery and kitchen utensils.

Training room

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2 x computers with internet
Printer
Whiteboard
2 x filing cabinets
Bookshelves
Overhead projector
Table and 8 chairs

Outdoor

BBQ
Pool table
2 x Kennels
Outdoor setting

Maintenance

Lawn mower

Whipper snipper
Spades
Rake
Brooms
Buckets, mops brushes.

The budget total is \$18,000. **We are seeking a grant of \$10,000 as part of this total.**

5.4 The project should have the support of local government/s and/or other key regional stakeholders.

***Guide:** Provide letters of support from your local government/s and/or other organisations benefiting from, or contributing to, the project. The letters of support must be current to this funding round and relevant to the specific project for which funding is sought.*

44

Give details of letters that are attached.

This project is the result of extensive public support from a variety of community groups over a period of about three years. Stakeholder and supporters are :-

The Salvation Army, Albany Youth Support Association, Anglicare, Centrelink, Community First International, Resources4Men, Great Southern Development Commission, Troode Street Church, Regional Counselling and Mentoring Services, St Vincent de Paul, Great Southern Community Housing, Department of Housing.

Letters of support are attached from Albany Youth Support Association, Department of Housing, Regional Counselling and Mentoring Services and the Salvation Army.

5.5 The project should promote partnerships (i.e. between the community/business sector and government; or across various levels of government).

***Guide:** Describe the partnerships promoted in the project. Your response must be on this form – no attachments.*

There are two key partnerships in this project, firstly between the WA state government who are providing the house and secondly between Community First International and St Vincent de Paul who will operate and maintain the project. The Terms of Reference describing this partnership states :-

- 1) St Vincent de Paul will deliver the project operationally.
- 2) Community First International will administer the project.

The partnership will call on the assistance of an independent advisory committee consisting of parties referred to in 5.4 to provide strategic advice, negotiate and liaise with community stakeholders and promote the project in the community.

45

5.6 The project should reflect a commitment to local decision-making and planning.

***Guide:** Describe how you have involved your local government/s, the local community or others in planning and making decisions for your project.*

This project will be run by the Albany conference of the St Vincent de Paul Society and administered by the Albany branch of Community First International. All decisions will be taken in Albany by Albany people with the option of calling on support and advice from our respective parent bodies as required..

5.7 The project should demonstrate its capacity for meeting ongoing operating and maintenance costs.

Guide: Provide details of your project's ongoing and maintenance costs and demonstrate how they will be funded.

The main operating cost for the project is the salary of the project officer which will be covered by funding from the Innovation Fund of DEEWAR. Since the house is provided by the state government via the Department of Housing, rates and maintenance will be covered by them.

5.8 The proponent should demonstrate that detailed project planning has been completed (including all approvals being in place or achievable in a short timeframe), the project is ready to proceed and that it can be completed in a timely manner.

46

Guide: Indicate whether your project is able to proceed immediately on the granting of Great Southern RGS funds. If it is not ready to proceed, even with Great Southern RGS funding, please describe what is still needed (e.g. awaiting funds from another source, planning approval etc) and when it is likely to become available.

If applicable, provide details of planning, environmental or any other related licenses, permits or approvals which have been, or will need to be, obtained to allow the project to proceed.

The project will be ready to start as soon as funding from DEEWR is secured and the house details finalised.

6. TOTAL PROJECT BUDGET AND SOURCES OF DIRECT FINANCIAL CONTRIBUTIONS AND IN-KIND SUPPORT TO BE EXPENDED

Guide: Attach document/s that support the budget estimate such as copies of quotations/estimates for any feasibility studies, business

and marketing plans, marketing research, economic impact studies etc.

Please note:

- **The Commission requires an audit of grant funds, please ensure that provision for audit costs is included in your budget.**

Details of Project Items to be funded through Cash Contributions						
Project Items	Own organisation \$ (ex GST)	Other source/s \$ (ex GST)	Name of other funding source/s, including other Royalties for Regions funding source/s	Other funding status: Approved ¹ or Requested ²	Great Southern RGS funds \$ (ex GST)	TOTAL \$ (ex GST)
House furnishings (start up)	\$8,000				\$10,000	\$18,000
One FTE		\$60,103 p.a	DEEWR	Requested		\$60,103
Other costs, admin., insurance		31,697 p.a	DEEWR	Requested		\$31,697
	8000	91,800			10,000	109,800
Cash Sub Totals	(A) \$(ex GST)	(B) \$(ex GST)			(C ³) \$(ex GST)	(A+B+C)\$(ex GST)
Details of Project Items to be funded through In-Kind Contributions						

1 If funding has been approved provide written evidence of approval.

2 If funding has been requested but not yet approved provide details of when a decision is expected.

3 The amount of Great Southern RGS funds requested here must be reflected in Section 2 General Project Information on page 1 of this application form.

Project Items	Own organisation \$ Value (ex GST)	Other source/s \$ Value (ex GST)	Name of Other In-Kind Source	TOTAL \$ Value (ex GST)
Operational management	\$7,800		Include in other income	NA
In-Kind Sub Totals	(D) \$ Value(ex GST)	(E) \$ Value(ex GST)		(D+E) \$ Value(ex GST)
Total Project Funds A + B + C + D + E				\$109,800

48 Note: The approved budget will form part of the grant agreement.

7. PROJECT TIME LINE

Guide: Provide details of the proposed time line, key milestones and allocation of Great Southern RGS funding for your project.

Proposed time line:

Milestone Number	Due Date	Outcome/Achievement/Reporting (Key Stages of Project)	Great Southern RGS \$ (ex GST)
1	22Dec09	Funding approval from DEEWR	
2	22Dec09	House allocation finalised Dept of Housing	
3	23Dec09	Purchase of house and training eqpt	\$10,000

8. PROJECT PLANNING AND MANAGEMENT EXPERIENCE

8.1 Applicants should demonstrate planning and management experience and expertise (including financial skills, and governance and accountability processes) in managing projects of this type.

The Society of St Vincent de Paul is Australia's largest charitable organisation and has been operating in Australia since 1854. It has been working in Albany for 40 years. Both the state and national bodies have adequate experience and expertise in this area.

Community First International began operating in 1984 and currently has an annual turnover of \$16 million. The job sector is their business. They have won national awards in their field and have a strong commitment to serving the community.

8.2 Applicants need to provide details on how any in-kind contributions have been calculated and will be acquitted.

The in-kind contribution for operational management of the project has been calculated as an average of ten hours per week times 52 weeks @ \$15/hour = \$7,800. The management will be provided by Chris PROBERT (President) and Daniel RIELLY (Vice-president) and the committee of the Albany conference of the St Vincent de Paul Society.

Bulletin 1.1.7

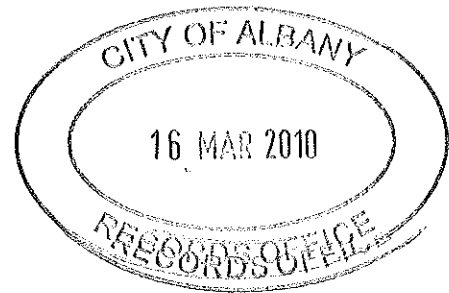
- 2) Terms of reference for the partnership between Community First and St Vincent de Paul.
- 3) Annual reports of the above.
- 4) The Cotton Report.

Agenda Item Refers 13.1.7 104 pages



12 March 2010

Chief Executive Officer
City of Albany CEO
PO BOX 484
Albany WA 6330



Dear Mr Richards

**Re: Prospect House – Support for Change of use application to property
51B Discovery Drive**

CFI has recently applied to the Department of Employment Education and Workplace Relations (DEEWR) on behalf of a community stakeholder group to fund a jobs focused program targeting homeless men, currently known as "Prospect House". The target group for this program are homeless men who are capable of being assisted into paid employment within a 3 month period.

As you may be aware, there is a serious gap in service provision for men over the age of 25 years in Albany who are homeless. Although the project is unable to meet the need for a men's crisis accommodation in Albany, it will be able to help a minimum of 16 men per year overcome homelessness in their lives for the long term.

Residents of Prospect House will be provided with a quiet, safe and stable location to undertake social skills training, education and mentoring along side work readiness packages as required to shift into work and transitional or private rental housing. It has been projected that Prospect House has the potential to reduce the estimated rate of male homelessness in Albany by 50%



A STEP UP TO A BETTER LIFE

We consider the property at 51B Discovery Drive to be an ideal location for this project. Program participants require a stable, quiet and safe environment for the successful transition from homelessness into employment and alternative stable housing. Our program participants will not be people with drug addictions or severe mental health issues, but rather men who need a short term home from which they can re-establish their lives.

As such CFI requests your support in these endeavours by accepting the change of use for property 51B Discovery Drive.

Yours Sincerely

Jessica Baty, Program Manager
Community First International

The Editor
Albany Advertiser

Margaret Gordon
Regional Counselling Services Inc.

Dear Sir/Madam

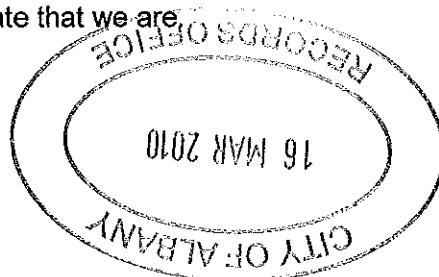
Re: Men's Accommodation proposed for Discovery Drive, Spencer Park.

I acknowledge with a great deal of respect the concerns of the residents in relation to having such a facility in their street. In all undertakings there is an element of risk. The risk is minimised when fears of the unknown are addressed and people are informed of what is happening.

Firstly I would like to assure the residents that the committee that was formed to address this pressing issue, with St Vincent de Paul and Community First have not entered into this venture emotively, they have, as well as can be expected of any new venture remained objective and focused on the issues that relate to men's homeless state and how best as a community these concerns can be tackled to the mutual benefit of all involved.

The perception that homeless people are drug addicts, alcoholics and criminals is a myth. Of course a percentage of them fit these categories, but in the main a greater percentage are men who are finding it hard to survive these tough economic times. Men present as homeless for a number of reasons. Loss of employment, Family Breakdown, Mental illness such as depression and anxiety, Domestic Violence Issues when they have a Violent Restraining Order placed on them. In such circumstances they are unable to enter their home to put together basic necessities such as clothes, wallet etc. (Remember that men are also victims of domestic violence). The majority of these people are like you or I they have the same feelings and concerns as we do, they are not at this place in time through choice but through circumstance.

For the winter of 2009 Regional Counselling Services addressed the issue of Men's homelessness by opening their premises in Alexander Street for a period of 16 weeks. Neighbours were informed and to their credit and care made no objection to the facility being next to them. The shelter was supervised at all times, no one severely affected by drugs or alcohol was admitted. What was really interesting was the fact that not one person came for a bed at night presenting with these issues. Over the life of the shelter only one person came who was affected by alcohol and that was during the day, And although this person did not present a threat the police were called and removed him to safety. Over the short period of the Night Shelter 37 men occupied 342 beds, they were provided with a hot meal, a shower and a warm clean bed. Many were provided with counselling and support to help them move on. This was not a funded program but very much a community one. Albany community were at their best in caring, supporting and providing help and assistance to those less fortunate that we are.



It is always sad that when looking to provide services, we are all for them as long as they are not near me. Unfortunately they have to be somewhere.

I encourage the residents of Discovery Drive and surrounds to take the time to speak with those setting up the shelter, talk about your unease, listen to what they have to say. Informed decision making is far more valid than running with emotion.

It is time for tolerance, acceptance and concern for others to take its rightful but sadly forgotten place in our community.

I also was a neighbour of the Shelter in Alexander Street, my position could have made me more vulnerable, but with mutual respect and acceptance there was no trepidation or thought on my part or that of my family that this was not the right thing to do.

I trust that a resolution can be reached promptly so that this much needed service can be achieved.

Margaret Gordon
Manager RCMS

17th March 2010

THE SALVATION ARMY

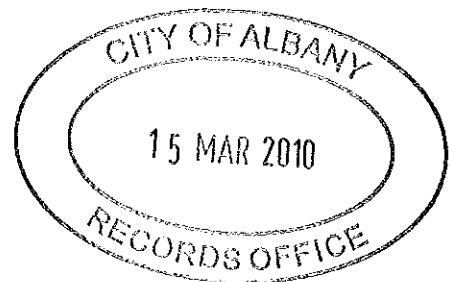


ALBANY COMMUNITY CHURCH
160 North Road, Albany
Postal: PO Box 96, Albany WA 6331
Telephone: (08) 9841 1068
Residence: (08) 9841 7336
Facsimile: (08) 9841 6784

Chief Executive Officer
City of Albany
PO Box 484
Albany WA 6331

12 March 2010

Dear Sir,



Re: Proposed Change of Use – Accommodation for Homeless P2105028

The Salvation Army has long been involved in trying to solve homelessness, and as such, we are very pleased to support this venture. There is a great demand for this type of housing here in Albany and currently this need is not being met.

It is not unusual for us to work with these people through our Emergency Relief Office and often experience difficulty in placing them in suitable accommodation.

Having a place to house homeless people will help us tremendously in them the home and dignity they long for.

Yours Sincerely

Niall Gibson (Captain)
Corps Officer

Chief Executive Officer
City of Albany
PO Box 484
Albany WA 6331

Andrew Markovs
65 Serpentine Rd
Albany WA 6330

26 February, 2010

Hello,

RE; Proposed change of use – Accommodation for Homeless / P2105028

Since the closure of Sinclair House in Mt Lockyer during 2004 there has been a lack of any suitable service in Albany to address the needs of men who find themselves homeless (generally through no fault of their own). Local agency stakeholders with experience and expertise in dealing with all aspects of men's homelessness have been meeting for 2 years to develop a feasibility study and work towards realising a suitable property, sustainable funding and a practical business plan. These efforts have now resulted in a property at 51 Discovery Drive Albany being made available by the WA State Government to house this appropriately managed and staffed facility (subject to local government approval).

We believe that Prospect House, as we have named the project, has an important and increasingly relevant role to play in the quality of life in Albany, especially in the areas of male social services, their family life and the broad community. It will be set up as a residential jobs training program for homeless men home able to access the service for up to 3 months with onsite supervision (rather than a drop-in or night shelter). All referrals to the facility will be handled by St Vincent de Paul and strict screening and house rules will apply to occupants. It is intended as a low profile residential facility integrated with the neighbourhood and no signage will be used.

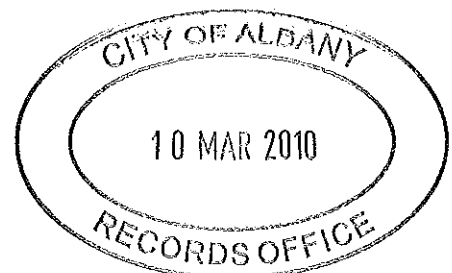
This property will positively address the constant demand for men's homelessness services in Albany which is frequently a frustration in agency and departmental client referrals. There has literally been nowhere to send these men for the past 6 years. Government departments, agencies, NGO's and community members are only too well aware that there is a significant, unmet need for the availability of a facility such as this to effectively address the challenges faced by some men and to support them through to better times.

On behalf of the Prospect House Stakeholder Group, we are very keen to see this valuable community resource become a reality in the near future.

Yours sincerely,



Andrew Markovs
Chairman
Prospect House Stakeholder Group





**Regional Counselling and
Mentoring Services Inc**

12 Alexander St
PO Box 1364
Albany WA 6331

Telephone: 08 9842 9699
Fax: 08 9841 3777

Email: margracs@albany.com.au



We Care – You Matter

Mr Chris Probert
St Vincent de Paul
Albany WA 6330

Dear Sir

Regional Counselling and Mentoring Services strongly supports the application of St Vincent de Paul, in seeking to gain funding to support accommodation for homeless men. This agency ran a Night Shelter for men unfounded using volunteers for four months during this last winter and the facility was well used even though it only provided overnight accommodation.

Therefore we believe there is an urgent need for a more permanent facility that will provide support for homeless men as they prepare to become ready to re-enter the workforce. We encourage the funding body to look sympathetically at the application as the need for this facility in Albany is critical.

Yours truly,

Barry Critchison
Chairperson



160 North Road, Albany
Postal: PO Box 96, Albany WA 6331
Telephone: (08) 9841 1068
Residence: (08) 9841 7336
Facsimile: (08) 9841 6784

23 November 2009

To Whom It May Concern:

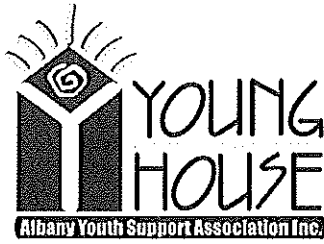
Re: Prospect House Furnishings

The Salvation Army has long been involved in trying to solve homelessness, and as such, we are very pleased to support Community First International and the Albany St Vincent de Paul Society in this funding application.

Thankyou

Yours Faithfully

A handwritten signature in black ink, appearing to be "R. L. Brown".



YOUNG HOUSE

ABN 63 512 707 525

ALBANY YOUTH SUPPORT ASSOCIATION INC

12 Young Street

ALBANY WA 6330

Phone: 9842 2082

Fax: 9842 2382

Email: admin@younghouse.org.au

20 November 2009

To whom it may concern,

Re: Letter of support

Albany Youth Support Association Inc extends its support to the application to establish 'Prospect House' - tackling men's homelessness as a barrier to employment in Albany.

The community has been requesting an accommodation facility for homeless men for some time and it is vital that the service becomes operational soon. Unfortunately the project needs to seek funding from a variety of sources just to make it operational and so I hope that this application is successful.

Albany Youth Support Association is one of the organisations that sits on the advisory committee and has pledged its support to the project.

Please don't hesitate to contact me if you have any questions or require further detail.

Yours sincerely

Patrick Weadon
Manager
Albany Youth Support Association

Men's Resource Centre

Albany

Encouragement of men to be more proactive in their help seeking behaviour
Support of men in their key roles • Facilitation of activities/forums/workshops

TO WHOM IT MAY CONCERN

18th November, 2009

Hi,

The MRC has been established since 2001 as a not-for-profit, NGO based in Albany and we are the only organisation in the Lower Great Southern Region, that is solely and specifically focused on men's and boy's physical, emotional and psychological health from a consumer point of view. We believe that we have an important and increasingly relevant role to play, especially in the areas of male health promotion in the workplace, their family life and the broad community.

Along with many other organisations dealing in 'quality of life issues', we are strong advocates of improved facilities for homelessness. The MRC has actively participated in working towards this current project for the past 3 years and believes that it will be an effective and valuable resource for our Great Southern Regional community.

We are very keen to support this funding application.

I look forward to your positive response to the submission.

Yours sincerely,

Andrew

Andrew Markovs
Manager
Men's Resource Centre (Inc)

Tel; (08) 9841 4777 mob 042 747 9367
Email; andrew@mensresourcecentre.org.au

Postal Address; 65 Serpentine Road, Albany WA 6330



Government of **Western Australia**
Department of **Housing**
Housing Services

Great Southern Development Commission
110 Serpentine Road
ALBANY WA 6330

Date: 23 November 2009

Dear Sir/Madam

Re: Letter of Support for an Innovation Grant for a Men's Prospect Centre in Albany

I am writing in support of a funding grant of \$10,000.00 being made towards furnishings for the Prospect House project.

There has long been a need for a facility with a sustainable future to tackle the issue of homelessness in Albany. The Department of Housing along with a number of community organisations has been an enthusiastic contributor in the process towards making the facility a reality.

Consultation has been exhaustive and the collaboration exceptional, to tackle the plight of men with limited accommodation options and it is fantastic to have this opportunity to give my support towards a successful grant application to furnish the facility.

From the time of the initial concept discussions, there has been deep concern from community organisations about homeless men. The grant will be a terrific boost towards realising what is a much needed service in Albany.

Yours faithfully

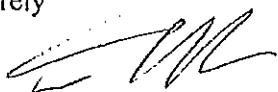
Ken Carter
Regional Manager – Southern Region
Department of Housing

To whom it may concern

I understand that the St Vincent De Paul society will be submitting an application for funding in order to support the development of a service for Homeless men in the Albany area. I commend this project to you as a service that is badly needed in our region, and is one that will make a significant difference to the lives of many citizens of the Great Southern. The Society has been established in Albany for many years and is very well respected amongst human service providers as an efficiently run organisation that will provide a high quality of service and great value for money.

Please feel free to contact me if you should require any further information

Yours sincerely



Tim Christie
Manager
Great Southern Services
Anglicare WA
1.12.09

5th March 2010

His Worship the Mayor
Milton Evans

We are writing this letter to voice our concern on the proposed application of the accommodation for the homeless at 51 Discovery Drive Spencer Park.

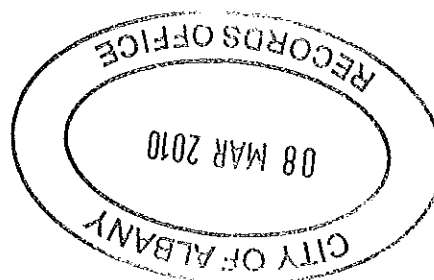
Being a mature age couple and also having neighbors around the same age, some of them being by themselves, we are concerned with the clientele not being suitable for this quiet family and elderly oriented residence of this area.

As stated in your Notice of Application heavy substance abuse, mental health or behavioral problems would PROBABLY disqualify an applicant but there is no guarantee that none of these clients would be allowed into our neighborhood.

My husband and I strongly object to this proposal and hope you will consider this when making your decision.

Yours Sincerely JOHN & YVONNE STALLEBRASS

J. Stallebrass
140 ULSTER ROAD
ALBANY



WR & NC Offer
8 Batelier Close
ALBANY WA

Chief Executive Officer, City of Albany
PO Box 484
ALBANY WA 6331

2ND March 2010

Dear Sir

RE; NOTICE OF APPLICATION FOR PLANNING CONCENT

We do not support Planning Consent for Homeless at 51B Discovery Drive, Spencer Park.

Our home is in close proximity to that address in Batelier Close, and were not informed although we have no other entry to our Street other than along Discovery Drive.

- . We purchased our home on the understanding of being in a quiet part of suburbia where most houses are occupied by owners. The security, safety and peacefulness of our current surrounds will be affected by this move, homes in our cul de sac are owned and lived in mostly by retired people.
- . There is no doubt that something should be done for homeless men but surely a boarding house or Hostel situation closer to the City Centre in a non residential area would be more appropriate.
- . How 4 to 5 complete strangers would survive harmoniously in a house for up to 3 months is beyond belief.
- . This arrangement of instruction, living and using a residential area as a commercial enterprise is just not acceptable.
- . We are particularly concerned by The Plan 3), when stating suitability for the program the word PROBABLY is used re disqualification for heavy substance abuse, serious mental problems etc.
- . The provision of 2 dog kennels will also cause problems in the neighbourhood there is no fence across the front of the property not to mention the noise factor.

It would be hoped that all Councillors would consider the plight of us ratepayers when it appears the 'deal' was done and media advised before we new anything about it.

Yours faithfully


WR OFFER


NC OFFER

Copy to all Councillors
P Watson





Doc No: ICR8098564
File: A117778

Mrs Patricia Cook
P O Box 4043
Spencer Park
Western Australia 6330
johnpat@omninet.net.au

Date: 23 FEB 2010
Officer: PLANA1

Attach:

Mr. Taylor Gunn
Assistant Planning Officer
City of Albany
P O Box 484
Albany WA 6331

Dear Sir: Application for Planning Consent – 51B Discovery Drive
Accommodation for Homeless

I was shocked and distressed to receive your letter stating that Council is considering such a Change of Use for the above unit. Discovery Drive is a quiet residential street, where I have lived happily and comfortably since my house was built in 1999 and I fear that the purchase of the unit at 51 B, for a 5-bedroom home for homeless would alter the atmosphere and ambience in this street.

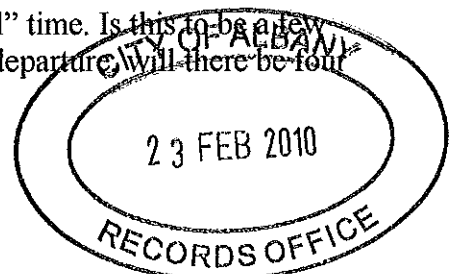
The statement in the summary “that *heavy* substance abuse, *serious* mental health difficulties or *major* behavioural problems would *probably* disqualify an applicant” is neither specific nor reassuring, and, if I have read it correctly, contains no guarantees whatsoever for local residents as to the quality of “client” to be housed. Have I correctly understood the application in this regard?

The summary also states that 5 people would be resident in the unit. Is this the limit of the project, or is it planned to increase that number? The plans of the house show only one bathroom and toilet, which hardly seems adequate for 5 adults.

Why is it considered necessary to provide 2 kennels in a home where the residents are expected to gain full-time employment?

Unit 51B contains 5 bedrooms, a lounge room and a patio. If an area is to be set aside for a training room, as outlined in the proposal, will there be a sufficient area indoors for dining and communal leisure time, or is this expected to take place in the patio?

The project officer is only to live on site for an “initial” time. Is this to be a few days or a few weeks – it is hardly specific. After his departure, will there be four or five clients in residence, or more?



Why is it considered necessary to have assistance on call "24/7"? The necessity for such a statement is hardly reassuring to other residents in the street.

Discovery Drive is not on a public transport route, neither is it close to shops. If the clients are expected to find their own way to work, and provide their own food, surely it would be better to look for a location on a public transport route and close to shopping facilities. The increase in traffic flow caused by the use of taxis or lifts for four different adults going to and from work, to and from shopping and to and from leisure activities would be quite considerable in our small, dead-end street.

I look for clarification of my concerns as outlined above, but on the information I have to hand at present I would strongly oppose the application.

Yours faithfully,



22nd February 2010

c.c. Albany City Council
Chief Planning Officer
Cr. Ray Hammond
Cr. Jill Bostock
Hon. Troy Buswell MLA
Peter Watson, MLA

Taylor Gunn

From: Jo Hawkins [johawks@bigpond.com]
Sent: Monday, 15 March 2010 5:48 AM
To: Taylor Gunn
Subject: EF8099749 - A117778 - Planning submission for 51Discovery Drive

SynergySoft: EF8099749

Hi Taylor

I am writing to you about the planning submission that your are currently considering for 51B Discovery Drive.

I have an investment property at 58 Discovery Drive and although I don't live in the area anymore, I still have a vested interest in what happens in the street and the surrounding area.

Like many residents in the street, I am against the current proposal for a Homeless residence.

As I see it, reading the proposal, where people with "heavy substance abuse, serious mental health difficulties or major behavior problems would probably disqualify an applicant", is not enough to convince me that people with these issues will not be at some time living at the property and creating a potential dangerous situation for those who live at the property and those in surrounding neighbourhood. What happens to people who go outside the guidelines for the residence and are asked to leave, can we be sure that those people (who's judgment is clouded by same guidelines for which they were asked to leave, ie, "heavy substance abuse, serious mental health difficulties or major behavior problems"), will not come back into the area from time to time and create havoc ??

If there is no possibility of any anti-social behavior as a result of, "heavy substance abuse, serious mental health difficulties or major behavior problems", why is a project officer necessary ??

I understand that as part of a recovery program, that these houses a necessary, but why in a quiet street that is populated mainly with the retired and young families, the two(2) main vulnerable groups in the community ??

I am sure there would be other properties in town that are owned by the State that would be in far more convenient location. i.e. Closer to shops and town, On a bus route. That would not cause major concern or disruption to residents in the area.

The main concern I have with the proposal is the affect it will have the family that currently rent my property. They are a young family with 2 small children. They are excellent tenants and I feel that if the proposal was successful, they may feel their safety could be compromised and they will be forced to leave their home and find alternative accommodation. Which leaves then leaves them homeless and me, in a situation of trying to find good tenants in a neighbourhood which has "issues".

Over the past 16 years, since I purchased my property, I have constantly invested resources, (time and money) into the property to ensure that the value remains high, I feel that if the proposal is successful, that will have all been a waste. You can spend a fortune on a property, but if the surrounding neighbourhood becomes notorious for anti-social behavior, it will mean nothing !! A majority of the other houses in the street are of substantial value, either newly built in the past ten(10) years or recent renovations which would put the value of most of the properties in the \$400 000 - \$600 000 range, it doesn't take much imagination to work out what would happen to those values if the neighbourhood becomes notorious for all the wrong reasons.

Again, I take the opportunity to emphasise that I am strongly opposed to the proposal for 51 Discovery Drive.

If you require further information, or clarification on any of the issues I have raised above, please do not hesitate to contact me

Yours sincerely

Jo Hawkins

PO Box 1676

Albany WA 6330

h. 9844 4034

w. 9892 7562

m. 0447 4034 54

Taylor Gunn

From: K & GJ Hoekstra [hoekstra@iinet.net.au]
Sent: Friday, 12 March 2010 3:24 PM
To: Taylor Gunn
Cc: rayhammond@bigpond.com; djbostock@hotmail.com
Subject: EF8099599 - A117778 - Application for Planning Scheme Consent for 51B Discovery Drive (P2105028)

SynergySoft: EF8099599

For Taylor Gunn

Thank you for your prompt replies to the concerns raised by my email dated 21 Feb 10, in regard to the Application for Planning Consent for 51B Discovery Drive.

Having read the "Men's Crisis Accommodation in the Lower Great Southern Feasibility Study : Final Report" prepared by Daphne Cotton dated December 2008, we have grave doubts that the accommodation at 51B Discovery Drive will remain a "residential training unit" once the proposal has been approved.

According to the Cotton report at paragraph 5.6 "there are an *estimate* of up to five men aged over 25 years requiring assistance to find crisis accommodation each month of the study". Please note that the figure of "*five men*" is an *estimate* only and are not borne out by statistics.

During the period January to September 2008 there were only 16 requests from males for accommodation assistance to St Vincent de Paul Society in Albany. This is an average of less than two per month. During the same period other agencies also received requests for assistance but their statistics were "*anecdotal*" only. Statistics showing the number of these men who had heavy substance abuse, serious mental health difficulties or major behavioural problems is not available. If one was to make an assumption and say that one third of those 16 that required accommodation assistance had the aforementioned problems, that then would leave approximately 12 men eligible for the proposed "residential training unit".

Again, figures are not clear as to the number of men that only required short term accommodation (eg. 1 to 5 nights). Should this figure again be one third of the 12 remaining, that leaves a total of eight men over a period of nine months that would have been eligible for the program should they have all taken up the offer. Should these statistics still be valid in 2010 I feel that this type of program would hardly be economically viable for the agencies concerned.

It is interesting to note that similar schemes trialled in Albany in the past have not succeeded due mainly to lack of operational funding, client dynamics, damage to property and anti-social behaviour.

We understand the need for short term crisis accommodation for men in the Albany area but to put forward a proposal for a "residential training unit" without the necessary statistics to show how many men, *without* heavy substance abuse, serious mental health difficulties or major behavioural problems, that need this type of assistance appears an underhand way of establishing short term crisis accommodation.

My statement made in the previous paragraph is based on the report in the Albany Advertiser dated 11 March 2010 which states, "Housing Minister Troy Buswell granted the St Vincent de Paul Society and Community First International permission to use the Discovery Drive home as transitional housing for those who were sleeping rough, pending the City Of Albany approval." Mr Buswell however did not use the words "pending City Of Albany approval" when he made his televised statement on 19 February 2010.

Mr Probert, in an article in the Weekender dated 11 March 2010, states that "There will be an on-site manager and residents will forfeit their place if they behave anti-socially". One can reasonably assume from Mr Probert's comment that an on-site manager will be at the residence permanently which is contrary to the proposal as forwarded to the residents of Discovery Drive which states "Initially the manager will live on site but once the group

Bulletin 1.1.7

has settled in, the house will operate as a normal household without overnight supervision". Additionally, how can the "house operate as a normal household" if the tenants are to move out after 3 months? (See your reply to our paragraph 3 of our previous email.)

Agenda Item Refers 13.1.7 104 pages

Please be aware that we are not in favour of the granting of approval for the application for Change of Use – Accommodation for Homeless at 51 Discovery Drive, Spencer Park.

Klaas & Glenys Hoekstra

59 Discovery Drive
ALBANY WA 6330

Phone: (08) 9841 2748

Email: hoekstra@inet.net.au



City of Albany Records

Doc No:

ICR8099843

File:

A117778

Date:

15 MAR 2010

Officer:

PLANA1

Attach:

Peter E. Mills
10 Batelier Close
ALBANY W.A. 6330

11th March, 2010

Chief Executive Officer
City of Albany
P.O. Box 484
ALBANY
W.A. 6331

Dear Sir

RE: NOTICE OF APPLICATION FOR PLANNING CONSENT

51B DISCOVERY FRIVE, SPENCER PARK

I received no notification re the proposed rezoning at 51B. Discovery Drive, Spencer Park. Prior to the local newspaper announcements.

I wish to oppose this change as I purchased my property almost 4 years ago as it is located in a quiet residential area and the residents in the surrounding are mostly seniors...I myself am an aged pensioner.

I can foresee that the proposed change to establish the Discovery Drive address as a home for homeless people can only bring some social problems to this very peaceful environment.

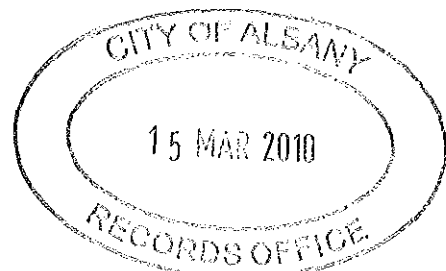
Also it seems senseless to locate these people so far away from public transport and shopping facilities.

As you are aware there is no other access into Batelier Close other than using Discovery Drive...this proposed rezoning seems most unfair to all surrounding residents.

I am requesting that this proposed rezoning is cancelled so that this area remains unchanged.

Yours Faithfully


P E MILLS



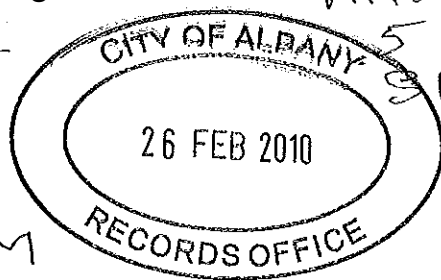
TO

CHIEF EXECUTIVE OFFICER

Bulletin 1.1.7 FROM

Agenda Item Refers 13.1.7 104 pages

P O BOX 484
ALBANY
W.A 6331



5 BATELIER CLOSE
SPENCER PARK
ALBANY 6330

A117778
PLAN 1

DEAR SIR/MADAM

SUBJECT RE-ZONING OF 51B DISCOVERY DRIVE.

AS RESIDENTS OF BATELIER CLOSE WE DID NOT RECEIVE ANY NOTIFICATION OF THE PROPOSAL TO REZONE 51B DISCOVERY DRIVE.

AS THIS DECISION WILL AFFECT US, WE SHOULD HAVE BEEN INFORMED PRIOR TO RELEVANT DEPARTMENTS MAKING DECISIONS AND PASSING INFORMATION ONTO THE NEWSPAPERS AND T.V'S

OUR CONCERNS ARE SECURITY AND SAFETY THERE ARE MANY SENIORS AND SEVERAL LADIES LIVING ALONE, PLUS CHILDREN WALKING TO AND FROM SCHOOL, SOME FROM PREMIER CIRCLE USING THE WALKWAY INTO DISCOVERY DRIVE.

THE MOST AFFECTED WILL BE THE RESIDENT WHO LIVE NEXT TO 51B DISCOVERY DRIVE, ALSO OTHERS WHO LIVE NEARBY.

IT IS GROSSLY UNFAIR THAT THESE RESIDENTS WHO HAVE LIVED HERE FOR MANY YEARS SHOULD BE PLACED IN THIS SITUATION.

THIS PROPOSED REZONING WILL AFFECT PROPERTY VALUATIONS WE THEY WILL GO DOWN WILL OUR RATES GO DOWN TO COMPENSATE?

DOES THIS REZONING OF 51B DISCOVERY DRIVE FOR HOMELESS MEN BENEFIT BOTH INDIGENOUS AND CAUCASIAN MEN?

YOU WILL RECEIVE MANY OBJECTIONS TO THIS PROPOSED REZONING, WE ASK THAT YOU CANCEL THE ABOVE PROPOSAL FOR THAT PROPERTY AND LEAVE OUR AREA AS IS. PLEASEFUL.

YOURS SINCERLY DL & PJ MAHONEY.



21 February 2010

Doc No: ICR8098459
File: A117778

Date: 22 FEB 2010
Officer: PLANAI

Attach:

Attention: T Gunn
Assistant Planning Officer
City of Albany
PO Box 484
ALBANY WA 6331

Dear Sir

**RE; NOTICE OF APPLICATION FOR PLANNING CONCENT – 51
DISCOVERY DRIVE, SPENCER PARK. Ref: A117778/PA306660/P2105028**

My husband and I are writing to object to the above application. Being local residents we feel this change over is wrong. The following shows some of our objections to your plan.

Serious mental health and behavioural problems with residents placed there create threatening behaviour and will flow over to nearby residents. A number of elderly folk, some on their own reside in Discovery Drive and Battelier Place, they will be exposed to this.

The word "probably" (in your letter) leaves a minefield of possible future problems eg: Young House in Albany has many police calls re theft and behaviour episodes by the residents.

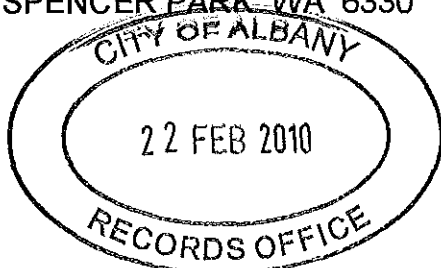
Will the adjacent home eventually become part of this program if the Government hands that over as well?

We are not against setting up accommodation to help these folk but more thought and investigations should go into where they will be placed eg: Angove Road is close to the hospital, shops, public transport, all the requirements that Discovery Drive certainly does not have.

This project is incompatible and out of context to rezone this property. We are highly opposed to this application.

Yours faithfully

Ronald and June Pearce
46 Discovery Drive
SPENCER PARK WA 6330



Mr & Mrs D Mahoney
5 Batelier Close
ALBANY WA 6330

His Worship the Mayor
Milton Evans



1ST March 2010

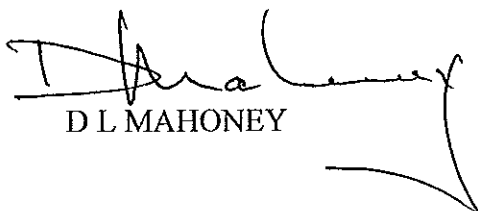
All 7778
Phan A1

Dear Sir

**RE: NOTICE OF APPLICATION FOR PLANNING CONSENT
51B DISCOVERY DRIVE, SPENCER PARK**

- . As residents of Batelier Close we had not received any prior notification from anyone about proposed usage of above.
- . As this decision will affect us we should have been informed, before relevant Departments made their decisions and TV/Newspaper announcements on this Proposed rezoning.
- . Our concerns are – security and safety. There are many seniors, including several ladies living alone; plus children walking to and from school – some via a walkway from Premier Circle, using Discovery Drive. Our only vehicle access to our homes in Batelier Close is via Discovery Drive.
- . Surrounding residents to 51B Discovery Drive will be most affected, however, others living nearby will also be affected. It is grossly unfair that these residents who have lived here many years should be placed in this situation.
- . This proposed rezoning will also greatly affect property valuations, ie they will go down – but will our rates go down to compensate in a small way? Prospective buyers of properties for sale in this area will be put off by a decision to use a private residence for housing “homeless men”.
- . It is obvious that the more suitable location for the homeless would be closer proximity to the CBD/bus service so these people can readily avail themselves of any help they may need ie appointments/facilities. There must surely be better options than the one being proposed.
- . We know you will receive many objections to this proposed rezoning, hence we request you cancel it and leave our area as it is. Would any one of you reading this letter be happy, or be prepared to accept this rezoning of a property in a relatively quiet peaceful area, next door or in close proximity to your own home?

Your faithfully


D L MAHONEY


E J MAHONEY
74

24th February 2010

Attach:

CEO
City of Albany
PO Box 484
ALBANY WA 6331

Dear Sirs

**RE: ACCOMMODATION FOR THE HOMELESS - P2105028
51 DISCOVERY DRIVE, SPENCER PARK**

I write with a severe objection to the above change of use to the above address.

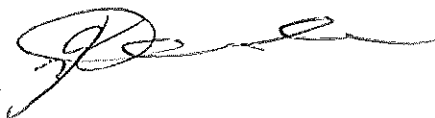
I feel that Spencer Park has enough adversity to contend with of certain elements being, theft in the area and abuse at local shopping centre of which at times are constant. Offensive and drunk persons asking for cigarettes then subjected to verbal abuse when not forthcoming.

We live in a good street with good neighbours most of whom are elderly and feel that usage of the house intended is not viable. We do not want and did not purchase this property with the intention of having such usage of a house in such close proximity.

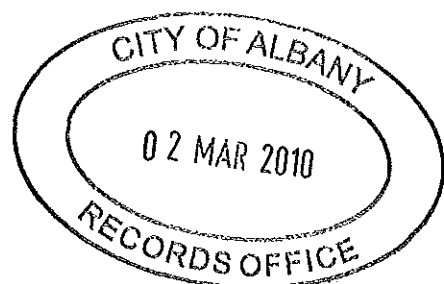
I have had discussions with my neighbours and we have all expressed our worries and fears to each other. We also feel that it is not a good idea to place these people next door to a young decent family such as those of 49 Discovery Drive. Plus those residing opposite No. 51 who maintain good properties and lead a quiet lifestyle. And have thus spent the last week fraught with worry. We are mostly 60 years of age and above, surely it is not viable to bring these people into our community. Whilst I believe freedom to all people, this is not a good prospect to us. There are areas that this project would be more suited. We are good decent law abiding citizens and fear that an error of judgment has been made on your part. This area will become that of Lockyer. And that is not what we consider to be appropriate to us or the area.

I implore you to reconsider your intention and find alternative housing arrangements and to consider the existing neighbourhood and the impact this would and could have on our daily lives.

Yours sincerely



John Davidenko
RESIDENT



26/2/2010

Dear Sir,

We are writing this letter to voice our concern on the proposed application of the accommodation for the homeless at 51 Discovery Drive, Spencer Park.

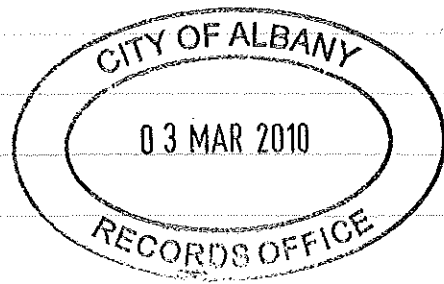
Being an mature aged couple and also having neighbours around the same age, some of them being by themselves, we are concerned with the clientele not being suitable for this quiet family & elderly residents of this area.

As stated in your Notice of Application, heavy substance abuse, mental health or behavioural problems would probably disqualify an applicant but there is no guarantee that none of these clientele won't be allowed into our neighbourhood.

My Husband and I strongly object to this proposal and hope you will consider this when making your decision.

Yours sincerely

John P. Ivonne Stallebrass
146 Ulster Rd
Albany.
6330



55 Discovery Drive,
Spencer Park, W.A. 6330
29th February, 2010.

Mr Taylor Gunn,
Assistant Planning Officer,
Albany City Council.

Your Reference: 117778/PA30660/P2105028

Dear Sir,

In reference to your proposed application to turn 51 B Discovery Drive, Spencer Park into a residence for homeless men, we think that the suitability of this site be given very careful consideration as to whether it would be suitable either for the men you propose to house there, or for the surrounding neighbourhood.

We doubt very much that they are unlikely to develop into hard-working contributors to the social welfare of the surrounding neighbourhood, and would more likely feel resentful at having been dumped out of sight and out of mind, the consequences of which could easily become devastating.

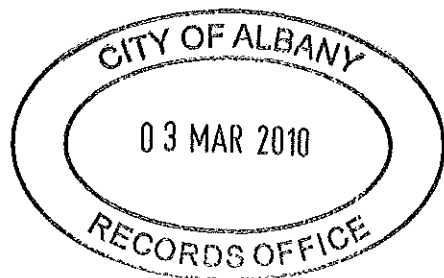
These men could very well feel they have been isolated, because they would have difficulty with public transport, public or private. Buses run infrequently and the nearest bus stop is at the Spencer Park shopping centre. Taxis are expensive, though they can provide a more convenient service.

The residents of this neighbourhood pay high council rates, and enjoy a pleasant and peaceful style of life. One thing they would worry about would be the effect on the value of their homes. We think that reference to most of the real estate agents in Albany would confirm that we ought to have cause for alarm over this proposed action.

Yours faithfully,
Robert B. and Glenis J. Hughes.

..R.B. Hughes.....

..G.J. Hughes..





Jane Bratby
48 Discovery Drive
ALBANY WA 6330
(08) 98 417711 (Business Hours)

Doc No:
File:
Date:
Officer:

City of Albany Records
ICR8099710
A117778
10 MAR 2010
PA1

5 March 2010

Attach:

City of Albany
PO Box 484
Albany WA 6331

PRIVATE AND CONFIDENTIAL

Dear Mr Gunn

APPLICATION FOR PLANNING CONSENT

I wish to advise you of my strong objection to this application.

I live in a quiet, friendly neighbourhood filled with young families and elderly people and do not feel the proposed application would be best suited to our area.

I think serious attention needs to be paid to the following points:

- "...for example , heavy substance abuse, serious mental health difficulties or major behavioural problems would probably disqualify an applicant".
Probably?
- A group of unsupervised homeless people
- How many? No maximum number of residents has been mentioned
- Kennels? Are we to assume that dogs are permitted
- Time frame of three months. Does this mean every three months new homeless people move in and start the whole process again?
- There is no public transport system nearby

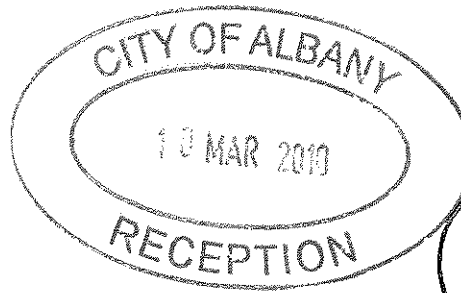
As a rate payer I believe I have a right to enjoy my own property and not have it impacted so greatly by living across the road from a house full of homeless people. This is not what our street was intended for and I believe if council agrees to change the use of the property it will set a precedent that will allow these sorts of residences to pop up anywhere. Who knows, next time it may even be next door to you.

Yours faithfully

Jane Bratby



Chief Executive Officer
P.O. Box 484
Albany WA 6331



150 Ulster Rd
Albany WA 6330
Ph: 0419417233



Dear Sir/Madam

Change of Use - Accommodation for Homeless at 51 Discovery Drive, Spencer Park

I would like to commend the City of Albany and the Society of St Vincent de Paul for responding to the needs of homeless men. I do however have concerns about the strategy that has been identified.

The contributors to homelessness are well documented and include:

- **Mental illness** - Approximately 20-25% of the single adult homeless population suffer from some form of severe and persistent mental illness
- **Severe depression** - Can make it difficult for an individual to maintain a stable life
- **Drug and alcohol related problems** - Rates of alcohol and drug abuse are endemic among the homeless population
- **Domestic violence** – Men who are abusive are often required to leave the family unit.
- **Poverty** - exacerbated by the lack of affordable housing
- **Unemployment** - making it difficult to secure rental accommodation
- **Anti-social behavior** – leading to difficulty in securing publicly funded housing
- **Criminality** – ex offenders without family support find it difficult to secure accommodation
- **Age** – young men are disproportionately represented in homeless statistics

It can only be assumed that this profile is representative of homeless men in Albany.

This being so, the proposal to establish a homeless men's shelter in Discovery Drive needs to be reconsidered:

Discovery Drive is located in suburban environment close to the primary schools of Woodthorpe, Spencer Park & St Joseph's; and to the secondary schools of St Joseph's and Albany Senior High School. Many children from the residential areas surrounding Discovery Drive walk to these schools – often unaccompanied by an adult.

The proposal to change planning regulations to enable the location of the shelter in Discovery drive increases the probability that children may be exposed to inappropriate behaviors. If this zoning had already been in place, parents may have rethought decisions about buying/renting houses in the immediate area.

It is anticipated that part of the strategy for re-integrating these homeless men into society will be to support them to gain a measure of financial independence. This will

require that the men secure employment and/or undertake training at TAFE. Discovery Drive is not serviced by public transport and the Albany CBD where job service agencies and Centrelink is located is a 30 minute walk away; and the TAFE College is an hour's walk away.

Also of concern is the proposed model of accommodation. It is clear that there will be no long term full time manager at the accommodation due to funding constraints. This inability to provide a full time manager has been justified on the apparent rationale that a group of men living together without support will form strong and supportive bonds. This does seem to be somewhat of a leap of faith. It seems more likely that a group of men with time on their hand; with emotional problems; and with possible drug dependencies, would be more than likely to reinforce each other's engagement in anti-social behaviors.

A further problem is the network of friends/acquaintances, many of whom will be on the margins of society. Any group of men, particularly young men, living in the one place will likely attract visitors. A group of homeless men is unlikely to have either the confidence or interpersonal skills to control the behavior of their visitors leading inevitably to an increase in anti- social behavior. This behavior is often evidenced in the way vehicles are driven, late night parties, and public drunkenness.

In summary, I support the initiative to support homeless men to re-integrate into society, but strongly oppose the location of a homeless men's shelter at 51 Discovery Drive, Spencer Park.

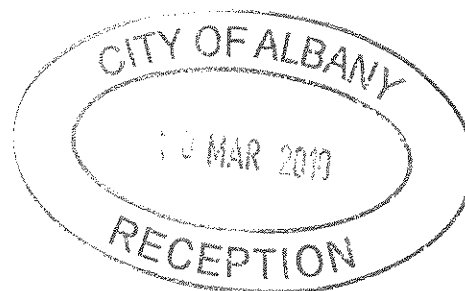
This accommodation would be better located in a mixed residential commercial area close to the CBD. Young's House provides an example of an appropriate zoning for this type of accommodation.

The apparent availability of premises at 51 Discovery Drive should not be allowed to outweigh other considerations, and I would be interested to know what other accommodation options were considered before the decision was taken to seek re-zoning of 51 Discovery Drive.

Yours faithfully



Chris Jones



Chief Executive Officer
City Of Albany

Tania Hanbury
53 Discovery Drive
Spencer Park
Albany 6330

Dear Sir/Madam

I'am writing to voice my disapproval of the proposed re-zoneing of 51 Discovery Drive.
My concerns are with the safety of my family and property, considering the nature of the possible tenants.

I understand the need for a facility to house the people in need, but do believe in the middle of a general housing area it is not the appropriate place.

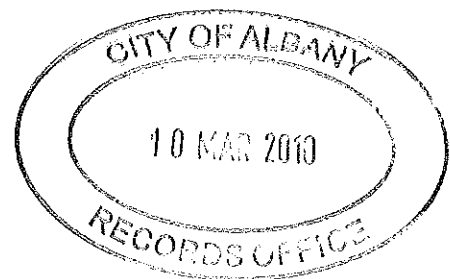
We have alot of families in the area with small children, a nursing home close by and also 2 schools not far away. Not only do you need to consider this but also the tenants in question should anything go wrong. Who are people going to look at first.

Being a resident of Albany for more than 25 years, a small business owner, a land owner and a rate payer, I hope my comments and concerns are considered.

Yours faithfully



Mrs Tania Hanbury



9th March, 2010

City of Albany Records
Doc No: ICR8099708
File: A117778
Date: 11 MAR 2010
Officer: PA1
Attach:

Chief Executive Officer
P.O. Box 484
Albany WA 6331

Dear Sir,

**Re: Consideration for Change of Use - Accommodation for Homeless at
51 Discovery Drive, Spencer Park**

In response to the letter received from Taylor Gunn, Assistant Planning Officer; I am submitting my objection to the above.

I have lived in this area for twenty years and brought up two children there. The area is neighboring the local hospital and has four schools within walking distance, namely, Spencer Park Primary, St Joseph's College and Albany Primary and High School and a Christian Brethren College.

The area is one of low socioeconomic demographics and therefore many children are walking alone at all hours due to lack of adequate transport.

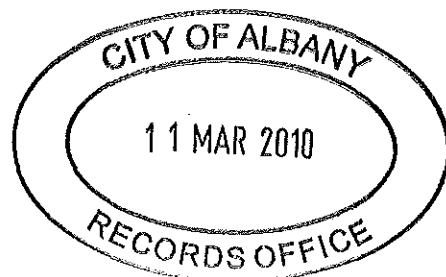
I feel this makes the safety risk too high for area to be considered.

Possibly housing closer to the town would be a better consideration. Most of the job-search supports are located there, together with businesses and the post office. All of these are within reasonable access.

I am happy to be contacted regarding this matter and my mobile number is



Carol Jones
P.O. Box 1602
Albany WA 6330



Bulletin 1.1.7

On condition of anonymity I would like to ~~Agenda Item Refers to 13.1.7 104 pages~~ Prospect House for the homeless. As a tenant in a house in the street, I am not opposed to having prospect House set up for the homeless. I am acutely aware of the problems of homelessness in Albany and think that this opportunity should not be lost because of a \"not in my backyard\" mentality. As long as it is properly managed then it definitely should go ahead.

Due to my neighbours negative attitude to this proposal I request that my details be kept anonymous.

IP Address: [redacted]

Referer: <http://www.albany.wa.gov.au/website/page.php?main=feedback&receiver=10&folder=21a>

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87 Spencer St
ALBANY 6330
15/03/2010

Dear Sir

I wish to support the residential training unit at 51B Discovery Drive, Spencer Park.

I believe the measure outlined by the proponents adequately address the negative comments by some.

If the community does not adopt a proactive stance in the assistance of homeless people, then progress will never be made.

Thank you
Edwin Mclean

Dear Sir,

re: DS - Planning Application P2105028

I wish to indicate my personal support for the establishment of the accommodation for the homeless at 51 Discovery Drive.

The issue of homelessness in our community has been neglected and it has taken a long time to get to the point of having some positive action on the issue.

I do not live in Discovery Drive but I would have no problem if this venue were located in my street using the proposed management guidelines.

It really is time we did something to address this issue and this is an opportunity to put something effective in place.

I am confident that any social problems that arose from the programme would be dealt with effectively by the operators, the council or government.

I have to add that I am the chair of the Mens Resource Centre Albany but I am writing as a member of the community.

Yours faithfully,

Richard Keeler

IP Address: 58.167.216.238

Referer: <http://www.albany.wa.gov.au/website/page.php?main=feedback&receiver=45&folder=23e>

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Taylor Gunn

From: Justin Hardy [jhardy@activ8.net.au]
Sent: Tuesday, 16 March 2010 7:47 AM
To: Taylor Gunn
Subject: EF8099550 - A117778 - comment regards Planning Consent

To: Taylor Gunn
Assistant Planning Officer
City of Albany

From: Justin Hardy
37 Bonthorpe Court
King River
Albany

Dear Taylor

Thanks for keeping me informed regards the change in use for 51 Discovery drive, Spencer Park, which is a few doors up from my property # 47.

Despite my initial concerns I am now reassured and understand that the enterprise will be run very professionally and of course is very necessary to our community.

Please keep me in formed of progress and ideally if possible please pass on the contact details of the managers so we can support them once the project is underway.

I appreciate the efforts of all involed to get this challenging project off the ground and wish it the best of luck.

Thank you

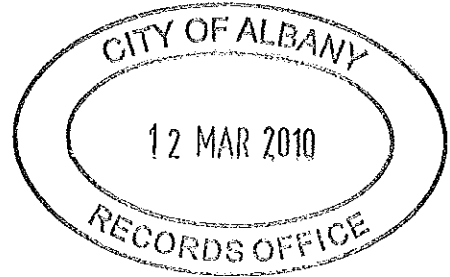
Justin Hardy

9844 3554
0409 685 105

Michael C Pemberton

11th March 2010.

CEO
City of Albany
PO Box 484
Albany 6331



Dear Sir,

I am writing in support of the change of use for the house at 51 Discovery Way, Spencer Park. This support de facto is also support for the proposal to use this house as part of the program to reduce homelessness in our city.

This program addresses the major flaw in current programs for the homeless whereby it provides shelter and continues the process of mentoring and support for those eligible in a caring, supervised and normal home environment. The program is based on giving those effected a hand up rather than a hand out. The selected participants will participate in a job seeking program which will to lead to a job and improve other life skills like healthy living, financial management, skill upgrading, team work, etc.

Many community members will be volunteering their expertise to help support the participants in a step up to a better life. These volunteers recognise that in today's world we are all only a heart beat away from homelessness and want to do something tangible to help.

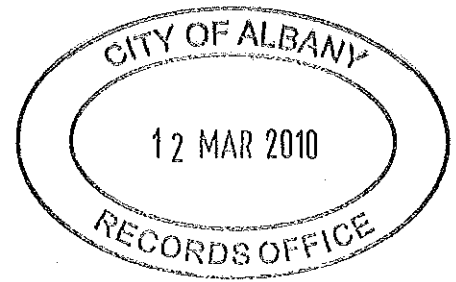
I commend this program to councillors and know that It is proven and will make major inroads into fixing the homeless situation we have in our city. The impact on the individual, his family, his friends and his community will be far reaching.

Yours Sincerely,

A handwritten signature in black ink, appearing to be "Michael C Pemberton", written over a horizontal line.

Michael C Pemberton

9a Shorts Place Albany 6332
0418 144 742
michpem@bigpond.com



11/3/2010

Chief Executive Officer
PO Box 484
Albany WA 6331

I am writing regarding the proposed change of use of accommodation for Homeless/P2105028. I've noticed in the Albany Advertiser about the petition opposing the rezoning and the comments .We don't want druggies here. A lot of kids go through the street to schools and colleges. I can understand the concerns. In our society we have places for women yet there are no place for men to go.Me personally men need a chance a helping hand especially when times are tough and need a chance for a glimmer of hope .From what I gather from reading about the house it based on a model that has been tried an is working which has received national award. It is based on getting men a job which is the best option to actively assist homeless. From what I gather these men go through a rigours selection process who are willing to have a go.Me personally I support this proposed change for use of accommodation for the homeless.

Yours Sincerely

Garry Williams
71 Tennessee North Rd Lowlands



Doc No: ICR8099832
File: A117778

Date: 16 MAR 2010
Officer: PLANA1

"Homeless Refuge fears"

Attach:

To whom it may concern

On Saturday 22nd December I became homeless due to circumstances beyond my control. My first night I slept behind the Senior Citizens Centre, under shelter and under a light. At about 11pm two police officers woke me and asked about my circumstances, they were very pleasant and warned me about gangs that would most likely bash me if they came upon me. I could barely sleep for this was the first time I had found myself on the streets.

The following day I was a lot wiser and found a place in the bushes behind the old Commonwealth Bank. On Monday I was able to pay for accommodation in a hotel room (the hotel no longer accepts permanent residents).

I lived in the hotel for 6 months until I was able to find private accommodation with the support from Community First Int. I lived at this new address which I could call home for 15 months until the owners decided to rebuild, during my 15 months I never received any complaints for noise or bad behaviour from my neighbours, In actual fact my neighbours miss me because I used to spend time with there disabled son talking to him and generally being a friend to him.

I nearly found myself homeless again due to the competitive rental market, however with the support and encouragement of my support workers I was able to find a more centrally located and more comfortable abode.

It is a very worrying time when you find your lease has ended and you have to find alternative accommodation. Having a refuge for people who need help is vital for the Community of Albany.

Someone could move into a rental property just down the road from this community home, they could play loud music deal drugs or even worse things.

The new refuge will be "manned" 24hrs a day by a manager, so any concerns of noise or traffic would be non existent because that would be against the rules.

Reading the article "Homeless Refuge fears" in the Albany Advertiser has saddened me immensely, it's attitudes like this in the community are the biggest problems. If only people could open their hearts and show some love to one another then we will be able to live without fear, so get involved bake a cake and visit 51 Discovery Drive and encourage your short term neighbour.

Yours Sincerely



Doc No: ICR8099841
File: A117778

Date: 15 MAR 2010
Officer: PLANA1

Attach:

March 15, 2010

15 Cliff Street
Albany 6330

To: Chief Executive Officer,
City of Albany,
PO Box 484,
Albany WA 6330

Dear Sir,

In response to your advertisement calling for community comment regarding the proposed Accommodation for Homeless at 51 Discovery Drive, Spencer Park, I wish to register my strongest support for the project. I am privileged to be in a position which has given me plenty of first-hand experience of the people who will be the beneficiaries of the programme.

I am a Volunteer Ambulance Officer and I often do in excess of ten shifts a month covering the hours from midnight to eight am. I see a lot of what is happening around Albany. I can honestly say that I cannot recall attending any unsavoury or disturbing incidents involving the target group of the project at Spencer Park. If anything, these people go unnoticed and attract little attention. Unfortunately it is the more affluent whose disorderly behaviour is loud, inconsiderate and offensive. In the past two months several residents of Cliff Street have had occasion to call the police about unruly, drunken, threatening behaviour and petty vandalism. Unfortunately the perpetrators were from some of the "most respectable" families in our suburb. I certainly would not want them in my street. So much for the populist stereotype about homeless people being undesirables.

I am on the Council of Official Visitors (an appointment by the Minister for Health) and act as an advocate for people who are involuntarily admitted to the Authorized Mental Health ward at Albany Regional Hospital. I have spent time talking to people in recovery from mental illness and the issue of homelessness is absolutely central to their recovery and rehabilitation. Recently I acted for a delightful person who has been independently living with a mental illness for several years. I doubt that anyone in Albany other than an experienced psychiatrist would be able to tell that the person was suffering from any illness. This person has a faultless record of paying rent and being fully independent. The greatest concern for the person in question's recovery and immediate release from hospital was safe accommodation. In every respect, that person was a pleasant, friendly, very fit and active member of our community. Provided with a base and some support, people like this person can be accessed by those who can help them through tough times. They are not a threat.

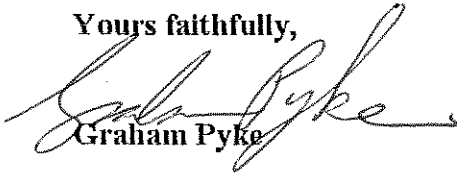
Finally, my wife and I are Justices of the Peace and in court we hear about and see what is known as the "revolving door" in the Justice system. Too often we are told how little needed to be done to prevent some people from getting caught in a cycle of behaviour which the evidence from Katanning and elsewhere shows can be broken. It always seems to be an issue of timing – doing the right things at the right time.



I have been informed that the understandable resistance to the proposal which has been met so far comes from a very vocal minority. From what I know of the people behind the project, it is in the very good hands of people who are sensitive to the concerns of the neighbourhood and will respond in any way necessary to make the project a success. The safeguards which are in place seem balanced and reasonable; more than we have in Cliff Street. There is ample protection for the neighbourhood. For a couple of years in the 1990's my neighbours in Cliff Street were clients of the Albany Active Industries foundation and the benefits of an inclusive approach over an intolerant, exclusive policy of marginalization were self-evident.

I thoroughly recommend the project at Discovery Drive to the Council.

Yours faithfully,

A handwritten signature in black ink, appearing to read 'Graham Pyke', written over a printed name.

Graham Pyke



Doc No:

ICR8099844

File:

A117778

Date:

15 MAR 2010

Officer:

PLANA1

Attach:

John Bates JP
58 McBride Rd
Goode Beach
ALBANY 6330

The Chief Executive Officer
The City of Albany
P.O. Box 484
Albany 6331

Dear Sir,

I am writing to you to express my support for the wonderful project that establishes accommodation for homeless people at 51 Discovery Drive Spencer Park.

It is indeed wonderful to see the community and general support for the establishment of a programme that gives people back their dignity with a place to live, while helping them back into gainful employment.

The support of so many groups with special skills in this area shows us that this is a project that is really hit the mark in the right way. It rings all the bells with regard to planning and commitment to effect change and truly has a real chance to make a profound difference too many people who just need a hand to get their lives back on track.

I do hope that the City of Albany supports this project and shows real leadership in making a difference to people in our community that need a helping hand to get their lives back under control.

Yours faithfully,

John Bates JP

15th March 2010





16 Sims St
Lockyer WA 6330
12/03/2010

Doc No: City of Albany Records
File: ICR8099976
A117778

Date: 17 MAR 2010
Officer: PLANA1;EDCCS

Attach:

Chief Executive Officer
City of Albany
PO Box 484
Albany WA 6330

Dear Sir,

I wish to register my **support for approval of Change of Use- Accommodation For Homeless At 51 Discovery Drive, Spencer Park.**

As Client Services Manager at Albany Community Care Centre, 73 Hardie Rd, Spencer Park, I meet and assist a large number of people with a variety of issues, including housing. Continual interaction with community and government agencies, involving accommodation for some of our clients, has clearly identified the severe lack of housing options in Albany for the needy or those in crisis.

Discovery Drive, Spencer Park is a fantastic location for Prospect House, as it is a respectable residential setting, giving clients every chance to succeed in establishing a stable, positive lifestyle. The necessary facilities are nearby, encouraging integration into the community.

Guidelines and conditions for admission into this support service are clearly well thought out and involve a screening process. The agencies involved want this to work – Prospect House will clearly NOT be a drop in centre.

Once again, I express my full support for Prospect House and the location. Thank you for your consideration.

Yours sincerely,

Rebecca Denny

Doc No: ICR80100027
File: A117778

Date: 16 MAR 2010
Officer: PLANA1

Attach:

Mrs Margaret Higgins
21 Pluto Rise
ALBANY WA 6330

16th March 2010

Chief Executive Officer
City of Albany
ALBANY WA 6330

Dear Chief Executive Officer

Re: Prospect House for Albany's homeless

I wish to express my disappointment in the local residential communities lack of awareness, where is there compassion, do they realize how many homeless people there are in Albany, there is no crisis accommodation in Albany so these men sleep under trees or in parks in all weather, they find it hard to secure employment because they do not have a fixed address, how could they possibly hold a job down if they are homeless.

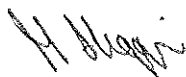
I have known a few homeless men in my line of work, they are very proud, they take care of their appearance as best they can and they live a very quiet and simple existence.

The Prospect House will support these people to get their life back on track and lead to employment, it is manned 24hrs and these homeless people would show their gratitude by contributing back into the community through employment. Why would they disturb there neighbours with noise pollution, this would be their home for a short while, it would not be in their best interest to jeopardise the privilege of getting a place in Prospect House.

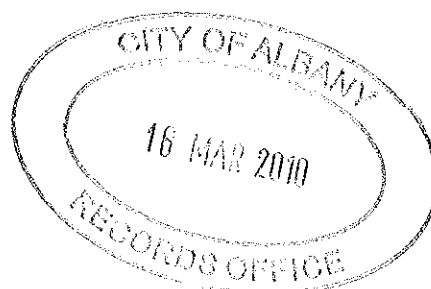
Our Community Services have worked very hard to secure this accommodation, I say well done at least someone is doing something.

All I can say is give it a go before you knock it.

Yours faithfully



Marg Higgins



Doc No: ICR80100026
File: A117778

Date: 16 MAR 2010
Officer: PLANA1

Attach:

Mrs Nola Drew
2 Hume Corner
ALBANY WA 6330

16th March 2010

Chief Executive Officer
City of Albany
ALBANY WA 6330

Dear Chief Executive Officer

Re: Prospect House for Albany's homeless

I wish to express my best wishes and support for Prospect House for our homeless men in Albany. I have met several men who happened to be homeless through circumstances of becoming unemployed, limited housing, and many more unforeseen events occurring for them. Some have relocated to Albany from the city with the hope of finding work and setting themselves up with accommodation but have unfortunately found themselves homeless. I have seen for myself the impact this has on some of these men and have always wished there was such a house they could and receive the encouragement that things can still be ok.

I am disappointed with people's perceptions of homelessness being a dirty, "druggie" word. I believe that Prospect House would be a safer and more controlled house than the risk of someone renting next door to you that cause a lot of problems with undesirable behaviour. I also believe that the men who will be utilizing Prospect House will be choosing the path of a better future, so will be less likely to abuse the privilege.

I would like to congratulate all those involved in the hard work they have put into this worthy project and feel it's been a long time coming for Albany.

Yours faithfully



Nola Drew



CEO

CITY of ALBANY, CEO
PO BOX 484
ALBANY WA 6330JOHN KENNEDY
60 NANARUP RD
LOWER KING WA 6330

RE PROSPECT HOOSE

Dear Sir,

I am writing to support the concept of having PROSPECT HOOSE established to provide shelter for the homeless deemed suitable for the programme until they can find work.

I believe we, as a community and the Councillors as leaders of our community, have a responsibility to provide sensibly for the needy and homeless.

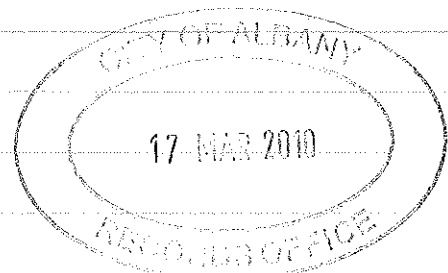
Yours faithfully,
John Kennedy

JOHN KENNEDY 15/3/2010

I support this submission

Maurice Kennedy

60 Nanarup Rd
Lower King.



Doc No:
File:City of Albany Records
ICR8099562
A11777850 Geake St
ALBANY WA 6330
9841 5107Date: 12 MAR 2010
Officer: PLANA1

Attach:

10 March 2010

Chief Executive Officer
City of Albany
PO Box 484
ALBANY WA 6330

Dear Sir

Re: Proposed Change of Use – Accommodation for Homeless/P2105028
51B Discovery Drive, Spencer Park

I have been a member of the St Vincent de Paul Society in Albany since the beginning of 2002. In recent times I have become Hon Secretary of the local St Vinnies Conference.

During the past eight years I have helped to look after the welfare needs of the poor and needy in the Albany Community at our St Vinnies Office on an average of one morning a week. One of our emerging problems has been arranging suitable emergency accommodation for homeless people, particularly men. In recent times the availability of such accommodation has 'dried' up mainly because of the competing needs of the tourist industry and people attracted to Albany to work on local projects like the waterfront development.

I believe that there is a pressing need in our local community for the introduction of a support program which diverts homeless and unemployed men into becoming employed and useful members of our society.


A proposal which is known as the Prospect House project is well conceived and will be managed jointly by Community First International and St Vincent de Paul Society, Albany with the full support and encouragement of the other major welfare organisations in the city.

This project needs a place where homeless and unemployed men can be accommodated for periods of up to three months so that they have a chance to normalise their lives – they can be helped by a suitably qualified person to access local expertise (welfare and employment agencies) in seeking and obtaining employment and accommodation on a long term basis.

I understand that candidates for the Prospect House project will be hand-picked – those with severe mental health, behavioural or substance abuse problems will not be accepted in the program. There will be an on-site manager and clients will forfeit their place in the program if they behave inappropriately.

To operate, this project needs the accommodation available at 51B Discovery Drive, Spencer Park. I strongly support the Proposed Change of Use – Accommodation for Homeless/P2105028. It will make a significant difference to the lives of homeless men in Albany in the future and be a real positive for our community.

Yours faithfully



Murray Gatti

9 March 2010

Chief Executive Officer
City of Albany CEO
PO Box 484
Albany WA 6330

Dear Sir:

Re: Proposed Change of Use – Accommodation for Homeless / P2105028

We refer to your recent newspaper notice concerning the subject “Change of Use” application for a house at 51B Discovery Drive, Spencer Park.

We are writing to express our full support for this Project (“Prospect House”), which will aim to achieve employment for Albany’s homeless people. We understand that currently there is no such facility in Albany.

We understand that some local Spencer Park residents have voiced concern over the possibility that such a change in use for the house would detrimentally impact on their neighbourhood environment. However, the attached “hand out” describes the Project and the strict rules that will exist for the operation of the house.

There are many benefits to the City in reducing the number of homeless people in Albany and this proposed project would achieve this by finding employment for the homeless.

We urge the Council to look favourably on this Change of Use application and thereby allow the Prospect House project to go ahead and improve the personal circumstances for many homeless people in Albany.

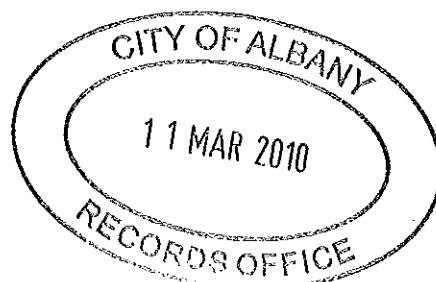
Yours sincerely



Catherine Macdonald



Richard Vogwill



Albany WA 6330

7th March 2010

Dear Chief Executive Officer,

I am a worker with a Welfare Agency in Albany & am greatly aware of Albany's need for accommodation of the homeless.

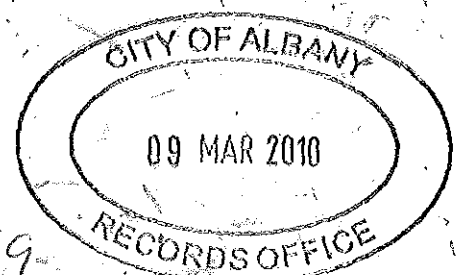
I understand that neighbours of this building may be apprehensive. However I believe management of the home will include reliable and trained staff to keep safety as paramount.

I am very pleased that you have received an Application for Change of Use & look forward to being able to refer homeless to this residence.

Yours sincerely

Terri Strong

Terri STRONG

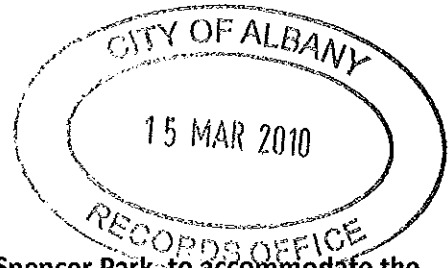


12 March 2010

3/54 Robinson Street
Mt. Melville 6330
9842 3676
lawilkinson@bigpond.com

City of Albany Records
Doc No: ICR8099706
File: A117778
Date: 15 MAR 2010
Officer: PA1
Attach:

The CEO
City of Albany
P.O. Box 484
Albany WA 6331



Dear Sir,

RE: Application to change use of house in Discovery Drive, Spencer Park, to accommodate the homeless – to be known as Prospect House

I write to provide my support for the above-mentioned application. I acknowledge the concerns expressed by nearby residents as to the potential for anti-social behaviour etc stemming from having a number of male occupants residing in one dwelling. It is my experience, however, that men placed into this form of accommodation are highly motivated to maintain both personal and group behaviour to a standard which on many occasions exceeds that of the 'normal' population. Such motivation stems from an appreciation of the opportunity for a roof over their heads and for any associated support (such as counselling and job search assistance). I have personally known many men who have been able to get their lives (and the lives of their families) back on track as a consequence of temporary but stable housing and support at that time.

I attach for your interest some statistics relevant to a similar accommodation arrangement which operated for men in Sinclair Street, Lockyer. I was involved in the running of this accommodation during the period 2001 to 2004 (at which time the accommodation closed down due to lack of government support). You will note from these statistics that the accommodation house had four bedrooms and operated 365 day of the year. Annual occupancy rates averaged 86%, and the average length of stay was 38.5 days. A total number of 222 men were accommodated and supported during this period. I can categorically state that there was not one complaint lodged by any nearby or distant neighbours during this period as to the behaviour of the occupants or as to the running of accommodation facility in their area.

The accommodation facility in Sinclair Street was well supported by local community services, such as the police, Community Justice Services, doctors, City of Albany Rangers – all of who would refer men to the accommodation service.

The need for such an accommodation service for homeless men has historically always existed, and even more so since the closure of the Sinclair Street service. The approval of the application to operate a Prospect House in Discovery Drive will go a long way towards ensuring that at least a level of need is being met into the future.

Yours sincerely,

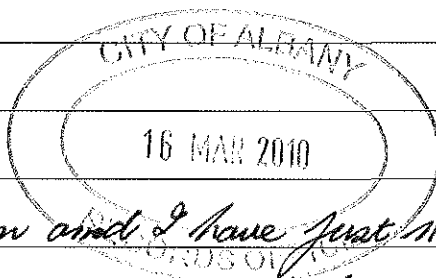
A handwritten signature in black ink, appearing to read 'Len Wilkinson'.
Len Wilkinson

Sinclair St. Albany – Crisis Accommodation for Men

YEAR	BEDS	Bed Nights	Occupancy Rate	Ave. length of stay	Total supported	Post release	Transient	Detox	Other	18-36 yrs	37-45 yrs	46-55 yrs	56+ yrs
2001	4	1460	86%	47 days	46	12	15	3	16	11	16	14	5
2002	4	1460	89%	41 days	52	14	13	4	21	13	19	13	7
2003	5	1825	83%	34 days	58	11	16	4	27	9	22	23	4
2004	4	1460	88%	32 days	66	14	21	5	26	13	20	28	5

MONICA RUSSELL
PO BOX 245
ALBANY WA 6331

Chief Executive Officer
City of Albany.

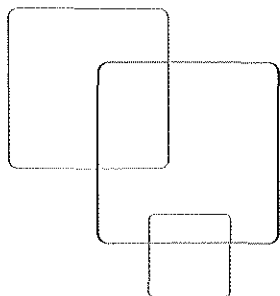


Dear Sir,

It is Sunday afternoon and I have just now had time to read the 'Advertiser' (Thurs. 11th inst). The item on the front page referring to the Discovery Drive home has caught my attention. I feel that residents, Ron & June Pearce, have probably been misinformed at the outset & have run with the idea of 'not in my backyard'. Once this project, so badly needed in Albany, gets off the ground, they will no doubt see that both themselves & the gentlemen living there will be able to continue their present civilised & neighbourly lifestyle.

I do hope Councillors will use their combined intelligence to allow this necessary application to go ahead. This subject of homelessness has been re-surfacing in our media over time & it seems to me this is the first occasion that anything constructive has been proposed.

In this day & age one can live in the best suburbs & still have untold trouble with neighbours. From what I have read it would seem that this home will be well organised & there



(2)

should be no worries for other residents in Recovery Drive.

I sincerely trust that my Yakanina representatives on Council & other City Councillors will see fit to allow this project to proceed.

Yours faithfully,
Monica M. Kusnel.

14-03-10.



Enquiries: Murray Flett on 9892 0549
Our Ref: 04/13069 D10 # 46314
Your Ref: A117778/PA30660/P2105028

24 March 2010

A117778
Plan A1

Chief Executive Officer
City Of Albany
PO Box 484
ALBANY WA 6331

ATTENTION: TAYLOR GUNN

Dear Sir

NOTICE OF APPLICATION FOR PLANNING CONSENT.

I refer to your letter dated 16 February 2010 regarding the Change of Use –
Accommodation for Homeless at 51 Discovery Drive, Spencer Park.

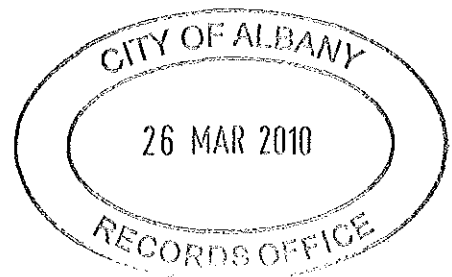
Main Roads raises no objection to the proposal as this location is under the jurisdiction of
the City of Albany.

If you require any further information please contact Murray Flett on (08) 9892 0549.
In reply please quote file reference 04/13069-05.

Yours faithfully

ARL Duffield

REGIONAL MANAGER



Chris and Gwen PROBERT
U8
77 Stead Rd
ALBANY 6330
16Mar10

Chief Executive Officer,
City of Albany, CEO,
PO Box 484,
Albany WA 6330

Submission for the Change of Use application
Accommodation for the Homeless / P2105028

Dear Sir,

We would like to register our **strong support for the Change of Use application** for 51B Discovery Drive, Spencer Park to allow the establishment of the Prospect House project.

Prospect House is aimed at addressing the serious problem of homelessness in Albany by getting people back into the workforce. We believe it will have minimal impact on the neighbourhood but a potentially major impact on the homelessness situation.

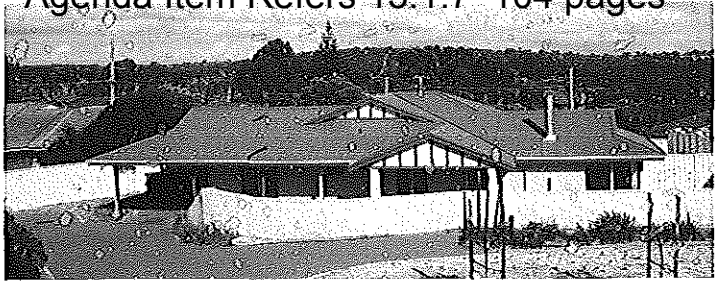
Yours faithfully,



Chris and Gwen PROBERT
98474606

Petition

To the Mayor and Councillors
of the City of Albany



We, the undersigned, all being electors of the City of Albany, do respectfully request that the Council **approve** the application for the Proposed Change of Use – Accommodation for Homeless / P2105028 to permit the establishment of the Prospect House project.

We believe this project will address the serious issue of homelessness in Albany by assisting clients back into the work force and that it will have minimal impact on the neighbourhood.

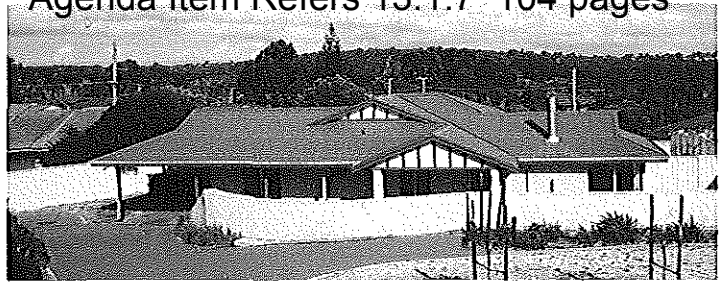
Correspondence can be addressed to :- Chris PROBERT, President, St Vincent de Paul Society, PO Box 1503, ALBANY 6330

The names and addresses of your petitioners are as follows:-

Date	Full name	Address	Signature	Agree/Disagree/No opinion.
1/	JENNIFER DILL	6 Chellange	J Dill	Agree
	JOOLA	87 Rusby Rd		
	M. La Watson	17 Andrews Cres Albany	M Watson	
	Amethyst Lodge	10 Vivian Crescent	A. Lodge	
	JAN ROSEWITZ	38 McWhae Dr	J Rosewitz	Yes
	Peter Ashburn	38 McWhae Dr	P Ashburn	Agree
	S. CRAIB	21 W. Lidby St.	S Craib	Agree
	H. F. Focke	45 Little Port St	H F Focke	Agree
	Steve Gorman	29 Tange Rd	S Gorman	Agree
	JULIE SUTCLIFFE	Lot 2 BOUNDARY RD	J Sutcliffe	Agree
	DAVID SUTCLIFFE	Lot 2 BOUNDARY RD	D Sutcliffe	Agree
13/3/10	KEN WEBB	76/1 WILSTER RD, ALBANY	K Webb	Agree
	JULIE JEFFS	19 RADIATA DR. ALBANY	J Jeffs	Agree
	Chris Palfrey	20 EDWARDS RD ALBANY	C Palfrey	Agree
	Alex Palfrey	" "	A Palfrey	Agree
	SHIRLEY KELLY	6 ST. GEORGES ALBANY	S Kelly	Agree
	JOHN JEFFS	10 BOX 450 ALBANY	J Jeffs	Agree
	Phyllis Moran	36 McLean Ave	P Moran	Agree
	JOHN LLOYD	23 MUNSTER AVENUE	J Lloyd	AGREE
	Charles Gilford	89 Wyke Cres	C Gilford	Agree
15/3/10	MAUREEN GILBERT	89 WYKE CRES ALBANY	M Gilbert	Agree
	NICK PROBERT	5 GILLMAN PLATINELLE	N Probert	Agree
	Matt Denny	16 Sims St Lockyer	M Denny	Agree

Petition

**To the Mayor and Councillors
of the City of Albany**



We, the undersigned, all being electors of the City of Albany, do respectfully request that the Council **approve** the application for the Proposed Change of Use – Accomodation for Homeless / P2105028 to permit the establishment of the Prospect House project.

We believe this project will address the serious issue of homelessness in Albany by assisting clients back into the work force and that it will have minimal impact on the neighbourhood.

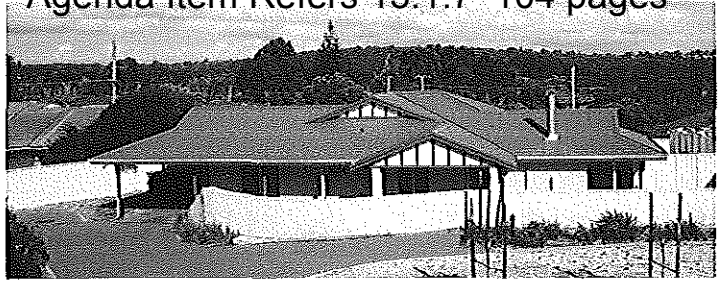
Correspondence can be addressed to :- Chris PROBERT, President, St Vincent de Paul Society, PO Box 1503, ALBANY 6330

The names and addresses of your petitioners are as follows :-

[illegible]

Petition

To the Mayor and Councillors
of the City of Albany



We, the undersigned, all being electors of the City of Albany, do respectfully request that the Council **approve** the application for the Proposed Change of Use – Accommodation for Homeless / P2105028 to permit the establishment of the Prospect House project.

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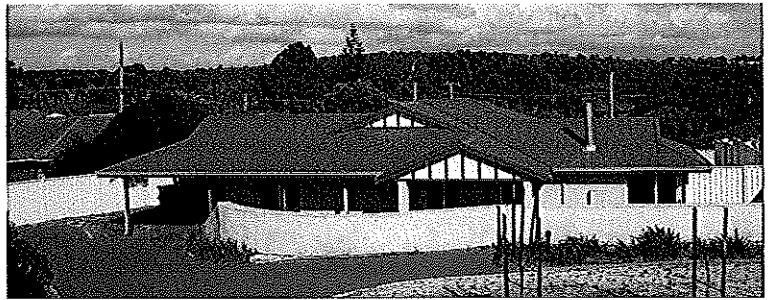
Correspondence can be addressed to :- Chris PROBERT, President, St Vincent de Paul Society, PO Box 1503, ALBANY 6330

The names and addresses of your petitioners are as follows :-

Date	Full name	Address	Signature	Agree/Disagree/No opinion.
11/3/10.	Colleen Tombleson	369 Lono Rd.	[Signature]	Agree.
11.3.10	Debi Bennett	43 Centaurus tce	[Signature]	Agree
11.3.10	Dunda Bowen	416 Gebeke st	[Signature]	Agree.
11.3.10	Tracy Collins	205 Wren way	[Signature]	Agree.
11.3.10	Sonia Spang	474 Lower King Rd	[Signature]	Agree.
11/3/10	Jo Hansen	UNIT 20 BATHS	[Signature]	Agree
11/3/10	Michelle Forder	23 Anderson Pl	[Signature]	Agree.
11/3/10	Rebecca Denny	16 Sims St Lockyer	[Signature]	Agree
11.3.10	Jessie Muckling	80 Hasson St. Lockyer	[Signature]	Agree
11.3.10	Sharlene Noakes	Lot 173 McKail street	[Signature]	Agree.
11.3.10	DEBIE TIERNEY	7 JOHN ST	[Signature]	Agree
11.3.10	Tom Dwyer	66 Swan Pt Rd	[Signature]	Agree
11.3.10	Chris Cooper	43 Baker St ALBANY	[Signature]	Agree
11.3.10	JoAnn Stevens	11 WARRIWAY CR	[Signature]	Agree
11.3.10	MARION SEWELL	36 Wansborough St	[Signature]	Agree.
11.3.10	Phyl Brandlee	421 Bathurst St Albany	[Signature]	Hope it works.
11.3.10	Gaven Penn	Unit 7 35 Angove Rd.	[Signature]	Agree.
11.3.10	Leona Stowers	15 Matamba St	[Signature]	Agree.
11.3.10	Una Jarvis	266 Middleton Rd	[Signature]	Agree.
11.3.10	Lesley Vols	5 Regent & Gladwin	[Signature]	Agree
11.3.10	Stella Church	19 SENILE Way	[Signature]	Agree.
12-3-10	S. St Freeman	66 Francis St	[Signature]	Agree
12-3-10	Brayden Phillips Martin	17 Scorpa	[Signature]	Agree
12-3-10	Samuel Cunniff	99 The Esplanade	[Signature]	Agree.
12-3-10	L. L. Roberts	Community Care Centre	[Signature]	Agree.
12.3.10	GRAIS HAYES	42 BAKER ST NTW	[Signature]	Agree.

Petition

To the Mayor and Councilors
of the City of Albany



We, the undersigned, all being electors of the City of Albany, do respectfully request that the Council **approve** the application for the Proposed Change of Use – Accommodation for Homeless / P2105028 to permit the establishment of the Prospect House project.

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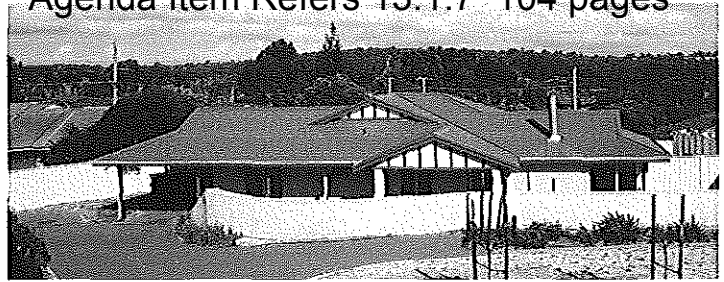
Correspondence can be addressed to: - Chris PROBERT, President, St Vincent de Paul Society, PO Box 1503, ALBANY 6330

The names and addresses of your petitioners are as follows: -

Date	Full name	Address	Signature	Agree/Disagree/No opinion.
12/3/10	NIALL GIBSON	4 Deacon Crest Yakania	Niall	Agree
12/3/10	Bethan Dunbar	minor rd Orana	Bethan	Agree
12/3/10	J. MICHELLE GIBSON	4 Deacon Crest Yakania	J. Gibson	Agree
13/3/10	LEXIE HULKE	MINOR RD, ALBANY	Lexie	Agree
14/3/10	RAY HALL	820 Dampier Rd	Ray Hall	Agree
14/3/10	JO. GRAYSON	BRADIN PL, ALBANY	Jo. Grayson	Agree
14/3/10	SUE LEMON	WINDY ST ALBANY	Sue Lemon	Agree
14/3/10	PAUL HINDSELL	CHESTER PASS RD	Paul	Agree
14/3/10	BEN MALE	16 BLUFF ST MINAMAN	Ben	Agree
14/3/10	DARREN WOOLLEY	12 VIEW ST ALBANY	Darren Woolley	Agree
14/3/10	Tanya Garner	Albany Women's Centre	Tanya Garner	Strongly agree !!!!
14/3/10	JENNY WHITTAKER	14 LESCHENHULT STREET	Jenny Whittaker	Agree
14/3/10	Ivy Hadley	25 Barbours Street	I. Hadley	Much needed
14/3/10	ROBERT PRATT	4 NEMICA CL. ALBANY	Robert	Agree
14/3/10	Robert Pratt		Robert	Much Needed.
14/3/10	Envy Patricia FIRBAY	80/22 Wellington St Albany	Envy	Agree - essential
14/3/10	Erid Polder		E. Polder	Much needed
14/3/10	Patrick Verables	130 BURGON AVE, Rd 632	Patrick	Strongly Agree
13-3-10	Lis BARRER	PO Box 387 ALBANY	Lis B	Agree. ++

Petition

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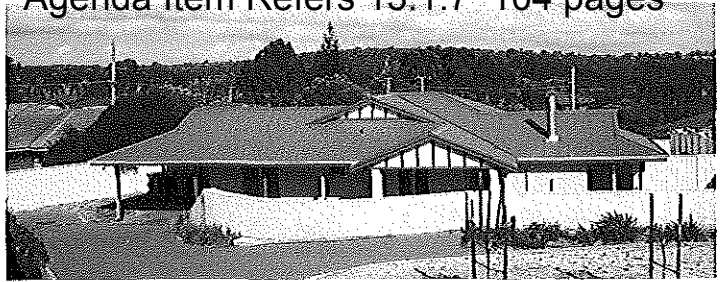
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The names and addresses of your petitioners are as follows :-

Date	Full name	Address	Signature	Agree/Disagree/No opinion.
14-3-10	MRS ANNE BRAIN	618 ALBANY HWY	Am Brain	✓
14-3-10	MIKE TRAFASKI	80 GREY ST EAST ACON	M. Trafaski	
14-3-10	SOPHIA GATTI	50 Gouge St	Sophia	
	W. ST. VINCE	US 270 N. W. IN SO	W. St. Vincent	
13-3-10	FRANCES CRAWLEY	WILLYN FARM	Frances	✓
14-3-10	PETER BRAND	19 SERPENTINE DEAR	Peter Brand	
14-3-10	M. GIORGI	27 MO. W. HALE DR	M. Giorgi	
14-3-10	J. CAM AQUIN	32 MUELLER ST	J. Cam Aquin	
14-3-10	M. P. Forbes	32 Mueller St	M. P. Forbes	
14/3/10	M. Taylor	54 Wamborough St	M. Taylor	
14/3/10	T. Wood	18 Munroe Ave. Albany	T. Wood	
14/3/10	R. Wood	18. Munroe Av Albany	R. Wood	
14/3/10	Tony Gorman	275 CHESTER PASS Rd ALBANY	Tony Gorman	
14/3/10	Les Drost	8 KATOOMBA ST	Les Drost	
14/3/10	Tom	8 KATOOMBA ST	Tom	
14/3/10	AKIS PROBERT	US 77 ST. RD. ALBANY	AKIS	

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[illegible]

Agenda Item Refers 15.1.7 104 pages



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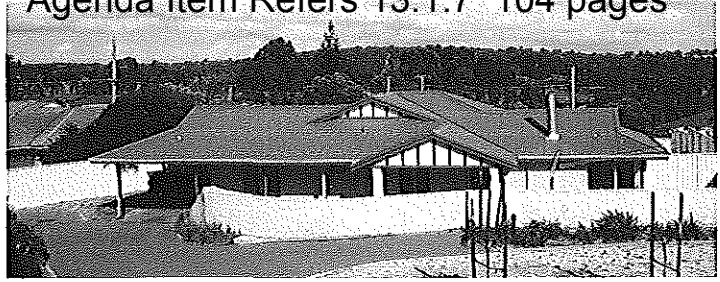
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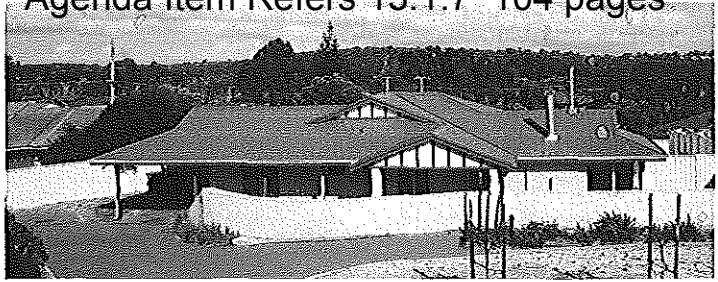
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Date	Full name	Address	Way	Signature	Agree/Disagree/No opinion.
14.3.10	Helen Oxenburgh	Lane 23 Paula		Helen Oxenburgh	Agree
14/3/10	CHRISTINA RUDGE	3/4 PEARL ST, ALB		16. Fudge	Agree
14/3/10	Ronelle LEWIS	5 Michaelmas Way		Ronelle	Agree
14/3/10	TAN LEWIS	5 Michaelmas way		Tan Lewis	Agree
14/3/10.	Marion F Sewell	18 Greenhalghs.		Marion F Sewell	Agree
14/3/10	Nelma Ward	5 Earl Lane		Nelma Ward	Agree
14.3.10	Catherine Murray	217 Serpentine Rd		Catherine Murray	Agree
14.3.10	Courtney Tovey	—		Courtney Tovey	Agree
14/3/10	BROOKLYN HALL	St Josephs College Pastoral		Brooklyn Hall	Agree
14.3.10	DOROTHY M. FIELD	2 Witterton ST. ALB		Dorothy M. Field	Agree
14.3.10	Hayden Spring	Albany		Hayden Spring	Agree
15.3.10	JANE HARTER	ALBANY TOWER		Jane Harter	Agree
15.03.10	DAN EWEY	Albany Police		Dan Ewey	Agree
15.03.10	PAUL HANCOCK-CARD	A BUND BARGE		Paul Hancock-Card	Agree
15.3.10	LICKED JEFFAS	ALBANY		Licked Jeffas	Agree
15.3.10	Sally HATCHER	ALBANY		Sally Hatcher	Agree
15.3.10	RAK DIPPIO	ALBANY		Rak Dippio	Agree
15.3.10	Mike Clark	ALBANY		Mike Clark	Agree
15.3.10	D. LARSEN	ALBANY		D. Larsen	Agree
15.3.10	S DASH	ALBANY		S Dash	Agree
15.3.10	R. Williams	Albany		R. Williams	Agree
15.3.10	JAMES S. B. DOYLE	21 HICK ST ALBANY		James S. B. Doyle	Agree
15.3.10	Frank Rintocho	24-2 Bethel way		Frank Rintocho	Agree
15/3/10	Liz Gumbrell	96 Bayonet Head		Liz Gumbrell	Agree
15.3.10	B. P. Cressley	20 Pettit C. Bussellton		B. P. Cressley	Agree
15.3.10	J. Stevens	—		J. Stevens	Agree
15.3.10	Paul A. Lyle	15 PANORAMA RD		Paul A. Lyle	Agree
16/3/10	Vicki Andrews	15 LESCHENAU ST		V. Andrews	Agree

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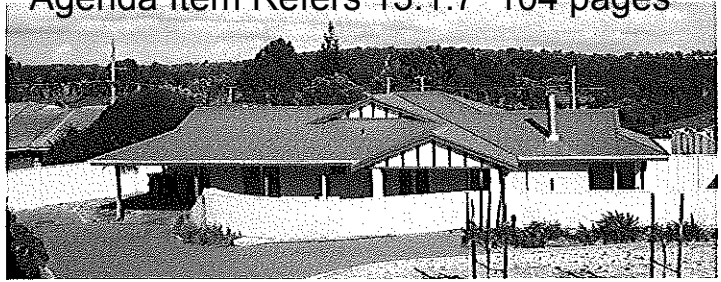
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The names and addresses of your petitioners are as follows :-

Date	Full name	Address	Signature	Agree/Disagree/No opinion.
14-3-2010	Pat Gorman	RAAF Village	Pat Gorman	98411286
✓	REV TAYLOR	16 Woodstock Rd Alb	Rev Taylor	98441764
14.3.01	HELEN RICE	97 MIDO. RD ALBANY	Helen Rice	98421958
" "	Lance Marwick	80 Rowley St.	Lance Marwick	98412427
14.3.10	SOL N WHITE	60 Delwood Drive	Sol N White	0427 711561
14.3.10	DAPHNE DADDA	BOX 766	Daphne Dadda	98413078
14.3.10	KORRAINE WHITE	60 DENORINE DR.	Korra White	98415558
14.3.10	JELMA SPRICK	6 Highclere Albany	Jelma Sprick	98449753
14.3.10	Joanne Mitchell	3 MILKY WAY	Joanne Mitchell	Agree.
14/03/10	Cameron MITCHELL	3 MILKY WAY	Cameron Mitchell	AGREE
14/03/10	Roger Mejia	100 Chester pass Rd	Roger Mejia	Agree.
16/3/10	A HOWARD	15 Trimmer Rd	A Howard	Agree.
16/3/10	J Howard	110/56 Campbell Rd	J Howard	Agree.
16/3/10	J. Bost	TORRENS	J. Bost	agree.
16/3/10	JOLO ALMA	79 Campbell ROAD	Jolo Alma	agree
16/3/10	ANGUS MARTIN	23 RAINBOW	Angus Martin	Agree.
"	MURKIN	N. River		
16/3/10	S Madden	5 Edinburgh Rd	S Madden	Agree
16/3/10	MARMA	42 VANCOUVER ST	MARMA	N-REE
16/3/10	Marika Meyer	144 South Coast Hwy	Marika Meyer	Agree
16/3/10	Laila Ennis	24 Leonora St.	Laila Ennis	agree

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Date	Full name	Address	Signature	Agree/Disagree/No opinion.
11-3-10	JULIE THOMPSON	Redmond	J Thompson	Agree
"	STEVEN AUGUSTSON	98 WYLLIE LANE ALBANY	S. Augustson	AGREE
12/3/10	THERESA POPE	23 ARDROSS CRESA	Theresa	Agree
13/3/10	PAT ENBERG	10 MAIR ST ALBANY	P. Enberg	AGREE
12/3/10	Genny Bailey	71 MINOR KE ALBANY	G. Bailey	Agree
15/3/10	S. DAWSON	71 SEYMOUR ST. ALBANY	S. Dawson	AGREE
15/3/10	F. TOGNETTI	75 LOCKYER AVE	F. Tognetti	AGREE
15/3/10	B. ANDERSON	1/30 ALBANY HWY.	B. Anderson	Agree
16/3/10	G. GARS	99 PULS RD TORONTO	G. Gars	Agree
"	H. DAVIS	"	H. Davis	Agree
16/3/10	GAY HAMILTON	5 FYND ST GOOSE CREEK	G. Hamilton	Agree
16-3-10	LEE HOWLETT	835 SERPENTINE RD	L. Howlett	AGREE
16-3/10	J. SWINBURN	48 SIKVA CRES.	J. Swinburn	Agree
16-3/10	E. SANTIA	52 W 9th AVE	E. Santia	Agree
16-3/10	H. Delma	1143 Waverborough St.	H. Delma	Agree
16-3-10	D. STRICKLAND	50 DIAMOND ST	D. Strickland	AGREE
16-3-10	K. McKeay	3 Ethereal Dr	K. McKeay	Agree
16-3-10	R. Marino	7 Flynn Way Albany	R. Marino	Agree
16-3-10	SUSAN ROBERTS	40 ARDROSS CRT	S. Roberts	Agree
16/3/10	ALAN FRANCIS	11 LEE RD	A. Francis	AGREE
16/3/10	JUDY CECIL	Finlay St	J. Cecil	AGREE
16/3/10	SUE TASKER	17 Stewart St	S. Tasker	AGREE
16/3/10	S. GROSZ	Pent	S. Grosz	Agree
16/3/10	K. Dickie	"	K. Dickie	"
16/3/2010	J. Turner	Shewmoor Dr	J. Turner	Agree
16/3/2010	AKIKO MATSUMOTO	HARE STREET	A. Matsumoto	Agree
16/3/10	To McPhee	PO Box 4031 Spencer Park	To McPhee	Agree
16/3/10	Lenny Goldsmith	10 Ormond Rd	L. Goldsmith	Agree

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The names and addresses of your petitioners are as follows: -

Date	Full name	Address	Signature	Agree
				<u>Disagree/ No</u>
				<u>opinion</u>
14/3/10	IVAN TRIGWELL	52 KELTY VIEW DR	[Signature]	AGREE
14/3	STEVE SMALL	EMU POINT DRIVE	[Signature]	AGREE
14/3/10	PAUL CASINO	2 GRAND WAY YACAMIA	[Signature]	AGREE
14/3/10	Jalisa Douglas	178 Gull Rock Rd	[Signature]	Agree
14/3/10	Graan Purn	29 WATERS R	[Signature]	Agree
14/3/10	SALLY PUZEY	12 Anderson Pl	[Signature]	Agree
14/3/10	JAN TRIGWELL	52 KELTY VIEW WILLINGTON	[Signature]	AGREE
14/3/10	Rebecca DeBunnat	99 Spencer St.	[Signature]	agree.
14/3/10	Lion Bailey	33 Lion St Albany	[Signature]	agree.
14/3/10	Ralph Lewis	46 McKail St Albany	[Signature]	agree.
14/3/10	Toni Stewart	12 Hiam St Albany	[Signature]	agree.
14/3/10	Neralie Russell	105 Henry St	[Signature]	agree
14/3/10	HELEN BAILEY	48 Gladville Rd	[Signature]	agree
14/3/10	Janica Pellicani	150 Bailey Rd	[Signature]	agree
14/3/10	GRAIN NEWCOMBE	98 SOUTH COAST HWY	[Signature]	AGREE
14/3/10	Ancher Pellicani	150 Bailey rd	[Signature]	AGREE
14/3/10	Ashton Mills	32 Douglas Drive G30	[Signature]	AGREE
14-3-10	Rose Chapman-Hill	148 Deloraine Dr	[Signature]	Agree
14-3-10	SALLY GREER	73 Radiata Dr	[Signature]	Agree
14-3-10	BRETT WARD	48 AMSTERDAM AVE UNIT 4	[Signature]	Agree

Agenda Item Refers 13.1.7. 104 pages

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15

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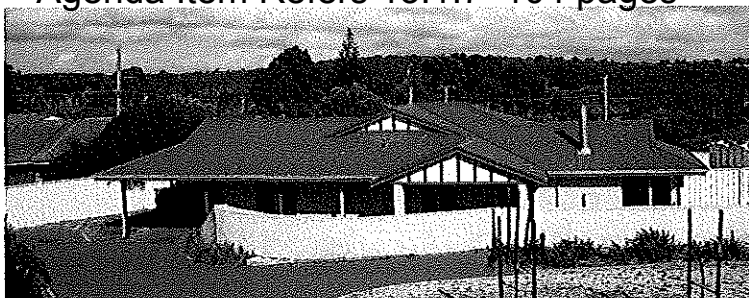
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[illegible]

City of Albany
15 MAR 2010
RECEPTION

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14/3/10	Helen Hickling	Mercer Rd Albany	H Hickling	Agree
14/3/10	NELIA BECKER	7 FRANKLIN CRT Alb.	NELIA BECKER	Agree
14/3/10	Charlote Becker	7 Franklin Crt Alb	CB	Agree
14/3/10	Belgian Griffiths	130 frederick st	Belgian Griffiths	agree
14/3/10	Robert Eaves	88 Federal st	Robert Eaves	Agree
14-3-10	Ron Maley	SAM ^C LEOD ST	R D Maley	Agree
14.3.10	Kathy Stevens	5 STALL ST, Gledhow	Kathy Stevens	Agree.
14.3.10	DAWNY MARWICK	224 MERCER RD ALBANY	DAWNY MARWICK	Agree

APPLICATION AVAILABLE FOR INSPECTION

Proposed Change of Use
- Accommodation For
Homeless / P2105028

Council wishes to advise that it has received an application for Change of Use - Accommodation For Homeless AT 51 Discovery Drive, Spencer Park.

Details on this proposal are available for inspection from the Development Services Team at Council's Administration Office, 102 North Road, Yakamia.

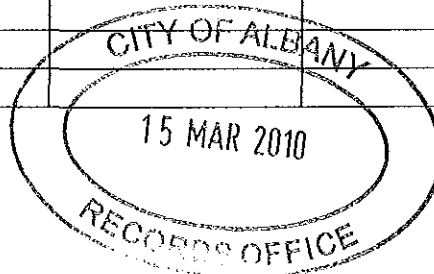
Prior to making a formal assessment of the proposed development, Council is seeking written comment (whether supportive or opposing) from the community.

Should you wish to make a submission on this application, please write to the Chief Executive Officer, PO Box 484, Albany WA 6331, before 16th March 2010.

Please note that any comments submitted may be included in a report to Council on this matter, which will be available to the public.

To comply with the requirements of the Freedom of Information Act please advise if you consider any of this information should be withheld.

CHIEF EXECUTIVE OFFICER



Doorknock in Discovery Drive, Albany seeking the residents' views on Prospect House.

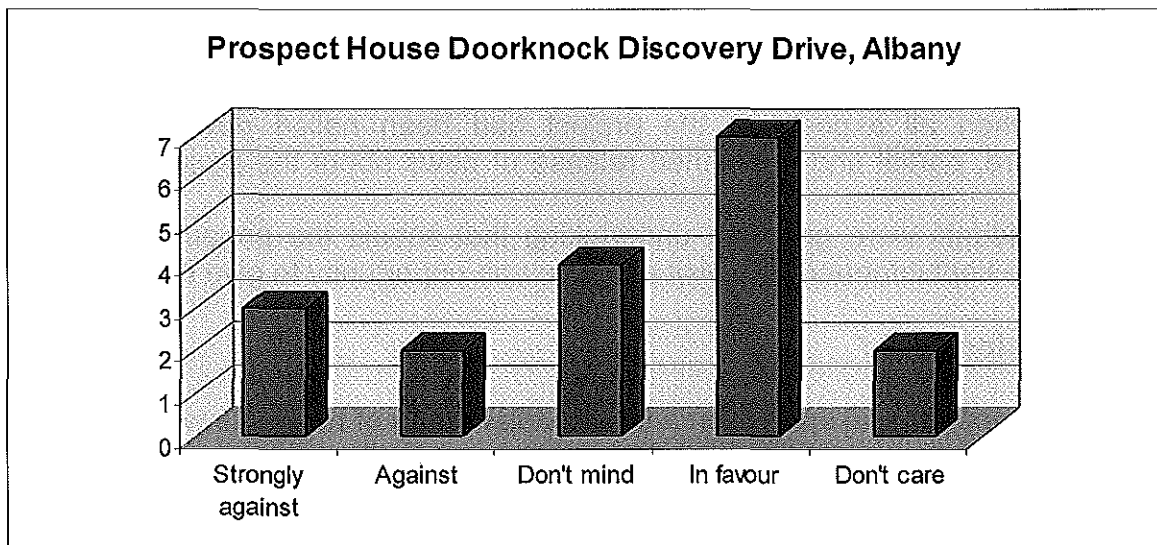
Format

On Saturday morning 13Mar10, the St Vincent de Paul Society in Albany conducted a doorknock in Prospect Place and Batelier Close to research the views of residents in relation to the proposed Prospect House project at 51b Discovery Drive. Twenty eight houses were visited of which ten had no one home.

Responses

Strongly against	3
Against	2
Don't mind	4
In favour	7
Don't care	2

27% opposed the project, 22% didn't mind, 40% were in favour and 11% didn't care.



Comments

Every resident welcomed the opportunity to discuss the project. They felt that the issue had been poorly handled initially by both the City and the proponents with no prior consultation and some inaccurate information. A couple of people even used the terms "sneaky" and "underhand". "The first we heard about it was being presented with a petition opposing the project." This issue of lack of consultation seemed to loom larger than the merits of the project in the minds of the residents.

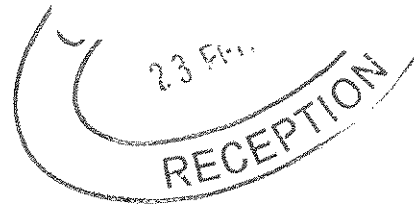
City of Albany Records
Doc No: CR8098590
File: A117778

Date: 23 FEB 2010
Officer: PLANA1

Attach:

18 February 2010

Attention Taylor Gunn
Assistant Planning Officer
City of Albany
PO Box 484
ALBANY WA 6331



Dear Taylor

NOTICE OF APPLICATION FOR PLANNING CONCENT – 51 DISCOVERY DRIVE, SPENCER PARK / Ref: A117778/PA30660/P2105028

We are writing as the local residents to object to the above application. We are greatly concerned that the proposal, if it goes ahead, will have significant detrimental effects on the local community. As local residents this is a matter of great concern to us.

We have outlined our concerns below:



- *Resident selection criteria* – As per the proposal provide in your letter, "Heavy substance abuse, serious mental health difficulties or major behavioural problems would **probably** disqualify an Applicant." Even moderate examples of the above behaviour are intimidating and unacceptable behaviour in a residential neighbourhood. The fact that this would "**probably**" disqualify an applicant is of major concern. As a neighbourhood, we believe any of the above socially unacceptable behaviours is enough reason to **definitely** disqualify a resident moving into our neighbourhood. We strongly oppose any government initiative to do so.
- *Supportive housing will destabilize the properties immediately surrounding it* – Neighbours of other supportive housing have experienced threatening behaviour from the residents sometimes as a result of a mental illness relapse or an addiction, and as there is no "store front" service neighbours will have no support in such a situation. There is no guarantee that the Prospect House residents have not lived lives that involve drugs, crime and/or violence.

- *Supportive housing will lower our property values* – Spencer Park already has an inequitable distribution of State Housing, Health & Medical Services, we do not want to institutionalise Spencer Park.
- *Supportive housing tenants may bring crime into our area* – Our neighbourhood is quite and friendly with a low crime rate, supportive housing may bring tenants into our neighbourhood who have a background of violence and crime. We have a lot of school aged children passing through Discovery Drive on a daily basis and parents need to feel their children are safe travelling to and from school.
- *Supporting housing may bring drugs into our community* – We are concerned that the serious drug and alcohol culture experienced in other communities will be brought into our street.
- *High turnover of tenants* – the proposal suggest the average stay of a tenant would be three months, with an average of 4 tenants at one time. The high turnover of tenancy will not bring a sense of community for the tenants or neighbourhood and in our opinion shows no community benefit at all. The high turnover of tenants also increases our neighbourhood's exposure and risk that one or more of the tenants will become socially un-acceptable. We should not be exposed to this risk.
- *Traffic Issues* – There will be an increase in visitors, residents and traffic in what was a quiet family orientated street. With up to 5 residents in one house, plus the support staffing requirements, traffic (including taxis) could increase at least up to 20 to 30 trips per day to the house. This would also increase parking demand on the site, for which there appears to be inadequate parking provision. This will result in an increase on on-street parking. On street parking at this location is very dangerous as the lot is on a curve in the road with insufficient space to manoeuvre. There is also a likelihood that on street parking may impact on properties adjacent to the lot with parking in front of privately owned homes. We seek that the council fully address the traffic issues associated with this development.
- *Pets* -your proposed plan for Prospect House includes two dog kennels this will also increase the noise levels not to mention the disruption to neighbouring properties. Most normal lease arrangements do not allow Pets to be included in the lease, we see this situation being no different, and even worse than leased properties due to the unpredictable nature of the Pet owners.

- *Too many tenants in one house* – we have concerns that Prospect House will contain up to 5 potentially volatile and unstable “clients” who will be left unattended for most of the time. With the best of intentions 5 adults (probably strangers to each other) in a small living environment, possibly without work, will result in conflicts from time to time.
- *Supportive housing will encourage loitering* – We are concerned that there will be an increase of people moving around the street with no real purpose, a location closer to the centre of town would be more suitable to residents who have no transport.
- *Possible Expansion of the project* – Lot 347 has an adjoining unit with 3 bedrooms. Is it the council’s intention to expand the program to include the second unit? This would enable up to 8 tenants. We have concerns that, although not said in your proposal, the project could be expanded. This would further increase our exposure and therefore our concerns about all the items listed above.
- *Examples of similar projects* - Young House in Albany is a prime example highlighting the amount of disturbance supportive housing can bring to a community there is a high number of police call outs to this address and neighbours of the project report a significant amount of property theft and inappropriate behaviour by the residents, their feeling of security and wellbeing in their home has been effected.

We are not opposed to the setting up of a home to tackle homelessness as a barrier to employment however what we are opposed to is the rezoning of this property for this use in this location. The project is inappropriate and incompatible with the surrounding neighbourhood.

We the undersigned hope you consider our objections in regard to this proposal.

Yours faithfully



Kerry and Evan Chadfield
45 Discovery Drive
SPENCER PARK WA 6330

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Council Policy

Outbuildings

Applies to: Outbuildings in Residential, Residential Development, Future Urban, Special Residential, Special Rural, Yakamia Creek, Conservation and Rural zones.

1.0 Background

Outbuildings are Class 10a buildings under the Building Code of Australia (2009), which are not substantially connected to a dwelling. The City of Albany knows that families have varying needs for outbuilding space (areas and heights) for garaging of vehicles, storage of boats, caravans and other items, domestic workshops, games rooms, studios, stables, etc. As a general rule people expect to be able to have larger outbuildings on larger lots.

The City is also aware that in some instances outbuildings may result in problems including:

- Use of outbuildings for illegal commercial or industrial purposes, which may result in adverse noise, traffic, and visual impacts for neighbours and the locality. With the exception of those used for commercial farming purposes on rural lots, or approved home businesses, outbuildings may only be used for domestic purposes.
- Illegal use of outbuildings as residences, which often incorporate inadequate health and building standards for human habitation.
- Unlike most dwellings, outbuildings are usually very bland metal clad structures devoid of architectural features such as windows, verandas, etc. Construction of large and/or high sheds may have adverse impacts on visual character of streets and neighbourhoods, neighbours and scenic rural or coastal landscapes.
- When outbuildings incorporate reflective materials such as zincalume and are sited in visually prominent locations there is greater potential for adverse impacts on the landscape, and in some instances reflection can cause a serious nuisance for surrounding/nearby residents.

2.0 Aim

The aim of the City of Albany's Outbuildings Policy is:

To achieve a balance between providing for the various legitimate needs of residents for outbuildings, and minimising any adverse impacts outbuildings may have on neighbours, a street, a neighbourhood or locality, or the City as a whole.

3.0 Specific Policy Requirements

The specific policy objectives and requirements for the different zones are set out in Table 1.

4.0 Application Details

Applications for outbuildings must include the following:

1. Completed Building Licence or Planning Scheme Consent application form (refer Table 1);
2. Details of intended uses of the outbuilding;
3. Scale site plan showing contours, existing buildings, area of outbuilding and setbacks; and
4. Plans and elevations detailing the area, wall and ridge heights and the cladding materials and colours to be used.

5.0 Definitions

“Outbuilding” -for the purpose of this policy “outbuilding” means any Class 10a building under the Building Code of Australia (2009) Volume 2, which is not substantially connected to a dwelling.

“Reflective materials” -include factory applied finishes such as zincalume, galvabond and light colorbond colours such as white, off-white (Surfmist) and smooth cream.

6.0 Interpretations

“Height” – the height of the outbuilding is to be measured vertically from the natural ground level, as per the measuring criteria stipulated in the Residential Design Codes (2008), and not the proposed finished floor level of the outbuilding.

Table One – Outbuilding Requirements

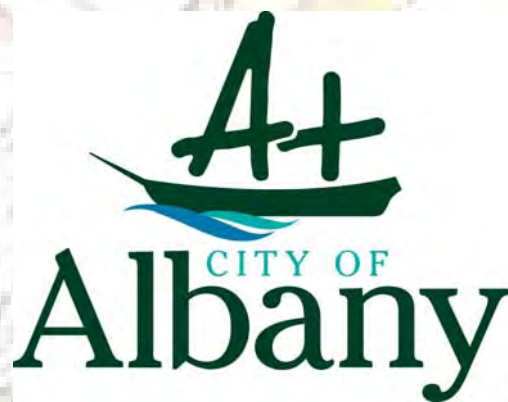
Zoning	Max. Wall Height	Max. Ridge Height	Max. Floor Area (combined floor area of all outbuildings on lot)	Special Requirements
Residential / Future Urban / Residential Development Zone (Lots less than 1000m ²)	3 metres	4.2 metres	100m ²	If floor area of an outbuilding is to exceed 60m ² the use of non-reflective materials is required.
Residential / Future Urban / Residential Development Zone (Lots 1000m ² – 3999m ²)	3 metres	4.2 metres	120m ²	If floor area of an outbuilding is to exceed 60m ² the use of non-reflective materials is required.
Residential / Future Urban / Residential Development Zone (Lots 4000m ² or greater)	3.5 metres	4.2 metres	150m ²	If floor area of an outbuilding is to exceed 60m ² the use of non-reflective materials is required.
Yakamia Creek Zone	3.5 metres	4.5 metres	120m ²	If floor area exceeds 100m ² the use of non-reflective materials is required.
Conservation Zone	3.5 metres	4.5 metres	140m ²	Refer relevant planning scheme requirements for siting and materials.
Special Residential Zone (Lots less than 3999m ²)	4.2 metres	4.8 metres	120m ²	Refer relevant planning scheme requirements for siting and materials.
Special Residential (Lots greater than 4000m ²)	4.2 metres	4.8 metres	150m ²	Refer relevant planning scheme requirements for siting and materials.
Special Rural Zone (Lots less than 2ha)	4.2 metres	4.8 metres	200m ²	Refer relevant planning scheme requirements for siting and materials.
Special Rural Zone (Lots 2ha to 3.99ha)	4.2 metres	4.8 metres	220m ²	Refer relevant planning scheme requirements for siting and materials.
Special Rural Zone (Lots 4ha or greater)	4.2 metres	4.8 metres	240m ²	Refer relevant planning scheme requirements for siting and materials.
Rural Zone (Lots less than 2ha)	4.2 metres	4.8 metres	200m ²	The siting of the outbuilding away from more obtrusive locations.
Rural Zone (Lots 2ha to 3.99ha)	4.2 metres	4.8 metres	220m ²	The siting of the outbuilding away from more obtrusive locations.
Rural Zone (Lots 4ha or greater)				The siting of the outbuilding away from more obtrusive locations.

7.0 Planning Scheme Consent

Planning Scheme Consent will only be required where the above criteria cannot be complied with. Variations to the above Policy can be considered in the following circumstances:

- i. for roof forms other than a regular ridged roof, such as a mono-pitched (skillion) roof, a relaxation of the height of the wall (up to 15%) may be supported, or
- ii. where the land upon which the outbuilding to be erected has a slope greater than 1 in 5 the height of the wall shall be measured on the wall that is located at the higher point of the site where the land has not been subject to cut and/or fill; or
- iii. to accommodate larger boats and caravans requiring clearance up to 3.2m, the applicant to demonstrate proof of ownership of such vehicle/vessel and a relaxation of the height of the wall (up to 15%) may be supported on Residential / Future Urban / Residential Development Zone lots less than 4000m² in area; or

For all other variations of the Outbuilding Policy, the applicant shall demonstrate exceptional circumstances as to why the policy should be relaxed with the proposal being presented to an ordinary meeting of Council.



TOWN PLANNING SCHEME NO. 3

AMENDMENT NO. 299 (3)

SUPPORTING INFORMATION

**PREPARED FOR GC AND GL CAKE
DECEMBER 2009**

List of Appendices

- Appendix A** Amendment Site Certificate of Title
- Appendix B** Photographs of the Amendment Site
- Appendix C** Detailed Land Capability Assessment
- Appendix D** Visual Impact Evaluation
- Appendix E** EPA Scheme Amendment Checklist

APPENDIX A

Amendment Site Certificate of Title

WESTERN



AUSTRALIA

REGISTER NUMBER	
50/DP29890	
DUPLICATE EDITION	DATE DUPLICATE ISSUED
N/A	N/A

RECORD OF CERTIFICATE OF TITLE
UNDER THE TRANSFER OF LAND ACT 1893

VOLUME
1236

FOLIO
168

The person described in the first schedule is the registered proprietor of an estate in fee simple in the land described below subject to the reservations, conditions and depth limit contained in the original grant (if a grant issued) and to the limitations, interests, encumbrances and notifications shown in the second schedule.

B. Roberts
REGISTRAR OF TITLES



LAND DESCRIPTION:

LOT 50 ON DEPOSITED PLAN 29890

REGISTERED PROPRIETOR:
(FIRST SCHEDULE)

GEOFFREY CHARLES CAKE
GLENYS LYNNE CAKE
BOTH OF RMB 9560 CHESTER PASS ROAD, ALBANY
AS JOINT TENANTS

(T F819539) REGISTERED 2 MARCH 1995

LIMITATIONS, INTERESTS, ENCUMBRANCES AND NOTIFICATIONS:
(SECOND SCHEDULE)

- 1. TITLE EXCLUDES THE LAND SHOWN ON S.O. DIAGRAM 70859.
- 2. TITLE EXCLUDES THE LAND SHOWN ON S.O. DIAGRAM 70442.
- 3. F819540 MORTGAGE TO NATIONAL AUSTRALIA BANK LTD REGISTERED 2.3.1995.

Warning: A current search of the sketch of the land should be obtained where detail of position, dimensions or area of the lot is required.
* Any entries preceded by an asterisk may not appear on the current edition of the duplicate certificate of title.
Lot as described in the land description may be a lot or location.

-----END OF CERTIFICATE OF TITLE-----

STATEMENTS:

The statements set out below are not intended to be nor should they be relied on as substitutes for inspection of the land and the relevant documents or for local government, legal, surveying or other professional advice.

SKETCH OF LAND: DP29890 [SHEET 1].
PREVIOUS TITLE: 1201-242.
PROPERTY STREET ADDRESS: 847 CHESTER PASS RD, KING RIVER.
LOCAL GOVERNMENT AREA: CITY OF ALBANY.

- NOTE 1: A000001A LAND DESCRIPTION AMENDED ON ORIGINAL CERTIFICATE OF TITLE - BUT NOT SHOWN ON CURRENT EDITION OF THE DUPLICATE.
- NOTE 2: SKETCH ON ORIGINAL SUPERSEDED PAPER TITLE AMENDED - BUT NOT SHOWN ON CURRENT EDITION OF THE DUPLICATE.

APPENDIX B

Photographs of Amendment Site



Plate 1: *View of the Amendment Site from Millbrook Road.*



Plate 2: *View of the Existing House on the Amendment Site.*



Plate 3: *View of the Second House on the Amendment Site.*



Plate 4: *View of the Creek Line and Ponds on the Amendment Site.*



Plate 5: View of the Creek Line and Ponds on the Amendment Site.



Plate 6: View of the Gravel Pit on the Amendment Site.



Plate 7: Vegetation on the Amendment Site.

APPENDIX C

Detailed Land Capability Assessment

Detailed Land Capability Assessment

Lot 50 Chester Pass Road

Prepared for G. C. Cake





Detailed Land Capability Assessment

Lot 50 Chester Pass Road

Prepared for G. C. Cake

Prepared by

Scott Glassborow
Environmental Management
Consultant

Opus International Consultants (PCA) Ltd

Albany Office
Albany House 125 York Street
PO Box 5236
Albany, WA 6332, Australia

and

Andrew Barker
Principal Project Engineer

Reviewed by

Vicki Laurie
Team Leader -
Environmental Management
Services

Telephone: +61 8 9842 6155
Facsimile: +61 8 9842 6055

Approved by

Evan Chadfield
Business Manager
Opus Albany

Date: October 2009
Reference: G:\Env Projects\waenv130
Chester Pass 50 Land
Capability Assessment
Status: FINAL
Reference: Job No: WAENV130



Opus Environmental Services

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- Appendix B - Contour Graphing and Gradients
- Appendix C - Test Pit Locations
- Appendix D - Test Pit Soil logs
- Appendix E - Soil Analysis
- Appendix F - Main Mapping Units

Abbreviations

AHD – Australian Height Datum
ASRIS – Australian Soil Resource Information System
ATU – Alternative Treatment Unit
BGL – Below Ground Level
LCA – Land Capability Assessment
PRI – Phosphorus Retention Indices

1 EXECUTIVE SUMMARY

G. C. Cake commissioned Opus International Consultants (PCA) Ltd to undertake a Detailed Land Capability Assessment (LCA) for Lot 50 Chester Pass Road, King River. It is proposed to develop the subject site into "Rural Residential" or "Special Rural" lots.

The assessment included analysis of the geology and landforms, vegetation, and historical land-uses. Site Soil Investigations were carried out in the field and in the laboratory by Opus and Albany Soil and Concrete Testing. The LCA was conducted as per the *Department of Agriculture Land Capability Assessment Guidelines*, with the proposed Rural Residential zoning being assessed against the criteria of Rural Residential with on-site effluent disposal (Land Capability Assessment for Rural Strategies 1989).

The site assessment was conducted on the 11th and 10th of September 2009 by Opus and included soil profiling to Australian/New Zealand Standard for "On-site domestic-wastewater management" AS/NZS 1547:2000 which included soil logging to a depth of 2000mm below ground level and depth to groundwater. The site assessment also included the collection of four representative soil types to be analysed for Phosphorus Retention Indices, Permeability and basic soil chemical properties.

Five mapping units were identified from the soil types and landforms within the area; these were defined into mapping units A, B, C, and E. Please refer to Appendix F – Mapping Units. The on-site effluent capability assessment indicated there are limitations for Residential development, however mainly restricted to low lying areas.

Please refer to the following table for a summary of the characteristics within each map unit.

Map Unit	Land Resource Characteristics
A	Peat Over Silt Sand/ Sand or Clay Located >15m AHD these soils generally comprise of brown and grey silt sand over clays with a peat layer ranging from 0-250mm BGL. Clays were not encountered above 1000mm BGL and rock was encountered in one of the three test pits located within this mapping unit at 1500mm BGL (TP4). Sands are generally rapidly drained with clays being very poorly drained. This area was observed to be inundated during late winter water table conditions with water table being observed to be between 0mm BGL and 650mm BGL. Sands generally have a poor PRI of <5 whilst clays have a PRI >5. Slope is between 0 and 5%
B	Sand/Sandy Gravel over Sand/Gravel/Clay over Clay Sand/sandy gravel over sand/gravel/clay over clay with variable depth to clay; 150mm BGL (TP1) to 1100mm BGL at TP10. Soils encountered within these profiles were predominantly light and dark brown, orange and mottled yellow/white/red sandy clays and were generally encountered above the 15m AHD contour. Sands are generally rapidly drained with poor PRI (<5). Gravels are moderately well drained with good PRI (>5). Clays are very poorly drained

	with good PRI (>5). Slope for this area is between 5 and 10%. Map Unit B contains some of the steeper gradients on Lot 50. Water table was observed at TP7 and TP16 at 1040mm BGL and 700mm BGL respectively.
C	Sand over Clay Test pits within Map Unit B recorded dark to light brown coarse sand over white or orange silty sandy clay. This soil was encountered in the western portion of Lot 50 between the 15m AHD and 30m AHD contours. Sands are rapidly drained with PRI <5 with clays being very poorly drained and PRI >5. Water table was encountered at TP9 at 600mm BGL.
D	Sand over Gravel TP15 was the only test pit to have recorded this soil type. It is characterised by brown to white rapidly draining silt sand with PRI <5 over orange gravel which is moderately drained with PRI >5. These soils were observed to be moist. Water table not encountered. This soil profile is located in the eastern portion of Lot 50.
E	Map Unit E is likely to be a transitional soil profile between Map Units B and C, however this was not confirmed during the site investigation due to inundation of these areas.

The following recommended planning and land management considerations arise from the Land Capability Assessment for Lot 50 Chester Pass Road:

1.1 Residential Development

Overall the subject site has Moderate to High capability for development and on-site effluent disposal (depending on location). It is recommended that in the waterlogged/inundated areas where the natural surface and water table separation is less than 500mm are not suitable for onsite effluent disposal. It is recommended that:

- A 30m setback be applied from all water bodies if phosphate removing ATUs are utilised in Map Unit A, B, C and D due to PRI <5 in sand with silt soils and clays at variable depths. If non-phosphate removing ATUs are utilised this setback would be required to be 100m from all water bodies;
- Areas which achieve a 500mm water table clearance are suitable for on-site effluent disposal. Map Unit A and E (where 500mm groundwater separation is not achieved) are unsuitable for on-site effluent disposal without significant modification of soils and building envelopes should be restricted to the highest elevation point within the proposed lots;
- Consideration should be made as to the location of building envelopes if lots are proposed to be placed in Map Unit A and C and that the building envelope should be positioned so as to achieve 0.5m separation from groundwater to natural soil surface;
- As the site has a predominantly sand with silt topsoil that best practice is carried out for residential development and scour prevention and sediment traps are

installed during development. Any cleared areas should be appropriately stabilised to prevent erosion;

- Residential development would best deal with any erosion by aligning the properties and roads along the contours to ensure that storm water does not scour and is encouraged to seep into vegetated swales within road reserves to convey stormwater to drainage reserves;
- Re-vegetation should be implemented utilising local native species. This will need to be implemented by the developer in the first instance and then the responsibility of individual land owners;
- A weed management plan should be implemented across the site to eliminate the extensive invasions of weeds, this should be aligned to WA Agriculture and Food guidelines;
- Native vegetation within creek lines is to be retained across the site where practical as to promote natural water treatment from overland runoff and any native vegetation clearing is subject to EPA Clearing regulations;
- Bioretention basins should be strategically placed across the site for water quality treatment of stormwater runoff. Stormwater runoff calculations and modelling will be required during the detailed design stage of the development to give more accurate volumes for storage required;
- All structures will require foundation designs to be completed and certified by a chartered structural engineer and a geotechnical investigation is to be carried out for building envelopes to verify foundation stability and depth to groundwater for each proposed ATU location during the development stage; and
- Construction programming should occur in dry months.

1.2 Rural Pursuits

It is recommended that:

- The buffer to the creek line in the western portion of Lot 50 is fenced and revegetated with native endemic plant species to reduce erosion and encourage habitat for fauna;
- Fencing occurs to exclude animals and prevent erosion and degradation of the re-vegetation in drainage easements and reserves;
- Rural pursuits would need to be carefully considered in this area to ensure there is little off-site environmental harm as livestock may cause erosion in sandy soils and nitrification in waterlogged soils.

2 INTRODUCTION

Opus International Consultants (PCA) Ltd (Opus) were engaged by G. C. Cake to conduct a Detailed Land Capability Assessment (LCA) for Lot 50 Chester Pass Road, King River. This LCA has been undertaken to support a Scheme Amendment Request to rezone to "Special Rural" zone under the City of Albany Town Planning Scheme No. 3.

Site assessment was undertaken by Opus on the 10th and 11th of September 2009 and involved the excavation of 16 test pits under late winter conditions to determine:

- Water table depth (below current/natural ground level);
- Soil profile to 2000mm BGL;
- Permeability;
- Phosphorus Retention Indices (PRI);
- Basic Soil Chemical properties; and
- Salinity.

The LCA is aligned to the *Western Australia Planning Commission (WAPC) Land Capability Assessment for Local Rural Strategies Guidelines* and *Department of Agriculture Western Australia Land evaluation standards for Land Resource Mapping*.

The three step methodology for LCA's includes:

- Land Use Requirements of the proposal (Development Proposal);
- Land Resource Survey (Site Assessment); and
- Land Capability Analysis (Land Capability Assessment) (Department of Agriculture Western Australia and WAPC, 1989).

On-site effluent disposal capability has been assessed and aligned to:

- Australian/New Zealand Standard for "*On-site domestic-wastewater management*" AS/NZS 1547:2000;
- Western Australian Department of Health, *Draft Country Sewerage Policy* (Amended 2003); and
- Department of Water, *Wastewater Treatment – Onsite Domestic Systems*, Water Quality Protection Note 70, September 2006.

This report evaluates Lot 50 according to the proposed land-use being "Special Rural". The proposed lots sizes are approximately 6000m² and above and as such have been assessed against Rural and Residential requirements. The land use requirements have been rated in view of the soil investigation, historical land use and topography.

2.1 LOCALITY

The project site, Lot 50 (on DP 2989050) Chester Pass Road King River is located approximately 13km to the north east of the Albany city centre (Figure 1). Site access is via Chester Pass Road; Highway 1 South Coast Highway. The current land use of the site is rural purposes and is approximately 102 hectares in size. Residential and rural residential zoned properties are located to the south west of Lot 50 with rural properties located to the west, north, east and south east. The King River lies in an east-west orientation to the south of Lot 50. Please see Appendix A – Locality for further detail.



Figure 1: Site Location

2.2 DEVELOPMENT PROPOSAL

It is proposed to develop the site for residential purposes via a Scheme Amendment Request to rezone to “Special Rural” under the City of Albany Town Planning Scheme No. 3. During the time of writing, a subdivision guide/concept plan was under development and not available to Opus.

3 DESKTOP AND PRELIMINARY ASSESSMENT

3.1 CLIMATE

Lot 50 is situated in the locality of King River in Albany. Albany experiences a Mediterranean type climate generally with warm summers and cool, wet winters. A major factor influencing Albany's climate is its proximity to the Southern Ocean, giving a moderating influence via sea breezes in the warmer months and a relatively mild, moist air mass at any time throughout the year.

During summer a high pressure band (sub tropical ridges) influences the south west of WA resulting in north south wind movements. Albany's south coast aspect means winds progress with these ridges from east through north, west, south and returning to the east. This may occur over periods of days and weeks resulting in large variations in weather conditions. During the winter months these ridges bring moist westerly winds delivering much of Albany's rainfall.

Albany's long term median annual rainfall is approximately 930mm (BOM, 2009), with considerable variation from year to year. On average 72% of Albany's rainfall occurs between May and October. Please refer to Figure 2. Average temperatures peak in summer (January and February), with monthly maximum means of 23°C and overnight mean minimum of 15°C. Winter daily maximum temperatures average approximately 16°C while the average minimum is 8°C in July.

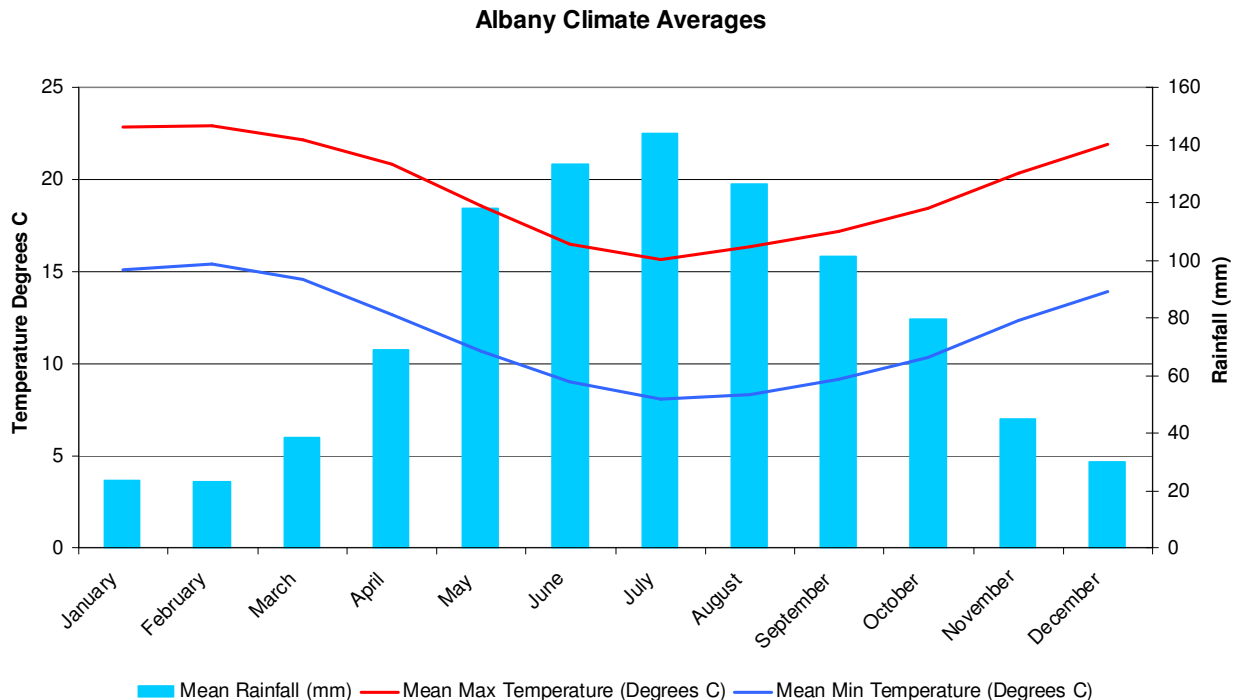


Figure 2: Albany Climatic Average for Temperature and Rainfall (adapted from www.bom.gov.au 2009)

3.2 GEOLOGY

Lot 50 is comprised of two different landform areas, low areas subject to inundation and high elevations composed of gravels and silty sands.

Site elevation ranges from 5m AHD in the south west of the site to 60m AHD in the north east of the site. Please refer to Appendix B – Contour Graphing and Gradients.

The site has a 6% linear planar slope from the lowest contour (5m AHD) in the west of the site and highest contour (60m AHD) in the north east of the site, however there are steeper gradients running east to west with a slope of approximately 12%

The Geological Survey of Australia Geological Map Series 1:250,000 describes the subject site as predominantly “‘Czs’; sand – white, grey or brown, commonly contains iron pisoliths and overlies Laterite” and in the south west of the lot “‘Qa’; clay silt, sand and gravel” and areas of “‘Mn’ Augen gneiss developed from Porphyritic biotite granite and adamellite”. Please refer to Figure 3. These soil types are indicative; the detailed site investigation assesses and confirms the soil types present.

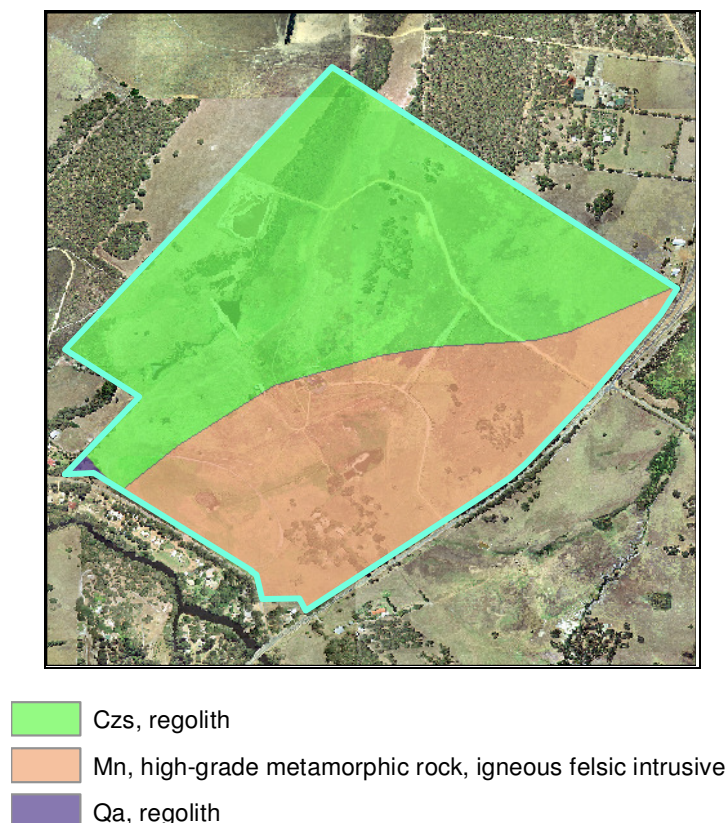


Figure 3: Site desktop assessment geological mapping. Adapted from Geological Survey of Australia Map Series 1:250,000 2008]

3.3 ACID SULPHATE SOILS

A desktop assessment of Acid Sulphate Soil (ASS) risk for Lot 50 on the Australian Soil Resource Information System (ASRIS) (www.asris.csiro.au accessed 24th September 2009) indicated Lot 50 to be in an area of 'Extremely Low Probability' to 'Low Probability' for the occurrence of ASS. A field investigation was not carried out for Acid Sulphate Soils as part of this investigation.

The WAPC Acid Sulfate Soil Risk Map was also utilised in the desktop assessment which also indicated that the site is in an area of Low to No risk in elevated areas with Moderate to Low risk in low lying wet areas. Please refer to Figure 4 below.

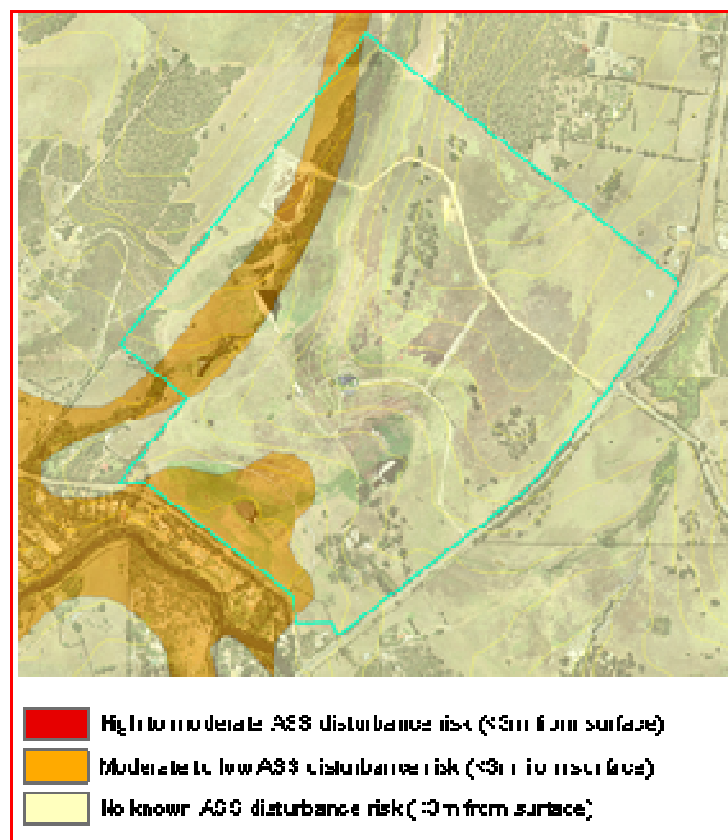


Figure 4: Site Acid Sulphate Soil Risk (WAPC Planning Bulletin No. 64)

3.4 HYDROGEOLOGY

Currently the site is free draining with surface water runoff from the catchment to the north of the site shedding to the low lying area in the southern portion of the lot which becomes inundated under late winter conditions as observed during the site assessment in September 2009. At present the dams and ponds on site capture a significant portion of surface water runoff including that which flows on site from the north (visual observation only). Please refer to Figure 5.

During periods where these dams and ponds over flow the water may flow through the historical creek system which exits the site in the south west where it ultimately flows into

the King River, or in case of the low lying areas, into the road reserve of Millbrook Road. During late winter conditions the lower lying areas within the subject site become inundated as observed during the site assessment.

The Department of Water 250K Map Series indicates that the site is located within the Oyster Harbour-Kalgan-King catchment within the Albany Coast (South West) Basin. The site is predominantly within an area characterised by *sedimentary aquifers with intergranular porosity - extensive aquifers and major groundwater resources*. Lot 50 is not located within a Public Drinking Water Supply Area or a Protected Water supply area. According to the DoW 250k Mapping Series, groundwater salinity for the site ranges from 300 to 1000mS/m.

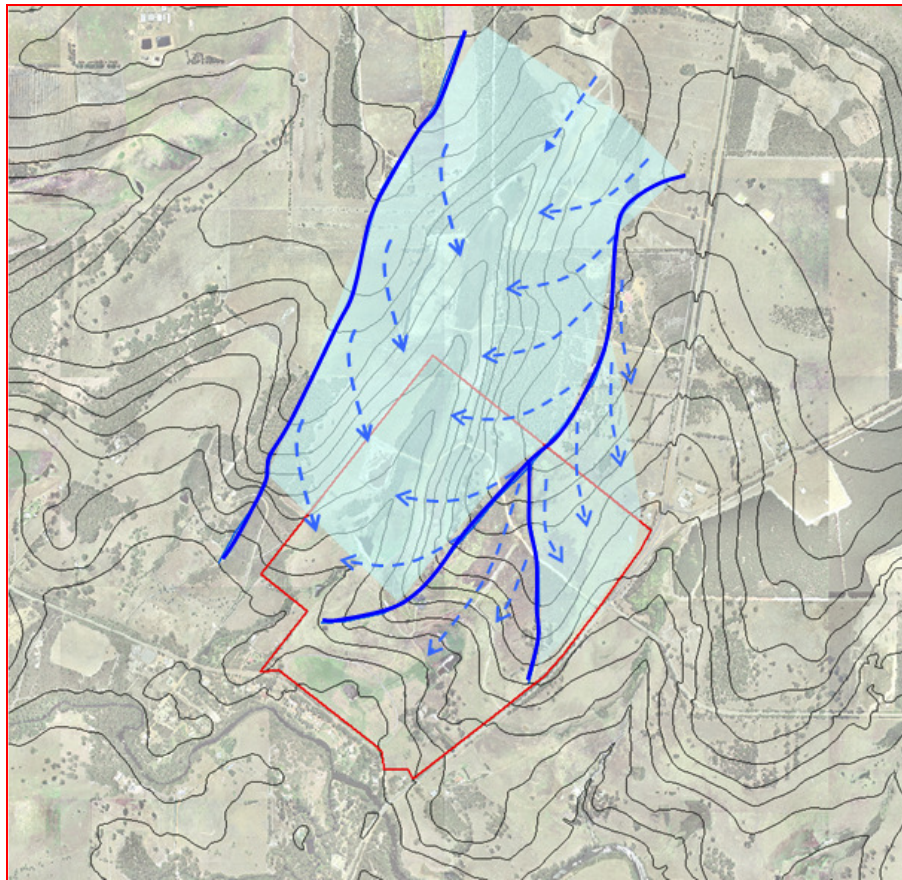


Figure 5: Approximate surface water flow

Please note: Surface water flow paths have been approximated based on desktop assessment of contours. Surface water flow and drainage have not been modelled for Lot 50.

3.5 VEGETATION

The site has been predominantly cleared of native remnant vegetation to be utilised for agricultural purposes, in particular grazing. The subject site lies within the Jarrah Forest 2 IBRA region (JF2 – Southern Jarrah Forest subregion) (Hearn *et al.*, 2002). Some pockets of remnant Jarrah remain on site, however, as the vegetation below the canopy is grazed, the understory is comprised of paddock grasses/pasture species. Please refer to Plate 1.



Plate 1: Remnant Jarrah in the east of the subject site

3.6 FAUNA

A full fauna assessment was not conducted for the purpose of this LCA.

The remnant areas of vegetation have limited understorey and are unlikely to provide extensive habitat for fauna. Revegetation across the site may provide habitat for native animals.

3.7 CURRENT AND HISTORICAL LAND USE

Lot 50 is currently utilised for rural activities, including the grazing of cattle (Plate 2) and excavation of sand and gravel (Plate 3). All remnant native vegetation areas have been grazed. Sand/ gravel excavation has been undertaken in the western and northern portions of the site. Excavation of sand in the wester portion of the site has resulted in large basins which contain water. Gravel is currently stock piled on site. Please refer to Plate 3.



Plate 2: Stock grazing



Plate 3: Stock piles of gravel behind tree line

4 FIELD ASSESSMENT

Opus and Albany Soils and Concrete Testing carried out a site inspection and conducted field testing on the 10th and 11th September 2009. The site assessment included recording of site details as per Australian Standard AS/NZS 1547:2000, and included:

- Soil profile logging by visual classification to a depth of 2000mm;
- Late Winter Water Table Levels; and
- laboratory testing for:
 - Permeability;
 - Phosphorus Retention Index (PRI);
 - Basic Soil Chemistry :
 - Nitrate;
 - Ammonium;
 - Phosphorus;
 - Potassium;
 - Sulphur;
 - Organic Carbon;
 - Conductivity; and
 - pH.

A total of 16 test pits were drilled by mechanical auger and water depths were recorded through visual observation. Six representative soil samples were taken for laboratory analysis which included physical and chemical properties shown in Table 1.

Table 1: Test Pit Locations of soil samples collected for analysis

Soil Test	Test Pit No.	Depth of Sample (mmBGL)
Permeability	1	0-1000
	2	0-150
	4	150-300
	7	2000
PRI	1	0-1000
	2	0-150
	3	0-100
	4	150-300
	7	2000
	11	0-10
Basic Soil Chemistry (Including salinity)	1	0-1000
	2	0-150
	3	0-100
	4	150-300
	7	2000
	11	0-10

Surface soils indicated that the site is primarily sand with silt over the majority of the site with some sand over gravel/rock in elevated areas, and small areas of sand with minor peat soils in low lying areas. Clays were also encountered at varying depths. Please refer to Appendix C – Test Pit Locations and Appendix D – Test Pit Soil Logs.

Four typical soil profiles were identified across the site and have been representatively mapped with regard to results of soil analysis and site investigation (see page 15). Table 2 over page is a summary of the soil and landscape characteristics for each map unit and Figure 6 over page illustrates representative logs for each mapping unit. Mapping units are provided on page 15 and in Appendix F.

Map Unit E has been included within this Table however soil texture and permeability had not been assessed due to this map unit generally being flooded/ inundated creek areas.

Table 2: Mapping Unit Summary

Map Unit	Soil Texture	Slope (%) ¹	Soil Permeability ²	Site Classification ³
A	Peat Over Silt Sand/ Sand or Clay	<5%	Silt sands moderately to well drained whilst Peat and Clay poorly drained. Rock encountered at 1500mm BGL in TP4 Water table observed at: 0mm BGL (TP5); 400mm BGL (TP6); and 650m BGL (TP4)	H – with Peat Removal of peat and amendment to raise levels above existing surface levels will class this area as S.
B	Sand/Sandy Gravel over Sand/Gravel/ Clay over Clay	5%-10% (max 12%)	Sand soils moderately well drained however clay soils likely to be imperfectly drained. Gravel soils moderately well drained. Water table between 700mm BGL (TP16) and 1040mm BGL (TP7)	A or S
C	Sand over Clay	5%	Sand rapidly drained while clay Poorly drained Water table observed at 600mm BGL at TP9	A or S (due to clays 200mm BGL)
D	Sand over Gravel	5%	Sand rapidly drained whilst gravels are moderately drained. Water Table not encountered	A or S
E	Unknown	<5%		unknown

¹ Slope has been taken as an average over the mapping unit unless otherwise specified (i.e. areas of extreme slope);

² Soil depths were to 2,000mm BGL in all test pits unless otherwise stated.

³ To be confirmed by detailed geotechnical investigation prior to final design.

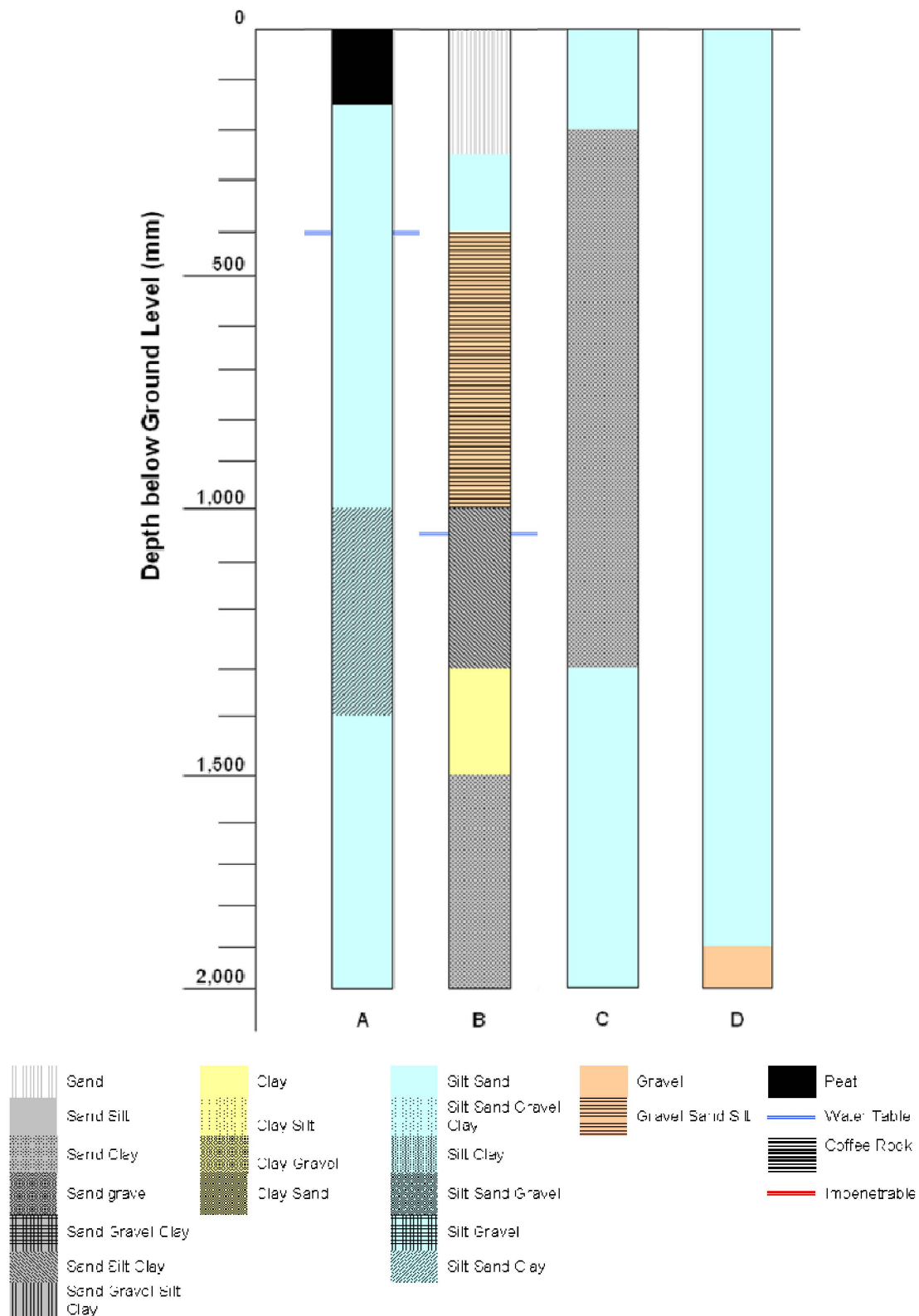
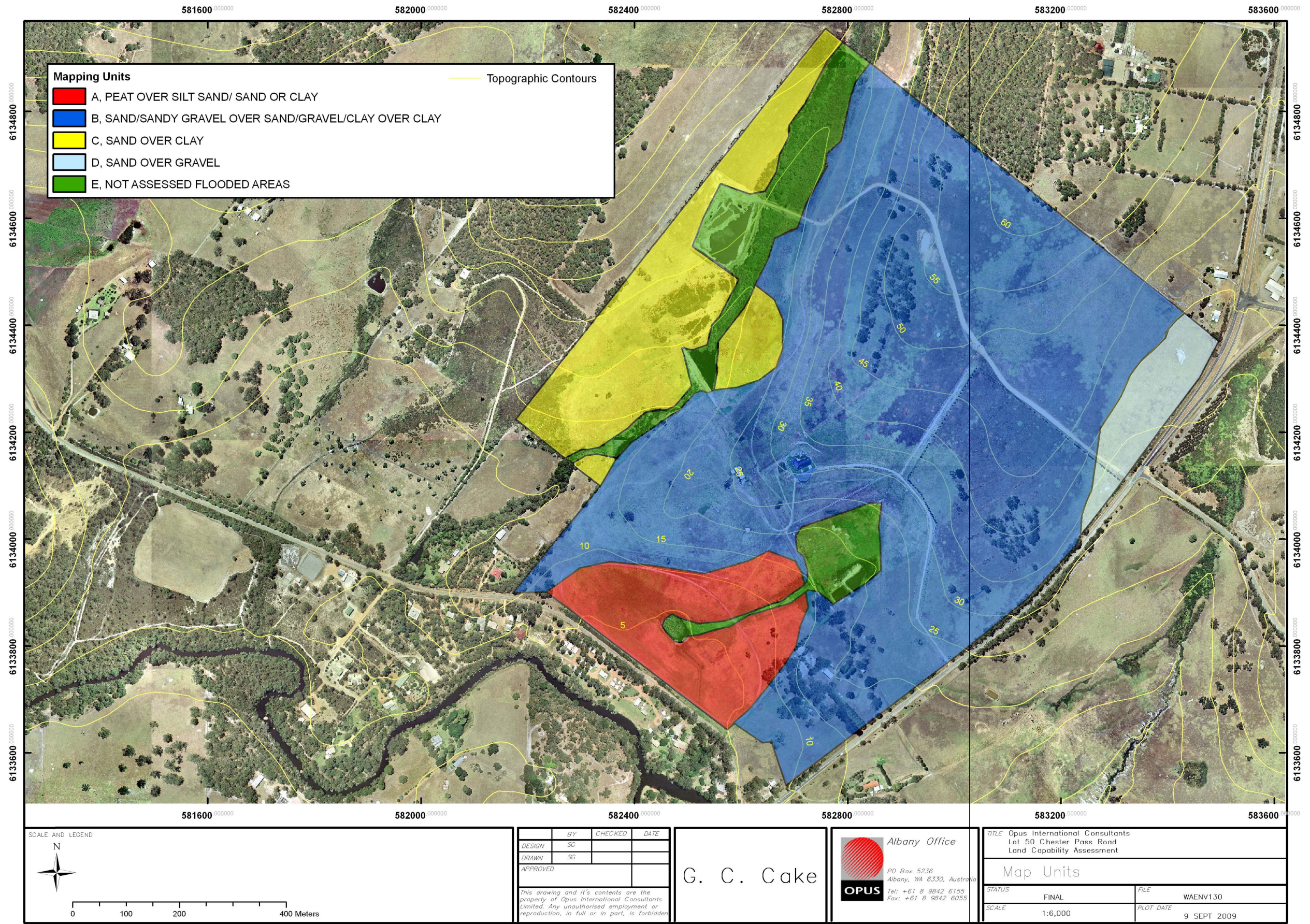


Figure 6: Representative Soil Profiles for each Map Unit

Note: soil profile not determined for Map Unit E.



4.1 MAP UNIT A: PEAT OVER SILT SAND/ SAND OR CLAY

Map Unit A was identified at test pits 4, 5 and 6. These test pits are located below the 15m AHD contour area and were characterised by brown and grey silt sand. Map Unit A predominantly consists of wet moist peat over sand silt or sand or minor clay. The peat layers in these areas are likely to cause surface water pooling and sub-surface inundation. Plate 4 below shows the typical test pit for this map unit. The peat layer is highly noticeable as the dark (black) layer of soil found commonly between 0mm and 350mm BGL. Clays were encountered below 1000mm BGL. Compacted laterite (coffee rock) was encountered at TP4 between 1000mm and 1500mm BGL.



Plate 4: Test Pit showing a typical Map Unit A profile (Test pit 5).

4.2 MAP UNIT B: SAND/SANDY GRAVEL OVER SAND/GRAVEL/CLAY OVER CLAY

Test Pits 1, 2, 3, 7, 8, 10, 12, 13, 14 and 16 recorded a soil profile which was predominantly Sand/sandy gravel over sand/gravel/clay over clay with variable depth to clay (150mm BGL (TP1) to 1100mm BGL at TP10). Please see Plate 5 over page. Soils encountered within these profiles were predominantly light and dark brown, orange and mottled yellow/white/red sandy clays and were generally encountered above the 15m AHD contour.



Plate 5: Test Pit 2 showing typical Map Unit B soils

4.3 MAP UNIT C: SAND OVER CLAY

Test Pit 9 and 11 recorded a soil profile which was predominantly sand over clay. These areas are relatively poorly drained. Test pits within Map Unit C recorded dark to light brown coarse sand over white or orange silty sandy clay. This soil was encountered in the western portion of Lot 50 between the 15m AHD and 30m AHD contours.

4.4 MAP UNIT D: SAND OVER GRAVEL

Test Pit 15 was observed to have moist brown to white silt sand over orange gravel. This was the only test pit to record this soil profile and is located in the eastern portion of Lot 50. TP15 had homogenous silt sands to approximately 1900mm BGL where gravels were encountered.

4.5 MAP UNIT E

Map Unit E is likely to be a transitional soil profile between Map Units B and C, however this was not confirmed during the site investigation due to inundation of these areas.

4.6 LATE WINTER WATER TABLE TESTING

Test pits were observed for late winter water table levels. This was achieved by observing water seeping into the test pit immediately after excavation (Plate 6). If water did not start entering the test pit within twenty minutes of being open, the test pit was recorded as being above ground water and 'dry'. If water was observed to be entering into the test pit from the walls of the cavity then it was left open for approximately one hour to allow water to rise to the water table level. The depth to water table level below ground level (BGL) was then measured.



Plate 6: Ground water observed pooling into Test Pit 5

Table 3 shows the test pits at which the water table was reached and its depth below ground level. Water table was reached in seven of the 16 test pits and ranged from 0mm BGL (TP5) to 2000mm BGL (TP10). These test pits were generally located within low lying areas of the site between 5m AHD and 15m AHD. This part of the lot was inundated at the time of site investigation undertaken by Opus.

Table 3: Late Winter Water Table Results

Test Pit No.	Water Table Depth (mmBGL)
Test Pit 4	650
Test Pit 5	0
Test Pit 6	400
Test Pit 7	1040
Test Pit 9	600
Test Pit 10	2000
Test Pit 16	700

Through these observations it is considered that low lying areas within the southwest portion of the subject site and adjacent to the natural creekline may be subject to water table <500mm BGL under late winter conditions.

Therefore consideration must be made for the type of onsite effluent disposal and position of the building envelopes within lots for any future development of these areas. There should be a 500mm separation between natural ground level surface and the highest known ground water level as per the *DRAFT Country Sewage Policy* (Amended 2003).

4.7 PERMEABILITY TESTING

The permeability tests were conducted by Albany Soil and Concrete Testing and are shown below in Table 4. These results were determined by the analysis of the four main soil types identified on site: clays; sandy gravels; sands; and sandy clays. As shown in Table 4, clays and sandy clays are very poorly drained whilst sandy gravels and sands are moderately well drained and rapidly drained respectively. Please refer to Appendix E – Soil Analysis.

Table 4: Soil Sample Analysis for Permeability

Test Pit ID.	Depth of Sample (mmBGL)	Soil Description	Permeability (m/s)	Indicative drainage
TP1	1000	Clay	10^{-8}	Very Poorly Drained
TP2	500	Sand Gravel	10^{-6}	Moderately Well Drained
TP4	300	Sand	10^{-4}	Rapidly Drained
TP7	2000	Course sand Clay	10^{-9}	Very Poorly Drained

4.8 PHOSPHOROUS RETENTION INDEX

The Phosphorous Retention Index (PRI) soil analysis was conducted by CSBP Soil and Plant Laboratory. Please refer to Table 5 and Appendix E – Soil Analysis.

The PRI analysis indicates that sands and silt sands have a poor PRI of <5 whilst Clays, Coarse Sand Clays and Sand Gravels have good PRI (>5). The soil types of sandy gravel are conducive to traditional on-site effluent disposal.

Table 5: Soil Sample Analysis for PRI

Test Pit No.	Sample Depth (mmBGL)	Soil Description	PRI Result
Test Pit 1	1,000	Clay	>5
Test Pit 2	500	Sand Gravel	>5
Test Pit 3	100	Sand Gravel	>5
Test Pit 4	300	Sand	<5
Test Pit 7	2,000	Course Sand Clay	>5
Test Pit 11	50	Silt Sand	<0

The soil types with sand with gravel generally have high phosphorus retention ability as this soil type is often high in iron and aluminium oxides (Moore, 1998).

4.9 SALINITY

Soil salinity was analysed by CSBP Soil and Plant Laboratory. Please refer to Table 6 and Appendix E – Soil Analysis for results. Salinity was found to range from 0.036 dS/m to 0.228 dS/m and was within the 0.00-200.00 mS/cm range for non-saline soil where salinity effects are mostly negligible (Moore, 1998) (Note: 1 mS/cm = 1 dS/cm).

Table 6: Soil Sample Analysis for Conductivity (mS/cm)

Test Pit No.	Sample Depth (mmBGL)	Soil Description	Conductivity (dS/m)
Test Pit 1	1,000	Clay	0.036
Test Pit 2	500	Sand Gravel	0.039
Test Pit 3	100	Sand Gravel	0.051
Test Pit 4	300	Sand	0.098
Test Pit 7	2,000	Coarse Sand Clay	0.228
Test Pit 11	50	Silt Sand	0.087

4.10 PH

pH across the site ranged from pH 4.0 to pH 6.6. The average pH across the site is therefore pH 5.25. According to Moore (1998) pH of approximately 6 is unlikely to require action for soil management. However pH below 5 may indicate that soils would require management such as liming to improve production of sensitive species. For rural pursuits or to help the management of home garden soils may require amendments to increase pH levels.

Table 7: Soil Sample Analysis for pH (mixed with deionised water for analysis)

Test Pit No.	Sample Depth (mmBGL)	Soil Description	pH (H ₂ O)
Test Pit 1	1,000	Clay	6.6
Test Pit 2	500	Sand Gravel	6.5
Test Pit 3	100	Sand Gravel	4.6
Test Pit 4	300	Sand	4.0
Test Pit 7	2,000	Coarse Sand Clay	4.5
Test Pit 11	50	Silt Sand	5.3

4.11 SOILS CHEMICAL PROPERTIES

Nutrients including Nitrogen, Phosphorus, Sulphur and organic carbon were analysed across the site. Please refer to table 8 - Soil Sample Analysis for chemical properties. The results for organic carbon indicate that the soil may have a medium to high rating and have good nutrient storage capacity (Moore, 1998). Nutrients within the soil samples

indicate relatively consistent levels across the site, with the exception of TP1 where it was found that Ammonium Nitrogen and Nitrate Nitrogen were generally higher than at other test pits although Potassium levels were less.

Table 8: Soil Sample Analysis for Chemical Properties

		Test Pit 1	Test Pit 2	Test Pit 3	Test Pit 4	Test Pit 7	Test Pit 11
Soil type		Clay	Sand Gravel	Sand Gravel	Sand	Coarse Sand	Silt Sand
Ammonium Nitrogen	mg/Kg	62	1	11	4	2	7
Nitrate Nitrogen	mg/Kg	22	<1	5	1	1	10
Phosphorus Colwell	mg/Kg	2	2	36	3	2	21
Potassium Colwell	mg/Kg	16	59	50	55	18	52
Sulfur	mg/Kg	22.6	15.8	6.94	11.4	118	5.37
Organic Carbon	%	<0.50	0.73	8.97	1.83	<0.50	3.14

4.12 VEGETATION ASSESSMENT

The remnant vegetation of the site has been predominantly cleared for the purpose of grazing. Some minor pockets of vegetation remains however are of a poor condition due to having the understorey grazed. Please refer to Plate 7.



Plate 7: Remnant vegetation highly disturbed

Vegetation observed in the area is remnant Jarrah (*Eucalyptus marginata*) woodland. Many environmental weeds were also observed during the site investigation. For more detail on these please refer to 4.11.1 Weed Species Guidelines. It is recommended that these weeds are removed during the development of the site and a revegetation plan is prepared and maintained post-development to prevent the re-development of weed species.

WEED SPECIES GUIDELINES

In 2007 new legislation governing weeds was introduced, the *Biosecurity and Agriculture Management Act 2007*. This Act supersedes the *Agriculture and Related Resources Protection Act 1976*. The purpose of the *Biosecurity and Agriculture Management Act 2007* (BAM) is:

“...to prevent new animal and plant pests (weeds and vermin) and diseases from entering Western Australia, to manage the impact and limit the spread of those already present in the State, and to safely manage the use of agriculture and veterinary chemicals and ensure agricultural products are not contaminated with chemical residues” (BAM overview 2007).

Declared pests may be assigned to one of three categories. Category 1 – Exclusion covers declared pests which are not yet present in an area and therefore need to be prevented from entering that area. Category 2 – Eradication covers declared pests which are present in an area where eradicating them appears feasible. Category 3 – Management covers declared pests which are present in an area where eradication is not feasible, but where control is necessary. Control could mean reducing the numbers, distribution and spread of the declared pests or minimising the harm they do.

PURSUANT to Section 37 of the *Agriculture and Related Resources Protection Act 1976*, the Agriculture Protection Board lists the classes of plants that are subject of a declaration made under Section 35 of that Act, together with the matters specified pursuant to Subsection (2) of that Section in relation to each class as set out in the Act.

Environmental Weeds are defined by the “Environmental Weeds Strategy for Western Australia” (1999) as

“plants that establish themselves in natural ecosystems and proceed to modify natural processes, usually adversely, resulting in the decline of the communities they invade”.

Specifically; *“a weed is a plant which has, or has potential to have, a detrimental effect on economic, social or conservational values”* (Commonwealth of Australia, 1999).

At present there is no legislation governing management of Environmental Weeds. Landowners are encouraged to control movement and restrict further spread of these species in order to respect property values, including that of surrounding properties, for both economic and aesthetic principles.

The creek line has been over grown by invasive weed species including Taylorina (*Psoralea pinnata*)[Environmental Weed], Arum lily (*Zantedeschia aethiopica*)[Declared Weed], Blackberry nightshade (*Solanum nigrum*), Inkweed (*Phytolacca octandra*)[Environmental Weed] and Blackberry (*Rubus*

laudatus)[Declared Weed]. The priority listings for these species are outlined in Table 9 – Weed Species Identified.

Table 9: Weed Species Identified

Species	Common name	Priority listing
<i>Rubus laudatus</i>	Blackberry	P1
<i>Asparagus asparagoides</i>	Bridal Creeper	P1
<i>Zantedeschia aethiopica</i>	Arum Lily	P1 & P4
<i>Phytolacca octandra</i>	Inkweed	Environmental Weed
<i>Solanum nigrum</i>	Blackberry nightshade	Pest Plant
<i>Psoralea pinnata</i>	Taylorina	Environmental Weed

P1 REQUIREMENTS Prohibits movement	The movement of plants or their seeds is prohibited within the State. This prohibits the movement of contaminated machinery and produce including livestock and fodder.
P4 REQUIREMENTS Aims to prevent infestation spreading beyond existing boundaries of infestation.	The infested area must be managed in such a way that prevents the spread of seed or plant parts within and from the property on or in livestock, fodder, grain, vehicles and/or machinery. Treat to destroy and prevent seed set for all plants: <ul style="list-style-type: none"> • within 100 metres inside of the boundaries of the infested property; • within 50 metres of roads and high-water mark on waterways; and • within 50 metres of sheds, stock yards and houses Treatment must be done prior to seed set each year. Additional areas may be ordered to be treated.

(From Department of Agriculture and Food Website, accessed 17/11/08)

Where appropriate the Department of Agriculture and Food (DAF) should be consulted for the current best practices in the eradication or containment of weeds.

4.13 FIRE MANAGEMENT

A Fire Management Plan in consultation with Fire and Emergency Services Association (FESA) has not been prepared as part of this assessment. Fire management aligned to FESA guidelines states that buildings should have a minimum setback from bushfire hazards of 100 metres (hazard separation zone). Where this cannot be achieved buildings must comply with AS3959 and FESA guidelines '*Planning for Bush Fire Protection*'.

As the surrounding landscape has been cleared for grazing or residential areas the risk of fire offsite is reduced, however vegetation should be assessed for risk at the time of development. Appropriate fire management requirements of Planning for Bushfire Protection have been incorporated into the Scheme Amendment proposal (Harley *pers coms*, 2009).

4.14 WETLANDS AND WATER WAYS

A search was conducted of the Department of Water database's revealing the subject site is not in a Public Drinking Water Source Protection Area or has any wetlands of regional significance on the property.

The site is located approximately 150m from the King River. A creek flows north-south in the west of Lot 50 which has been dammed. This creek system once would have ultimately drained to the King River.

It is proposed that with careful planning of site drainage and on-site effluent disposal this development is unlikely to have a significant impact on the King River system.

5 ENGINEERING ASSESSMENT

5.1 GENERAL

A site visit was undertaken by Andrew Barker, Principal Project Engineer for Opus in light of the proposed development. The environment of the site is mainly pastured and therefore road construction and service installation should not be affected by general urban environment constructability issues such as clearing, traffic, noise and dust issues.

Although the site is on sloping land, cut and fill balances should be able to be managed through the design to reduce the volume of imported embankment or spoil materials. The land on the northern corner of the proposed development site has the steepest grades and particular attention will have to be paid to the City of Albany's Policy Document for Sloping Land (NP074144). Considerations may be given to the road alignment to follow the contours and reduce the gradient of the road and batter slopes. This may require consideration when determining the lot boundaries and subdivision layout.

Construction programming of the project should be carefully considered to take into account the building of roads and culverts in the lower lying areas and it is recommended to stage these works to coincide during drier months.

It is recommended that further Geotechnical investigation be undertaken on the road alignment to determine the bearing capacity of the underlying soil structure prior to pavement design. This would be particularly important if the proposed road alignment extends to the lower lying areas to the south of the site and the creek line that runs close to the western boundary of the site.

5.2 EASE OF EXCAVATION

The site has four main soil types as described in Section 3. The test pits indicate predominantly sandy silt overlying gravel through the northeast of the site and sand over clay in the central and western section of the site. None of the soil types encountered during test pitting are expected to pose a problem for excavation or for development of road and housing. The ease of excavation has been rated for the land capability assessment as very low limitation.

Where there is clay, it has generally been found at depth and it is unlikely that it will be encountered as part of the development. Peat within Map Unit A requires replacement for any development.

5.3 FOUNDATION STABILITY

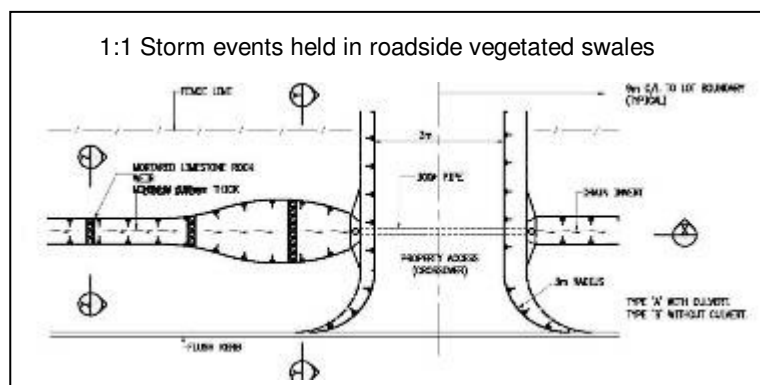
A full geotechnical investigation was not carried out as part of this land capability. Given the majority of the soils are mostly sand or silty sand with clays only found at depth, this would class the majority of the site as Class A or Class S soils. This would need to be confirmed by undertaking a formal geotechnical investigation of the site. It is recommended that this takes place once the road and lot locations have been determined.

5.4 DRAINAGE REQUIREMENTS

The majority of the north of the site is relatively free draining sandy soils and is a model site for water sensitive urban design to be applied. Water management strategies should be aligned to current Best Practise and applied to this development these include:

- Maintain and where possible enhance water quality by:
 - Minimise waterborne sediment loading;
 - Minimise export of pollutants to surface or ground water;
 - Minimise post development flows across the site;
 - Apply point source water management; and
 - Encourage prospective landowners not to use fertilisers on land.
- Encourage water conservation by:
 - Minimise the export and use of scheme water;
 - Promote the use of rainwater;
 - Promote ground water recharge; and
 - Reduce irrigation requirements.
- Management of the water regime by:
 - Prevent flood damage in existing and proposed development areas;
 - Prevent erosion of adjacent wetlands, waterways and slopes; and
 - Ensure pollutants do not enter into adjacent waterways.

A concept drainage design was not prepared as part of this site investigation. The use of water sensitive urban design principles should be considered where all 1:1 year ARI events are contained in road side swales. A representative drawing of this concept is provided below.



Larger 1:10 year ARI events will need to be detained and treated at point of source prior to being discharged from the site, it is recommended that bio-retention basins, vegetated with endemic rushes and sedges are developed at all proposed drainage points from the drainage easements. This is shown as a medium limitation in the land capability to be considered in more detail in the engineering design stage.

It is recommended that roads are aligned along contours to reduce speed of runoff along drains and to implement more effective Water Sensitive Urban Design Principles. A design which replicates the roads along the contours and the lots aligned off this would allow best Practise drainage design.

There are two distinct drainage routes through the site and the road and lot layout should consider maintaining these natural paths as far as possible for the stormwater flow through the site. These areas should be used for retaining and treating the stormwater generated by the development of the site.

5.5 WATERLOGGING HAZARD

Aerial mapping showing water logging have been mapped and were confirmed with the sampling regime undertaken in late winter. These areas have been mapped and are identified in section 7.2.7 and on Map Unit E. Unit A also has potential for water logging thus any proposed development within this unit would require the peat removed and be constructed on selected fill at above existing ground levels. Photographs below show the high water table encountered in a test pit and a typical waterlogged areas on the site.



Plate 8: TP5



Plate 9: Area below the 10m AHD Contour which was observed to be waterlogged during site assessment

Development should be excluded from these waterlogged areas and revegetation of provenance and endemic species. A weed management plan should be prepared to address the major infestations along the creek lines.

Suitable land use for the water logged areas is POS or vacant land. This land is not suitable for grazing or residential use due to the water logging through most of the year and the subsequent erosion from animals in those areas. This is mapped in the Land Capability as Map Unit E. Map units B, C and D achieve a greater than 0.5m separation from natural ground level and natural water table level under late winter conditions.

Opus recommends that the residential design is undertaken to exclude these areas, align residential areas to higher ground and parallel to contours. Residential boundaries can extend into these areas, however development is not recommended and building envelopes should be carefully considered within lots.

Lots sizes sufficiently large enough or positioned in the low lying portion of the subject site should be considered to ensure each lot has an area suitable for development (building envelopes) where 0.5m separation from the natural surface level to the ground water table under late winter conditions is achieved. This would therefore increase the capability of these lots to accommodate on-site effluent disposal. Any structural element planned for development in these areas will require advice from a structural engineer prior to development of residences.

6 COMMENT ON ONSITE EFFLUENT DISPOSAL

6.1 POLICY AND LEGISLATION

The *Draft Country Sewerage Policy* (Amended 2003) states the following specific requirements for on-site wastewater disposal. Large lots, where lot subdivision is to occur with divided parcels of land no smaller than 2000m² and development density is no greater than R5, must comply with the following criteria as discussed in the appendices of the *Draft Country Sewerage Policy* (Amended 2003):

- Irrespective of the type of on-site wastewater disposal system proposed, there *should be at least 0.5 metres separation between the natural ground surface and the highest known groundwater level;*
- *The site is required to have soil characteristics capable of receiving all wastewater likely to be generated on the site without risk to public health or the environment; and*
- *The natural land slope on which wastewater disposal is to occur shall not exceed a one in five gradient.*

Wastewater System Installation Requirements:

- *The wastewater disposal site should not be subject to inundation or flooding at a probability greater than once in 10 years;*
- *No wastewater system shall be constructed so that effluent or liquid wastes will be discharged into the ground at a distance less than 30 metres from any well, stream or private supplies intended for consumption by humans;*
- *The depth to highest groundwater level from the underside of a septic tank effluent drainage receptacle shall be a minimum of 1.2 metres. (For existing developed areas or infill areas a depth to highest known groundwater level may be a minimum of 1.2metres from ground level);*
- *Setbacks, groundwater clearance and installation requirements of systems other than conventional septic tank systems shall comply with any particular treatment relevant to the particular system. These are as required under the Health (Treatment of Sewerage and Disposal of Effluent and Liquid Waste) Regulations 1974, or conditions set by the Executive Director, Public Health.*

The Draft Country Sewerage Policy requires minimum setbacks and buffer distances to ensure that material does not leach into adjacent areas. The area around the creek flowing through the east of the site may be classified as Environmentally Sensitive Area according to the Draft Country Sewerage Policy. The Draft Country Sewerage Policy States the following requirements:

Table 10: Definition of Environmentally Sensitive areas. Adapted from the Draft Country Sewage Policy 2003

Feature	Soil Type	Minimum buffer distance	Comments
<i>Environmentally sensitive areas (1) – wetlands (h) only</i>	<i>All soils</i>	<i>50 metres</i>	<i>This buffer reflects the Water and Rivers Commission's and Environmental Protection Authority's policies on the minimum buffer required for any type of development near a wetland</i>
<i>Environmentally sensitive areas (1) - watercourses, estuaries and marine environment only</i>	<i>All soils</i>	<i>30 metres</i>	<i>Where floodplain mapping information (eg flood levels) is not available, the wastewater disposal area should be at least 30 metres from the edge of a watercourse channel.</i> <i>The wastewater disposal system should only be located at this distance if installation does not disturb riparian vegetation.</i>

The Draft Country Sewerage Policy (Amended 2003) indicates the minimum buffer distance for conventional septic systems and non-phosphate removing Alternative Treatment Systems for soils with PRI <5 to Environmental Sensitive areas – all water features of 100m. However the minimum distance to water courses (for all soils) may be reduced to 30m by the installation of WA Health Department approved phosphate removing Alternative Treatment systems.

6.2 RECOMMENDATIONS

It has been identified from the site investigation carried out for the purpose of this report that Lot 50 can meet onsite effluent disposal requirements if approved phosphate removing ATUs are used for residential development where sand/silt soils with PRI <5 are present and the 30m buffer is applied to all creeks and water bodies on site.

If non-phosphate removing ATUs are utilised in the areas adjacent to the creek lines and water bodies a 100m buffer would be required. This includes the use of traditional septic tank systems. Please refer to map on Page 33.

It is also recommended to ensure adequate effluent treatment for sand with gravel soils where the PRI is >5 that non-phosphate removing ATUs are considered at the time of development of the site, however traditional septic systems may be adequate in the eastern portion of the lot where soils consist of gravel sand which are moderately well drained and have PRI >5.

A 500mm separation distance from the natural surface level to the highest known groundwater table level and a minimum depth of 1.2m from the underside of a septic tank effluent drainage receptacle must be achieved for on-site effluent disposal.

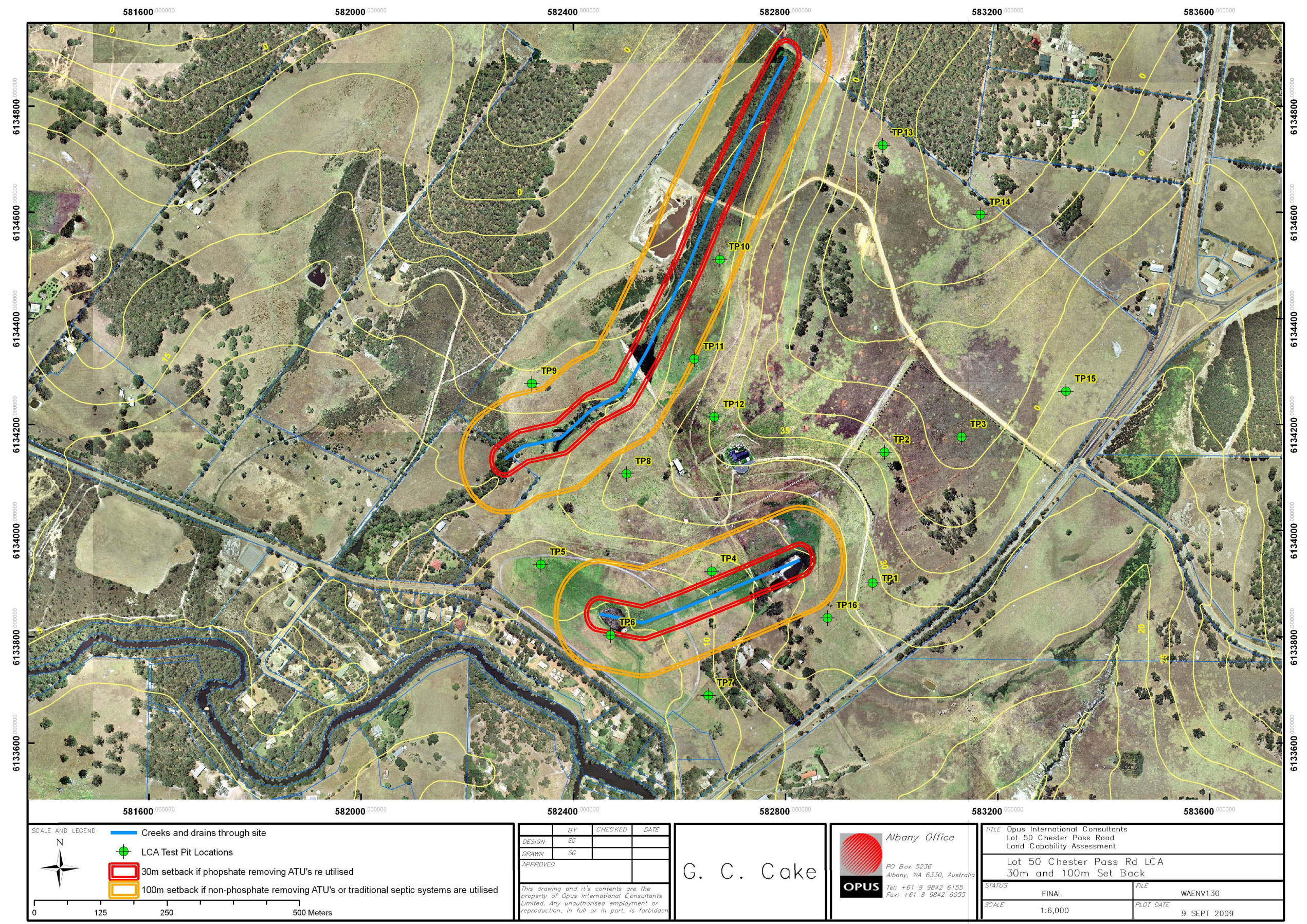
The minimum requirement of 500mm BGL to the water table was not achieved at TP5 and TP6 (0mm to 400mm respectively).

It is therefore recommended that lots in the low lying areas of the site are sufficiently large enough to allow for building envelopes to be situated at elevations which allow for the required 500mm separation from the natural surface level to groundwater table under late winter conditions.

With regard to the *Draft Country Sewage Policy* (amended 2003) it is recommended that Lot 50 has demonstrated capacity to support effluent absorption with the following conditions:

- A 30m setback is applied from all creeks and drains from phosphate removing ATU's and effluent disposal. Please see page 33;
- A 100m setback is applied from all creeks and drains from traditional septic systems and non-phosphate removing ATU's;
- Areas which achieve a 500mm water table clearance (Map Unit B, C and D) are suitable for on-site effluent disposal;
- Map Unit A is not regarded as being suitable for on-site effluent disposal without significant amendment;
- Onsite effluent disposal fields are located in designated building envelopes;
- Health Department approved phosphate removing ATUs are utilised in the low lying portions of the site where sand/silt soils are present; and
- Non phosphate removing ATUs should be considered for effluent disposal in areas where PRI >5.

Opus concludes that the subject site is capable of supporting on-site effluent disposal with the above limitations to reduce negative impacts to the surrounding environment or watercourses.



7 LAND CAPABILITY ASSESSMENT

7.1 DESCRIPTION OF LAND USE REQUIREMENTS

The LCA compares the physical requirements for a particular land use with land resource characteristics. This analysis determines the ability of the land to sustain a particular land use whilst minimising impact on the surrounding environment.

The Land Use proposed for this development is 'Special Rural' as per the Western Australia Planning Commission (WAPC) Land Capability Assessment for Local Rural Strategies Guidelines and Department of Agriculture Western Australia Land evaluation standards for Land Resource Mapping.

PHYSICAL REQUIREMENTS 'RURAL RESIDENTIAL'

The qualities required for consideration for this zoning at Lot 50 are defined by Agriculture Western Australia as being:

Rural Residential development with on-site effluent disposal

- *Land should be free from effects of storm surge, flooding, wave erosion or slope instability;*
- *Land should not be susceptible to a degree of erosion hazard which would prohibit its sustained use or cause off-site effects detrimental to adjacent land users or the community;*
- *Soils for effluent disposal area to be sufficiently permeable and absorptive to accept and purify effluent;*
- *Ground water or surface pollution does not occur on site or off-site;*
- *Land is sufficiently free of water logging and inundation; and*
- *Land is not saline so that trees, garden or lawn establishment becomes prohibitive.*

LAND RESOURCE CHARACTERISTICS

The Land Resource Characteristics include:

- Soil and Landscape characteristics, including texture, depth, soil profile, aspect, slope and water table;
- Soil testing and Laboratory analysis;
- Environmental mapping; and
- Historical land use.

The characteristics for the site have been assessed through the excavation of the 16 test pits to gain a representation of the site. The findings of each test pit have been summarised into map units as discussed previously, with Map Unit E being added at this point in the assessment to address areas such as the creek line which did not undergo soil

testing. The map units have grouped soil characteristics that shall be referred to in the Land Capability Rating procedure and have been summarised in Table 11 and Appendix F – Map Units.

Table 11: Land Resource Characteristics Map Units

Map Unit	Land Resource Characteristics
A	<p>Peat Over Silt Sand/ Sand or Clay</p> <p>Located >15m AHD these soils generally comprise of brown and grey silt sand over clays with a peat layer ranging from 0-250mm BGL. Clays were not encountered above 1000mm BGL and rock was encountered in one of the three test pits located within this map unit at 1500mm BGL (TP4). Sands are generally rapidly drained with clays being very poorly drained. This area was observed to be inundated during late winter water table conditions with water table being observed to be between 0mm BGL and 650mm BGL. Sands generally have a poor PRI of <5 whilst clays have a PRI >5. Slope is between 0 and 5%</p>
B	<p>Sand/Sandy Gravel over Sand/Gravel/Clay over Clay</p> <p>Sand/sandy gravel over sand/gravel/clay over clay with variable depth to clay; 150mm BGL (TP1) to 1100mm BGL at TP10. Soils encountered within these profiles were predominantly light and dark brown, orange and mottled yellow/white/red sandy clays and were generally encountered above the 15m AHD contour. Sands are generally rapidly drained with poor PRI (<5). Gravels are moderately well drained with good PRI (>5). Clays are very poorly drained with good PRI (>5). Slope for this area is between 5 and 10%. Map Unit B contains some of the steeper gradients on Lot 50. Water table was observed at TP7 and TP16 at 1040mm BGL and 700mm BGL respectively.</p>
C	<p>Sand over Clay</p> <p>Test pits within Map Unit B recorded dark to light brown coarse sand over white or orange silty sandy clay. This soil was encountered in the western portion of Lot 50 between the 15m AHD and 30m AHD contours. Sands are rapidly drained with PRI <5 with clays being very poorly drained and PRI >5. Water table was encountered at TP9 at 600mm BGL.</p>
D	<p>Sand over Gravel</p> <p>TP15 was the only test pit to have recorded this soil type. It is characterised by brown to white rapidly draining silt sand with PRI <5 over orange gravel which is moderately drained with PRI >5. These soils were observed to be moist. Water table not encountered. This soil profile is located in the eastern portion of Lot 50.</p>
E	<p>Map Unit E is likely to be a transitional soil profile between Map Units B and C, however this was not confirmed during the site investigation due to inundation of these areas.</p>

8 Land Resource Survey

8.1 QUALITIES AND LIMITATIONS

The proposed land use has a set of qualities for which the Land Capability Assessment will be considered. Table 12 below outlines the landscape qualities and characteristics that will be assessed within the scope of this investigation.

Table 12: Landscape Qualities and Characteristics to be assessed

Landscape qualities	Sub class	Residential Use in 'Rural Residential' areas (with septic tanks)	Rural Use in 'Rural Residential' areas (with Hobby Farm Grazing, Annual & Perennial Horticulture)
Ease of excavation	x	*	
Foundation stability	b	*	
Water logging hazard	i	*	*
Water erosion hazard	e	*	*
Soil salinity	y	*	*
Soil absorption ability	a	*	*
Microbial purification	p	*	
Wind erosion hazard	w	*	*
Bushfire hazard	z	*	
Services (reticulated water, power, telephone)	c	*	
Flood hazard	f	*	*
Water pollution hazard	s	*	*
Phosphorus retention ability	pri	*	
Water availability	g		*
Native vegetation retention	v	*	
Soil trafficability	t		*
Soil fertility status	l		*
Soil moisture availability	m		*
Rooting conditions	r		*
Soil workability	k		*
Acid Sulphate Soils	as	*	*

The landscape qualities are surveyed from the previously presented information in this report (Sections 2-6) and assessed for capability. The Department of Agriculture utilises a five class system of assessing land capability, these five classes rate the degree of physical limitations associated with land use and management needed for these. Please refer to Table 13 over page.

Table 13: Land Capability Classes (Department of Agriculture WA)

CAPABILITY CLASS	DEGREE OF LIMITATION	GENERAL DESCRIPTION
I	Very low	Areas with a very high capability for the proposed activity or use. Very few physical limitations to the specified use are present or else they are easily overcome. Risk of land degradation under the proposed use is negligible.
II	Low	Areas with a high capability for the proposed activity or use. Some physical limitations to the use do occur affecting either its productive use or the hazard of land degradation. These limitations can however, be overcome through careful planning.
III	Moderate	Areas with a fair capability for the proposed activity or use. Moderate physical limitations to the land use do occur which will significantly affect its productive use or result in moderate risk of land degradation unless careful planning and conservation measures are undertaken.
IV	High	Areas with a low capability for the proposed activity or use. There is a high degree of physical limitations which are either not easily overcome by standard development techniques or which result in a high risk of land degradation without extensive conservation requirements.
V	Very High	Areas with a very poor capability for the proposed activity or use and the severity of physical limitations is such that its use is usually prohibitive in terms of either development costs or the associated risk of land degradation.

8.2 LAND CAPABILITY RATING FOR LAND USE RURAL RESIDENTIAL – DEGREE OF LIMITATION

Land qualities have been assessed in terms of the degree of limitation to the proposed land-use. The limitation is then matched to what the land can support and rated on the limitations map (each Map unit has a limitation map proceeding). The limitations which affect the proposed land-use are given ratings and keys according to their Land Capability Sub-class. Limitations which record very low (I) are not mapped as they are not deemed to be a limiting factor to the proposed land use.

DEGREE OF RESIDENTIAL LIMITATION – MAP UNIT A

Table 14: Degree of Limitation for Map Unit A. Capability: Residential

Limitation	Description	Degree of Limitation	Rating & Subclass
Ease of excavation (x)	Inundated soils in low areas, generally clay and peat. Rock encountered at 1500mm in TP4. Excavation during dry periods would result in a moderate degree of limitation.	Moderate-High	III-IV(x)
Foundation stability (b)	Peat depth 0-150mm and clays approximately around 1250-1500mm BGL.	Moderate-High	III-IV(b)
Waterlogging/ inundation risk (i)	Water table above 0mm BGL - 650mm BGL. Seasonally waterlogged/ inundated	High	IV(i)
Water erosion hazard (e)	Not deemed to have inherent risks if remnant vegetation and pasture cover remains intact – area relatively flat – unlikely to be scoured by water movement however sand with silt soil type may be eroded if adequate measures are not made for silt control. Construction techniques must be adopted to minimise erosion of soil and prevention of scour	Very Low	I(e)
Soil salinity (y)	Non saline	Very Low	I(y)
Soil absorption ability (a)	Soil profile indicates clays approximately 1250mm to 1500mm BGL and peat between 0mm and 150mm BGL. These is a high risk of waterlogging/ inundation and depth to water table is 0-650mm BGL	High	IV(a)
Microbial purification (p)	Clay is imperfectly draining with high risk of waterlogging.	High	IV(p)
Wind erosion hazard (w)	Not deemed to have inherent risks if remnant vegetation and pasture cover remains intact	Very Low	I(w)
Bushfire hazard (z)	Minimal vegetation on site. Lot 50 is not surrounded by unbroken vegetation which may cause a high fire risk. Fire breaks in place throughout bushland surrounding the site. Lot 50 predominantly comprised of pasture.	Very Low	I(z)

Services (scheme water, power, telephone) (c)	Low physical limitations.	Very low	I(c)
Flood hazard (f)	High risk of flooding during extreme weather events. Flood waters will flow offsite into the King River (Low in aspect/catchment).	High	IV(f)
Water pollution hazard (s)	Soils with low microbe disinfecting ability and low nutrient retention capacity	High	IV(s)
Phosphorous retention ability (pri)	Poor PRI capability of <5. Recorded phosphorus levels were low.	Moderate	III(pri)
Native vegetation retention (v)	Native vegetation where present is recommended to be retained if practical.	Low	II(v)
Acid Sulphate Soils (as)	Low to Moderate risk of Acid Sulphate Soils <3m BGL.	Moderate-Low	II-III(as)

Residential Limitations Include:

- Ease of excavation III-IV(x);
- Foundation Stability III-IV(b);
- Waterlogging/ inundation risk IV(i);
- Soil absorption ability V(a);
- Phosphorous Retention Ability III(pri);
- Microbial purification IV(p);
- Flood hazard IV(f);
- Water pollution hazard IV(s); and
- Acid Sulphate Soil II-III(as).

Overall Capability Rating for Residential Land Use - IV Area with low capability, high degree of physical limitations

Opus recommends:

- Excavation carried out in dry periods to reduce limitation to Moderate;
- Lots within this map unit positioned to allow for the required 500mm separation to water table;
- Building envelop position confirmed for separation to water table and foundation stability through detailed geotechnical investigation;
- Peat will be required to be removed if it is proposed to develop this area due to foundation stability;
- Use of phosphorus removing ATUs for onsite effluent disposal to achieve 30m setback to water bodies; and
- Acid Sulfate Soil Investigation if soil disturbance is proposed.

DEGREE OF RURAL LIMITATION – MAP UNIT A

Table 15: Degree of Limitation for Map Unit A. Capability: Rural

Limitation	Description	Degree of Limitation	Rating & Sub-class
Waterlogging/ inundation risk (i)	Water table above 0mm BGL - 650mm BGL. Seasonally inundated.	High	IV(i)
Soil salinity (y)	Non saline: 0.098 mS/cm	Very low	I(y)
Soil absorption ability (a)	Soil profile indicates clays approximately 1250mm to 1500mm BGL and peat between 0mm and 150mm BGL. These is a high risk of waterlogging/ inundation and depth to water table is 0-650mm BGL	High	IV(a)
Wind erosion hazard (w)	Not deemed to have inherent risks if remnant vegetation and pasture cover remains intact	Very low	I(w)
Flood hazard (f)	High risk of flooding during extreme weather events. Flood waters will flow offsite into the King River (Low in aspect/catchment).	High	IV(f)
Water pollution hazard (s)	Soils with low microbe disinfecting ability and low nutrient retention capacity	High	IV(s)
Water availability (g)	Not deemed to have inherent risks if remnant vegetation and pasture cover remains intact – area relatively flat – unlikely to be scoured by water movement however sand with silt soil type may be eroded if adequate measures are not made for silt control. Construction techniques must be adopted to minimise erosion of soil and prevention of scour	Very Low	I(e)
Soil trafficability (t)	Water logging and clay make trafficability by 4x4 difficult during late winter. Movement of machinery (i.e. tractors) may result in soil degradation.	High	IV(t)
Soil fertility status (l)	Surface soils consist of peat with underlying sandy silt and clay silts	Moderate	III(l)
Soil moisture availability (m)	Waterlogged. Water table may result in moisture availability.	Very Low	I(m)
Rooting conditions (r)	Clay silty sands with surface peat	Very Low	I(r)
Soil workability (k)	Very poor due to water logging	High	IV(k)

Acid Sulphate Soils (as)	Low to Moderate risk of Acid Sulphate Soils <3m BGL.	Moderate-Low	II-III(as)
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Rural Limitations Include:

- Waterlogging/ inundation risk IV(i);
- Soil absorption ability IV(a);
- Flood hazard IV(f);
- Soil trafficability IV(t);
- Water pollution hazard V(s);
- Soil fertility status III(l);
- Soil workability IV(k); and
- Acid Sulphate Soil II-III(as).

Opus recommends that this site be excluded from intensive rural purpose and nutrients be managed due to waterlogging and flooding risk. The area currently supports the grazing of live stock however not at an intensive rate. The overall ability for this site for rural use is moderate.

Overall Capability Rating for Rural Land Use – III - IV Area with fair to low capability, moderate physical limitations



Map Unit A

Peat over Silt Sand or Sand

Residential Limitations

Residential Limitations Include:

- Ease of excavation III-IV(x);
- Foundation Stability III-IV(b);
- Waterlogging/ inundation risk IV(i);
- Soil absorption ability V(a);
- Phosphorous Retention Ability III(pri);
- Microbial purification IV(p);
- Flood hazard IV(f);
- Water pollution hazard IV(s); and
- Acid Sulphate Soil II-III(as).

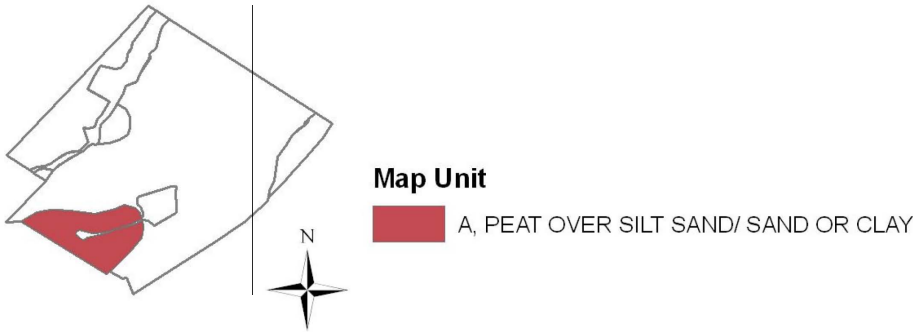
Overall Capability Rating for Residential Land Use - IV Area with low capability, high degree of physical limitations

Rural Limitations

Rural Limitations Include:

- Waterlogging/ inundation risk IV(i);
- Soil absorption ability IV(a);
- Flood hazard IV(f);
- Soil trafficability IV(t);
- Water pollution hazard V(s);
- Soil fertility status III(l);
- Soil workability IV(k); and
- Acid Sulphate Soil II-III(as).

Overall Capability Rating for Rural Land Use – III - IV Area with fair to low capability, moderate physical limitations



DEGREE OF RESIDENTIAL LIMITATION – MAP UNIT B

Table 16: Degree of Limitation for Map Unit B. Capability: Residential

Limitation	Description	Degree of Limitation	Rating & Subclass
Ease of excavation (x)	Mainly sand over sandy gravel over clay resulting in a moderate limitation. Low lying areas inundated causing a moderate limitation and free draining in higher areas resulting in a low limitation.	Moderate	III(x)
Foundation stability (b)	Clay silts and silt clays with gravel. Some amendments may be required. Site diversity will mean site specific amendments (subject to engineering). Clays at varying depths.	Moderate	III(b)
Waterlogging/ inundation risk (i)	Water table encountered in TP7 at 1040mm BGL and TP16 at 700mm BGL. Minimal risk of water logging. However some risk at contours below 25m. Slopes allow for minimal inundation risk. Sands are generally free draining. Variable clay depths may increase a degree of limitation.	Low	II(i)
Water erosion hazard (e)	Map Unit contains steep areas which may result in some water erosion if pasture is removed.	Low-Moderate	II-III(e)
Soil salinity (y)	Non saline	Very Low	I(y)
Soil absorption ability (a)	Mainly sandy gravels, sandy clays and silty clays. Inundation may occur in flat areas or areas not within a steep gradient.	Low - Moderate	II-III(a)
Microbial purification (p)	Soils are considered moderately to well drained with good PRI (>5) (Sandy gravels and sandy clays).	Low	II(p)
Wind erosion hazard (w)	Not deemed to have inherent risks if remnant vegetation and pasture cover remains intact	Very Low	I(w)
Bushfire hazard (z)	Minimal vegetation on site. Lot 50 is not surrounded by unbroken vegetation which may cause a high fire risk. Fire breaks in place throughout bushland surrounding the site. Lot 50 predominantly comprised of pasture.	Very Low	I(z)

Services (scheme water, power, telephone) (c)	Low physical limitations.	Very low	I(c)
Flood hazard (f)	Minimal flood hazard as elevation is generally between 15m AHD and 60m AHD with gradients directing water offsite.	Very Low (high elevation) – Low (low elevation)	I-II(f)
Water pollution hazard (s)	Sandy gravels/clays which are moderately drained with PRI >5. Separation from groundwater >500mm. May be a water pollution hazard for lower lying areas outside this Map Unit	Low-Moderate	II-III(s)
Phosphorous retention ability (pri)	Good PRI (>5).	Low	II(pri)
Native vegetation retention (v)	Some remnant vegetation, mainly individual trees. Any native trees should be considered to be retained.	Moderate	III(v)
Acid Sulphate Soils (as)	Extremely low to low probability of ASS occurrence	Very low	I(as)

Residential Limitations Include:

- Ease of excavation III(x);
- Foundation Stability III(b);
- Waterlogging/ inundation risk II(i)
- Water erosion hazard II-III(e);
- Soil absorption ability II-III(a);
- Microbial purification II(p);
- Flood Hazard I-II(f);
- Water pollution hazard II-III(s);
- Phosphorus retention ability II(pri); and
- Native vegetation retention III(v).

Overall Capability Rating for Residential Land Use – II-III Area with high to fair capability, some physical limitations

Opus therefore recommends:

- That Map Unit B is capable of supporting development however due to clays and gravels at varying depths the ease of excavation, foundation satiability and 500mm separation to groundwater will need to be verified through a geotechnical investigation for proposed building envelopes at the time of development;
- Map Unit B contains some pockets of remnant native vegetation which may be retained to promote regrowth of remnant native vegetation on site; and
- Consideration of utilisation of ATUs for onsite effluent deposal to ensure adequate control of nutrients dye to clay layer at variable depth.

DEGREE OF RURAL LIMITATION – MAP UNIT B

Table 17: Rural Limitation – Map Unit B

Limitation	Description	Degree of Limitation	Rating & Sub-class
Waterlogging/ inundation risk (i)	Water table encountered in TP7 at 1040mm BGL and TP16 at 700mm BGL. Minimal risk of water logging. However some risk at contours below 25m. Slopes allow for minimal inundation risk. Sands are generally free draining. Variable clay depths cause a higher degree of limitation.	Low (high elevation) – Moderate (low elevation)	II-III(i)
Soil salinity (y)	Non saline.	Very low	I(y)
Soil absorption ability (a)	Mainly sandy gravels, sandy clays and silty clays. Inundation may occur in flat areas or areas not within a steep gradient.	Low (high elevation) – Moderate (low elevation)	II-III(a)
Wind erosion hazard (w)	Not deemed to have inherent risks if remnant vegetation and pasture cover remains intact	Very Low	I(w)
Flood hazard (f)	Minimal flood hazard as elevation is generally between 15m AHD and 60m AHD with gradients directing water offsite.	Very Low (high elevation) – Low (low elevation)	I-II(f)
Water pollution hazard (s)	Sandy gravels/clays which are moderately drained with PRI >5. Separation from groundwater >500mm.	Low-Moderate	II-III(s)
Water availability (g)	Site currently has dams on site.	Very Low	I(g)
Soil trafficability (t)	Easily trafficable with areas of compacted sand and gravel.	Very Low	I(t)
Soil fertility status (l)	Site believed to have moderate fertility: <i>Coloured sands or sandy or silty loam or duplex soils, with considerable organic matter</i>	Moderate	III(l)
Soil moisture availability (m)	Clay soils and gravel soils help retain moisture.	Very Low	I(m)
Rooting conditions (r)	Clay silty sands with gravels allowing vegetation to penetrate soils	Very Low	I(r)

Soil workability (k)	Clays and gravels allow for moderate soil workability	Moderate	III(k)
Acid Sulphate Soils (as)	Extremely low to low probability of ASS occurrence	Very low	I(as)

Rural Limitations Include:

- Waterlogging/ inundation risk II-III(i);
- Soil absorption ability II-III(a);
- Water pollution hazard II-III(s) as soils are clay and retain water;
- Soil workability III(k) due to gravels and clays;
- Soil fertility status III(l); and
- Soil workability III(k).

Overall Capability Rating for Rural Land Use – II-III Area with high to fair capability with some physical limitations

Opus therefore recommend:

- Waterlogging/ inundation and soil absorption ability have low limitations at higher elevations than at low elevations which increase the limitation to moderate. Management of these areas should take into account the transport of nutrients from slopes to low lying areas during high rainfall periods which may result in water pollution of ground and surface water.



0 250 500 1,000 Meters

Map Unit B

Sand/Sandy Gravel over Sand/Gravel/Clay over Clay

Residential Limitations

Residential Limitations Include:

- Ease of excavation III(x);
- Foundation Stability III(b);
- Waterlogging/ inundation risk II(i)
- Water erosion hazard II-III(e);
- Soil absorption ability II-III(a);
- Microbial purification II(p);
- Flood Hazard I-II(f);
- Water pollution hazard II-III(s);
- Phosphorus retention ability II(pri); and
- Native vegetation retention III(v).

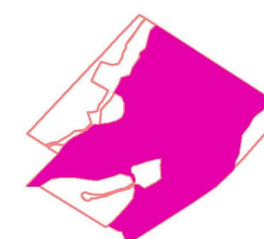
Overall Capability Rating for Residential Land Use – II-III Area with high to fair capability, some physical limitations

Rural Limitations

Rural Limitations Include:

- Waterlogging/ inundation risk II-III(i);
- Soil absorption ability II-III(a);
- Water pollution hazard II-III(s) as soils are clay and retain water;
- Soil workability III(k) due to gravels and clays;
- Soil fertility status III(l); and
- Soil workability III(k).

Overall Capability Rating for Rural Land Use – II-III Area with high to fair capability with some physical limitations



B, SAND/SANDY GRAVEL OVER SAND/GRAVEL/CLAY OVER CLAY

DEGREE OF RESIDENTIAL LIMITATION – MAP UNIT C

Table 18: Degree of Limitation for Map Unit C. Capability: Residential

Limitation	Description	Degree of Limitation	Rating & Subclass
Ease of excavation (x)	Sand over clay. Water table observed in TP9 at 900mm BGL.	Very Low	I(x)
Foundation stability (b)	Clay silts and silt clays with gravel. Some amendments may be required. Site diversity will mean site specific amendments.	Low to Moderate	II-III(b)
Waterlogging/ inundation risk (i)	Soils generally free draining. Water table observed in TP9 at 900mm BGL.	Low	II(i)
Water erosion hazard (e)	Map Unit contains steep areas which may result in some water erosion if pasture is removed.	Low-Moderate	II-III(e)
Soil salinity (y)	Soil salinity ranges from 0.228 mS/cm to 0.051 mS/cm	Very Low	I(y)
Soil absorption ability (a)	Soils are generally free draining with some cohesion with gravel and silt. Water table observed in TP9 at 600mm BGL	Moderate	III(a)
Microbial purification (p)	Poor PRI and depth to water table may increase limitation	Moderate	III(p)
Wind erosion hazard (w)	Not deemed to have inherent risks if remnant vegetation and pasture cover remains intact	Very Low	I(w)
Bushfire hazard (z)	Minimal vegetation on site. Lot 50 is not surrounded by unbroken vegetation which may cause a high fire risk. Fire breaks in place throughout bushland surrounding the site. Lot 50 mainly comprised of pasture.	Very Low	I(z)
Services (scheme water, power, telephone) (c)	Low physical limitations.	Very low	I(c)
Flood hazard (f)	Flood risk on contours greater than 30m AHD is low whilst areas below 25m have a moderate risk	Low – Moderate	II-III(f)
Water pollution hazard (s)	Water table observed at 900mm BGL.	Moderate	III(s)

Phosphorous retention ability (pri)	PRI for sandy gravels is generally >5.	Very Low	I(pri)
Native vegetation retention (v)	Some remnant vegetation, mainly individual trees. Any native trees shall be retained where practical.	Moderate	III(v)
Acid Sulphate Soils (as)	Extremely low to low probability of ASS occurrence in higher elevations with Moderate probability closer to the creek line.	Low - Moderate	II-III(as)

Residential Limitations Include:

- Foundation stability II-III(b);
- Waterlogging/ inundation risk II(i);
- Water erosion hazard II-III(e);
- Soil absorption ability III(a);
- Microbial purification III(p);
- Flood Hazard II-III(f);
- Water pollution hazard III(s);
- Native Vegetation III(v) to be retained and conserved; and
- Acid Sulphate soils II-III(as).

Overall Capability Rating for Residential Land Use – II-III High to Fair capable of supporting land use with some physical limitations

Opus therefore recommend:

- A geotechnical investigation is undertaken at the developmental stage on proposed building envelopes to establish the foundation stability and depth to groundwater (to achieve 500mm clearance to groundwater);
- Setbacks to the creek system are applied and considered when placing building envelopes; and
- Urban Water Sensitive Design principles are incorporated to minimise water pollution hazards and microbial purification risks of ground and surface water on and off site.

DEGREE OF RURAL LIMITATION – MAP UNIT C

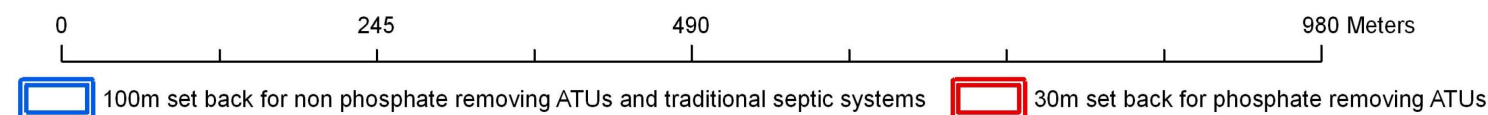
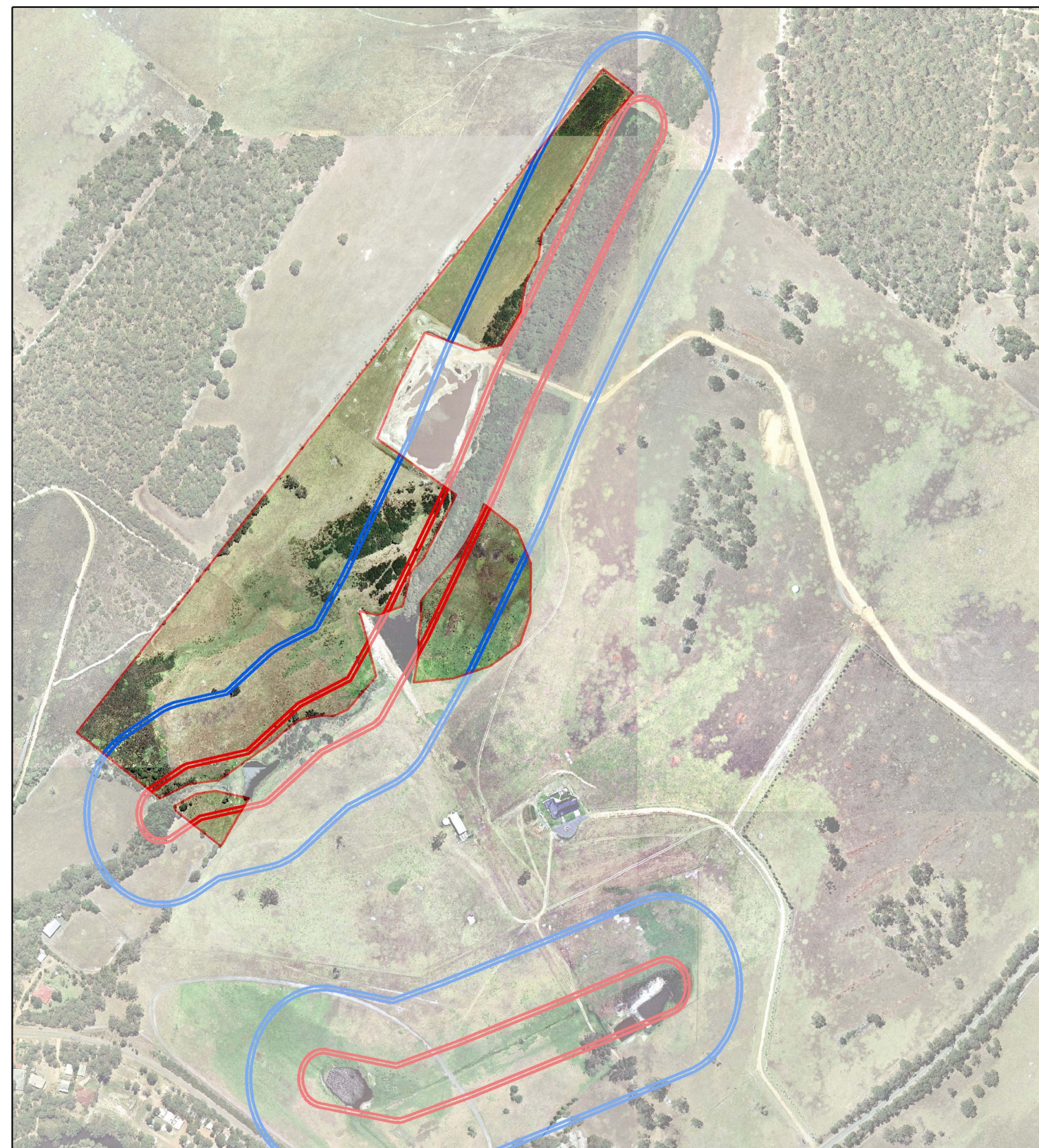
Table 19: Rural Limitation – Map Unit C

Limitation	Description	Degree of Limitation	Rating & Sub-class
Waterlogging/ inundation risk (i)	Soils generally free draining. Water table observed in TP9 at 900mm BGL.	Low	II(i)
Soil salinity (y)	Soil salinity ranges from 0.228 mS/cm to 0.051 mS/cm	Very low	I(y)
Soil absorption ability (a)	Soils are generally free draining with some cohesion with gravel and silt. Water table observed in TP9 at 600mm BGL	Moderate	III(a)
Wind erosion hazard (w)	Not deemed to have inherent risks if remnant vegetation and pasture cover remains intact	Very Low	I(w)
Flood hazard (f)	Flood risk on contours greater than 30m AHD is low whilst areas below 25m have a moderate risk	Low – Moderate	II-III(f)
Water pollution hazard (s)	Water table observed a 900mm BGL in TP9. Overland flow may increase risk with rural uses.	Low	II(s)
Water availability (g)	Water available through creekline running through site and dams.	Very Low	I(g)
Soil trafficability (t)	Easily trafficable with areas of compacted sand and gravel.	Very Low	I(t)
Soil fertility status (l)	Site believed to have moderate fertility: <i>Coloured sands or sandy or silty loam or duplex soils, with considerable organic matter</i>	Moderate	III(l)
Soil moisture availability (m)	Areas observed as being moist. Does not have physical attributes resulting in poor soil moisture availability. Water table observed at 900mm BGL.	Very Low	I(m)
Rooting conditions (r)	Silty sands with gravels allowing vegetation to penetrate soils and anchor	Very Low	I(r)
Soil workability (k)	Gravels allow for moderate soil workability	Moderate	III(k)
Acid Sulphate Soils (as)	Extremely low to low probability of ASS occurrence in higher elevations with Moderate probability closer to the creek line.	Low - Moderate	II-III(as)

Rural Limitations Include:

- Waterlogging/ inundation risk II(i);
- Soil absorption ability III(a);
- Flood hazard II-III(f);
- Water pollution hazard II(s);
- Soil fertility status III(l);
- Soil workability III(k); and
- Acid Sulphate soils II-III(as).

Overall Capability Rating for Rural Land Use – II-III High to Fair capable of supporting land use with some physical limitations



Map Unit C

Silty Sandy Gravels/Sandy Silty Gravels

Residential Limitations

Residential Limitations Include:

- Foundation stability II-III(b);
- Waterlogging/ inundation risk II(i);
- Water erosion hazard II-III(e);
- Soil absorption ability III(a);
- Microbial purification III(p);
- Flood Hazard II-III(f);
- Water pollution hazard III(s);
- Native Vegetation III(v) to be retained and conserved; and
- Acid Sulphate soils II-III(as).

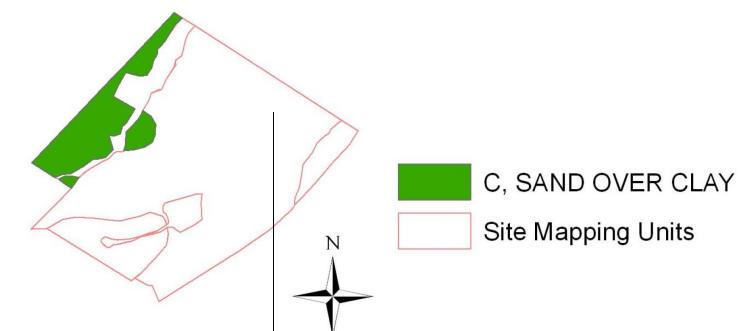
Overall Capability Rating for Residential Land Use – II-III High to Fair capable of supporting land use with some physical limitations

Rural Limitations

Rural Limitations Include:

- Waterlogging/ inundation risk II(i);
- Soil absorption ability III(a);
- Flood hazard II-III(f);
- Water pollution hazard II(s);
- Soil fertility status III(l);
- Soil workability III(k); and
- Acid Sulphate soils II-III(as).

Overall Capability Rating for Rural Land Use – II-III High to Fair capable of supporting land use with some physical limitations



DEGREE OF RESIDENTIAL LIMITATION – MAP UNIT D

Table 20: Degree of Limitation for Map Unit D. Capability: Residential

Limitation	Description	Degree of Limitation	Rating & Subclass
Ease of excavation (x)	Silty Sand to 1900mm BGL. Gravels 1900-2000mm BGL. No rock or Clay.	Very Low	I(x)
Foundation stability (b)	Sily Sands not deemed to have high limitations for foundation stability	Very Low	I(b)
Waterlogging/inundation risk (i)	Silty Sands rapidly drained	Very Low	I(i)
Soil salinity (y)	Not Saline	Very Low	I(y)
Soil absorption ability (a)	Soils rapidly draining	Very Low	I(a)
Microbial purification (p)	Soils may lack purification abilities if they are sands which freely drain into the water table	Low	IV(p)
Wind erosion hazard (w)	Not deemed to have inherent risks if remnant vegetation remains intact	Very Low	I(w)
Bushfire hazard (z)	Minimal vegetation on site. Lot 50 is not surrounded by un broken vegetation which may cause a high fire risk. Fire breaks in place throughout bushland surrounding the site. Lot 50 mainly comprised of pasture.	Very Low	I(z)
Services (scheme water, power, telephone) (c)	Easy access to services via Chester Pass road reserve	Very Low	I(c)
Flood hazard (f)	Area higher in the landscape (30-45m AHD)	Very Low	I(f)
Water pollution hazard (s)	Free draining sands with no observed water table.	Very Low	I(s)
Phosphorous retention ability (pri)	Poor PRI <5	High	IV(pri)

Native vegetation retention (v)	Pasture only	Very Low	I(v)
Acid Sulphate Soils (as)	Very Low risk of ASS	Very Low	I(as)

Residential Limitations Include:

- Microbial purification IV(p); and
- Phosphorus retention ability IV(pri).

Overall Capability Rating for Residential Land Use – I Areas with a very high capability for the proposed activity or use. Very few physical limitations

Opus therefore recommend:

- Due to the rapidly draining Silt Sand and the poor PRI (<5) it is not recommended that traditional septic or non phosphate removing ATUs are positioned within this soil unit or have effluents disposed of in this unit;
- Consider use of phosphate removing ATU's due to poor phosphorus retention ability.

DEGREE OF RURAL LIMITATION – MAP UNIT D

Table 21: Rural Limitation – Map Unit D

Limitation	Description	Degree of Limitation	Rating & Sub-class
Waterlogging/ inundation risk (i)	Silty Sand to 1900mm BGL. Gravels 1900-2000mm BGL. No rock or Clay.	Very Low	I(x)
Soil salinity (y)	Non Saline	Very low	I(y)
Soil absorption ability (a)	Soils rapidly draining	Very Low	I(a)
Wind erosion hazard (w)	Not deemed to have inherent risks if remnant vegetation remains intact	Very Low	I(w)
Flood hazard (f)	Area higher in the landscape (30-45m AHD)	Very Low	I(f)
Water pollution hazard (s)	Free draining sands with no observed water table.	Very Low	I(s)
Water availability (g)	Map unit within east of Lot 50 may need access to mains due to distance to dams and creek.	Low - Moderate	II-III(g)
Soil trafficability (t)	Silty sands not likely to affect trafficability	Very Low	I(t)
Soil fertility status (l)	Site believed to have moderate fertility: <i>Coloured sands or sandy or silty loam or duplex soils, with considerable organic matter</i>	Moderate	III(l)
Soil moisture availability (m)	Rapidly draining soils may have poor moisture availability during summer	Moderate	III(m)
Rooting conditions (r)	Silty sands allowing vegetation to penetrate soils and anchor	Very Low	I(r)
Soil workability (k)	Silty soils easily worked	Very Low	I(k)
Acid Sulphate Soils (as)	Very Low risk of ASS >3m	Very Low	I(as)

Rural Limitations Include:

- Water availability II-III(g);
- Soil fertility status III(l); and
- Soil moisture availability III(m).

Overall Capability Rating for Rural Land Use - II Areas with fair high capability for the proposed activity or use. Very few physical limitations.



Map Unit D

Sand over Gravel

Residential Limitations

Residential Limitations Include:

- Microbial purification IV(p); and
- Phosphorus retention ability IV(pri).

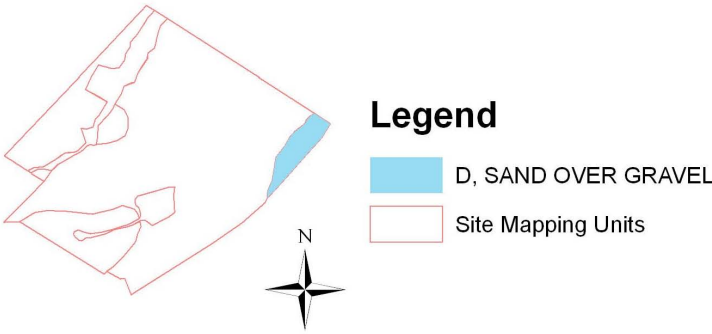
Overall Capability Rating for Residential Land Use – I Areas with a very high capability for the proposed activity or use. Very few physical limitations

Rural Limitations

Rural Limitations Include:

- Water availability II-III(g);
- Soil fertility status III(l); and
- Soil moisture availability III(m).

Overall Capability Rating for Rural Land Use - II Areas with fair high capability for the proposed activity or use. Very few physical limitations.



DEGREE OF RESIDENTIAL LIMITATION – MAP UNIT E

Table 22: Degree of Limitation for Map Unit E. Capability: Residential

Limitation	Description	Degree of Limitation	Rating & Subclass
Ease of excavation (x)	Flooded or seasonally inundated	Very High	V(x)
Foundation stability (b)	likely to be a transitional soil profile between Map Units B and C, however this was not confirmed during the site investigation due to inundation of these areas.	Very High	V(b)
Waterlogging/ inundation risk (i)	Seasonally inundated and water pooling of surface	Very High	V(i)
Soil salinity (y)	Not Saline	Very Low	I(y)
Soil absorption ability (a)	This map unit comprises areas where groundwater was observed within the creek	High	IV(a)
Microbial purification (p)	Soils may lack purification abilities if they are sands which freely drain into the water table	Moderate	III(p)
Wind erosion hazard (w)	Not deemed to have inherent risks if remnant vegetation remains intact	Very Low	I(w)
Bushfire hazard (z)	Minimal vegetation on site. Lot 50 is not surrounded by unbroken vegetation which may cause a high fire risk. Fire breaks in place throughout bushland surrounding the site. Lot 50 mainly comprised of pasture.	Very Low	I(z)
Services (scheme water, power, telephone) (c)	It is not assumed that services would be able to be put through these areas	High	IV(c)
Flood hazard (f)	Area floods annually	Very High	V(f)
Water pollution hazard (s)	High water table and central point for overland flow.	Very High	V(s)
Phosphorous retention ability (pri)	PRI not attained, however in comparison to the remaining of the site it is expected to be poor	High	IV(pri)

Native vegetation retention (v)	Some remnant vegetation, mainly individual trees. Weed control will be required and revegetation should be carried out.	Moderate	III(v)
Acid Sulphate Soils (as)	Areas may have some risk of acid sulfates due to inundation.	Moderate	III(as)

Residential Limitations Include:

- Ease of excavation V(x);
- Foundation Stability V(b);
- Waterlogging/ inundation risk V(i);
- Soil absorption ability IV(a);
- Microbial purification III(p);
- Services IV(c);
- Flood Hazard V(f);
- Water Pollution hazard V(s);
- Phosphorus retention IV(pri);
- Native vegetation III(v); and
- Acid Sulphate Soils III(as).

Overall Capability Rating for Residential Land Use - V very poor capability for the proposed activity or use and the severity of physical imitations is such that its use is usually prohibitive in terms of either development costs or the associated risk of land degradation

Opus therefore recommend:

- Map Unit E has been classified through the extrapolation of surrounding information as onsite assessment was not possible due to inundation. It is recommended that this map unit is utilised in the development as POS and/or stormwater management areas;
- This area undergoes weed management and undergoes revegetation to allow the uptake of nutrients from overland runoff;
- A 30m buffer is applied to this area for the disposal of effluents from a phosphate removing ATU or a 100m buffer is applied for effluents from a non-phosphate removing ATU or traditional septic system; and
- Acid Sulfate soil investigation if soil movement is proposed.

DEGREE OF RURAL LIMITATION – MAP UNIT E

Table 23: Rural Limitation – Map Unit E

Limitation	Description	Degree of Limitation	Rating & Sub-class
Waterlogging/ inundation risk (i)	Seasonally inundated and water pooling of surface	Very High	V(i)
Soil salinity (y)	Non Saline	Very low	I(y)
Soil absorption ability (a)	This map unit comprises areas where groundwater was observed within the creek	High	IV(a)
Wind erosion hazard (w)	Not deemed to have inherent risks if remnant vegetation and pasture cover remains intact	Very Low	I(w)
Flood hazard (f)	Area floods annually	Very High	V(f)
Water pollution hazard (s)	High water table and central point for overland flow.	Very High	V(s)
Water availability (g)	High water availability	Very Low	I(g)
Soil trafficability (t)	Unable to support traffic	Very High	V(t)
Soil fertility status (l)	Expected to have good fertility due to growth of vegetation (weeds).	Low	II(l)
Soil moisture availability (m)	High water table.	Very Low	I(m)
Rooting conditions (r)	Vegetation present indicating good rooting conditions even in flooded environment	Very Low	I(r)
Soil workability (k)	Soil workability deemed very poor due to inundation	Very High	V(k)
Acid Sulphate Soils (as)	Considered High Risk due to inundation	Very High	V(as)

Rural Limitations Include:

- Waterlogging/ inundation risk V(i);
- Soil absorption ability IV(a);
- Flood Hazard V(f);
- Water pollution hazard V(s);
- Soil trafficability V(t);
- Soil fertility status II(l);
- Soil workability V(k); and
- Acid Sulphate Soils V(as).

Overall Capability Rating for Rural Land Use - V very poor capability for the proposed activity or use and the severity of physical imitations is such that its use is usually prohibitive in terms of either development costs or the associated risk of land degradation



Mapping Unit E

Drainage and Inundated Areas

Residential Limitations

Residential Limitations Include:

- Ease of excavation V(x);
- Foundation Stability V(b);
- Waterlogging/ inundation risk V(i);
- Soil absorption ability IV(a);
- Microbial purification III(p);
- Services IV(c);
- Flood Hazard V(f);
- Water Pollution hazard V(s);
- Phosphorus retention IV(pri);
- Native vegetation III(v); and
- Acid Sulphate Soils III(as).

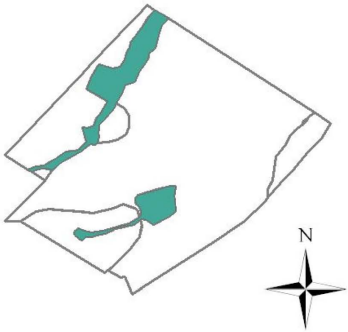
Overall Capability Rating for Residential Land Use - V very poor capability for the proposed activity or use and the severity of physical imitations is such that its use is usually prohibitive in terms of either development costs or the associated risk of land degradation

Rural Limitations

Rural Limitations Include:

- Waterlogging/ inundation risk V(i);
- Soil absorption ability IV(a);
- Flood Hazard V(f);
- Water pollution hazard V(s);
- Soil trafficability V(t);
- Soil fertility status II(l);
- Soil workability V(k); and
- Acid Sulphate Soils V(as).

Overall Capability Rating for Rural Land Use - V very poor capability for the proposed activity or use and the severity of physical imitations is such that its use is usually prohibitive in terms of either development costs or the associated risk of land degradation



Map Unit
E, NOT ASSESSED FLOODED AREAS

9 LAND CAPABILITY ANALYSIS

The overall capability of the subject area to sustain the proposed developments is summarised within the map units in Table 24.

Table 24: Summary of capabilities of each map unit

Mapping Unit	Residential	Rural
Mapping Unit A	IV	III-IV
Mapping Unit B	II-III	II-III
Mapping Unit C	II-III	II-III
Mapping Unit D	I	II
Mapping Unit E	V	V

I = Mapping Unit capable of supporting the Land Use.

II = Mapping Unit capable of supporting the land use and limitations can be overcome by design and management inputs.

III- Mapping Unit with a fair capability, moderate physical limitations occur which significantly affect productive use or result in moderate risk of land degradation.

IV – Areas with low capability for the proposed activity or use, high degree of physical limitations.

V – Areas with poor capability for the proposed activity or use, severity of limitations, use is prohibitive in terms of either development costs or risk of land degradation

A summary of recommendations within each Mapping Unit from the Land Capability Assessment has been provided in Section 10 – Planning and Management Considerations.

10 CONCLUSIONS, PLANNING AND MANAGEMENT CONSIDERATIONS FOR RURAL RESIDENTIAL

The following recommended planning and land management considerations arise from the Land Capability Assessment for Lot 50 Chester Pass Road:

10.1 Residential Development

Overall the subject site has Moderate to High capability for development and on-site effluent disposal (depending on location). It is recommended that in the waterlogged/inundated areas where the natural surface and water table separation is less than 500mm are not suitable for onsite effluent disposal. It is recommended that:

- A 30m setback be applied from all water bodies if phosphate removing ATUs are utilised in Map Unit A, B, C and D due to PRI <5 in sand with silt soils and clays at variable depths. If non-phosphate removing ATUs are utilised this setback would be required to be 100m from all water bodies;
- Areas which achieve a 500mm water table clearance are suitable for on-site effluent disposal. Map Unit A and E (where 500mm groundwater separation is not achieved) are unsuitable for on-site effluent disposal without significant modification of soils and building envelopes should be restricted to the highest elevation point within the proposed lots;
- Consideration should be made as to the location of building envelopes if lots are proposed to be placed in Map Unit A and C and that the building envelope should be positioned so as to achieve 500mm separation from groundwater to natural soil surface;
- As the site has a predominantly sand with silt topsoil that best practice is carried out for residential development and scour prevention and sediment traps are installed during development. Any cleared areas should be appropriately stabilised to prevent erosion;
- Residential development would best deal with any erosion by aligning the properties and roads along the contours to ensure that storm water does not scour and is encouraged to seep into vegetated swales within road reserves to convey stormwater to drainage reserves;
- Re-vegetation should be implemented utilising local native species. This will need to be implemented by the developer in the first instance and then the responsibility of individual land owners;
- A weed management plan should be implemented across the site to eliminate the extensive invasions of weeds, this should be aligned to WA Agriculture and Food guidelines;

- Native vegetation within creek lines is to be retained across the site where practical as to promote natural water treatment from overland runoff and any native vegetation clearing is subject to EPA Clearing regulations;
- Bioretention basins should be strategically placed across the site for water quality treatment of stormwater runoff. Stormwater runoff calculations and modelling will be required during the detailed design stage of the development to give more accurate volumes for storage required;
- All structures will require foundation designs to be completed and certified by a chartered structural engineer and a geotechnical investigation is to be carried out for building envelopes to verify foundation stability and depth to groundwater for each proposed ATU location during the developmental stage; and
- Construction programming should occur in dry months.

10.2 Rural Pursuits

It is recommended that:

- The buffer to the creek line in the western portion of Lot 50 is fenced and revegetated with native endemic plant species to reduce erosion and encourage habitat for fauna;
- Fencing occurs to exclude animals and prevent erosion and degradation of the re-vegetation in drainage easements and reserves;
- Rural pursuits would need to be carefully considered in this area to ensure there is little off-site environmental harm as livestock may cause erosion in sandy soils and nitrification in waterlogged soils.

11 REFERENCES

“Australian Geoscience Mapping, Map series S50-11 Part of Sheet S150-15, Mt Barker to Albany”.

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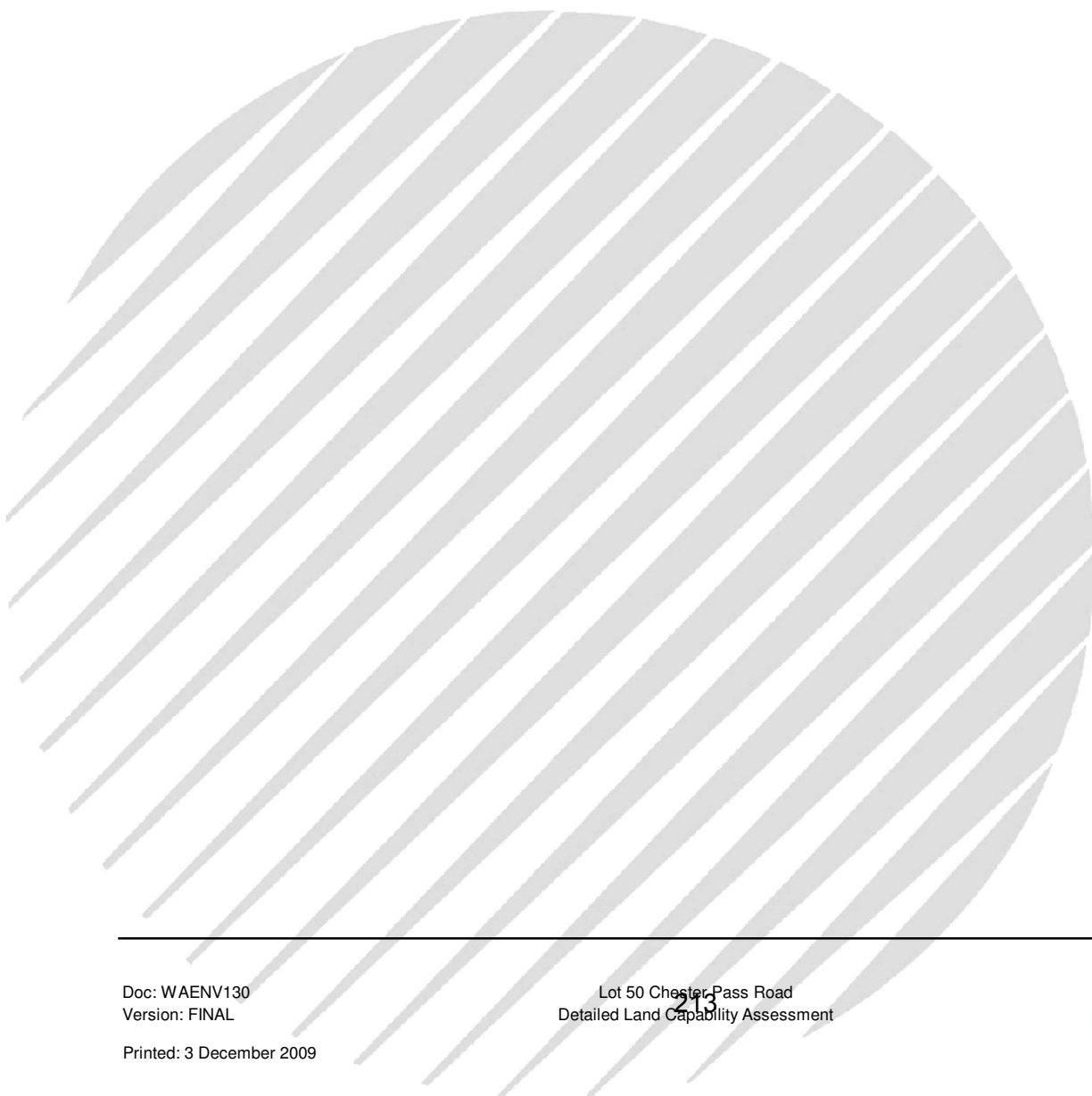
Hearn, R., Williams, K. Comer, S. and Beecham, B. (2002) A Biodiversity Audit of Western Australia's 53 Biogeographical Subregions in 2002, *Jarrah Forest 2 (JF2 – Southern Jarrah Forest subregion)*, Department of Conservation and Land Management, January 2002.

Land Capability Assessment for Local Rural Strategies, 1989, Department of Agriculture Western Australia.

Moore, G. (1998) *Soilguide. A handbook for understanding and managing agricultural soils*. Department of Agriculture, Western Australia. Bulletin No. 4343.

Appendices

Appendix A - Locality





SCALE AND LEGEND

Location
Roads
Lot 50 Chester Pass Road

0 1,250 2,500 5,000 Meters

	BY	CHECKED	DATE
DESIGN	SG		
DRAWN	SG		
APPROVED			214
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G. C. Cake

Albany Office

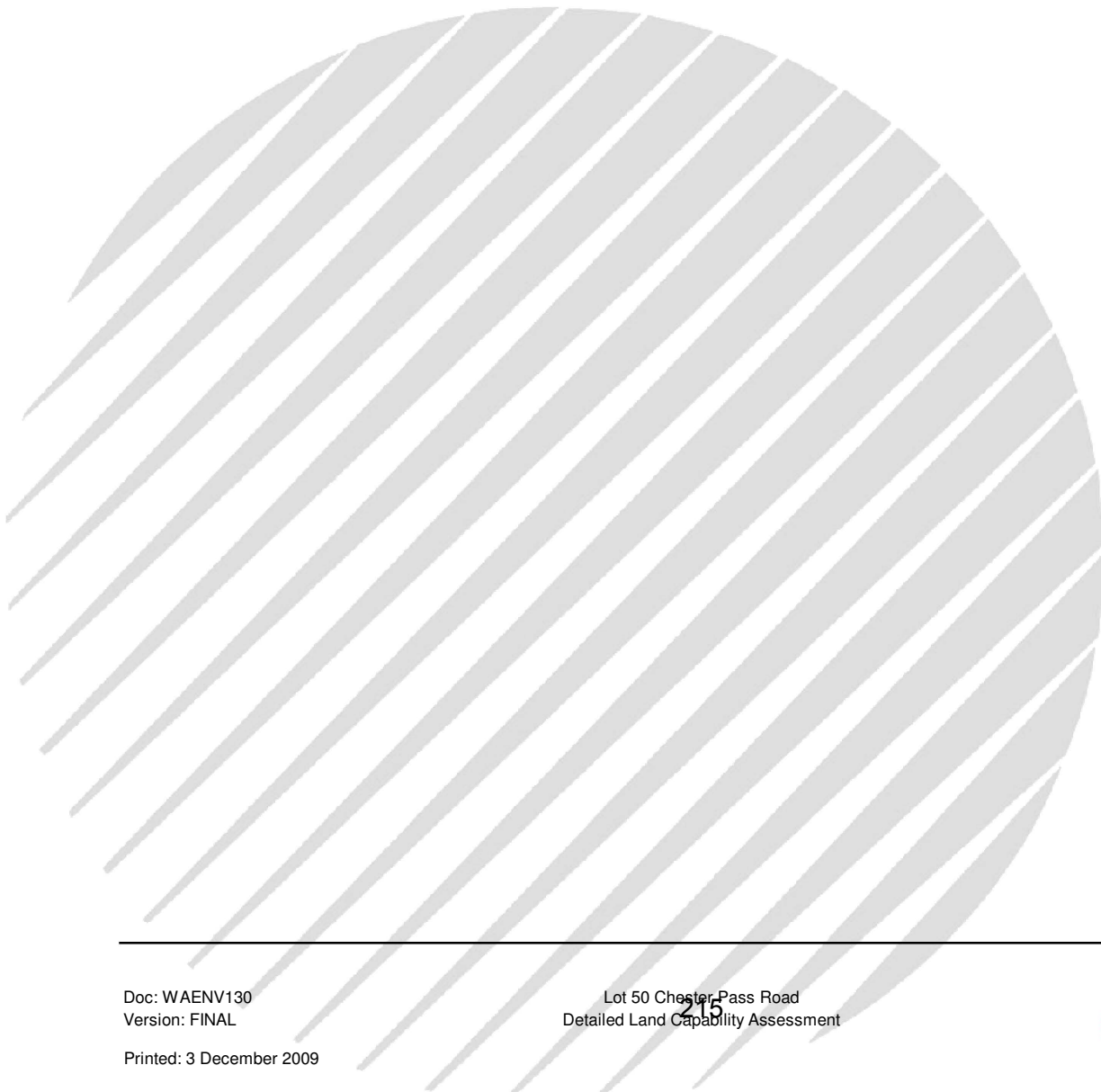
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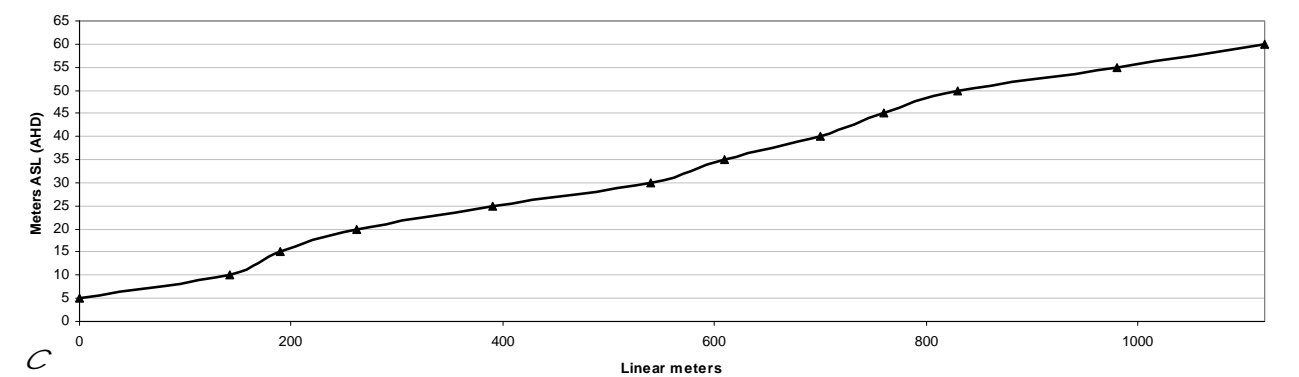
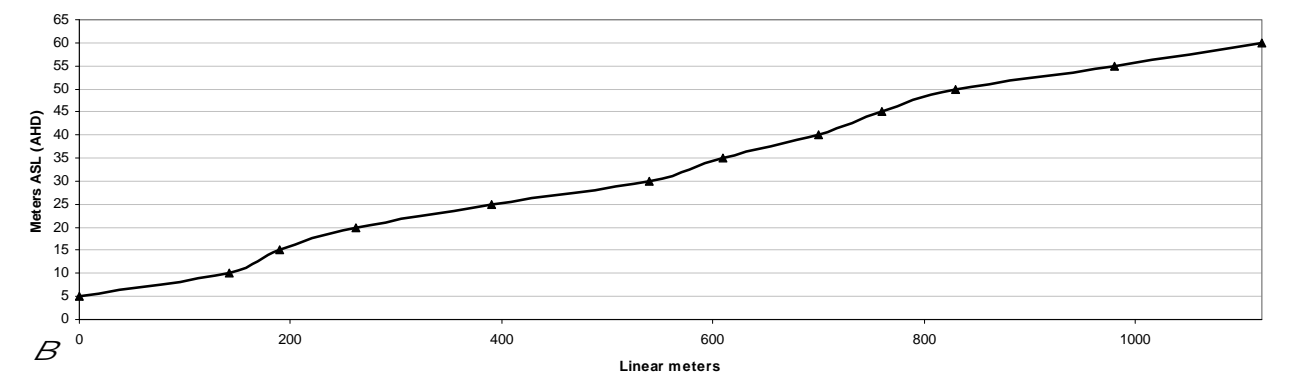
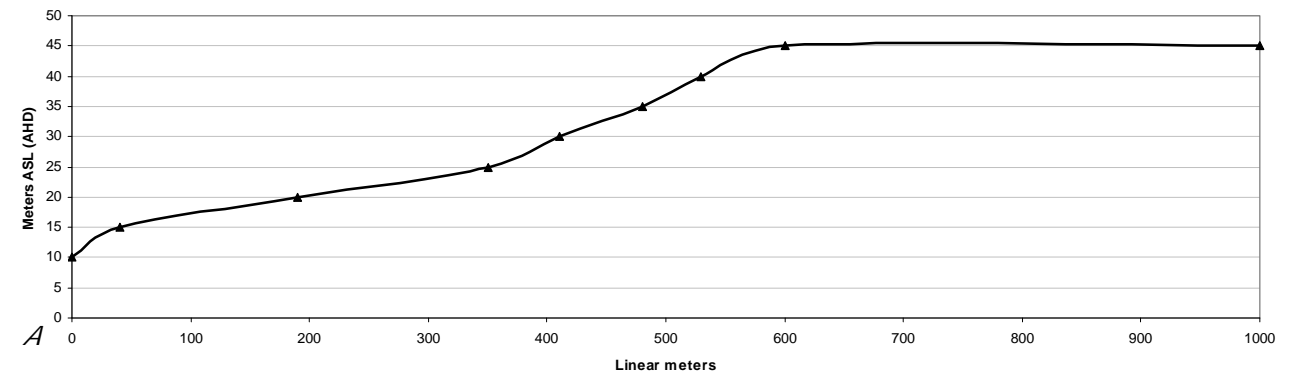
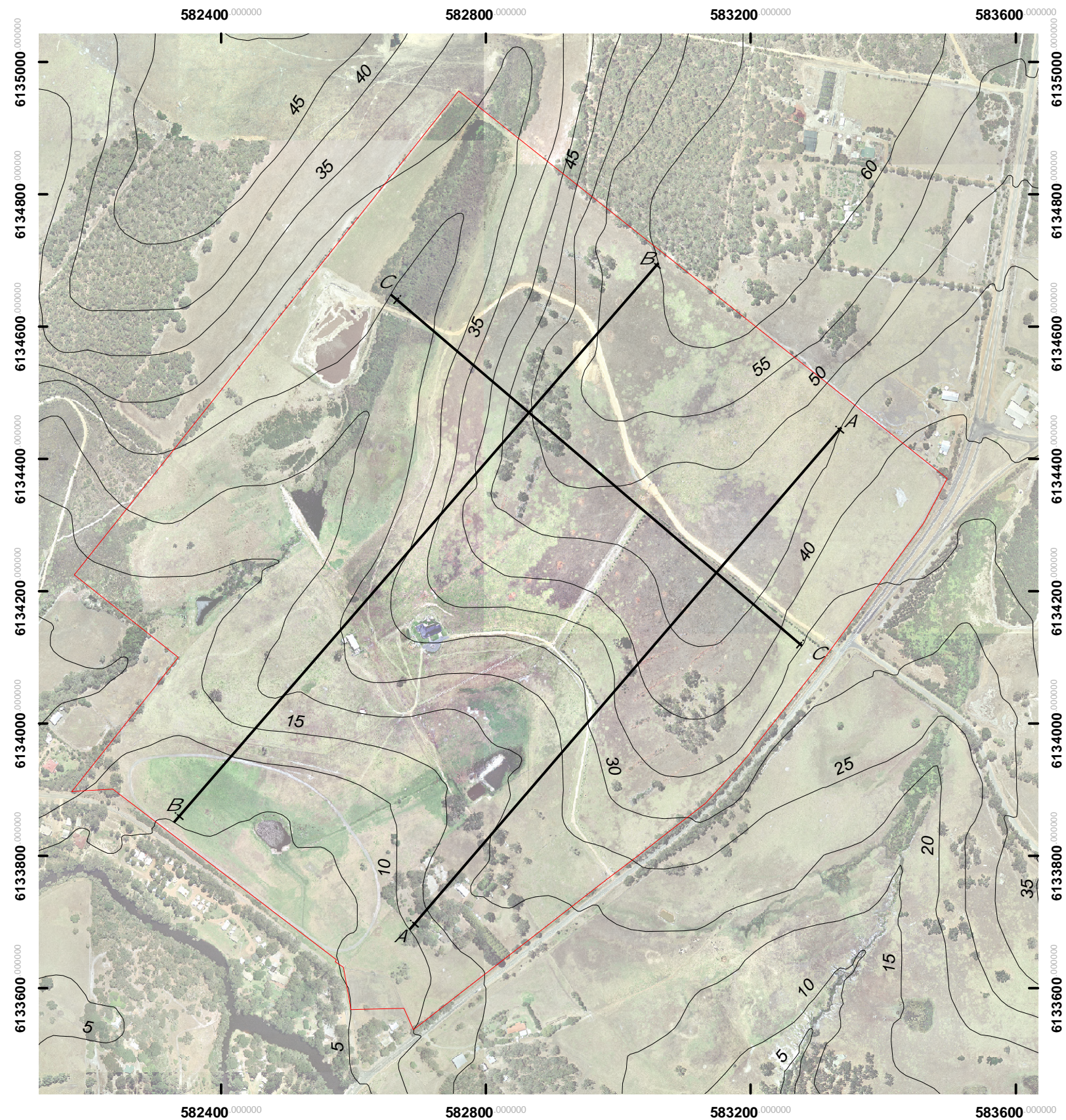
OPUS

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Fax: +61 8 9842 6055

TITLE Opus International Consultants Lot 50 Chester Pass Road Land Capability Assessment			
Lot 50 Chester Pass Rd LCA APPENDIX A - LOCALITY			
STATUS	FINAL	FILE	WAENV130
SCALE	1:50,000	PLOT DATE	9 SEPT 2009

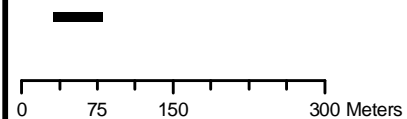
Appendix B - Contour Graphing and Gradients





SCALE AND LEGEND

Location Gradients Topographic Contours (m/ASL AHD) 5m intervals



	BY	CHECKED	DATE
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DRAWN	SG		
APPROVED			
			216
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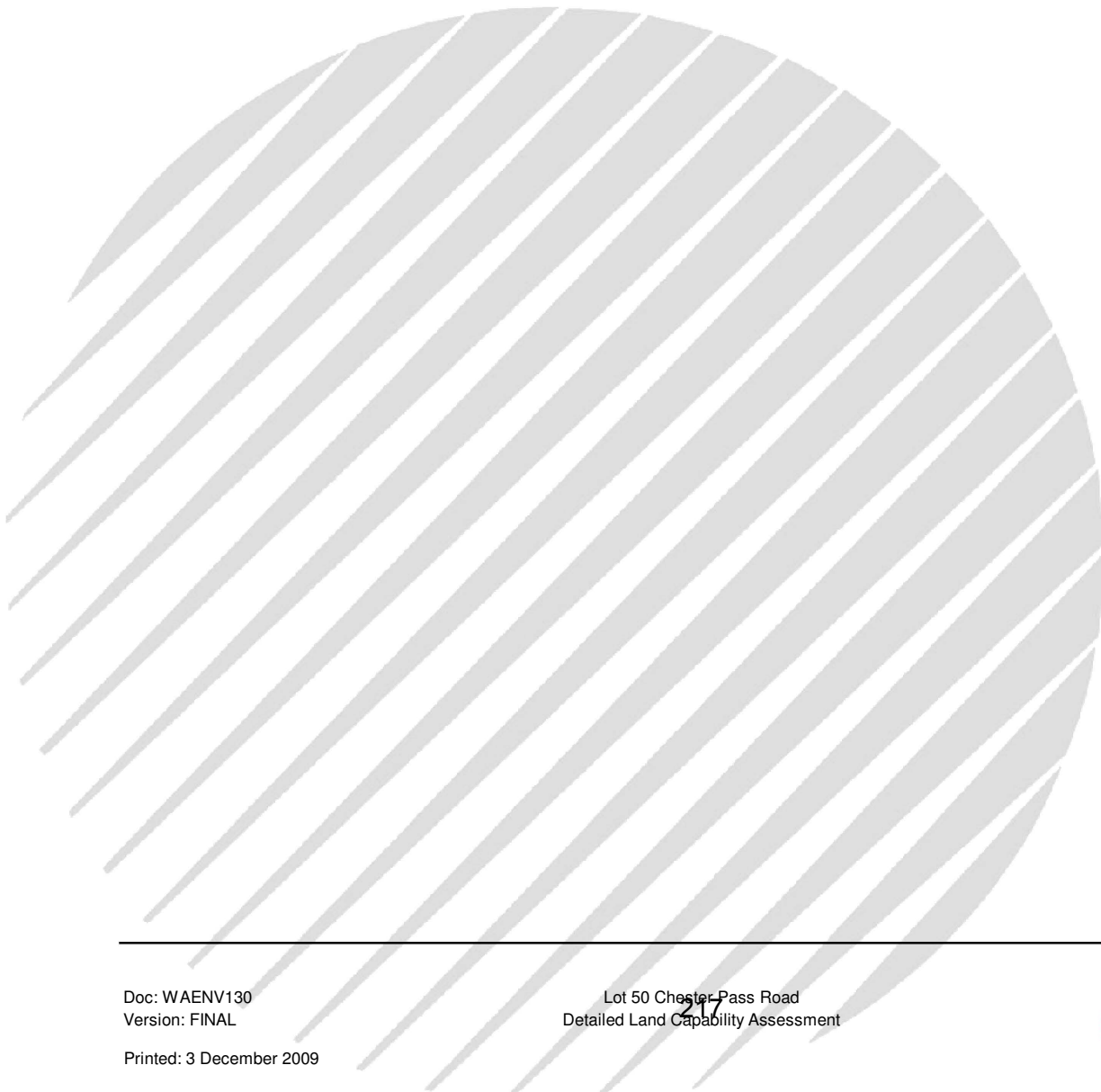


TITLE Opus International Consultants
Lot 50 Chester Pass Road
Land Capability Assessment

Lot 50 Chester Pass Rd LCA
Contours and Major Gradients

STATUS	FINAL	FILE	WAENV130
SCALE	1:7,500	PLOT DATE	9 SEPT 2009

Appendix C - Test Pit Locations





SCALE AND LEGEND

Legend

- Lot 50
- A LCA Test Pit Locations
- Albany Cadastre

0 75 150 300 Meters

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APPROVED			218
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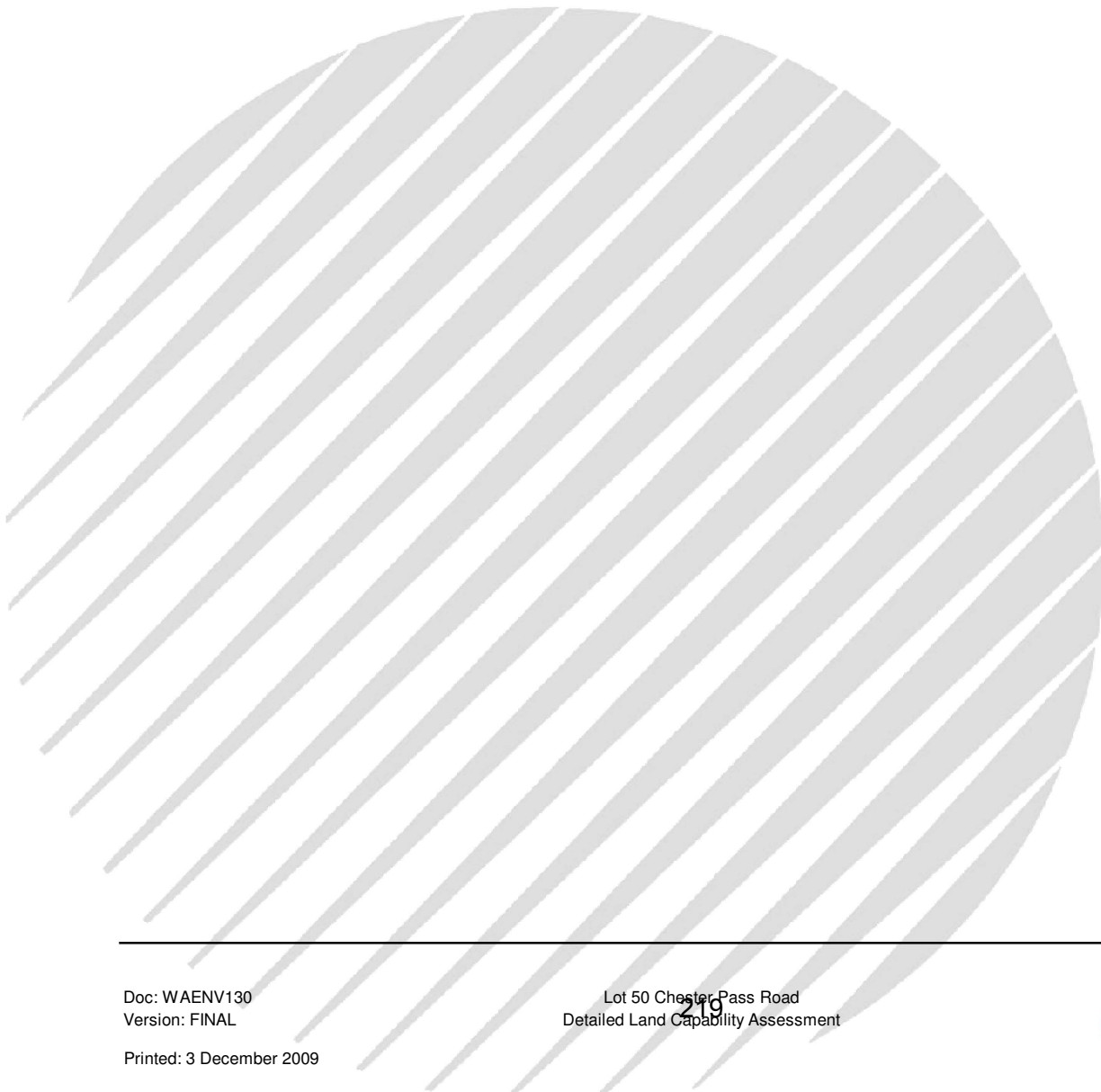
Albany Office

PO Box 5236
Albany, WA 6330, Australia

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Fax: +61 8 9842 6055

TITLE Opus International Consultants Lot 50 Chester Pass Road Land Capability Assessment	
Lot 50 Chester Pass Rd LCA TEST PITS	
STATUS FINAL	FILE WAENV130
SCALE 1:7,500	PLOT DATE 9 SEPT 2009

Appendix D - Test Pit Soil logs





Excavation Log for AS/NZS1547

Opus International Consultants
PO Box 5236 Albany WA 6331
Ph: (08) 9842 6155

Client name: Geoffrey C. Cake

Project name: Lot 50 Chester Pass Road LCA

Project number: WAENV130

Site Location: Lot 50 Chester Pass Road, Albany

Logged by: Scott Glassborow

Date of inspection: 10/09/2009

Pit/borehole no: 1

Slope: 5%

Landform element: Hill Slope

Ground cover: <10%

Surface condition: damp

Indicative drainage: free

Surface stones: na

Parent material: Laterite

Water table depth: n/a

Perched water table: n/a

Vegetation: paddock grasses

GPS: see map

Upper depth (mm)	Lower depth (mm)	Moisture condition	Colour (moist)	Field texture	Coarse fragm. % volume	Structure	Modified Emerson	Soil category	Sample taken (Y/N)	Consist.	Perm-eability	Other
0	150	Moist	Dark brown	Topsoil	~30%	Sandy gravel						
150	400	Moist	Yellow/Red /Brown	Laterite	50%	Sandy gravel clay	holds					
400	1000	Moist	Orange		10%	Clay gravel	holds					
1000	1500	Moist	Light orange		<5%	Clay	Holds		y			
1500	2000	Moist	Light orange		Na	Silt with sand	holds					

- Describe moisture condition as: dry, moist, very moist or saturated.
- n/a due to bore pit being excavated by an auger

Pit/borehole no: 2**Slope: 5%****Landform element: Hill Slope****Ground cover: <10%****Surface condition: damp****Indicative drainage: free****Surface stones: na****Parent material: Laterite****Water table depth: n/a****Perched water table: n/a****Vegetation: paddock grasses****GPS: see map**

Upper depth (mm)	Lower depth (mm)	Moisture condition	Colour (moist)	Field texture	Coarse fragm. % volume	Structure	Modified Emerson	Soil category	Sample taken (Y/N)	Consist.	Perm-eability	Other
0	150	Moist	Dark brown		30%	Silty sand gravel	minimal					
150	350	moist	Brown		Approx 30%	Sandy gravel	minimal		y			
350	530	Dry	orange		<5%	Compacted orange laterite	n/a					
530	1300	Moist	Light orange			Silty clay						
1300	2000	Moist	Light orange			Silty sandy clay						

- Describe moisture condition as: dry, moist, very moist or saturated.
- n/a due to bore pit being excavated by an auger

Pit/borehole no: 3 **Slope: 0%** **Landform element: Hill Slope** **Ground cover: <10%**
Surface condition: damp **Indicative drainage: soil infiltration** **Surface stones: laterite** **Parent material: Laterite**
Water table depth: n/a **Perched water table: n/a** **Vegetation: paddock grasses** **GPS: TP3**

Upper depth (mm)	Lower depth (mm)	Moisture condition	Colour (moist)	Field texture	Coarse fragm. % volume	Structure	Modified Emerson	Soil category	Sample taken (Y/N)	Consist.	Perm-eability	Other
0	100	Moist	Dark brown		50%	Sandy gravel	minimal		y			
150	350	Moist	Orange			Laterite gravel						
350	1050	Moist	Orange		<30%	Silty gravel						
1050	1500	Moist	Light orange		<5%	Silty sandy clay						
1500	2000	Moist	Light orange		<5	Silty sand minor clay	minimal					

Pit/borehole no: 4 **Slope: 0%** **Landform element: flat** **Ground cover: <10%**
Surface condition: Wet **Indicative drainage: soil infiltration** **Surface stones: no** **Parent material: sand**
Water table depth: 650 **Perched water table:** **Vegetation: paddock grasses** **GPS: TP4**

Upper depth (mm)	Lower depth (mm)	Moisture condition	Colour (moist)	Field texture	Coarse fragm. % volume	Structure	Modified Emerson	Soil category	Sample taken (Y/N)	Consist.	Perm-eability	Other
0	100	Wet	Dark brown		<10	Peat	medium					
100	180	Moist	Dark grey		<10	Silty sand	medium					
180	1000	Wet	Grey		<10	Sand	medium		Y			
1000	1500	Moist	Dark brown	Cemented sand	~30	Coffee rock (compact laterite)	no					ASS?
1500	Laterite	Unable to penetrate										

Pit/borehole no: 5 **Slope: <5%** **Landform element: slope** **Ground cover: 100%**
Surface condition: Wet **Indicative drainage: soil infiltration** **Surface stones: no** **Parent material: sand**
Water table depth: 0mm BGL **Perched water table: ~1000mm** **Vegetation: paddock grasses** **GPS: TP5**

Upper depth (mm)	Lower depth (mm)	Moisture condition	Colour (moist)	Field texture	Coarse fragm. % volume	Structure	Modified Emerson	Soil category	Sample taken (Y/N)	Consist.	Perm-eability	Other
0	100	Wet	Brown		<5	peat						
100	200	Moist	Dark grey			sand						
200	1250	Wet	Light grey			Silty sand			Y			
1250	1450	Moist	Mottled red/yellow/white			clay			Y			
1450	1500	Moist	Grey			Sandy clay						
1500	2000	Moist	Grey			sand			Y			

Pit/borehole no: 6 **Slope: <5%** **Landform element: slope** **Ground cover: 100%**
Surface condition: Wet **Indicative drainage: soil infiltration** **Surface stones: no** **Parent material: sand**
Water table depth: 400mm BGL **Perched water table:** **Vegetation: paddock grasses** **GPS: TP6**

Upper depth (mm)	Lower depth (mm)	Moisture condition	Colour (moist)	Field texture	Coarse fragm. % volume	Structure	Modified Emerson	Soil category	Sample taken (Y/N)	Consist.	Perm-eability	Other
0	150	Wet	Dark brown			Peat	High					organics
150	240	Moist	Dark grey			Silt sand						
240	1000	Wet	Grey			Silty sand						
1000	1400	Moist	Greeny grey			Silty sandy clay			Y			
1400	2000	Moist	Brown			Silty sand						

- Describe moisture condition as: dry, moist, very moist or saturated.
- n/a due to bore pit being excavated by an auger

Pit/borehole no: 7 **Slope: <5%** **Landform element: slope** **Ground cover: 100%**
Surface condition: Wet **Indicative drainage: soil infiltration** **Surface stones:** **Parent material: sand**
Water table depth: 1040mm **Perched water table:** **Vegetation: paddock grasses** **GPS: TP7**

Upper depth (mm)	Lower depth (mm)	Moisture condition	Colour (moist)	Field texture	Coarse fragm. % volume	Structure	Modified Emerson	Soil category	Sample taken (Y/N)	Consist.	Perm-eability	Other
0	50	Damp	Dark grey	Organic		sand						
50	250	Damp	Grey			sand						
250	400	Damp	Light Grey			Silty sand						
400	1000	Wet	Brown		30mm	Gravely sandy silt						
1000	1300	Wet	Light orange			Sandy silty clay						
1300	1500	Dry	Orange			clay						
1500	2000	Dry	Mottled red/orange /white		10	Sandy clay coarse			Y			

- Describe moisture condition as: dry, moist, very moist or saturated.
- n/a due to bore pit being excavated by an auger

Pit/borehole no: 8 **Slope:** <5% **Landform element:** ridge **Ground cover:** 100%
Surface condition: Wet **Indicative drainage:** soil infiltration **Surface stones:** 0 **Parent material:** sand
Water table depth: **Perched water table:** **Vegetation:** paddock grasses **GPS:** TP8

Upper depth (mm)	Lower depth (mm)	Moisture condition	Colour (moist)	Field texture	Coarse fragm. % volume	Structure	Modified Emerson	Soil category	Sample taken (Y/N)	Consist.	Perm-eability	Other
0	100	Wet	Dark brown			Sandy silty topsoil						
100	400	Damp	Dark brown		25	Coarse sand						
400	1300	Damp	Brown		25	Coarse sand with gravel silty clay			y			
1300	1500	Damp			25	Coarse sandy clay						
1500	Impenetrable - rock											

- Describe moisture condition as: dry, moist, very moist or saturated.
- n/a due to bore pit being excavated by an auger

Pit/borehole no: 9**Slope: <5%****Landform element: flat****Ground cover: 100%****Surface condition: Wet****Indicative drainage: soil infiltration****Surface stones:****Parent material: sand****Water table depth: 600mm****Perched water table:****Vegetation: paddock grasses GPS: TP9**

Upper depth (mm)	Lower depth (mm)	Moisture condition	Colour (moist)	Field texture	Coarse fragm. % volume	Structure	Modified Emerson	Soil category	Sample taken (Y/N)	Consist.	Perm-eability	Other
0	110	Moist	Dark brown		Sandy silt	topsoil						
100	500	Moist	grey			Coarse sand						
500	900	wet	Dark brown			Coarse sandy silt						
900	1600	Wet	Light brown			Sand silt						
1600	2000	wet	White			Clay coarse sand						

- Describe moisture condition as: dry, moist, very moist or saturated.
- n/a due to bore pit being excavated by an auger

Pit/borehole no: 10 **Slope: <5%** **Landform element: slope** **Ground cover: 100%**
Surface condition: Wet **Indicative drainage: soil infiltration** **Surface stones:** **Parent material: sand**
Water table depth: 2000 **Perched water table:** **Vegetation: paddock grasses** **GPS: TP10**

Upper depth (mm)	Lower depth (mm)	Moisture condition	Colour (moist)	Field texture	Coarse fragm. % volume	Structure	Modified Emerson	Soil category	Sample taken (Y/N)	Consist.	Perm-eability	Other
0	50	Damp	Dark grey	Organic		sand						
50	200	Damp	Light grey			sand						
200	500	Damp	Light brown			Coarse sand with gravel						
500	1100	Moist	Yellow			Coarse sandy silt						
1100	2000	Wet	Green brown red			Silt sand gravel with clay			Y			

Pit/borehole no: 11 **Slope: <5%** **Landform element: slope** **Ground cover: 100%**
Surface condition: Wet **Indicative drainage: soil infiltration** **Surface stones:** **Parent material: sand**
Water table depth: **Perched water table:** **Vegetation: paddock grasses** **GPS: TP11**

Upper depth (mm)	Lower depth (mm)	Moisture condition	Colour (moist)	Field texture	Coarse fragm. % volume	Structure	Modified Emerson	Soil category	Sample taken (Y/N)	Consist.	Perm-eability	Other
0	200	Moist	Dark brown			Silty sand		Top soil	Y			
200	1300	moist	Orange		50	Sandy clay						
1300	1800	Moist	Orange			Silty sand			Y			
1800	2000	Moist	White			Silty sand						

- Describe moisture condition as: dry, moist, very moist or saturated.
- n/a due to bore pit being excavated by an auger

Pit/borehole no: 12 **Slope: <5%** **Landform element: slope** **Ground cover: 100%**
Surface condition: Wet **Indicative drainage: soil infiltration** **Surface stones:** **Parent material: sand**
Water table depth: **Perched water table:** **Vegetation: paddock grasses** **GPS: TP12**

Upper depth (mm)	Lower depth (mm)	Moisture condition	Colour (moist)	Field texture	Coarse fragm. % volume	Structure	Modified Emerson	Soil category	Sample taken (Y/N)	Consist.	Perm-eability	Other
0	50	Moist	Black		Silty sand	topsoil						
50	200	Moist	Grey			Sandy silt						
200	800	Moist	Brown			gravel						
800	1300	Damp	Red/orange/yellow			Clay silt						
1300	2000	Damp	White			Silty clay						

Pit/borehole no: 13 **Slope: <5%** **Landform element: slope** **Ground cover: 100%**
Surface condition: Wet **Indicative drainage: free** **Surface stones: gravel** **Parent material: sand**
Water table depth: na **Perched water table:** **Vegetation: grasses** **GPS: TP13**

Upper depth (mm)	Lower depth (mm)	Moisture condition	Colour (moist)	Field texture	Coarse fragm. % volume	Structure	Modified Emerson	Soil category	Sample taken (Y/N)	Consist.	Perm-eability	Other
0	500	Moist	Dark brown		50	Sandy gravel	minimal					
500	2000	Dry	Brown		50	Loam			Y			

- Describe moisture condition as: dry, moist, very moist or saturated.
- n/a due to bore pit being excavated by an auger

Pit/borehole no: 14**Slope: <5%****Landform element: top of ridge** **Ground cover: 100%****Surface condition: damp****Indicative drainage: free****Surface stones:****Parent material: sand****Water table depth: na****Perched water table:****Vegetation: paddock grasses** **GPS: TP14**

Upper depth (mm)	Lower depth (mm)	Moisture condition	Colour (moist)	Field texture	Coarse fragm. % volume	Structure	Modified Emerson	Soil category	Sample taken (Y/N)	Consist.	Perm-eability	Other
0	170	Moist	Black	Organic		Silty sand organics						
170	1300	Moist	Brown			Silty sandy clay with minor gravel						
1300	2000	Dry	Brown/yellow and red			Silty sand clay with minor silt						

Pit/borehole no: 15**Slope: <5%****Landform element: slope****Ground cover: 100%****Surface condition: damp****Indicative drainage: free****Surface stones: minor****Parent material: sand****Water table depth:****Perched water table: na****Vegetation: paddock grasses** **GPS: TP15**

Upper depth (mm)	Lower depth (mm)	Moisture condition	Colour (moist)	Field texture	Coarse fragm. % volume	Structure	Modified Emerson	Soil category	Sample taken (Y/N)	Consist.	Perm-eability	Other
0	100	Damp	Brown		0	Silty sand	Minimal	topsoil				
100	1900	Damp	White		0	Silty sand						
>1900			Orange			gravel						

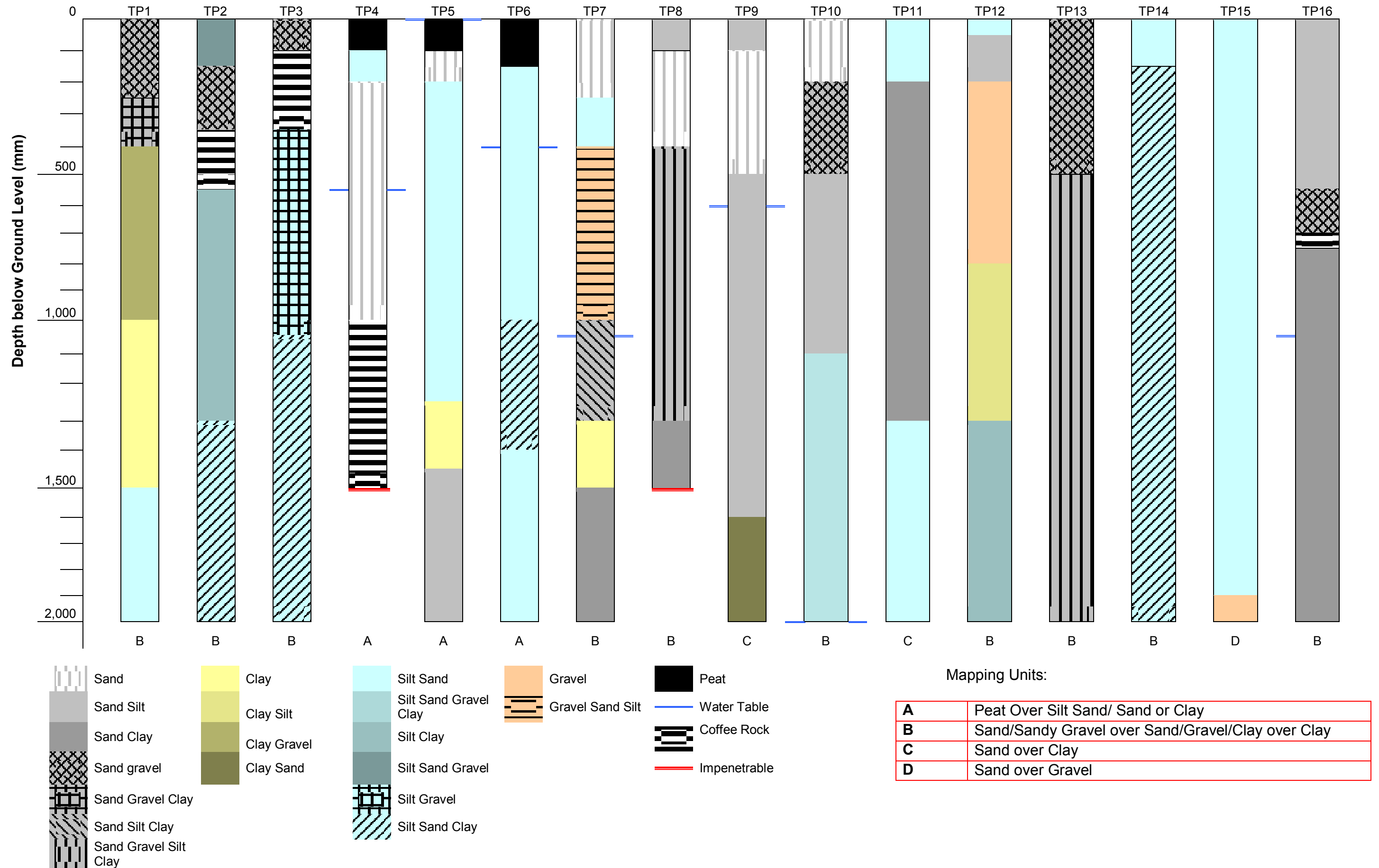
- Describe moisture condition as: dry, moist, very moist or saturated.
- n/a due to bore pit being excavated by an auger

Pit/borehole no: 16 **Slope:** <5% **Landform element:** slope **Ground cover:** 100%
Surface condition: Wet **Indicative drainage:** soil infiltration **Surface stones:** **Parent material:** sand
Water table depth: 1040mm **Perched water table:** 700 **Vegetation:** paddock grasses **GPS:** TP16

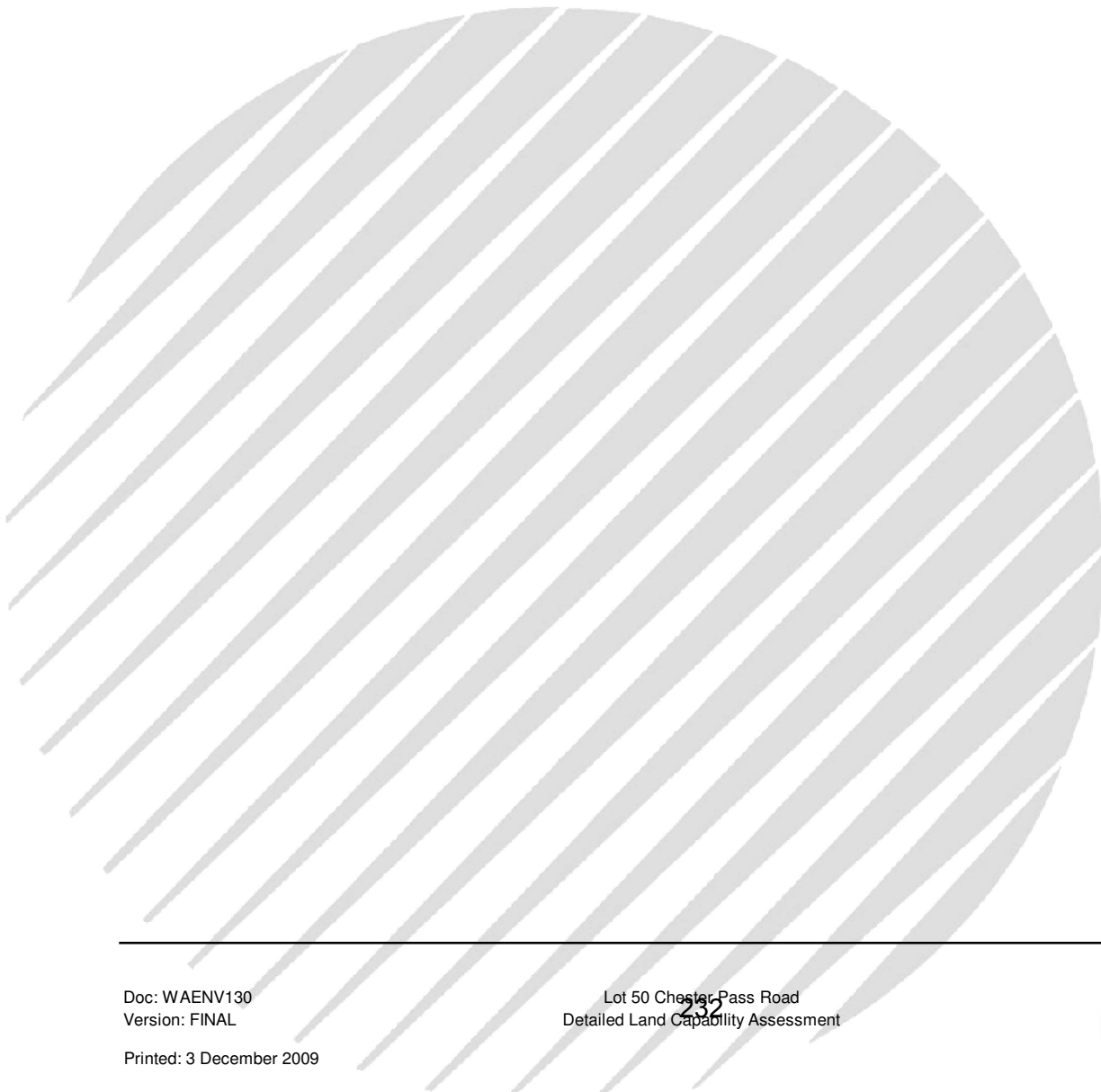
Upper depth (mm)	Lower depth (mm)	Moisture condition	Colour (moist)	Field texture	Coarse fragm. % volume	Structure	Modified Emerson	Soil category	Sample taken (Y/N)	Consist.	Perm-eability	Other
0	200	Moist	Dark brown			Sandy silt						
200	550	Moist	Grey			Coarse sand minor silt						
550	700	Moist	Brown			Sandy gravel			Y			
700	750	Dry				Coffee rock						
750	1500	Dry	Mottled red/orange /white			Coarse sandy clay silt						
1500	2000	Dry	White			Coarse sandy clay						

- Describe moisture condition as: dry, moist, very moist or saturated.
- n/a due to bore pit being excavated by an auger

Test Pits Soil Profiles



Appendix E - Soil Analysis



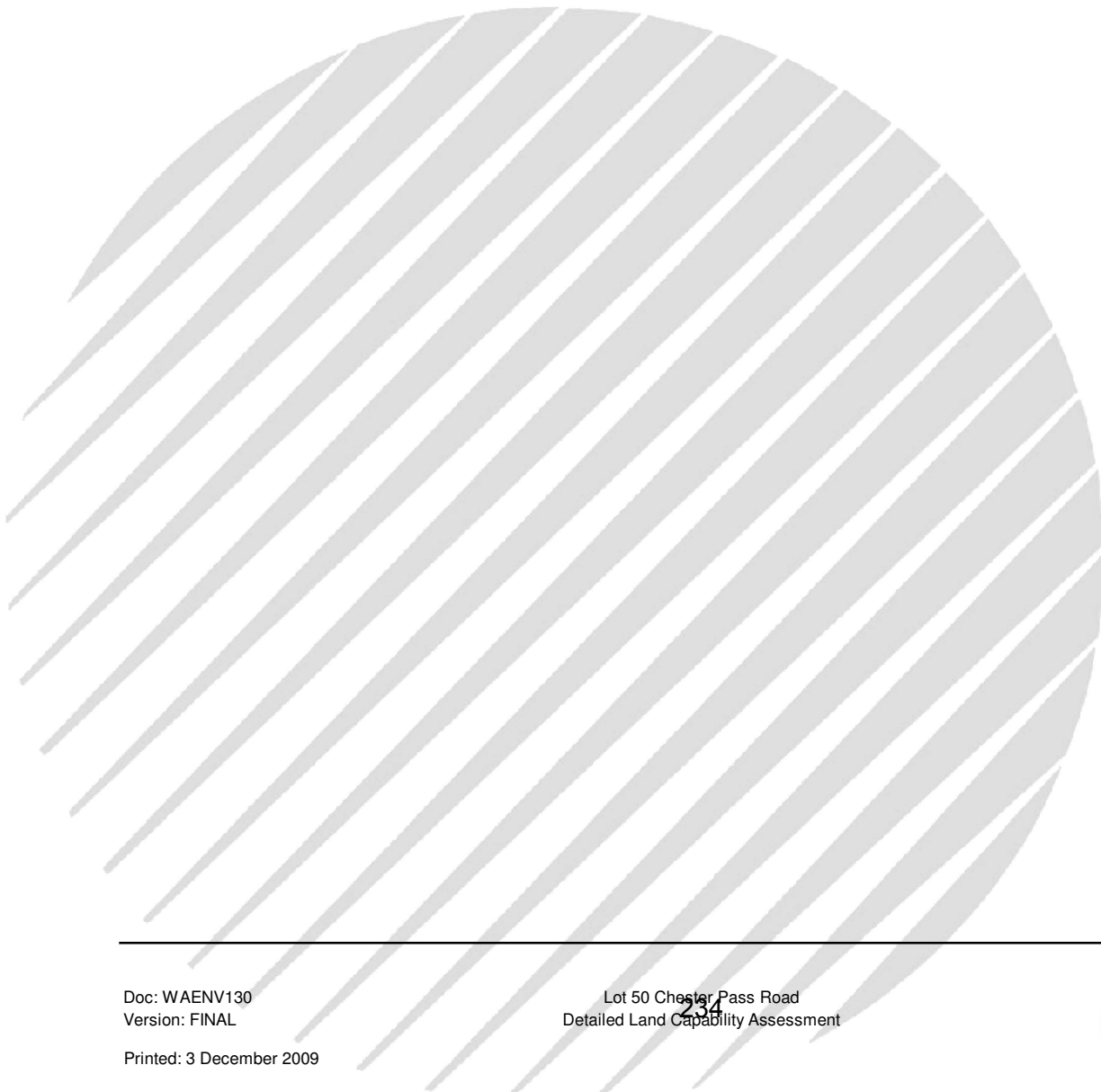


ANALYSIS REPORT

++\$, 'Cdi g`bYfbUjcbU`7cbgi`Rbly`@X

Lab No		7SS09038	7SS09039	7SS09040	7SS09041	7SS09042	7SS09043
Name		Sample 1	Sample 2	Sample 1	Sample 1	Sample 1	Sample 1
Code		TP 1	TP 2	TP 3	TP 4	TP 7	TP 11
Customer		1000mm	150mm	0-100mm	150-300mm	2000mm	Topsoil
Depth				0-100	150-300		0-10
Colour		LTBR	BROR	BR	DKGR	BRGR	LTGR
Gravel	%	5-10	10-15	40-45	0	0	0
Texture		2.5	1.5	1.5	1.5	3.5	1.5
Ammonium Nitrogen	mg/Kg	62	1	11	4	2	7
Nitrate Nitrogen	mg/Kg	22	< 1	5	1	1	10
Phosphorus Colwell	mg/Kg	2	2	36	3	2	21
Potassium Colwell	mg/Kg	16	59	50	55	18	52
Sulphur	mg/Kg	22.60	15.80	6.94	11.40	118.00	5.37
Organic Carbon	%	< 0.50	0.73	8.97	1.83	< 0.50	3.14
Conductivity	dS/m	0.036	0.039	0.051	0.098	0.228	0.087
pH Level (CaCl2)	pH	5.90	5.80	4.60	4.00	4.50	5.30
pH Level (H2O)	pH	6.60	6.50	5.60	5.40	5.20	6.20
Phosphorus Retention Index		29.10	2552.50	311.90	2.00	1563.10	< 0.00

Appendix F - Main Mapping Units



581600 000000

582000 000000

582400 000000

582800 000000

583200 000000

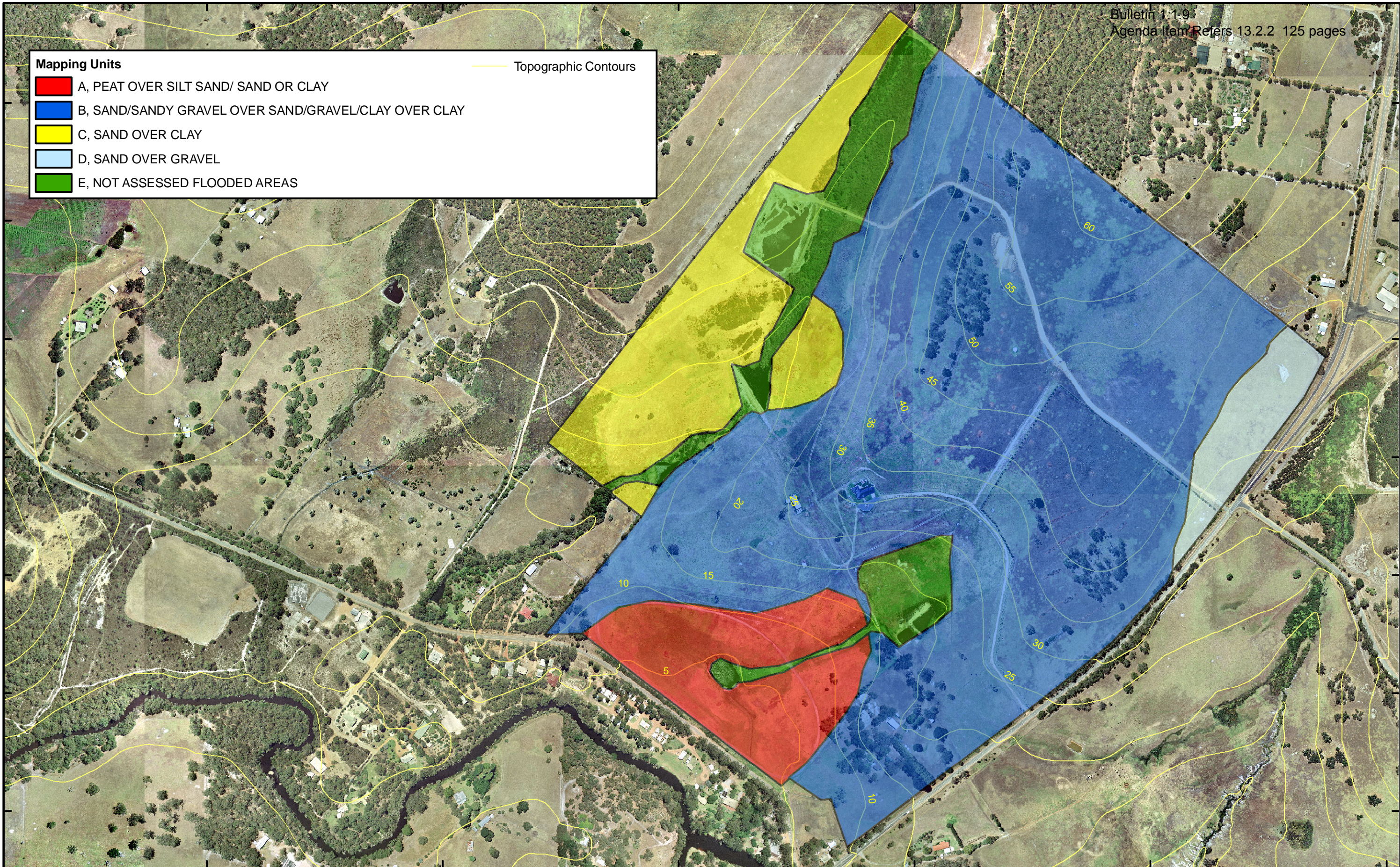
583600 000000

Bulletin 1.1.9
Agenda Item Refers 13.2.2 125 pages

Mapping Units

- A, PEAT OVER SILT SAND/ SAND OR CLAY
- B, SAND/SANDY GRAVEL OVER SAND/GRAVEL/CLAY OVER CLAY
- C, SAND OVER CLAY
- D, SAND OVER GRAVEL
- E, NOT ASSESSED FLOODED AREAS

Topographic Contours



SCALE AND LEGEND



0 100 200 400 Meters

	BY	CHECKED	DATE
DESIGN	SG		
DRAWN	SG		
APPROVED			235

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G. C. Cake



Albany Office
PO Box 5236
Albany, WA 6330, Australia
Tel: +61 8 9842 6155
Fax: +61 8 9842 6055

TITLE Opus International Consultants
Lot 50 Chester Pass Road
Land Capability Assessment

Map Units

STATUS FINAL
SCALE 1:6,000

FILE WAENV130
PLOT DATE 9 SEPT 2009

APPENDIX D

Visual Landscape Evaluation

Visual Landscape Evaluation – Lot 50 Chester Pass Road, King River

Defining the Scope of Evaluation and Context

This Visual Landscape Evaluation is required as the Amendment Site is located in a visually prominent location, bordered by a major tourist route and is visually prominent at a local level. The objective of this section is to outline:

- The Landscape Character Units of the Amendment Site;
- The Viewing Experience and Values of the Amendment Site; and
- The Strategies required to mitigate visual impact of subdivision and development on the Amendment Site.

This information is to be used by City of Albany and Western Australian Planning Commission when assessing the Amendment. The scale of this application is defined as *Local* as it seeks to outline and mitigate the visual constraints of development of the Amendment Site.

This assessment of visual landscape has been undertaken in accordance with the *Visual Landscape Planning in Western Australia* Manual, produced by the WAPC.

Visual Landscape Character Units

The Amendment Site can simply be described as an undulating rural landscape, with the following descriptions identifying the visual landscape character of the Amendment Site:

- Open;
- Rolling;
- Smooth; and
- Regular.

The main visual features of the site are:

- The ridge and slopes leading to the ridge;
- Pockets of vegetation:
 - Located on the side of the ridge line;
 - Riparian vegetation; and
 - Bushland located on adjacent properties, which frames and defines the lot;
- The creekline and ponds;
- The low flat land located adjacent to Millbrook Road;
- Existing development (i.e. houses, sheds, fence lines, etc); and
- Gravel and sand extraction pits.

Similarly, the Amendment Site can be divided into the following Visual Landscape Character Units:

- Ridge Line;
- Creek Line;
- Low Lying Land; and
- Semi Rural Land.



Ridge Line

The predominant landscape Character Unit on the Amendment Site is the Ridge Line. This is characterised by rolling hills to steeply sloping land that is framed by vegetation, predominantly along lot boundaries. This unit also has views over all other units on the land as well as broader views across the rural and urban landscape of King River and Albany. This landscape is impacted by the gravel extraction pit, which will be rehabilitated as a result of the Amendment.

This landscape character unit is also the most highly visible of the Amendment Site. Broken views are available from Chester Pass Road (broken by fringing vegetation) both immediately adjacent to the site and from further south, toward Pendeen Industrial Estate. See **Plates 1, 2 and 3** below for pictures of the ridge line on the Amendment Site.



Plate 1: View of the Amendment Site from Chester Pass Road adjacent.



Plate 2: View of the Amendment Site from Chester Pass Road near Pendeen Industrial Estate.



Plate 3: View of the Amendment Site from Millbrook Road.

Creek Line

This forms the area in the valley of the creek, as well as the ponds on the western side of the creek. This land is gently sloping and overlooked by the western slope of the ridgeline.

This landscape is characterised by textured vegetation and lines. The sand extraction, which has created the ponds, also forms a blemish on the flowing landscape on the northern side of the creek.

It is likely that a buffer is required to agricultural land uses, hence it can be expected that a solid line of vegetation will be established on the western boundary of the Amendment Site. This will provide screening, but also form a solid boundary for the landscape unit. See **Plates 4 and 5** for views of the Creek Line on the Amendment Site.



Plate 4: View of the Creek Line Visual Landscape Unit.



Plate 5: View of the Creek Line Visual Landscape Unit.

Low-Lying Land

Low-lying land immediately adjoins Millbrook Road. This land is generally flat and falls in the foreground of views from Millbrook Road. It is also viewable from the south facing slopes of the ridge. This land provides the rural atmosphere of the Amendment Site and draws views to the ridge.

The Low-Lying Land is characterised by open spaces, with angular lines and uniformly smooth texture. See **Plate 6** for a view of the Low-Lying Land on the Amendment Site on Millbrook Road.



Plate 6: View of the Low-Lying Land Visual Landscape Unit from Millbrook Road.

Semi-Rural Land

The Semi-Rural Land of the Amendment Site is located in the southern corner near the intersection of Millbrook and Chester Pass Roads. There are a number of buildings located in this area, and introduced vegetation. Although this land is only slightly sloping, vegetation gives a higher degree of vertical prominence. See **Plate 7** for a view of Semi-Rural Land from Chester Pass Road.



Plate 7: View of the Semi-Rural Land Visual Landscape Unit from Chester Pass Road.

How is the Landscape Viewed, Experienced and Valued

The Amendment Site forms the first prominent hill at the edge of the Wheatbelt Plateau. It is the first cleared rural parcel of land exiting Albany on Chester Pass Road which is visually prominent. It demonstrates the changing height of the landscape. Those entering the coastal landscape could also view it as the last undulating hill before coming down onto the coastal plain.

The landscape is accessed and experienced from nearby roads reserves. These include Chester Pass Road, Millbrook Road and Bon Accord Road. At some points along Chester Pass Road, the Amendment Site is fully viewable. However, the change in elevation is less significant due to the changing elevation of the road. Millbrook Road has a full view of the Amendment Site, due to a lack of screening road side vegetation. From this low point in the landscape the scale and elevation of the Amendment Site are fully appreciated.

Views from outside of the Amendment Site are generally limited, due to the presence of vegetation in the landscape. The most prominent location from which the Amendment Site can be viewed is Chester Pass Road, from the Pendeen Industrial Estate. The gravel pit on the site is clearly evident and currently forms a scar on the rural landscape.

The Amendment Site is visually significant, as it lies at the entry/exit to the Albany coastal plain. It forms a landmark for those entering and exit Albany on Chester Pass Road and South Coast Highway. It needs to be treated with sensitivity when being developed for Special Rural uses.

How the Amendment will Address Visual Landscape.

This Amendment recognises the importance of the visual landscape and maintaining the rural character of the King River locality. This is the future defined edge of the Albany urban area, hence must be treated sensitively from a visual perspective. The Amendment will address the visual impact of proposed development on the Amendment Site through the following methods:

- Revegetation to screen future house sites (Provision 6.4);
- Retention of existing vegetation to characterise the Amendment Site and provide mature vegetation (Provision 6.1);
- Rehabilitation of the previous sand and gravel extraction areas in the landscape.
- Building design has to address the visual prominence and scale of housing in relation to the surrounding rural landscape. Sympathetic colours and textures will be required to be used to ensure that subsequent development on the Amendment Site complements its rural context and in a visual sense, does not become urban-style development (Provision 5.0); and
- A Visual Landscape Assessment and Management Plan may be required by the City and/or WAPC to be prepared as a condition of subdivision (Provision 13.1).

The Amendment seeks to minimise the impact of development on the Amendment Site. We believe the Scheme Provisions, accompanied by the Subdivision Guide Plan and a possible Visual Impact Assessment, will be able to mitigate the visual impact of development on the Amendment Site, making it sympathetic with the rural character of King River.

Conclusion

This Amendment appropriately addresses the visual character of the Amendment Site and possible measures to ensure that the visual integrity is maintained. In addition, the requirement for a Visual Landscape Assessment and Plan to be implemented at subdivision stage will ensure that City of Albany and Western Australian Planning Commission have suitable control over the visual development of the Amendment Site if considered necessary.



APPENDIX E

EPA Scheme Amendment Checklist

Referral of a scheme to the Environmental Protection Authority

ENVIRONMENTAL CHECKLIST

Title of scheme*: _____

This checklist is intended to assist authorities responsible for schemes to identify potential environmental issues, and to supply the information that the EPA requires to decide whether or not to assess a scheme.

Please tick the appropriate box and supply the information indicated at Section D below to the EPA. For clarification of any terms or descriptions used, please refer to EPA Guidance No. 33 'Environmental Guidance for Planning and Development' or the Planning and Infrastructure Assessments Branch of the EPA Service Unit.

A. Biophysical factors

Yes No Unsure

- | | | | |
|---|--------------------------|--------------------------|--------------------------|
| 1. Does the area to which the scheme applies contain or adjoin any of the following? | | | |
| a) bushland. If yes, identify | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| b) a wetland (includes seasonally damp land), watercourse or river - if yes, identify | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| c) an estuary or inlet. If yes, identify | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| d) coastal area or near-shore marine area. If yes, identify | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| e) a public water supply area. If yes, identify | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| f) a landform of special interest, for example, karst, beach ridge plain. If yes, identify | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 2. Is any area to which the scheme applies in a catchment that is of particular environmental concern or interest? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| If yes, identify the catchment: | | | |
| Lake Clifton catchment | <input type="checkbox"/> | | |
| Swan Coastal Plain catchment of the Peel-Harvey Estuary | <input type="checkbox"/> | | |
| Swan and Canning Rivers catchment (other than Ellenbrook catchment) | <input type="checkbox"/> | | |
| Ellenbrook catchment | <input type="checkbox"/> | | |
| Other catchment (please name) | <input type="checkbox"/> | | |
| 3. Is the land to which the scheme applies the subject of any significant or potentially significant soil or land degradation issues, for example, salinity, waterlogging, erosion, acid sulphate soil? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| If yes, identify issue/s: _____ | | | |

B. Pollution management

- | | | | |
|--|--------------------------|--------------------------|--------------------------|
| 4. Does the scheme allow for a land use that will or could discharge a significant quantity of a potential pollutant to the air, surface water, soil or groundwater? | | | |
| | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| If yes, please identify the land use/s, and associated pollutants: | | | |
| _____ | | | |

NOTE: In this form, the term 'scheme' has the same meaning as in *Environmental Protection Act 1986*, and includes regional and town planning schemes and their amendments.

5. Does the scheme allow for a land use that could require a buffer over adjoining land? that is, does it allow for uses that may affect adjoining land (including land that may be used for future residential use) due to gases, noise, vibration, odours, light?

☐ ☐ ☐

If yes, please identify land use/s, and off-site areas that may be affected:

What is the distance to the nearest residences?

6. Would the scheme allow a residential area or sensitive land use (e.g. school) to be located in an area likely to be affected by emissions (e.g. gases, noise, odour) from industry, agriculture or infrastructure (e.g. landfill site)?

☐ ☐ ☐

If yes, please identify:

7. Does the scheme apply to a site that has been used for a past land use which may have contaminated the soil or groundwater, for example, market garden, industrial use, fill?

☐ ☐ ☐

If yes, please identify:

8. Does the scheme apply to any land with a high watertable?

☐ ☐ ☐

C. Social surroundings

9. Does the scheme raise any issues known to be of concern to the public?

☐ ☐ ☐

If yes, is the concern to the public related to an environmental issue?

Please specify the environmental issue(s) of concern

10. Is the scheme likely to raise heritage or cultural issues due to impacts on the biophysical environment?

☐ ☐ ☐

If yes, please identify

11. Does the scheme apply to areas of land where there are existing or potential land uses associated with high levels of risk, for example, a high pressure gas pipe line, heavy industry

☐ ☐ ☐

If yes, please identify:

D. Additional information

- If all answers to the questions above are 'no', no other environmental information is required to accompany this checklist.
- If answers include 'yes' or 'unsure', please provide information for those items on:
 - o the existing environment
 - o potential environmental impacts and their magnitude/significance
 - o how the impacts will be managed to ensure a good environmental outcome.

The EPA will review the checklist and information submitted and if not sufficient for the EPA to decide whether or not to assess the scheme, the EPA may request additional information.

Name of person completing form: _____ Date: _____

Position: _____ Contact _____ Phone/Email: _____

Our Ref: 14402

Your Ref: A0877/200601

13 May 2010

Department of Mines and Petroleum
Mineral House
100 Plain Street
EAST PERTH WA 6004

Attention: Mr Warren Ormsby, Senior Geologist Land Use Geoscience

Dear Warren

RE: Proposed Rural Residential Development of Lot 50 Chester Pass Road, King River – Impact on Surrounding Extractive Industry

I refer to your letter to the City of Albany dated 2 March 2010 (DMP Ref: A0877/200601). Harley Global acts on behalf of the owners of Lot 50 Chester Pass Road, King River. This property is one of the sites your letter makes reference to.

Purpose of this Letter

We understand that your Department has concerns over the impact rural residential development on Lot 50 may have on extractive industry within the property and those surrounding it. The purpose of this letter is to provide additional detail on the potential impact that this development will have. We hope that this information will allay the concerns the Department has and will allow it to support the proposal when the Local Planning Scheme Amendment to rezone the site is referred to you in mid 2010.

Background

The owners of Lot 50 have been interested in having the property identified as suitable for future rural residential development since the late 1990's. Indeed, an earlier version of the Albany Local Planning Strategy (ALPS) was advertised in 2001 showing a large percentage of the site as being for future rural residential expansion of the King River settlement. This proposal was removed from the later version of ALPS advertised in 2006 and 2007.

During 2008, Harley Global and the owners of Lot 50 undertook negotiations with the WAPC, the City of Albany and representatives of the then-Minister for Planning and Infrastructure to have a rural residential designation for the site re-included in ALPS. These negotiations resulted in a Scheme Amendment Request being prepared that provided a strategic planning justification for the proposal. The Council of the City of Albany subsequently resolved in December 2008 to support the concept and further resolved to include Lot 50 in the rural residential designation in ALPS.

As you are aware, the City of Albany re-advertised key elements of ALPS including showing Lot 50 as Rural Residential. It is this strategic change to which you raised concerns with given the proximity to existing basic raw material extraction sites. We believe that the concerns raised can be adequately addressed through the more detailed Local Planning Scheme Amendment phase which is now in progress.

Following on from the City's decision in December 2008, a Scheme Amendment has been prepared proposing Lot 50 be rezoned to *Special Rural*. The Amendment (No. 299 to City of

Albany Town Planning Scheme No. 3) is currently with the City for initiation. This document provides a much more detailed assessment of the site's suitability and the impacts development will have on a variety of issues. We intend for the information and justification contained in this correspondence to be incorporated into the Scheme Amendment to ensure appropriate protection for current and future basic raw material exploitation in the King River area.

We anticipate the City of Albany will consider formally initiating Amendment 299 in June 2010. It will then be referred to the EPA for determination of the level of environmental assessment prior to the statutory advertising period, at which time we anticipate the City of Albany will seek the Department's comments on the specifics of the proposal.

Overview of Proposed Rural Residential Development

As part of our documentation to the City of Albany, a **draft Subdivision Guide Plan (attached)** has been prepared. This draft plan is subject to change as a consequence of the assessment process. However, it provides the preferred concept of the owner of Lot 50, whilst taking into account the capability of the property and other planning and environmental considerations.

The current proposal provides for the creation of 78 lots ranging in size between 6000m² and 5ha. A number of development exclusion areas are identified on the draft plan that take into account fire and effluent disposal limitations and setbacks to Chester Pass Road and surrounding agricultural areas.

Any development of Lot 50 will be staged given the size of the property and the number of lots envisaged. As services are located at the southern end of the site, any development of Lot 50 will begin in this location and move northward over time. Therefore, development of the northern section can be timed to ensure any nearby extraction activity has ceased.

Current Situation

As you are aware there are a number of active extractive industries in the King River locality, including current licenses over Lot 50. We have prepared the attached **Extractive Industry Impact Assessment** plan using the information provided in your letter to the City of Albany. The plan indicates the areas of gravel and sand potential within the locality. We have shown 300m and 500m setback distances from the outer boundaries of Lot 50, which is based on your advice concerning the separation distance to sensitive land uses.

The location of existing sand and gravel pits is also shown on the plan. We note that within 500m of Lot 50, there is an operating sand pit on Lot 4849 (immediately abutting Lot 50 on the northern side). A gravel pit is located 500m from the eastern boundary of Lot 50 (on Lot 110 Bon Accord Road) on the opposite side of Chester Pass Road.

The owners of Lot 4849 have advised they estimate there is approximately 5-7 years of sand supply remaining on the site and have no objection to the staged development of Lot 50 for rural residential uses (see **letter attached**).

The owners of Lot 110 have not been contacted as this site is located 500m from the eastern edge of Lot 50 and any rural residential house development will be located at least 50m further inside of this boundary. We do not believe that development on Lot 50 would affect this operation. However, we understand that there is only a very limited amount of gravel left in this site and that the gravel resource will be exhausted before any development of Lot 50 occurs.

As your records show, there are currently two extractive industry licenses over Lot 50. The first of these relates to sand extraction in the north western part of the site on the western side of the creek that runs through the property. This sand has not been extracted from the site for a number of years with the pits rehabilitated into ponds. The existing license is being retained to allow the limited amount of sand remaining to be used in construction of the rural residential subdivision.



The second license over Lot 50 relates to gravel extraction in the northern part of the property. This resource is located on top of a ridge and has been in use for a number of years. The owner of Lot 50 advises that the pit will remain in operation until the resource has been exhausted. Some of the gravel may be used for construction of the rural residential subdivision on Lot 50 with the pits immediately rehabilitated into rural residential lots.

Impact on Current Operations

The intent of providing for rural residential development is to provide a higher and best use once the existing basic raw material resources on the site have been exhausted.

The sand extraction on Lot 50 ceased some years ago when the resource was exhausted. The pits have been rehabilitated to form ponds. Sand extraction on Lot 4849 has approximately 5-7 years remaining. As the development of Lot 50 would be staged over a prolonged period of time, the development front would be from southeast to northwest to allow the sand extraction to continue unaffected until its natural end.

The gravel pit on Lot 50 has approximately 3 years of supply left if the gravel is used to the maximum permitted under the license. The owner wishes to maintain a sufficient supply of gravel on site to provide the required materials for construction of the future subdivision with the rest sold for off-site use.

As the rezoning of the property is at an early point in the process, subdivision and development is not anticipated in the short term. Whilst the exact timing of any development will depend upon demand and the timely issue of the necessary approvals, we expect the property would be rezoned in 2011 with development not for approximately 3 years. Any development would occur from the south eastern corner of the site where services are in close proximity. This will allow the gravel pit to be exhausted and rehabilitated into rural residential lots in subsequent stages (approximately 5+ years).

Impact on Future Extraction Operations

We believe that the impact of rural residential development on Lot 50 will be minimal. This is due to the likely exhaustion of resources both within and surrounding Lot 50 within the short term.

Expansion of sand or gravel extraction on Lot 50 and within 500m of its boundaries appears limited by the following factors:

- Existing extraction areas within 500m of Lot 50 or on the property itself are expected to be exhausted prior to development encroaching on these operations.
- The location of additional extraction sites within 500m of Lot 50 appears to be limited by existing development around Baker's Junction, remnant vegetation and existing housing.
- The location of the King River settlement south of Millbrook Road would make extraction within 500m of Millbrook Road problematic. This is likely to preclude any extraction on the southern half of Lot 50 due to the proximity to a substantial number of sensitive uses (i.e. houses and caravan park).
- Soil profiles taken on Lot 50 by Opus International Consultants indicates limited sand and gravel resources within 2m of the surface (see below).
- Any future expansion of extraction is likely to be to the north, northwest and northeast of Lot 50 given the increased development south and west of Millbrook Road.

We contend that the establishment of new extraction sites on Lot 50 or within 500m of the site is unlikely given the above factors.



Soil Profiles on Lot 50

A total of 16 test pits to 2m depth were excavated on Lot 50 as part of the Land Capability Assessment (LCA) that forms part of Amendment 299. This was prepared by Opus International Consultants in December 2009. Although the LCA was prepared in order to establish whether the site is suitable for on-site effluent disposal, the soil profiling identifies the soil types to the depth of 2m across the site.

We have included a plan showing the location of the test pits and a soil profile diagram of each pit for your information.

This shows that gravel within 2m of the surface (and easily extracted) is limited to an area to the south-southwest of the existing gravel pit (Test Pit 12). The depth of the gravel is indicated at approximately 200mm - 800mm. Test Pit 7 indicates the presence of gravel / sand / silt between 400mm and 1000mm. This area is located close to the south eastern corner of Lot 50 and is close to existing housing and the King River settlement.

Test Pit 15 near the north eastern corner of Lot 50 shows Silt Sand from the surface to 1900mm, with gravel underneath. However, this site is located on a slope that is highly visible from Chester Pass Road and extraction may not be approved by the City of Albany on visual amenity grounds. Indeed, any rural residential development will need to be offset from Chester Pass Road by a minimum of 50m with vegetated screening planted to reduce any visual impact, so it is unlikely that extractive industry would be supported by the City of Albany within close proximity to the road.

Silt sands under peat at variable depths have been identified at Test Pits 5 and 6 in the southern section of the site. These sites have peat overlays and are located within 100m of the King River caravan park and are subject to water logging. Given the proximity to sensitive uses and the wet nature of the soils, it is presumed that these areas are not viable for sand extraction.

Regional Basic Raw Material Implications

Your submission to the City of Albany raises the potential for King River to be a regionally significant gravel resource area. However, the Lower Great Southern Strategy (LGSS) only identifies a site approximately 5km southwest of Lot 50 in Willyung and a site approximately 4km east of Lot 50 in Lower King (at the confluence of the King River and Oyster Harbour). We understand that this information is based on a 1996 study into the availability of Basic Raw Materials (BRM) in the Albany region.

It is noted that the LGSS recommends the 1996 BRM Study be updated by the Department of Mines and Petroleum and Department of Planning in consultation with the local government authorities. However, in the absence of this review, we request that the local information provided in this submission be considered. We contend that there is sufficient evidence to show that rural residential development of Lot 50 will not impact on the ability to protect BRM of regional significance given the local resources is nearing exhaustion and existing development precludes a southern extension of extraction activity.

Consideration of the Objectives of State Planning Policy 2.4

It is noted that State Planning Policy 2.4 *Basic Raw Materials* applies only to the Perth Metropolitan Area and surrounding Shires. However, the objectives of the Policy have been more broadly adopted for regional areas including in Albany. The objectives of the Policy are:

- *identify the location and extent of known basic raw material resources;*
- *protect Priority Resource Locations, Key Extraction Areas and Extraction Areas from being developed for incompatible land uses which could limit future exploitation;*

- *ensure that the use and development of land for the extraction of basic raw materials does not adversely affect the environment or amenity in the locality of the operation during or after extraction; and*
- *provide a consistent planning approval process for extractive industry proposals including the early consideration of sequential land uses.*

We believe that the information we have included in this submission provides sufficient information for decision-makers to be satisfied that the development of Lot 50 for rural residential purposes will not limit future exploitation opportunities. Further, the proposal to rezone Lot 50 and to ultimately subdivide and develop the property is consistent with the Policy objective of considering subsequent land uses after resource extraction ends.

Conclusion

We hope that the above submission and attached information provides sufficient strategic justification of the impact on basic raw material extraction the development of Lot 50 may have. We believe that the rural residential development can occur at a time and in a manner that will not have a detrimental impact on existing and possible future extractive industries within 500m of Lot 50.

We will request that the City of Albany incorporates this submission as an Appendix to the Scheme Amendment documents it is currently considering. Although your early review of this submission is requested, we note that the Department will have a formal opportunity to make a submission on the full Scheme Amendment proposal later this year.

Please do not hesitate to contact the undersigned on 9792 6000 should you wish to discuss this submission or the rural residential development proposal further.

Yours faithfully



Roy Winslow
Senior Planning Consultant / Planning Team Manager
Harley Global Pty Ltd

E-mail: royw@harleyglobal.com.au

Enc: *Draft Subdivision Guide Plan showing the envisaged rural residential development.*

Extractive Industry Impact Assessment Plan

Letter of support from the owners of the sand pit on Lot 4849.

Opus test pit locations and soil profile information (extract of full Land Capability Assessment).

CC: *Mr Graeme Bride, City of Albany*

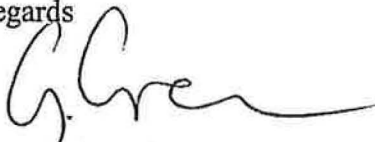
Geoff Cake
Chester Pass Rd
Albany
21st April 2010

Hi Geoff,

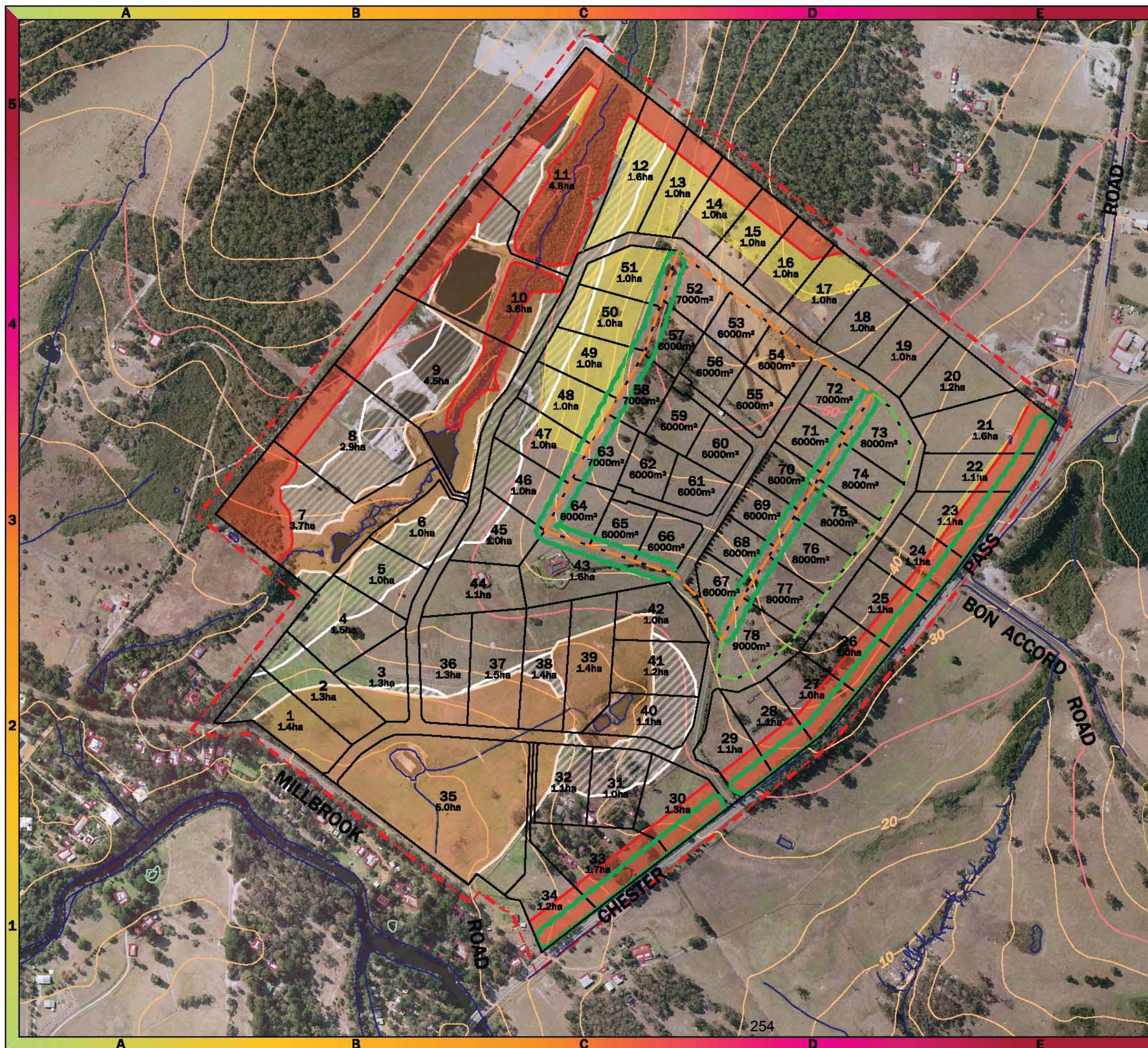
We have studied the map you gave us regarding the proposed subdivision on your property and make the following comments,

1. We have no objections in principle to the proposal you are submitting for subdivision as long as it does not interfere with agriculture pursuits we are currently undertaking or intending to undertake on our land adjoining your property. As you are aware we also have an extraction license on the said land, the sand pit in its current location has an approx life of five to seven years and we would not like this affected.
2. As you are aware our property is land locked and has no road frontage so would appreciate if you could allow an access point through one of your proposed blocks for our private use, maybe between blocks nine and ten or eleven and twelve, we are aware we would have to contribute to the construction cost of the said road.
3. We understand why you are proposing to subdivide as you cannot make a return on the amount of land you have and most of the land is not quality farm land but ideal for small lots.

Regards



Greg and Heather Crane



Bulletin 1.1.9
 Agenda Item Refers 13.2.2 125 pages

LEGEND

- EFFLUENT DISPOSAL EXCLUSION AREA
- BUILDING EXCLUSION AREA
- PHOSPHATE REMOVING ALTERNATIVE TREATMENT UNITS AREA
- CREEK LINES AND DRAINAGE LINES
- 8000m² PRECINCT
- REVEGETATION
- BUILDINGS TO COMPLY WITH MEDIUM CATEGORY OF AS 3959

City of Albany

SUBDIVISION GUIDE PLAN

SPECIAL RURAL AREA NO.41

LOT 50 CHESTER PASS ROAD

KING RIVER

This Subdivision Guide Plan has been adopted by Council and signed by the Manager of Planning for the City of Albany

Manager Planning.....Date.....

SCALE AT A3 1:6000

0 50 100 150 200 250 300
 ALL DISTANCES ARE IN METRES

Drawn
 SDP 07-12-09

Checked
 RAW 16-12-09

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note:
 This plan has been prepared for planning purposes. Areas, Corridors and Dimensions shown are subject to survey

harley
 survey group

116 Serpentine Road, Albany WA 6330
T: 08 9841 7333 F: 08 9841 3643
E: hsgalb@harleyglobal.com.au

HSG Ref 14402-11C

116 Serpentine Road, ALBANY WA 6330
T: 08 9841 7333 F: 08 9841 3643
E: hsg@harleyglobal.com.au

EXTRACTIVE INDUSTRY IMPACT ASSESSMENT

LOT 50 ON DP 29890
CHESTER PASS ROAD
KING RIVER

FOR GC & GL CAKE

SCALE AT A3 1:12000
0 100 200 300 400 500 600
ALL DISTANCES ARE IN METRES

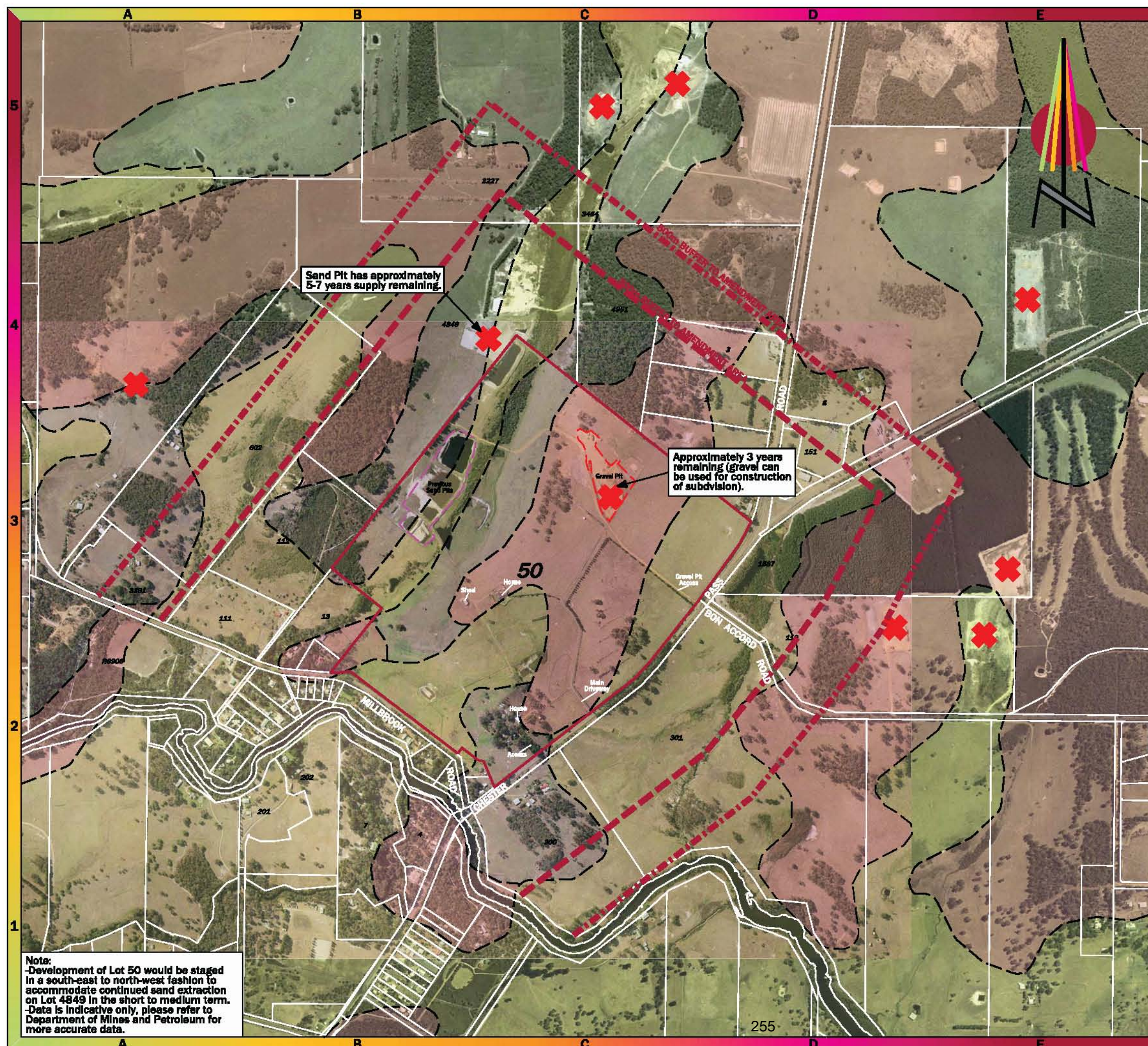
DRAWN	CHECKED	DRAWING No
SDP 28-05-10	RAW 28-05-10	14402-12B.dgn

REV	DESCRIPTION	DATE
A	Original Drawing	03-05-10
B	Changes requested by Client	28-05-10

	Area with Gravel Extraction Potential (DMP Mapping)
	Area with Sand Extraction Potential (DMP Mapping)
	Site Boundary
	300m Buffer to Amendment Area
	500m Buffer to Amendment Area
	Current Extraction Site

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NOTE:
This plan has been prepared for planning purposes. Areas, Contours and Dimensions shown are subject to survey.



Note:
-Development of Lot 50 would be staged in a south-east to north-west fashion to accommodate continued sand extraction on Lot 4849 in the short to medium term.
-Data is Indicative only, please refer to Department of Mines and Petroleum for more accurate data.



SCALE AND LEGEND

Legend

- Lot 50
- A LCA Test Pit Locations
- Albany Cadastre

0 75 150 300 Meters

DESIGN	SG	CHECKED	DATE
DRAWN	SG		
APPROVED	256		
This drawing and it's contents are the property of Opus International Consultants Limited. Any unauthorised employment or reproduction, in full or in part, is forbidden			

G. C. Cake

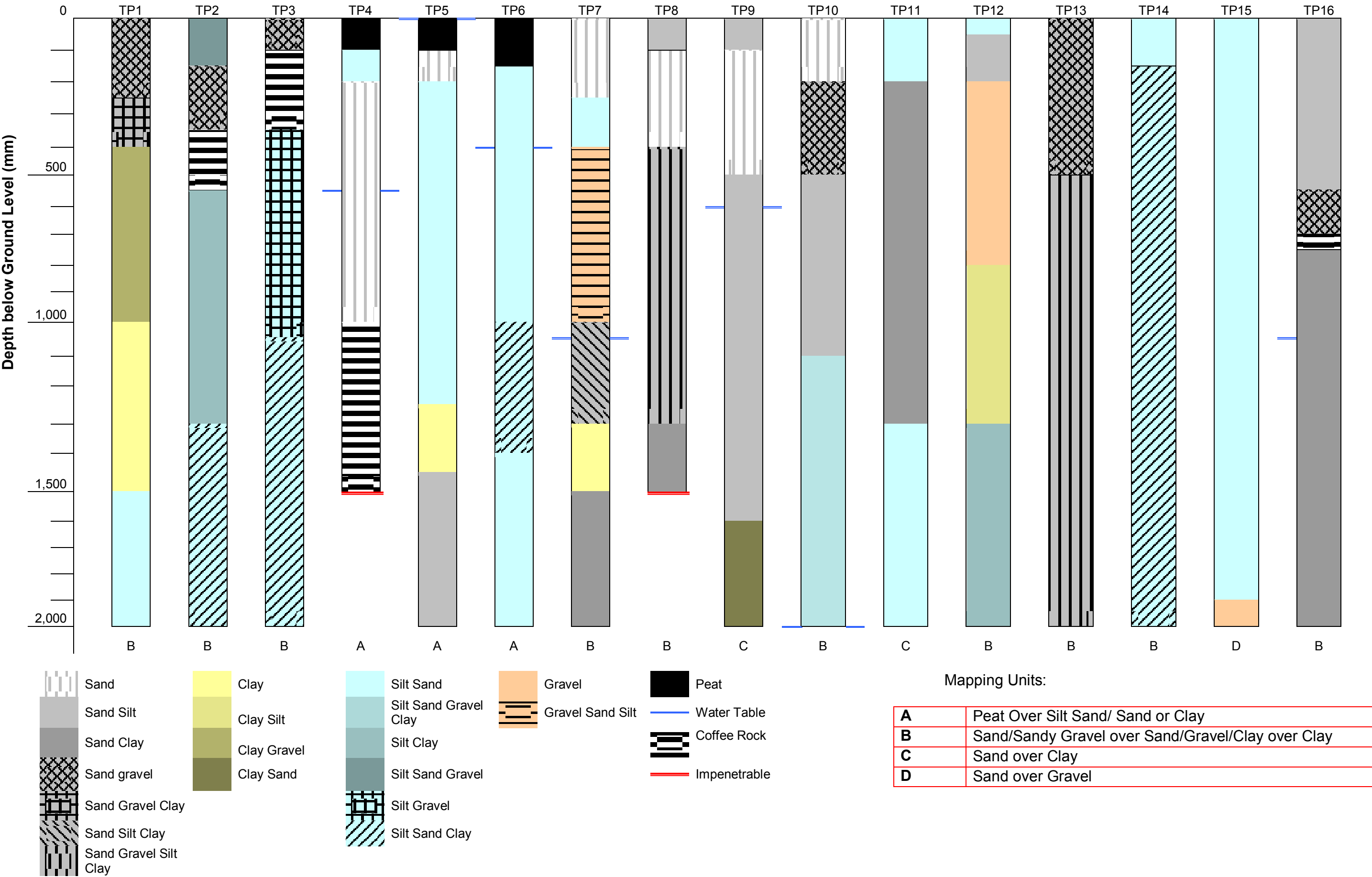
Albany Office

PO Box 5236
Albany, WA 6330, Australia

OPUS Tel: +61 8 9842 6155
Fax: +61 8 9842 6055

TITLE Opus International Consultants Lot 50 Chester Pass Road Land Capability Assessment	
Lot 50 Chester Pass Rd LCA TEST PITS	
STATUS FINAL	FILE WAENV130
SCALE 1:7,500	PLOT DATE 9 SEPT 2009

Test Pits Soil Profiles



Chq	Date	Name	Description	Amount
26367	06/05/2010	STEVE AND JULIE LEGGETT	CROSSOVER SUBSIDY FOR 572 WINDEMERE RD	- 214.50
26368	06/05/2010	CHRISTINE EVANS	CROSSOVER SUBSIDY FOR LOT 26 SERPENTINE EAST ROAD	- 305.79
26369	06/05/2010	SHARON COOPER	CROSSOVER SUBSIDY FOR LOT 397 MCNEAL LOOP	- 158.55
26370	06/05/2010	DONNA ANDERSON	SWIM LESSON RE-IMBURSEMENT DUE TO LOW WATER TEMPERATURE	- 73.70
26371	06/05/2010	KARINA SHAND	SWIM LESSON RE-IMBURSEMENT DUE TO LOW WATER TEMPERATURE	- 73.70
26372	06/05/2010	JOANNE CARRIER	MOUNT TOMANCE CENTENNIAL ART PRIZE 2010 - SALE OF ARTWORK TITLED "HOO HOO"	- 37.50
26373	06/05/2010	TREVOR HILDER	MOUNT ROMANCE CENTENNIAL ART PRIZE 2010: SALE OF ARTWORK TITLED "TRANSPERANT TERRESTRIAL"	- 37.50
26374	06/05/2010	BRENDAN O'LEARY	MOUNT ROMANCE CENTENNIAL ART PRIZE 2010 WINNER OF BEST PRINT	- 1,000.00
26375	06/05/2010	BOULDER BUSTER PTY LTD	Training in the use of the Boulder Buster System	- 1,320.00
26376	06/05/2010	EAGLE BOYS PIZZA	FMP CATERING SESSION 1 29/05/2010	- 149.10
26377	06/05/2010	PETTY CASH - ALBANY AQUATIC AND LEISURE CENTRE	UMPIRES FEES	- 1,700.00
26378	06/05/2010	MR FRIDGE SEAL MAN	SUPPLY AND FIT FRIDGE/FREEZER SEAL	- 165.00
26379	06/05/2010	TOWN OF NARROGIN	LOST / DAMAGED LIBRARY BOOK	- 18.95
26380	06/05/2010	PATRICIA DABORN	RESTORATION AND CONSERVATION WORK ON 4 ARTWORKS	- 145.00
26381	06/05/2010	PETTY CASH - ALBANY PUBLIC LIBRARY	PETTY CASH REIMBURSEMENTS	- 327.20
26382	06/05/2010	PETTY CASH - CITY OF ALBANY	PETTY CASH REIMBURSEMENTS	- 421.70
26383	06/05/2010	TELSTRA CORPORATION LIMITED	TELEPHONE CHARGES	- 90.00
26384	06/05/2010	WATER CORPORATION	WATER CONSUMPTION	- 2,012.45
26385	06/05/2010	WORKSAFE WESTERN AUSTRALIA	FEE FOR LICENCE CONVERSION FOR WORKSAFE LICENCE	- 48.00
26386	06/05/2010	MARTIN VAN DONGEN	INV 55 - REMOVAL OF TIGER SNAKE FROM COA GARDENS	- 100.00
26387	06/05/2010	MOTOR NEURONE DISEASE ASSOCIATION OF WA	DONATION	- 100.00
26388	07/05/2010	DEPARTMENT OF COMMERCE	FEES FOR WORKSAFE FORUM - 10 STAFF	- 1,100.00
26389	13/05/2010	AMITY SETTLEMENTS	Rates refund for assessment A74908	- 300.80
26390	13/05/2010	JACOBUS CAPONE	MOUNT ROMANCE CENTENNIAL ART PRIZE 2010 WINNER OF OPEN PRIZE	- 3,000.00
26391	13/05/2010	CHOOKS FRESH & TASTY - ALBANY	CATERING SESSION 3 - DOUST	- 84.50
26392	13/05/2010	CITY OF WANNEROO	LOST /DAMAGED LIBRARY BOOK	- 19.80
26394	13/05/2010	DEPARTMENT OF TRANSPORT	VEHICLE REGISTRATION	- 146.85
26395	13/05/2010	DEPARTMENT OF JUSTICE - FINES ENFORCEMENT	FER - FINES OUTSTANDING	- 2,537.00
26396	13/05/2010	SUZANNE HALSALL	MOUNT ROMANCE CENTENNAIL ART PRIZE 2010 - SALE OF ARTWORK TITLE "MY BOAT"	- 1,350.00
26397	13/05/2010	MICHAELS MUSICAL SERVICES	MUSICAL SERVICES - 24 APRIL 2010 CIVIC RECEPTION	- 150.00
26398	13/05/2010	LUTZ PAMBERGER	3 HR STRESS DEBRIEFING FOR STAFF	- 780.00
26399	13/05/2010	PETTY CASH - ALBANY REGIONAL DAY CARE CENTRE	PETTY CASH DAYCARE	- 194.10
26400	13/05/2010	TELSTRA CORPORATION LIMITED	TELEPHONE CHARGES	- 3,305.82
26401	13/05/2010	VIRIDIAN NEW WORLD GLASS	REGLAZE WINDOW AT ALAC	- 407.00

26402	13/05/2010 WATER CORPORATION	WATER CONSUMPTION	-	18,380.10
26403	13/05/2010 WESTERN POWER CORPORATION	SP030852	-	8,843.00
26404	13/05/2010 MARK BYRNES	SWIM LESSONS RE-IMBURSEMENT DUE TO LOW WATER TEMPERATURE	-	70.20
26405	13/05/2010 HELEN MCLEOD	SWIM LESSONS RE-IMBURSEMENT DUE TO LOW WATER TEMPERATURE - KIT	- -	230.70
26406	13/05/2010 ROZ PORTEOUS	SWIM LESSONS RE-IMBURSEMENT DUE TO LOW WATER TEMPERATURE	-	83.00
26407	13/05/2010 TERRY DOMBROWSKI	CROSSOVER SUBSIDY FOR 33 SHERWOOD DRIVE	-	211.55
26408	13/05/2010 CRAIG BRADLEY & STACEY BALATTI	CROSSOVER SUBSIDY FOR 26 ETHEREAL DRIVE	-	186.40
26410	18/05/2010 DEPARTMENT OF COMMERCE	WORK SAFE FORUM REGISTRATION - WAYNE TURNER	-	110.00
26411	20/05/2010 ALAN B DEVINE	CROSSOVER SUBSIDY FOR 15 MEARS ROAD YAKAMIA	-	185.05
26412	20/05/2010 SAMANTHA AHERN	CROSSOVER SUBSIDY FOR 8 ELIZABTH STREET BAYONET HEAD	-	311.68
26413	20/05/2010 COLIN AND ANDREA HYDE	CROSSOVER SUBSIDY FOR LOT 457 PRICE STREET OYSTER HARBOUR	-	155.60
26414	20/05/2010 A. J. NESBITT & D. I. COOMBE	CROSSOVER SUBSIDY FOR 8 BERLINER STREET BAYONET HEAD	-	217.44
26416	20/05/2010 MR & MRS R. S. MOULTON	CROSSOVER SUBSIDY FOR 16 MCCARDELL CRESENT ELIZABETH HEIGHTS	-	199.77
26417	20/05/2010 BRENT SHOOF	CROSSOVER SUBSIDY FOR 20 DELORAINE DRIVE WARRENUP	-	241.00
26418	20/05/2010 V SCHERINI	REIMBURSEMENT FEE FOR APPLICATION FOR PLANNING SCHEME - P2105119	- -	184.00
26419	20/05/2010 GRAHAM NASH	REIMBURSEMENT OF PART FEE FOR PLANNING APPLICATION SCHEME - P2105098	- -	233.50
26420	20/05/2010 BELINDA HATHAWAY	SWIM LESSON RE-IMBURSEMENT DUE TO LOW WATER TEMPERATURE - TAHLIA HATHAWAY	- -	181.60
26421	20/05/2010 RACHEL VELDMAN	SWIM LESSON RE-IMBURSEMENT DUE TO LOW WATER TEMPERATURE - BEAU VELDMAN	- -	73.70
26422	20/05/2010 TERESA BOYD	SWIM LESSON RE-IMBURSEMENT DUE TO LOW WATER TEMPERATURE - OAKLEY BOYD	- -	73.70
26423	20/05/2010 ALBANY AND REGIONAL VOLUNTEER SERVICE	NATIONAL STANDARDS & VOLUNTEER MANAGEMENT TRAINING	-	10.00
26424	20/05/2010 BOULDER BUSTER PTY LTD	Boulder Buster Unit with Mat	-	9,955.00
26425	20/05/2010 CASH	CASH CHEQUE FOR GLENDA KLAVER (LIBRARY) TO OBTAIN A GIFT VOUCHER FROM LEADING EDGE JEWELLERS ALBANY FOR HER DEPARTING/FAREWELL GIFT FROM THE COA - GLENDA HAS BEEN WITH THE COA FOR 21 YEARS	-	315.00
26426	20/05/2010 CITY OF WANNEROO	LOST/DAMAGED LIBRARY BOOK	-	18.70
26427	20/05/2010 CLERK OF COURTS	PROSECUTIONS FOR COURT X 2	-	149.40
26428	20/05/2010 PENELOPE HARRIS	LEAFLET DISTRIBUTION	-	60.00
26429	20/05/2010 PETTY CASH - ALBANY AQUATIC AND LEISURE CENTRE	UMPIRE FEES	-	1,500.00
26430	20/05/2010 SENSIS PTY LTD	YELLOW ONLINE BUSINESS BASICS	-	48.40
26431	20/05/2010 TELSTRA CORPORATION LIMITED	TELEPHONE CHARGES	-	11,490.25
26432	20/05/2010 UNIVERSITY OF WESTERN AUSTRALIA	2010 CITY OF ALBANY SCHOLARSHIP	-	2,000.00
26433	20/05/2010 VODAFONE PTY LTD	VODAFONE CHARGES	-	58.00
26434	20/05/2010 WRITING WA INC	MEMBERSHIP RENEWAL	-	110.00
26435	20/05/2010 WATER CORPORATION	WATER CONSUMPTION	-	2,101.40
26436	20/05/2010 WINDSOR LODGE COMO	Accomodation Victoria Duncan from 21-23 April 2010	-	330.00

26437	20/05/2010 MARGARETHA LACHMANN	CROSSOVER SUBSIDY FOR 5 MCCARDELL CRESENT BAYONET HEAD	-	161.49
26441	27/05/2010 AMP FLEXIBLE LIFETIME SUPER PLAN	Superannuation contributions	-	452.73
26442	27/05/2010 ASGARD	Superannuation contributions	-	283.04
26443	27/05/2010 COMMONWEALTH BANK SUPERANNUATION SAVINGS ACCOUNT	Superannuation contributions	-	316.02
26444	27/05/2010 GENERATIONS PERSONAL SUPER FUND	Superannuation contributions	-	148.98
26445	27/05/2010 HESTA SUPER FUND	Superannuation contributions	-	496.08
26446	27/05/2010 HOSTPLUS PTY LTD	Superannuation contributions	-	272.56
26447	27/05/2010 MLC NOMINEES PTY LTD	Superannuation contributions	-	359.85
26448	27/05/2010 MLC MASTERKEY BUSINESS SUPER	Superannuation contributions	-	51.22
26449	27/05/2010 NATIONAL MUTUAL RETIREMENT FUND	Superannuation contributions	-	107.14
26450	27/05/2010 TOWER TRUST LIMITED	Superannuation contributions	-	287.81
26451	27/05/2010 UNI SUPER	Superannuation contributions	-	203.92
26452	27/05/2010 MRS A BRUNING	CATERING FOR ALBANY EISTEDDFOD 18-21 MAY 2010	-	231.00
26453	27/05/2010 CHRIS SCATES	RE-IMBURSE CREDIT FOR MISSED LESSON - FAMILY MOVING BACK TO ENGLAND	-	8.30
26454	27/05/2010 DARREN AND BIANCA COLLINS	CROSSOVER SUBSIDY 16 CENTAURUS TERRACE MACKAIL	-	193.89
26455	27/05/2010 MS ANNETT CAPLEHORN	MOUNT ROMANCE CENTENNIAL ART PRIZE 2010 - WINNER - POPULAR VOTE	-	500.00
26456	27/05/2010 GREAT SOUTHERN DISTILLING COMPANY PTY LTD	VOULNTEERS FUNTION HELD AT VANCOUVER ARTS	-	1,000.00
26457	27/05/2010 GREAT SOUTHERN BOUNDARIES	SUPPLY AND INSTALL FENCE AND GATE AT WHIDBY STREET DRAINAGE BASIN	-	12,468.50
26458	27/05/2010 CHRISTOPHER HOLDEN	MILEAGE CLAIM 2/3/2010 - 11/5/2010 - 599 KM @ \$0.62P PER KM	-	376.77
26459	27/05/2010 PERPETURAL WEALTH FOCUS SUPER PLAN	Superannuation contributions	-	346.15
26460	27/05/2010 PETTY CASH - DEPOT	MORNING TEA/SUGAR/TEA	-	266.90
26461	27/05/2010 PETTY CASH - ALBANY REGIONAL DAY CARE CENTRE	PETTY CASH SUNDRY ITEMS	-	204.65
26462	27/05/2010 LJ & ME POW	ALL DAY WORKSHOP - HOW TO WRITE A NOVEL	-	600.00
26463	27/05/2010 SWAN TELEVISION RADIO BROADCASTERS PTY LTD	ADVERTISING - TV COMMERCIAL	-	23,100.00
26464	27/05/2010 TARGET AUSTRALIA PTY LTD	Bread knife	-	28.00
26465	27/05/2010 TELSTRA CORPORATION LIMITED	TELEPHONE CHARGES	-	2,990.51
26466	27/05/2010 TOYWORLD ALBANY	\$30 VOUCHERS X 2	-	60.00
26467	27/05/2010 VIRGIN SUPERANNUATION (ANDREW BELL 342492)	Superannuation contributions	-	57.03
26468	27/05/2010 WATER CORPORATION	WATER CONSUMPTION - LOC2	-	733.20
26469	27/05/2010 YOUTH FOCUS	DONATION - HAWIIAN RIDE FOR YOUTH - ORIGINAL CHEQUE ISSUED 18/3/2010 - REPLACEMENT FOR LOST CHEQUE	-	100.00
26470	27/05/2010 WATER CORPORATION	WATER CONSUMPTION	-	3,625.85
		TOTAL	-	130,224.24

EFT	Date	Name	Description	Amount
EFT59582	06/05/2010	ABA SECURITY	Lighting for ANZAC Peace Park as per scope of works and conditions -	11,665.29
EFT59583	06/05/2010	ACTIV FOUNDATION INC.	CLEANING RAGS -	72.00
EFT59584	06/05/2010	ADVANCED PERSONNEL MANAGEMENT	PRE-EMPLOYMENT SCREENING AND REPORT -	255.75
EFT59585	06/05/2010	ADVERTISER PRINT	PRINTING AND DELIVERY OF MEETING PADS -	288.00
EFT59586	06/05/2010	AGCRETE ALBANY	1.3 TON RUBBER VOID FORMERS -	100.00
EFT59587	06/05/2010	ALBANY HYDRAULICS	VEHICLE REPAIRS/PARTS -	119.22
EFT59588	06/05/2010	ALBANY VALUATION SERVICES	RENTAL VALUATIONS -	385.00
EFT59589	06/05/2010	ALBANY FARM TREE NURSERY	Supply & Deliver to the City of Albany plants or ANZAC Peace Park Delivery between December 2009 and April 2010 -	46,635.38
EFT59590	06/05/2010	ALBANY STATIONERS	STATIONERY SUPPLIES -	71.00
EFT59591	06/05/2010	ALBANY RETRAVISION	CERAMIC FAN TOWER HEATER -	199.00
EFT59592	06/05/2010	ALBANY REFRIGERATION	REFRIGERATION & AIRCONDITIONING REPAIRS & MAINTENANCE -	547.64
EFT59593	06/05/2010	ALBANY OFFICE PRODUCTS - NORTH ROAD	OFFICE FURNITURE & STATIONERY SUPPLIES -	1,842.80
EFT59594	06/05/2010	ALBANY FORMWORK PTY LTD	At ANZAC Peace Park park vehicle entry Supply and place concrete for Wheel Chair access -	979.00
EFT59595	06/05/2010	ALBANY MILK DISTRIBUTORS	MILK DELIVERIES -	296.07
EFT59596	06/05/2010	ALBANY OFFICE PRODUCTS - LIBRARY	STATIONERY SUPPLIES -	159.00
EFT59597	06/05/2010	ALLPACK SIGNS PTY LTD	Signage for parking -	364.10
EFT59598	06/05/2010	ANDIMAPS	ADVERTISING ALBANY STREET GUIDE 2010 -	920.00
EFT59599	06/05/2010	ART ALMANAC	ADVERTISING -	203.50
EFT59600	06/05/2010	ATC WORK SMART	CASUAL STAFF - LOUISE SIMS -	799.99
EFT59601	06/05/2010	AUSSIE DRAWCARDS PTY LTD	GREAT SOUTHERN SERVICE - QUARTERLY SERVICE FEES FOR MARCH, APRIL & MAY -	201.00
EFT59602	06/05/2010	AYSEMART	1 x Albany Region DVD for History Collection -	24.95
EFT59603	06/05/2010	BAIL SAND & GRAVEL SUPPLIES	Supply m3 of compaction sand for drainage -	897.60
EFT59604	06/05/2010	BANKSIA GARDENS RESORT MOTEL	Accommodation costs for Bob Moore from 21 March 2010 to 16 April 2010 -	4,100.00
EFT59605	06/05/2010	BAREFOOT CLOTHING MANUFACTURERS	UNIFORMS -	120.00
EFT59606	06/05/2010	BARE FACTS	SPRUNG CO-ORDINATION -	1,288.00
EFT59607	06/05/2010	BENNETTS BATTERIES	BATTERY PURCHASES -	484.00
EFT59608	06/05/2010	BEST OFFICE SYSTEMS	PHOTOCOPIER CHARGES -	383.00
EFT59609	06/05/2010	BLOOMIN FLOWERS	Boxed flower arrangement - for recognition gift - Civic Reception - 24th April 2010 -	40.00
EFT59610	06/05/2010	BOB'S BOBCAT SERVICE	Level sand in basins at peace park -	1,210.00
EFT59611	06/05/2010	BUILDING AND CONSTRUCTION IND TRAINING FUND	BCIFT LEVY FOR THE MONTH OF APRIL -	12,585.51
EFT59612	06/05/2010	BUILDERS REGISTRATION BOARD	BRB LEVY FOR THE MONTH OF APRIL -	2,449.50
EFT59613	06/05/2010	BUNNINGS BUILDING SUPPLIES PTY LTD	HARDWARE/TOOL SUPPLIES -	50.31
EFT59614	06/05/2010	LOUISE BURGLER	KNIVES FOR CIVIC KITCHEN -	33.00

EFT59615	06/05/2010 BUSHCARERS GROUP INC	COMMUNITY FINANCIAL ASSISTANCE	-	2,499.28
EFT59616	06/05/2010 CABCHARGE AUSTRALIA LIMITED	TAXI FARES	-	516.45
EFT59617	06/05/2010 CAMTRANS ALBANY PTY LTD	FREIGHT CHARGES	-	972.40
EFT59618	06/05/2010 J & S CASTLEHOW ELECTRICAL SERVICES	ELECTRICAL REPAIRS/MAINTENANCE	-	2,015.16
EFT59619	06/05/2010 BIS CLEANAWAY LIMITED	RUBBISH REMOVAL CONTRACT	-	382.30
EFT59620	06/05/2010 COCA-COLA AMATIL PTY LTD	SOFT DRINK FOR ALAC CAFE	-	138.32
EFT59621	06/05/2010 COLES SUPERMARKETS AUSTRALIA PTY LTD	GROCERIES	-	234.69
EFT59622	06/05/2010 COURIER AUSTRALIA	FREIGHT FEES	-	182.79
EFT59623	06/05/2010 COVENTRYS	VEHICLE PARTS	-	797.85
EFT59624	06/05/2010 HOLCIM (AUSTRALIA) PTY LTD	M3 concrete	-	465.19
EFT59626	06/05/2010 DICK SMITH ELECTRONICS	UNIDEN HAND HELD RADIO (2 PK) WITH CHARGER BASE	-	228.00
EFT59627	06/05/2010 DRAGON MARTIAL ARTS ALBANY	FINDING MY PLACE DRAGON MARITAL ARTS	-	240.00
EFT59628	06/05/2010 EASIFLEET MANAGEMENT	Payroll deductions	-	815.84
EFT59629	06/05/2010 ELLEKER GENERAL STORE	FUEL PURCHASES	-	24.80
EFT59630	06/05/2010 ALBANY ENGINEERING COMPANY	MAINTENANCE VEHICLES	-	248.60
EFT59631	06/05/2010 EVERTRANS	VEHICLE REPAIRS	-	555.50
EFT59632	06/05/2010 FARM FRESH WHOLESALERS	CATERING SUPPLIES	-	245.74
EFT59633	06/05/2010 BILL GIBBS EXCAVATIONS	HIRE OF PLANT FOR TENDER	-	5,344.63
EFT59634	06/05/2010 GORDON WALMSLEY PTY LTD	Removal of existing kerb and construction of kerbing. Removal and installation of existing guard rail - Festing Street	-	31,700.80
EFT59635	06/05/2010 GRACE REMOVALS GROUP	ART PARTITIONS DELIVERY	-	1,452.00
EFT59636	06/05/2010 GRANDE FOOD SERVICE	CATERING FOR TIME OUT CAFE	-	290.38
EFT59637	06/05/2010 SOUTHERN BRAKE & SERVICES	DRUM KEROSENE	-	40.00
EFT59638	06/05/2010 GREAT SOUTHERN PACKAGING SUPPLIES	CLEANING ITEMS	-	2,254.29
EFT59639	06/05/2010 HELIWEST GROUP	SCENIC ALBANY FLIGHT FOR 2 PASSENGERS	-	298.00
EFT59640	06/05/2010 HUDSON HENNING AND GOODMAN	STANDARD AIRPORT HANGAR LEASES	-	8,613.33
EFT59641	06/05/2010 JOHN KINNEAR AND ASSOCIATES	FEATURE SURVEY MARTIN ROAD - ADDITIONAL	-	643.50
EFT59642	06/05/2010 WESFARMERS KLEENHEAT GAS PTY LTD	PROPANE BULK LITRES	-	21.25
EFT59643	06/05/2010 KNOTTS PLUMBING PTY LTD	PLUMBING REPAIRS/MAINTENANCE	-	299.80
EFT59644	06/05/2010 ANNIKA KOOPS	CITY OF ALBANY ART PRIZE - 2010 - WINNER OF THE HIGHLY COMMENDED AWARD TITLE "STARCRAFT NO1"	-	1,000.00
EFT59645	06/05/2010 LAND LINE ENTERPRISES PTY LTD	Hours for drainage team to install new drainage systems as per Peace Park plans stage one	-	44,600.50
EFT59646	06/05/2010 JULIA EDITH LEVER	CASUAL ADMIN AND GENERAL DUTIES	-	586.56
EFT59647	06/05/2010 LOGO APPOINTMENTS	ROBERT MOORE - ENGINEERING TECHNICAL OFFICER	-	1,589.06
EFT59648	06/05/2010 LOWER KING LIQUOR & GENERAL STORE	FUEL	-	93.16
EFT59649	06/05/2010 SANDRA MACIEJEWSKI	MILEAGE REIMBURSEMENT	-	16.18
EFT59650	06/05/2010 MASTERY OF FX	FINDING MY PLACE MASTER OF FX SESSION	-	871.20
EFT59651	06/05/2010 MCINTOSH AND SON	Wander boom tube	-	951.50
EFT59652	06/05/2010 MCLEODS BARRISTERS & SOLICITORS	LEGAL FEES - DEFINITION OF PROFESSIONAL OFFICES	-	1,306.32
EFT59653	06/05/2010 MICROELECTRONIC TECHNICAL SERVICES	REPLACE UHF RADIOS HANRAHAN RD TIP SITE	-	926.00
EFT59654	06/05/2010 MINTER ELLISON LAWYERS	LEGAL COSTS	-	3,340.26

EFT59655	06/05/2010 JOHN MOIR	RUBBISH REMOVAL FROM CAPE RICKE -	-	840.00
EFT59656	06/05/2010 MR MOO DAIRY DISTRIBUTORS	MILK DELIVERIES	-	244.25
EFT59657	06/05/2010 MOTEL LE GRANDE	Accommodation expenses for invited International delegates to attend the Opening of the ANZAC Peace Park, 24 April 2010 and associated activities: Lionel Majeste Larrouy, Christine Caseris, Mustafa Ozacar and Halit Eren	-	955.00
EFT59658	06/05/2010 MT BARKER COMMUNICATIONS	TWO WAY RADIO REPAIRS/MAINT	-	484.00
EFT59659	06/05/2010 NATALIE RADIVOJEVIC	MT ROMANCE ART PRIZE EXPENSES	-	25.15
EFT59660	06/05/2010 ALBANY COMMUNITY PHARMACY	RESTOCK NORTH ROAD FIRST AID CUPBOARD IN SICK BAY	-	49.31
EFT59661	06/05/2010 OCS SERVICES PTY LTD	CLEANING SERVICES	-	295.70
EFT59662	06/05/2010 ORBANYS	UNIFORMS	-	15.00
EFT59663	06/05/2010 PALMER EARTHMOVING (AUSTRALIA) PTY LTD	MILLBROOK ROAD - RECONSTRUCTION AND WIDENING	-	54,381.50
EFT59664	06/05/2010 PLATTERS GOURME	AFTERNOON TEA FOR 11 PERSONS	-	108.90
EFT59665	06/05/2010 PLASTICS PLUS	STORAGE COMPARTMENTS	-	80.99
EFT59666	06/05/2010 POWELL SECURITY SERVICES	SERURITY SERVICES	-	157.00
EFT59667	06/05/2010 SCOTT POWELL & AMANDA RIGHTON	Rates refund for assessment A210900	-	409.21
EFT59668	06/05/2010 R & R TAPE AND SAFETY SUPPLIES	SAFETY EQUIPMENT & SUPPLIES	-	1,978.57
EFT59669	06/05/2010 RADICAL FITNESS	KIMAX CERTIFICATION	-	299.00
EFT59670	06/05/2010 REALTIME STORAGE SOLUTIONS PTY LTD	TECHNICAL TRAINING 200	-	429.00
EFT59671	06/05/2010 RECHARGE-IT	CLEAN AND REFILL INK CARTRIDGE	-	22.00
EFT59672	06/05/2010 W P REID	Remove existing footpath, supply & install new footpath and brick paving	-	18,397.00
EFT59673	06/05/2010 UNITED TOOLS ALBANY	HARDWARE/TOOL SUPPLIES	-	430.00
EFT59674	06/05/2010 SMITHS ALUMINIUM & 4WD CENTRE	ALLOY TUBE X 5.5M	-	133.50
EFT59675	06/05/2010 SOUTHERN ELECTRICS	ELECTRICAL REPAIRS/MAINTENANCE	-	3,678.69
EFT59676	06/05/2010 SOUTHERN TOOL & FASTENER CO	HARDWARE SUPPLIES	-	546.31
EFT59677	06/05/2010 SOUTHWAY DISTRIBUTORS (WA) PTY LTD	CATERING GOODS	-	2,681.07
EFT59678	06/05/2010 SOUTHCOAST SECURITY SERVICE	Static security of the Albany ANZAC Peace Park - 24 April 2010	-	1,016.40
EFT59679	06/05/2010 SPEEDO AUSTRALIA PTY LTD	SWIMMING SUPPLIES	-	1,830.40
EFT59680	06/05/2010 SPOTLIGHT	Children's workshop materials	-	117.58
EFT59681	06/05/2010 DEPARTMENT OF PREMIER & CABINET	GOVERNMENT GAZETTE ADVERTISING	-	219.12
EFT59682	06/05/2010 STATEWIDE BEARINGS	VEHICLE PARTS	-	201.96
EFT59683	06/05/2010 SAI GLOBAL LTD	ANNUAL FEE - NEW - COVERS THE ANNUAL LICENCE REGISTRATION FEE FOR THE ALBANY SITE	-	1,888.60
EFT59684	06/05/2010 STIRLING CONFECTIONERY PLUS	CONFECTIONERY SUPPLIES	-	307.12
EFT59685	06/05/2010 ST JOHN AMBULANCE AUSTRALIA	St John Ambulance fee for attending the Opening of the ANZAC Peace Park	-	176.00
EFT59686	06/05/2010 ALBANY LOCK SERVICE	LOCK SUPPLIES & SERVICE	-	688.90
EFT59687	06/05/2010 SYNERGY	ELECTRICITY SUPPLIES	-	6,877.65
EFT59688	06/05/2010 T & C SUPPLIES	HARDWARE/TOOL SUPPLIES	-	230.12
EFT59689	06/05/2010 THE NAKED BEAN COFFEE ROASTERS	COFFEE SUPPLIES FOR ALAC CAFE	-	151.00
EFT59690	06/05/2010 THE CLASSICAL MUSIC SHOP	BUSKING VOUCHERS	-	80.00

EFT59691	06/05/2010 TOTAL PACKAGING (WA) PTY LTD	CARTONS OF POO BAGS	-	203.50
EFT59692	06/05/2010 ALEXANDRA TUCKER	STAFF MILEAGE CLAIM	-	20.28
EFT59693	06/05/2010 ALBANY TYREPOWER	TYRE PURCHASES/MAINTENANCE	-	1,394.00
EFT59694	06/05/2010 UPTOWN MUSIC	GIFT VOUCHERS	-	400.00
EFT59696	06/05/2010 VALENTINO'S FLORISTS	GET WELL SOON BOUQUET OF FLOWERS FOR MARGARET DICKENSON TO BE DELIVERED TO HOSPITAL	-	60.00
EFT59697	06/05/2010 WATERCRAFT MARINE	ROPE/CLIPS & SHACKLES	-	60.00
EFT59698	06/05/2010 ALBANY & GREAT SOUTHERN WEEKENDER	Monthly full page - Community Info page, April 2010	-	1,374.90
EFT59699	06/05/2010 WESTERBERG PANEL BEATERS	INSURANCE EXCESS A60735 CLAIM NO. 633058361BMS	-	300.00
EFT59700	06/05/2010 WESTERN WORK WEAR	UNIFORMS	-	481.00
EFT59701	06/05/2010 WILSON MACHINERY	VEHICLE PARTS	-	1,415.11
EFT59702	06/05/2010 THE WINDOW WASHER MAN	WINDOW CLEANING - VAC	-	36.00
EFT59703	06/05/2010 TREASY WOODS	ABORIGINAL HERITAGE SURVEY - TORBAY	-	150.00
EFT59704	06/05/2010 WILLIAM WOODS	ABORIGINAL HERTIAGE SURVEY - TORBAY	-	150.00
EFT59705	06/05/2010 WREN OIL	WASTE DISPOSAL - 205 LITRES DRUM	-	121.00
EFT59706	06/05/2010 ZENITH LAUNDRY	LAUNDRY SERVICES/HIRE	-	19.47
EFT59707	06/05/2010 ALBANY COMMUNITY HOSPICE	COMMUNITY GRANT	-	10,000.00
EFT59708	06/05/2010 BLOOMIN FLOWERS	WREATH FOR RSL QUARANUP MEMORIAL SERVICE ON SUNDAY, 18TH APRIL 2010AFTERNOON.	-	55.00
EFT59709	06/05/2010 AL CURNOW HYDRAULICS	VEHICLE PARTS/MAINTENANCE	-	361.20
EFT59710	06/05/2010 KELVIN PENNY	PAYMENT FOR ABORIGINAL HERITAGE ASSESSMENT OF TORBAY INLET AREA	-	150.00
EFT59711	06/05/2010 VANCOUVER WASTE SERVICES	Coarse sand	-	570.90
EFT59712	07/05/2010 R & J PEMBERTON T/A WILDLIFE BOTANICA	Transport costs for international delegation for the Opening of the ANZAC Peace Park and associated activities.	-	1,408.00
EFT59713	11/05/2010 BERNIE WALSH ART AND DESIGN PTY LTD	SUPPLY PAINTING ARTWORK FOR ALBANY WEEKENDER CLASSIC MOTOR EVENT	-	1,540.00
EFT59714	13/05/2010 AD CONTRACTORS PTY LTD	hours Hire of dozer at Mostert Gravel Pit - Dawson Rd	-	14,310.50
EFT59715	13/05/2010 ALBANY VALUATION SERVICES	RENTAL VALUATIONS LEASE AREA FOR PART LOT 5 MERCER RD	-	660.00
EFT59716	13/05/2010 ALBANY V-BELT AND RUBBER	FILTERS/VEHICLE PARTS	-	875.04
EFT59717	13/05/2010 ALBANY STATIONERS	Brother P-Touch labeller 2430PC	-	713.45
EFT59718	13/05/2010 ALBANY PEST & WEED CONTROL	TREATMENT OF BEES TO THE FRENCHMAN BAY PICNIC AREA	-	130.00
EFT59719	13/05/2010 ALBANY STOCKFEEDS	BAGS OF DOG FOOD FOR THE POUND	-	102.00
EFT59720	13/05/2010 ALBANY REFRIGERATION	REFRIGERATION & AIRCONDITIONING REPAIRS & MAINTENANCE	-	1,214.40
EFT59722	13/05/2010 ALBANY OFFICE PRODUCTS - NORTH ROAD	STATIONERY SUPPLIES	-	400.65
EFT59723	13/05/2010 ALBANY COMBINED CABS PTY LTD	CAB FARES	-	60.60
EFT59724	13/05/2010 ALBANY KAWASAKI	VEHICLE MAINTENANCE/PARTS	-	19.50
EFT59725	13/05/2010 ALBANY FILTER CLEAN	4 FILTERS CHANGED	-	28.00
EFT59726	13/05/2010 ALBANY DRIVEWAYS AND CARPARKS	Repairs to depression at Middleton Rd /Mckenzie St	-	3,921.50
EFT59727	13/05/2010 ALBANY OFFICE PRODUCTS - VAC	STATIONERY SUPPLIES	-	112.00
EFT59728	13/05/2010 ALBANY OFFICE PRODUCTS - WORKS DEPOT	STATIONERY SUPPLIES	-	23.55

EFT59729	13/05/2010 ALL EVENTS PROSOUND HIRE	HIRING OF SOUND FOR THE OPENING OF THE PEACE PARK ON 24 APRIL 2010	-	580.00
EFT59730	13/05/2010 ALLCOMMERCIAL FINANCE AUSTRALIA PTY LTD	MONTHLY LEASE PAYMENT FOR COMMERCIAL VAC & AQUA POOL CLEANER	-	471.31
EFT59731	13/05/2010 ALLPACK SIGNS PTY LTD	SIGNAGE	-	275.00
EFT59732	13/05/2010 AMITY CRAFTS	ART COLLECTION RESTORATION	-	638.00
EFT59733	13/05/2010 ANNETTE DAVIS	FINAL INVOICE FOR 2010 CITY OF ALBANY ART PRIZE	-	6,055.45
EFT59734	13/05/2010 AUSTRALIA POST	POSTAGE/AGENCY FEES	-	2,437.72
EFT59735	13/05/2010 ALBANY AUTOSPARK	Repairs to the siren module	-	515.00
EFT59736	13/05/2010 BALL BODY BUILDERS	Lengths 300MM RRJ RCP PIPES CLASS 4	-	1,457.15
EFT59737	13/05/2010 ADVANCED TRAFFIC MANAGEMENT	Hours Hire of Traffic Control	-	4,076.33
EFT59738	13/05/2010 BERTOLA HIRE SERVICES ALBANY PTY LTD	Auger hire	-	184.14
EFT59739	13/05/2010 BEST OFFICE SYSTEMS	PHOTOCOPIER CHARGES	-	230.00
EFT59740	13/05/2010 BLACKWOODS	SAFETY EQUIPMENT & SUPPLIES	-	37.46
EFT59741	13/05/2010 BOC GASES AUSTRALIA LIMITED	CONTAINER SERVICE RENTAL	-	494.47
EFT59742	13/05/2010 BOOEASY AUSTRALIA PTY LTD	BOOEASY BOOKING RETURNS COMMISSIONS MONTHLY FEES - APRIL 2010	-	4,527.61
EFT59743	13/05/2010 BUNNINGS BUILDING SUPPLIES PTY LTD	Rolls of sizalation for the infant health clinic	-	479.16
EFT59744	13/05/2010 LYNLEY CAMPBELL	STORAGE OF ITEMS SOLD	-	110.50
EFT59745	13/05/2010 J & S CASTLEHOW ELECTRICAL SERVICES	ELECTRICAL REPAIRS/MAINTENANCE	-	1,629.71
EFT59746	13/05/2010 CHADSON ENGINEERING PTY LTD	CHLORINE SUPPLIES	-	93.50
EFT59747	13/05/2010 CJD EQUIPMENT PTY LTD	VEHICLE PARTS	-	507.98
EFT59748	13/05/2010 BIS CLEANAWAY LIMITED	RUBBISH REMOVAL CONTRACT	-	232,562.63
EFT59749	13/05/2010 COFFEY ENVIRONMENTS PTY LTD	Dieback Protectable Area Mapping for Lowlands Coastal Reserve	-	5,979.80
EFT59750	13/05/2010 COLES SUPERMARKETS AUSTRALIA PTY LTD	GROCERIES	-	1,018.55
EFT59751	13/05/2010 COMMTECH WIRELESS	RENTAL SYSTEM IN ADVANCE 14 APRIL 10 - 14 JULY 10	-	297.00
EFT59752	13/05/2010 COMMUNITY SUPPORT NETWORK	EMPLOYEE SUPPORT SERVICES	-	130.00
EFT59753	13/05/2010 CONTACH METAL INDUSTRIES	Concrete mold for Grey St	-	831.60
EFT59754	13/05/2010 COURIER AUSTRALIA	FREIGHT FEES	-	108.01
EFT59755	13/05/2010 COVENTRYS	VEHICLE PARTS	-	261.81
EFT59756	13/05/2010 CROKER LACEY GRAPHIC DESIGN	DESIGN A3 POSTER PROMOTING UPCOMING EVENTS IN ALBANY	-	1,848.00
EFT59757	13/05/2010 AL CURNOW HYDRAULICS	VEHICLE PARTS/MAINTENANCE	-	616.83
EFT59758	13/05/2010 35 DEGREES SOUTH	Survey pickups for North Road (Beaufort/Barnseby/Sanford)	-	8,305.00
EFT59759	13/05/2010 LANDGATE	TITLE SEARCHES	-	4,024.67
EFT59760	13/05/2010 DOG ROCK MOTEL	Breakfast for International dignataries and City of Albany staff on 25 April 2010.breakfast	-	305.15
EFT59761	13/05/2010 DOWN SOUTH CONCRETE	Prepare and lay exposed aggregate (granite delight) footpath sections with Albany Impressions FQ01 - FQ06 lettering cast insitu within the ANZAC Peace Park.	-	2,970.00
EFT59762	13/05/2010 DUWAL CONSTRUCTION	Albany Leisure and Aquatic Centre Stage 2 construction as per AS4000 General Conditions of Contract and Special Conditions of Contract	-	168,312.83

EFT59763	13/05/2010 ALBANY ELITE EARTHMOVING AND DRAINAGE	Supply and install 600mm x 600mm sump, lid to suit and 150mm stormwater pipe connected to side entry pit at 608 Lower King Rd	-	4,611.20
EFT59764	13/05/2010 EYERITE SIGNS	SIGNWRITING/SIGN PURCHASES	-	341.00
EFT59765	13/05/2010 FARM FRESH WHOLESALERS	CATERING SUPPLIES	-	80.96
EFT59766	13/05/2010 FRANEY & THOMPSON	TIMBER SUPPLIES	-	17.82
EFT59767	13/05/2010 FRIDGE AND WASHER CITY	INSTALLATION, DELIVERY OF WESTINGHOUSE WSE7000WA SIDE X SIDE REFRIGERATOR & REMOVAL OF OLD FRIDGE	-	1,750.00
EFT59768	13/05/2010 GOAD RESOURCES PTY LTD	FREIGHT CHARGES	-	351.74
EFT59769	13/05/2010 GORDON WALMSLEY PTY LTD	Asphalt works on Festing St	-	33,738.00
EFT59770	13/05/2010 GREAT SOUTHERN GROUP TRAINING	APPRENTICES FEES/CASUAL STAFF	-	8,487.29
EFT59771	13/05/2010 GREAT SOUTHERN TAFE	TAFE FEES DIP OF CIVIL & STRUCTURAL ENG	-	31.00
EFT59772	13/05/2010 GREEN SKILLS INC	CASUAL STAFF	-	3,518.45
EFT59773	13/05/2010 GREAT SOUTHERN PACKAGING SUPPLIES	CLEANING GOODS	-	289.99
EFT59774	13/05/2010 GREENMAN TRADING COMPANY	Tree removal	-	665.50
EFT59775	13/05/2010 HARVEY WORLD TRAVEL (ALBANY)	SKYWEST AND QANTAS FLIGHTS FOR MILTON EVANS TO ATTEND THE ACLG PLENARY SESSION IN CANBERRA - 17TH AND 18TH JUNE 2010.	-	1,455.65
EFT59776	13/05/2010 PROTECTOR FIRE SERVICES PTY LTD	FIRE EQUIPMENT MAINTENANCE	-	6,097.30
EFT59777	13/05/2010 HAYNES ROBINSON	LEGAL FEES	-	1,120.08
EFT59778	13/05/2010 HELEN LEEDER-CARLSON	CREATIVE SENIORS	-	120.00
EFT59779	13/05/2010 HOWARD AND HEAVER ARCHITECTS	Fee for architectural and engineering services for the investigations on the Old Albany Post Office - heritage building.	-	2,310.00
EFT59780	13/05/2010 HUDSON HENNING AND GOODMAN	RIGHT OF WAY" POLICE AND CITIZENS YOUTH CLUBS"	-	3,742.75
EFT59781	13/05/2010 IBM AUSTRALIA LTD	MONTHLY SCHEDULE FOR SERVICES, IBM EXPRESS MANAGED SERVICES	-	1,307.08
EFT59782	13/05/2010 INFRASTRUCT CONTRACTING P/L	Remove woody weeds from verge at Salisbury St & Albany H'way	-	1,760.00
EFT59783	13/05/2010 INSIDE AND OUT CAR CARE	Wash, polish and interior clean ED'S VEHICLES	-	440.00
EFT59784	13/05/2010 INTERLINK COMMERCIAL INTERIORS WA - UCI	OFFICE RE-DESIGN AND LAYOUT - NORTH ROAD OFFICES (PLANNING)	-	1,650.00
EFT59785	13/05/2010 KAREN MARIE IRELAND	PROFESSIONAL SERVICES - SPRUNG WRITERS FESTIVAL 2009/2010	-	2,120.00
EFT59786	13/05/2010 JOHN KINNEAR AND ASSOCIATES	LEASE PLAN, PORTION OF LOT 1423, RESERVE N 42964 EMU POINT ALBANY	-	495.00
EFT59787	13/05/2010 JUST A CALL DELIVERIES	INTERNAL MAIL DELIVERIES	-	859.10
EFT59788	13/05/2010 KING RIVER TURF	Supply 100m2 turf	-	495.00
EFT59789	13/05/2010 KLB SYSTEMS	7483PR8 - LENOVO M58P	-	30,819.80
EFT59790	13/05/2010 KNOTTS PLUMBING PTY LTD	PLUMBING REPAIRS/MAINTENANCE	-	4,120.80
EFT59791	13/05/2010 DENNIS KOSTER	COMPLETED TAFE MODULE - ADVANCED DIPLOMA BUILDING SURVEYOR	-	77.20
EFT59792	13/05/2010 LAND LINE ENTERPRISES PTY LTD	Install 3 x road crossings with 375mm pipes and stone pitching	-	2,720.00
EFT59793	13/05/2010 ABNOTE AUSTRALASIA PTY LTD	3000 Albany Public Library barcodes	-	261.80
EFT59794	13/05/2010 LET'S PARTY HIRE	TRESTLE TABLES AND RED CARPET DELIVERY AND PICK UP	-	110.00
EFT59795	13/05/2010 CALTEX ENERGY WA	LITRES DIESEL FUEL	-	59,545.13

EFT59796	13/05/2010 LOADTEK AUST	HYDRAULIC PARTS & SERVICES	-	5,070.86
EFT59797	13/05/2010 LOGO APPOINTMENTS	ENGINEERING TECHNICAL OFFICER	-	1,794.10
EFT59798	13/05/2010 LORLAINE DISTRIBUTORS PTY LTD	CLEANING PRODUCTS	-	377.90
EFT59799	13/05/2010 M2 TECHNOLOGY PTY LTD	M2 CUSTOMNET ON HOLD PROGRAM	-	754.00
EFT59800	13/05/2010 ALBANY PARTY HIRE	EQUIPMENT HIRE	-	32.00
EFT59801	13/05/2010 ALBANY CITY MOTORS	VEHICLES/VEHICLE PARTS/REPAIRS	-	1,107.60
EFT59802	13/05/2010 MCINTOSH AND SON	VEHICLE PARTS	-	506.00
EFT59803	13/05/2010 NATALIE RADIVOJEVIC	CO-ORDINATION OF MT ROMANCE CENTENNIAL ART PRIZE 2010	-	250.00
EFT59804	13/05/2010 ALBANY NEAT AND TRIM LAWNS	MOW LAWN VANCOUVER ARTS CENTRE	-	160.00
EFT59805	13/05/2010 PN & ER NEWMAN QUALITY CONCRETE PRODUCTS	REINFORCED CONCRETE L PROFILE RETAINING WALL SECTIONS	-	990.00
EFT59806	13/05/2010 ALBANY COMMUNITY PHARMACY	FIRST AID SUPPLIES	-	221.38
EFT59807	13/05/2010 OCS SERVICES PTY LTD	CLEANING SERVICES	-	181.50
EFT59808	13/05/2010 OKEEFE'S PAINTS	LINE MARKING HOSE TO FIT GRACO 5900 G MAX CONVERTIBLE MACHINE AS SPECIFIED BY CITY OF ALBANY	-	149.05
EFT59809	13/05/2010 OPUS INTERNATIONAL CONSULTANTS LTD	LOWER DENMARK RD UPGRADE - DESIGN, TENDER DOCUMENTATION, TENDER EVALUATION, SUPERINTENDENCE OF PROJECT 1; DESIGN OF PROJECTS 2 & 3; GEOTECH FOR PROJECTS 1, 2 & 3	-	9,767.45
EFT59810	13/05/2010 PAUL ARMSTRONG PANELBEATERS	INSURANCE EXCESS FORD RANGER A57145	-	600.00
EFT59811	13/05/2010 PERTH PRESSURE JETTING SERVICES TRUST	Mobilisation/Demobilisation of Equipment to Albany	-	14,355.00
EFT59812	13/05/2010 PIPER ALDERMAN MANAGEMENT PTY LTD	PROFESSIONAL CHARGES	-	338.64
EFT59813	13/05/2010 PLASTICS PLUS	YELLOW WHEELIE BIN	-	102.30
EFT59814	13/05/2010 ALBANY POLICE AND CITIZENS YOUTH CLUB	HIRE OR BUS	-	200.00
EFT59815	13/05/2010 RECHARGE-IT	CLEAN REFILL AND TEST HP TONER CARTRIDGE	-	79.20
EFT59816	13/05/2010 REECE PTY LTD	PLUMBING REPAIRS/MAINTENANCE	-	642.06
EFT59817	13/05/2010 RICOH FINANCE PTY LTD	PHOTOCOPIER CHARGES	-	13,588.19
EFT59818	13/05/2010 ROYAL LIFE SAVING SOCIETY AUSTRALIA	STAFF TRAINING	-	47.50
EFT59819	13/05/2010 SAXXON IT	COMPUTER MAINTENANCE/REPAIRS	-	5,958.13
EFT59820	13/05/2010 SCHWEPPE'S AUSTRALIA	SOFT DRINK SUPPLIES	-	139.32
EFT59821	13/05/2010 SERVICE FINANCE CORPORATION LIMITED	LEASE AGREEMENT 1 X NEW LA CIMBALI PLUS 22 GROUP COFFEE MACHINE	-	321.76
EFT59822	13/05/2010 SHEILAH RYAN	GARDENING AT VAC	-	300.00
EFT59823	13/05/2010 SKILL HIRE	CASUAL STAFF	-	4,801.56
EFT59824	13/05/2010 SMITHS ALUMINIUM & 4WD CENTRE	REPAIRS/MAINTENANCE	-	242.00
EFT59825	13/05/2010 SOUTHERN ELECTRICS	ELECTRICAL REPAIRS/MAINTENANCE	-	2,916.06
EFT59826	13/05/2010 SOUTHERN TOOL & FASTENER CO	STIHL BG86c BLOWER	-	495.61
EFT59827	13/05/2010 SOUTHWAY DISTRIBUTORS (WA) PTY LTD	CATERING GOODS	-	580.75
EFT59828	13/05/2010 SOUTHCOAST SECURITY SERVICE	SECURITY SERVICES	-	9,139.10
EFT59829	13/05/2010 SPEEDO AUSTRALIA PTY LTD	SPORTS STORE SUPPLIES	-	431.20
EFT59830	13/05/2010 STAR SALES AND SERVICE	Parts for Kawasaki brushcutters	-	128.60
EFT59831	13/05/2010 DEPARTMENT OF PREMIER & CABINET	GOVERNMENT GAZETTE ADVERTISING	-	74.70
EFT59832	13/05/2010 STATEWIDE BEARINGS	VEHICLE PARTS	-	38.53

EFT59833	13/05/2010 STIRLING CONFECTIONERY PLUS	CONFECTIONERY SUPPLIES	-	156.53
EFT59834	13/05/2010 STORM OFFICE NATIONAL	STATIONERY SUPPLIES	-	17.60
EFT59835	13/05/2010 ALBANY LOCK SERVICE	PADLOCK AND KEYS	-	133.90
EFT59837	13/05/2010 T & C SUPPLIES	BAGS GREY CEMENT	-	1,268.30
EFT59838	13/05/2010 THE NAKED BEAN COFFEE ROASTERS	COFFEE SUPPLIES FOR ALAC CAFE	-	216.00
EFT59839	13/05/2010 DAVID THEODORE	COURSE @ ECU MUSEUM STUDIES - ACCOMODATION & FUEL	-	290.59
EFT59840	13/05/2010 THE VEGIE SHOP	DAYCARE FOOD	-	527.00
EFT59841	13/05/2010 TOLL PRIORITY	FREIGHT CHARGES	-	434.03
EFT59842	13/05/2010 VANCOUVER WASTE SERVICES	GREEN WASTE SERVICES	-	66.00
EFT59843	13/05/2010 WA LIBRARY SUPPLIES	GIANT PALETTE OF COLOURS MAT #6118 SALE PRICE	-	610.00
EFT59844	13/05/2010 ALBANY & GREAT SOUTHERN WEEKENDER	ADVERTISING	-	550.30
EFT59845	13/05/2010 WA LOCAL GOVERNMENT ASSOCIATION	ADVERTISING - WEST AUSTRALIAN	-	5,000.00
EFT59846	13/05/2010 LANDMARK LIMITED	22kg propon	-	377.04
EFT59847	13/05/2010 WESTERN WORK WEAR	SAFETY EQUIPMENT & SUPPLIES	-	374.00
EFT59848	13/05/2010 WILSON MACHINERY	VEHICLE PARTS	-	691.00
EFT59849	13/05/2010 YAKKA PTY LTD	UNIFORMS	-	220.31
EFT59850	13/05/2010 ZENITH LAUNDRY	LAUNDRY SERVICES/HIRE	-	7.54
EFT59852	20/05/2010 ABBOTTS LIQUID SALVAGE PTY LTD	PUMP PUBLIC TOILETS	-	1,194.38
EFT59853	20/05/2010 AD CONTRACTORS PTY LTD	HEAVY DUTY EQUIPMENT HIRE	-	14,958.38
EFT59854	20/05/2010 ADVERTISER PRINT	PRINTING SUPPLIES	-	814.00
EFT59855	20/05/2010 ALBANY VALUATION SERVICES	RENTAL VALUATIONS - PRO070	-	550.00
EFT59856	20/05/2010 ALBANY V-BELT AND RUBBER	FILTERS/VEHICLE PARTS	-	234.77
EFT59857	20/05/2010 ALBANY STATIONERS	STATIONERY SUPPLIES	-	94.50
EFT59858	20/05/2010 ALBANY PEST & WEED CONTROL	Remove bee hive	-	130.00
EFT59859	20/05/2010 ALBANY GATEWAY INCORPORATED	ADVERTISING	-	181.50
EFT59860	20/05/2010 ALBANY REFRIGERATION	REFRIGERATION & AIRCONDITIONING REPAIRS & MAINTENANCE	-	143.00
EFT59861	20/05/2010 HOME TIMBER & HARDWARE	HARDWARE ITEMS	-	33.78
EFT59862	20/05/2010 A1 DEMOLITION & CONTRACTORS	ASBESTOS REMOVAL AT HANRAHAN LANDFILL SITE	-	330.00
EFT59863	20/05/2010 ALBANY OFFICE PRODUCTS - NORTH ROAD	STATIONERY SUPPLIES	-	110.40
EFT59864	20/05/2010 ALBANY FUEL SERVICE	FUEL	-	13.60
EFT59865	20/05/2010 ALBANY QUALITY LAWNMOWING	LAWN MOWING AT LOTTERIES HOUSE	-	100.00
EFT59866	20/05/2010 ALBANY OFFICE PRODUCTS - VAC	STATIONERY SUPPLIES	-	344.00
EFT59867	20/05/2010 ALBANY OFFICE PRODUCTS - LIBRARY	STATIONERY SUPPLIES	-	595.50
EFT59868	20/05/2010 ALBANY OFFICE PRODUCTS - VISITORS CENTRE	STATIONERY SUPPLIES	-	44.10
EFT59869	20/05/2010 ALINTA	GAS USAGE CHARGES	-	71.25
EFT59870	20/05/2010 ARTS ON TOUR NSW	FOX PRESENTER FEE INSTALMENT 2	-	1,795.20
EFT59871	20/05/2010 ATC WORK SMART	CASUAL STAFF/APPRENTICE FEES	-	1,539.76
EFT59872	20/05/2010 AUDIOCOM ALBANY	1 X MOBILE PHONE (NOKIA 6120) - STUART JAMIESON	-	129.00
EFT59873	20/05/2010 BAIL SAND & GRAVEL SUPPLIES	Supply compaction sand for drainage at Cull Rd	-	897.60
EFT59874	20/05/2010 BAREFOOT CLOTHING MANUFACTURERS	UNIFORMS	-	45.50
EFT59875	20/05/2010 BARRETTS MINI EARTHMOVING & CHIPPING	The removal of Swamp Mahogany from Adelaide Cres Eyre Park	-	2,270.00
EFT59876	20/05/2010 BENNETTS BATTERIES	200L Drum of Rubia TIR engine oil.	-	726.00

EFT59877	20/05/2010 ADVANCED TRAFFIC MANAGEMENT	hours Hire of Traffic Control (4 Controllers plus 2 vehicles)	-	7,006.96
EFT59878	20/05/2010 BERTOLA HIRE SERVICES ALBANY PTY LTD	Hire of auger	-	67.32
EFT59879	20/05/2010 BEST OFFICE SYSTEMS	PHOTOCOPIER CHARGES	-	70.00
EFT59880	20/05/2010 BLACKWOODS	SAFETY EQUIPMENT & SUPPLIES	-	174.76
EFT59881	20/05/2010 BLOOMIN FLOWERS	Flower arrangement tfor Genya Shephard (Finance Officer)		65.00
EFT59882	20/05/2010 ALBANY BOBCAT SERVICES	Bobcat work at Bob Thompson Gardens on 20,21 and 23 April 2010	-	1,920.00
EFT59883	20/05/2010 AIR BP	AVGAS PURCHASES	-	1,026.17
EFT59884	20/05/2010 PETER BROWN	WASTE CONFERENCE REIMBURSEMENTS	-	111.83
EFT59885	20/05/2010 C&C MACHINERY CENTRE	VEHICLE MAINTENANCE/PARTS	-	1,218.88
EFT59886	20/05/2010 CABCHARGE AUSTRALIA LIMITED	TAXI FARES	-	205.04
EFT59887	20/05/2010 CHADSON ENGINEERING PTY LTD	CHLORINE SUPPLIES	-	341.39
EFT59888	20/05/2010 CJD EQUIPMENT PTY LTD	VEHICLE PARTS	-	323.45
EFT59889	20/05/2010 COCA-COLA AMATIL PTY LTD	SOFT DRINK FOR ALAC CAFE	-	971.16
EFT59890	20/05/2010 COLES SUPERMARKETS AUSTRALIA PTY LTD	GROCERIES	-	293.44
EFT59891	20/05/2010 CONTACH METAL INDUSTRIES	WINCH PEDESTALS	-	773.30
EFT59892	20/05/2010 ANN COPEMAN BVA	EXHIBITION ART ON THE MOVE	-	243.75
EFT59893	20/05/2010 COURIER AUSTRALIA	FREIGHT FEES	-	65.45
EFT59894	20/05/2010 COUNTRY CARRIERS	FREIGHT CHARGES	-	269.18
EFT59895	20/05/2010 COVENTRYS	VEHICLE PARTS	-	377.57
EFT59896	20/05/2010 HOLCIM (AUSTRALIA) PTY LTD	Cubic metre mix aggregate with accelerant	-	289.74
EFT59897	20/05/2010 AL CURNOW HYDRAULICS	VEHICLE PARTS/MAINTENANCE	-	830.87
EFT59898	20/05/2010 35 DEGREES SOUTH	SURVEYING SERVICES FOR CULL ROAD SUBDIVISION	-	1,299.10
EFT59899	20/05/2010 LANDGATE	TITLE SEARCHES	-	99.54
EFT59900	20/05/2010 DORALANE PASTRIES	Events catering - Alan Hardy book talk	-	100.00
EFT59901	20/05/2010 JON & GRYTSJE DOUST	FINDING MY PLACE SESSION 3 10/05/2010	-	275.00
EFT59902	20/05/2010 DOWN TO EARTH TRAINING & ASSESSING	Re-issue of White Cards for Michael Green and Ryan Beattie	-	55.00
EFT59903	20/05/2010 DUWAL CONSTRUCTION	Albany Leisure and Aquatic Centre Stage 2 construction as per AS4000 General Conditions of Contract and Special Conditions of Contract	-	392,847.50
EFT59904	20/05/2010 EASIFLEET MANAGEMENT	Payroll deductions	-	815.84
EFT59905	20/05/2010 JENNIFER EL HASSANI	PSYCHOLOGICAL INTERVENTION	-	121.00
EFT59906	20/05/2010 EMC CORPORATION	Enhanced Software Support from 26 March 2010 to 25 March 2011	-	8,560.20
EFT59907	20/05/2010 EYERITE SIGNS	SIGNWRITING/SIGN PURCHASES	-	264.00
EFT59908	20/05/2010 FARM FRESH WHOLESALERS	CATERING SUPPLIES	-	130.02
EFT59909	20/05/2010 FRANGIPANI FLORAL STUDIO	WREATHS FOR ANZAC DAY SERVICES	-	700.00
EFT59910	20/05/2010 GALLERY 500	ART MATERIALS	-	190.48
EFT59911	20/05/2010 SANDRA GILFILLAN	Inspection of Tree Felling at Takenup Road	-	443.20
EFT59912	20/05/2010 GLASS SUPPLIERS	REGLAZE WINDOWS/DOORS	-	33.00
EFT59913	20/05/2010 GORDON WALMSLEY PTY LTD	Sq metres 25mm Asphalt over existing roads	-	105,835.65
EFT59914	20/05/2010 SOUTHERN BRAKE & SERVICES	VEHICLE PARTS/SERVICE	-	450.00
EFT59915	20/05/2010 GREAT SOUTHERN PERSONNEL	GARDENING SERVICES FOR APRIL 2010	-	168.74
EFT59916	20/05/2010 GREAT SOUTHERN PACKAGING SUPPLIES	CLEANING GOODS	-	853.74

EFT59917	20/05/2010 GYM CARE	REPAIRS TO GYM EQUIPMENT	-	3,456.48
EFT59918	20/05/2010 PROTECTOR FIRE SERVICES PTY LTD	FIRE EQUIPMENT MAINTENANCE	-	46.20
EFT59919	20/05/2010 HARVEY NORMAN ELECTRICAL ALBANY	LG 42 Plasma TV 42PG350"	-	1,180.00
EFT59920	20/05/2010 HELEN LEEDER-CARLSON	CREATIVE SENIORS	-	120.00
EFT59921	20/05/2010 RATTEN & SLATER MACHINERY	VEHICLE PARTS	-	213.24
EFT59922	20/05/2010 HUDSON HENNING AND GOODMAN	NON-APPROVED STRUCTURES ON INDUSTRIAL LAND	-	7,419.50
EFT59923	20/05/2010 KEN STONE MOTOR TRIMMERS	REMOVE AND REPLACE 3 TONNEAU LOOPS FROM UTE	-	27.50
EFT59924	20/05/2010 KLB SYSTEMS	SAMSUNG 943B+ 19 VGA/DVI-D	-	1,155.00
EFT59925	20/05/2010 KNOTTS PLUMBING PTY LTD	PLUMBING REPAIRS/MAINTENANCE	-	385.50
EFT59926	20/05/2010 LAMP REPLACEMENTS AUSTRALIA PTY LTD	LAMP REPLACEMENTS	-	178.75
EFT59927	20/05/2010 LANDFILL GAS AND POWER PTY LTD	LANDFILL GAS AND POWER SUPPLY	-	37,238.24
EFT59928	20/05/2010 LEASE CHOICE	MONTHLY LEASE PHOTOCOPIER - RICOH MPW5100 - V1691100006	-	970.20
EFT59929	20/05/2010 JULIA EDITH LEVER	ADMIN & GENERAL DUTIES AT VAC	-	126.72
EFT59930	20/05/2010 LGNET	EMPLOYMENT ADVERTISING - EDDS	-	104.50
EFT59931	20/05/2010 LORLAINE DISTRIBUTORS PTY LTD	CLEANING PRODUCTS	-	127.90
EFT59932	20/05/2010 M2 TECHNOLOGY PTY LTD	QUARTERLY INVOICE CUSTOMNET ON HOLD MESSAGES	-	377.01
EFT59933	20/05/2010 ALBANY CITY MOTORS	VEHICLES/VEHICLE PARTS/REPAIRS	-	1,329.65
EFT59934	20/05/2010 METROOF ALBANY	BUILDING MATERIALS	-	139.88
EFT59935	20/05/2010 MIDALIA STEEL PTY LTD	STEEL SUPPLIES	-	142.76
EFT59936	20/05/2010 MINTER ELLISON LAWYERS	LEGAL COSTS - LEGAL ADVICE	-	27,622.98
EFT59937	20/05/2010 MR MOO DAIRY DISTRIBUTORS	MILK DELIVERIES	-	167.95
EFT59938	20/05/2010 LGIS WORKCARE	INSURANCES	-	12,133.00
EFT59939	20/05/2010 NATALIE RADIVOJEVIC	CO-ORDINATION OF MT ROMANCE ART PRIZE	-	225.00
EFT59940	20/05/2010 NEVILLES HARDWARE & BUILDING SUPPLIES	HARDWARE SUPPLIES	-	840.55
EFT59941	20/05/2010 ALBANY COMMUNITY PHARMACY	FIRST AID ITEMS	-	233.61
EFT59942	20/05/2010 OCS SERVICES PTY LTD	CLEANING SERVICES	-	6,198.90
EFT59943	20/05/2010 SANDRA O'DOHERTY	INSTALLATION OF FERTILE SOIL COLLECTION	-	285.00
EFT59944	20/05/2010 OKEEFE'S PAINTS	PAINT & PAINTING SUPPLIES	-	906.67
EFT59945	20/05/2010 OPUS INTERNATIONAL CONSULTANTS LTD	PROFESSIONAL SERVICES FROM 16 JANUARY 2010 TO 12 FEBRUARY 2010	-	231.00
EFT59946	20/05/2010 CYNTHIA TRACEY ORR	ART CLASSES	-	280.00
EFT59947	20/05/2010 PAUL G ROBERTSON AND ASSOCIATES	PROJECT MANAGEMENT AND DESIGN INPUT TO ROADS WORKS PROGRAMS	-	6,221.88
EFT59948	20/05/2010 KERRY QUINLAN	RERIMBURSEMNT FOR POLICE CHECK	-	53.25
EFT59949	20/05/2010 RANBUILD GREAT SOUTHERN	Deposit payable to commence manufacture of shed	-	14,602.00
EFT59950	20/05/2010 RECHARGE-IT	CARTIDGES FOR TOWN HALL	-	299.60
EFT59951	20/05/2010 REEVES AND COMPANY BUTCHERS PTY LTD	CATERING SUPPLIES	-	27.16
EFT59952	20/05/2010 REECE PTY LTD	DRAINAGE PVC BENDS	-	31.98
EFT59953	20/05/2010 W P REID	Re instate brick paving and kerbing	-	1,963.00
EFT59954	20/05/2010 ROSMECH SALES AND SERVICE PTY LTD	Supply parts as required	-	1,996.78
EFT59955	20/05/2010 ALBANY SANDWICH BAR	MILK SUPPLIES	-	35.00

EFT59956	20/05/2010 SKILL HIRE	CASUAL STAFF	-	4,616.49
EFT59957	20/05/2010 SOUTHERN TOOL & FASTENER CO	HARDWARE SUPPLIES	-	85.49
EFT59958	20/05/2010 SOUTHWAY DISTRIBUTORS (WA) PTY LTD	CATERING GOODS	-	1,879.54
EFT59959	20/05/2010 SOUTHCOAST SECURITY SERVICE	SECURITY SERVICES	-	270.05
EFT59960	20/05/2010 STAR SALES AND SERVICE	MINOR PLANT REPAIRS	-	218.10
EFT59961	20/05/2010 SAI GLOBAL LTD	INTERNET DOWNLOAD	-	62.54
EFT59962	20/05/2010 STIRLING CONFECTIONERY PLUS	CONFECTIONERY SUPPLIES	-	335.52
EFT59963	20/05/2010 ALBANY LOCK SERVICE	being for new toilet indicator locks for doors	-	350.60
EFT59964	20/05/2010 THE SURGERY	EMPLOYEE vaccinations given	-	852.50
EFT59965	20/05/2010 SYNERGY	ELECTRICITY SUPPLIES	-	32.90
EFT59966	20/05/2010 T & C SUPPLIES	BAGS GREY CEMENT	-	551.56
EFT59967	20/05/2010 THE NAKED BEAN COFFEE ROASTERS	COFFEE SUPPLIES FOR ALAC CAFE	-	165.00
EFT59968	20/05/2010 ALBANY TYREPOWER	TYRE PURCHASES/MAINTENANCE	-	1,918.50
EFT59969	20/05/2010 VANCOUVER WASTE SERVICES	SCREENED TOP SOIL	-	232.25
EFT59970	20/05/2010 WALLACE ENGINEERING PTY LTD	PLANT REPAIRS	-	1,109.60
EFT59971	20/05/2010 ALBANY & GREAT SOUTHERN WEEKENDER	Advertising - welcoming the community to the ANZAC Peace Park dedication on 24 April 2010	-	518.35
EFT59972	20/05/2010 WELLSTEAD RESOURCE AND TELECENTRE	PHONE CALLS AND FAXING	-	11.50
EFT59973	20/05/2010 WESTRAC EQUIPMENT PTY LTD	VEHICLE PARTS	-	411.22
EFT59974	20/05/2010 WESTERN WORK WEAR	SAFETY EQUIPMENT & SUPPLIES	-	342.00
EFT59975	20/05/2010 WOOD AND GRIEVE ENGINEERS	Stage: 1 Discussion and endorsement of concept design	-	12,474.00
EFT59976	20/05/2010 YAKKA PTY LTD	UNIFORMS	-	169.40
EFT59977	20/05/2010 THE YOUNG MENS CHRISTIAN ASSOCIATION OF PERTH INC	Rates refund for assessment A135520	-	938.85
EFT59978	24/05/2010 35 DEGREES SOUTH	To provide boundary re-establishment to new easement adjacent to PCYC	-	1,397.00
EFT59979	24/05/2010 SIMONE KEANE	VOLUNTEERS SUNDOWNER	-	600.00
EFT59980	27/05/2010 ALBANY COMMUNITY HOSPICE	Payroll deductions	-	38.00
EFT59981	27/05/2010 AMP SUPERANNUATION LIMITED	Superannuation contributions	-	885.64
EFT59982	27/05/2010 AUSTRALIAN TAXATION OFFICE	Payroll deductions	-	189,567.69
EFT59984	27/05/2010 AUSTRALIAN PRIMARY SUPERANNUATION FUND	Superannuation contributions	-	283.03
EFT59985	27/05/2010 AUSTRALIAN SUPER	Superannuation contributions	-	62.84
EFT59986	27/05/2010 AUSTRALIAN ETHICAL SUPERANNUATION FUND	Superannuation contributions	-	409.82
EFT59987	27/05/2010 AXA GENERATIONS PERSONAL SUPERANNUATION PLAN	Superannuation contributions	-	304.15
EFT59988	27/05/2010 BANKWEST	Payroll deductions	-	3,534.10
EFT59989	27/05/2010 BT SUPER FOR LIFE	Superannuation contributions	-	291.06
EFT59990	27/05/2010 BT SUPER FOR LIFE	Superannuation contributions	-	342.88
EFT59991	27/05/2010 CHILD SUPPORT AGENCY	Payroll deductions	-	864.58
EFT59992	27/05/2010 COLONIAL FIRST STATE ROLLOVER & SUPER FUND	Superannuation contributions	-	104.73
EFT59993	27/05/2010 COLONIAL FIRST STATE FIRSTCHOICE PERSONAL SUPER	Superannuation contributions	-	623.08
EFT59994	27/05/2010 HBF OF WA	Payroll deductions	-	1,121.85
EFT59995	27/05/2010 ING INTEGRA SUPER	Superannuation contributions	-	107.83
EFT59996	27/05/2010 ING ONE ANSWER PERSONAL SUPER	Superannuation contributions	-	484.72

EFT59997	27/05/2010	ING INTEGRA SUPER	Superannuation contributions	-	342.88
EFT59998	27/05/2010	MLC NOMINEES PTY LTD	Superannuation contributions	-	272.56
EFT59999	27/05/2010	REST SUPERANNUATION	Superannuation contributions	-	3,200.59
EFT60000	27/05/2010	SKANDIA GLOBAL SUPER SOLUTION	Superannuation contributions	-	283.04
EFT60001	27/05/2010	SKANDIA GLOBAL SUPER SOLUTION	Superannuation contributions	-	720.18
EFT60002	27/05/2010	SKANDIA GLOBAL SUPER SOLUTION	Superannuation contributions	-	179.92
EFT60003	27/05/2010	SUMMIT MASTER TRUST PERSONAL SUPERANNUATION PLAN	Superannuation contributions	-	76.71
EFT60004	27/05/2010	WA LOCAL GOVT SUPERANNUATION	Superannuation contributions	-	101,952.56
EFT60005	27/05/2010	WAYNE JOHN STEAD PTY LTD SUPERANNUATION FUND	Payroll deductions	-	2,293.49
EFT60006	27/05/2010	WESTSCHEME	Superannuation contributions	-	3,897.78
EFT60007	27/05/2010	ABA SECURITY	SECURITY SERVICES	-	305.69
EFT60008	27/05/2010	ABBOTTS LIQUID SALVAGE PTY LTD	PUMP PUBLIC TOILETS	-	180.00
EFT60009	27/05/2010	AD CONTRACTORS PTY LTD	DRY HIRE OF LOADER AS PER CONTRACT CO6008 FOR APRIL 2010	-	4,504.00
EFT60010	27/05/2010	EDENBORN PTY LTD	Contract Mowing for the month of April 2010	-	4,150.85
EFT60011	27/05/2010	AIRSPACE INFORMATION SERVICES	Pavement Concession Advisor software	-	550.00
EFT60012	27/05/2010	ALBANY ADVERTISER LTD	ADVERTISING	-	1,812.91
EFT60013	27/05/2010	ALBANY SWEEP CLEAN	Sweep carparks, cycleways and boardwalks	-	4,525.00
EFT60014	27/05/2010	ALBANY STATIONERS	STATIONERY SUPPLIES	-	37.65
EFT60015	27/05/2010	ALBANY INDOOR PLANT HIRE	INDOOR PLANT HIRE	-	980.31
EFT60016	27/05/2010	ALBANY GATEWAY INCORPORATED	ADVERTISING IN ALBANY GATEWAY EVENTS CALENDAR	-	55.00
EFT60017	27/05/2010	TRICOAST CIVIL	INSTALL DRIVEWAY TO SERVICE EXISTING HORTON'S PROPERTY GATE ON WIDENING WORK AT AROUND CHAINAGE 280 RHS	-	3,486.45
EFT60018	27/05/2010	ALBANY REFRIGERATION	REFRIGERATION & AIRCONDITIONING REPAIRS & MAINTENANCE	-	1,661.00
EFT60019	27/05/2010	ALBANY HISTORICAL SOCIETY	ALBANY TRAVELLER MAGAZINE	-	698.00
EFT60020	27/05/2010	HOME TIMBER & HARDWARE	HARDWARE ITEMS	-	12.16
EFT60021	27/05/2010	ALBANY EISTEDDFOD COMMITTEE INCORPORATED	REIMBURSEMENT FOR FLIGHT ARRANGEMENTS FOR BARRY PALMER THROUGH HARVEY WORLD TRAVEL ALBANY	-	510.00
EFT60022	27/05/2010	ALBANY OFFICE PRODUCTS - NORTH ROAD	STATIONERY SUPPLIES	-	1,805.90
EFT60023	27/05/2010	ALBANY NEWS DELIVERY	NEWSPAPER DELIVERIES	-	180.60
EFT60024	27/05/2010	ALBANY KAWASAKI	OIL FILTER/OIL	-	109.85
EFT60025	27/05/2010	ALBANY OFFICE PRODUCTS - ALAC	STATIONERY SUPPLIES	-	203.00
EFT60026	27/05/2010	ALBANY OFFICE PRODUCTS - LIBRARY	STATIONERY SUPPLIES	-	34.80
EFT60027	27/05/2010	ALINTA	GAS USAGE CHARGES	-	8,973.35
EFT60028	27/05/2010	ALL EVENTS PROSOUND HIRE	TECHNICIAN ATTENDANCE ALBANY MUSIC EISTEDDFOD 2010	-	640.00
EFT60029	27/05/2010	ANGUS AND ROBERTSON BOOK WORLD	NEWSPAPERS/BOOKS/MAGAZINES/STATIONERY	-	205.96
EFT60030	27/05/2010	ATC WORK SMART	CASUAL STAFF - JANINE STANTON	-	516.12
EFT60031	27/05/2010	AUDIO-READ PTY LTD	1 Navigator content subscription licence - 12 months (July 2010-June 2011) for Audio-Read Books in the Sky.	-	2,854.50
EFT60032	27/05/2010	AUSTRALIAN ASPHALT PAVEMENT ASSOCIATION	Registration for Rhys Skipper to attend AAPA Course - Sprayed Sealing - Selection & Design course on 4-5 May 2010	-	1,080.00
EFT60033	27/05/2010	ALBANY AUTOSPARK	VEHICLE REPAIRS/PARTS	-	640.50

EFT60034	27/05/2010 BT EQUIPMENT PTY LTD	Supply parts to suit Bomag roller	-	4,173.82
EFT60035	27/05/2010 BARNESBY FORD	VEHICLES/VEHICLE PARTS/REPAIRS	-	475.13
EFT60036	27/05/2010 BAREFOOT CLOTHING MANUFACTURERS	AMAZING ALBANY MERCHANDISE	-	3,026.40
EFT60037	27/05/2010 BARE FACTS	SPRUNG CO-ORDINATOR ACTIVITIES	-	1,260.00
EFT60038	27/05/2010 ADVANCED TRAFFIC MANAGEMENT	hours Hire of Traffic Control (4 Controllers plus 2 vehicles)	-	4,892.22
EFT60039	27/05/2010 BERTOLA HIRE SERVICES ALBANY PTY LTD	Hire of a portalo	-	433.40
EFT60040	27/05/2010 BEST OFFICE SYSTEMS	CHECK MACHINE FOR FAXING FAULT	-	45.00
EFT60041	27/05/2010 BOC GASES AUSTRALIA LIMITED	CO2 gas bottle for mig welder (trades)	-	56.13
EFT60042	27/05/2010 BOLLIG DESIGN GROUP	Stage 2 - Superintendent for Construction	-	7,705.16
EFT60043	27/05/2010 BOWEY COMMUNICATIONS	ALBANY CLASSIC ADVERTISING	-	410.85
EFT60044	27/05/2010 CARDNO BSD PTY LTD	ANZAC PEACE PARK DRAINAGE PROJECT - CONSULTANT PROFESSIONAL SERVICES	-	37,248.75
EFT60045	27/05/2010 BUNNINGS BUILDING SUPPLIES PTY LTD	HARDWARE/TOOL SUPPLIES	-	119.00
EFT60046	27/05/2010 CAMTRANS ALBANY PTY LTD	PACK OF COMMON BRICKS	-	178.20
EFT60047	27/05/2010 CAMLYN SPRINGS WATER DISTRIBUTORS	WATER CONTAINER REFILLS	-	528.00
EFT60048	27/05/2010 CAMPBELL CONTRACTORS	Box out, supply and lay concrete footpath/crossover	-	15,056.00
EFT60049	27/05/2010 J & S CASTLEHOW ELECTRICAL SERVICES	ELECTRICAL REPAIRS/MAINTENANCE	-	5,193.32
EFT60050	27/05/2010 CJD EQUIPMENT PTY LTD	VEHICLE PARTS	-	1,427.14
EFT60051	27/05/2010 COCA-COLA AMATIL PTY LTD	SOFT DRINK FOR ALAC CAFE	-	737.73
EFT60052	27/05/2010 COFFEY ENVIRONMENTS PTY LTD	Independent review of ALAC air handling and detailign of solutions to prevent boiler and stainless steel corrosion	-	2,750.00
EFT60053	27/05/2010 COLES SUPERMARKETS AUSTRALIA PTY LTD	GROCERIES	-	832.98
EFT60054	27/05/2010 COURIER AUSTRALIA	FREIGHT FEES	-	75.00
EFT60055	27/05/2010 ALBANY SIGNS	Competition of Albany Highway Info Bay	-	2,530.00
EFT60056	27/05/2010 COVENTRYS	VEHICLE PARTS	-	372.79
EFT60057	27/05/2010 CROKER LACEY GRAPHIC DESIGN	LOGO DEVELOPMENT AEC	-	3,960.00
EFT60058	27/05/2010 DOWNER EDI WORKS PTY LTD	Drops of hotmix	-	1,291.85
EFT60059	27/05/2010 HOLCIM (AUSTRALIA) PTY LTD	Cubic metres Footpath Mix	-	551.21
EFT60060	27/05/2010 THE LAMINEX GROUP (CULLITY'S)	Treated pine planks	-	510.47
EFT60061	27/05/2010 AL CURNOW HYDRAULICS	Service Kevrek crane as required	-	1,410.31
EFT60062	27/05/2010 CUTTING EDGES PTY LTD	7FT GRADER BLADES BG7658	-	5,285.28
EFT60063	27/05/2010 DANDY DESIGNS	AMAZING ALBANY ARTWORK & PROOF	-	55.00
EFT60064	27/05/2010 DATATRAX PTY LTD	ADVERTISING - FULL MOTION PICTURE - QUARTERLY INVOICE	-	770.00
EFT60065	27/05/2010 DATA #3 LIMITED	REMOTE DESKTOP SERVICES 2008 PER DEVICE CAL (OLP)	-	31,255.37
EFT60066	27/05/2010 LANDGATE	UV VALUATIONS	-	18,884.00
EFT60067	27/05/2010 G & M DETERGENTS & HYGIENE SERVICES ALBANY	HYGIENE CONTRACT	-	1,575.86
EFT60068	27/05/2010 DIRECT LIGHTING	8 gallery light - replacement of broken lights	-	529.20
EFT60069	27/05/2010 ECO HEALTH HOLDINGS	PROVIDE ENVIRONMENTAL HEALTH SERVICES FOR MAY 2010 (INSPECTION FOOD PREMISES)	-	3,861.00
EFT60070	27/05/2010 ALBANY ELITE EARTHMOVING AND DRAINAGE	Remove old offset grate, repair sump, kerbing, house connection and replace with new offset grate	-	2,681.00
EFT60071	27/05/2010 ALBANY ENGINEERING COMPANY	MAINTENANCE VEHICLES	-	123.06

EFT60072	27/05/2010 MILTON EVANS	FUEL REIMBURSEMENT	-	479.55
EFT60073	27/05/2010 FARM FRESH WHOLESALERS	CATERING SUPPLIES	-	274.06
EFT60074	27/05/2010 GALLERY 500	CANVAS BOARD	-	64.26
EFT60075	27/05/2010 GLASS SUPPLIERS	REGLAZE WINDOWS/DOORS	-	731.45
EFT60076	27/05/2010 GOODEARTH HOTEL	Accommodation for Rhys Skipper In on Monday 3 May 2010 - out on Thursday 6 May 2010	-	471.00
EFT60077	27/05/2010 GRANDE FOOD SERVICE	CATERING FOR TIME OUT CAFE	-	302.90
EFT60078	27/05/2010 GREAT SOUTHERN GROUP TRAINING	APPRENTICES FEES	-	8,616.72
EFT60079	27/05/2010 GREAT SOUTHERN TAFE	STAFF TRAINING	-	3,132.00
EFT60080	27/05/2010 GREAT SOUTHERN PACKAGING SUPPLIES	CLEANING GOODS	-	637.84
EFT60081	27/05/2010 GT BEARING AND ENGINEERING SUPPLIES	VEHICLE PARTS	-	815.00
EFT60082	27/05/2010 HANSON EXECUTIVE MANAGEMENT	PROJECT FEE FOR EDITORIAL ALBANY TRAVELLER MAGAZINE	-	2,860.00
EFT60083	27/05/2010 HARLEY GLOBAL	SURVEY OF STIRLING TERRACE DRAINAGE	-	5,125.00
EFT60084	27/05/2010 HART SPORT	SPORTS EQUIPMENT	-	210.30
EFT60085	27/05/2010 HELEN LEEDER-CARLSON	CREATIVE SENIORS	-	480.00
EFT60086	27/05/2010 HISTORY COUNCIL OF WA INC	MEMBERSHIP 2010-11	-	100.00
EFT60087	27/05/2010 CITIGATE PERTH	Accommodation for Neil Stringall 14th May 2010 - 15th May 2010	-	244.50
EFT60088	27/05/2010 HOUSE OF TICKETS	TRAINING	-	
EFT60089	27/05/2010 RATTEN & SLATER MACHINERY	TICKET STOCK	-	395.00
EFT60090	27/05/2010 HOWARD AND HEAVER ARCHITECTS	VEHICLE PARTS	-	134.48
		Fee for architectural and engineering services for the investigations on the Old Albany Post Office - heritage building.	-	5,733.42
EFT60091	27/05/2010 HUDSON HENNING AND GOODMAN	DISPUTE RE ALBANY LEISURE AND AQUATIC CENTRE	-	9,911.66
EFT60092	27/05/2010 INFRASTRUCT CONTRACTING P/L	Tree removal at the Rose Garden Caravan Park(Council Verge)	-	1,870.00
EFT60093	27/05/2010 INSIDE AND OUT CAR CARE	Detail and clean of assets ute	-	240.00
EFT60094	27/05/2010 ISIS CAPITAL LIMITED	MONTHLY GYM EQUIPMENT	-	3,494.82
EFT60095	27/05/2010 JOHN KINNEAR AND ASSOCIATES	TITLE SEARCH COA FLOODING - LEISHMAN COURT AND WREN WAY	-	640.20
EFT60096	27/05/2010 JUST BLISS	PHOTOGRAPHY MAKEUP 6TH & 8TH MAY 2010	-	200.00
EFT60097	27/05/2010 KLB SYSTEMS	SAM2119-ALB Samsung 943B+ 19 VGA/DVI-D	-	511.50
EFT60098	27/05/2010 KNOTTS PLUMBING PTY LTD	PLUMBING REPAIRS/MAINTENANCE	-	1,326.95
EFT60099	27/05/2010 KOOKAS CATERING	CATERING VOLUNTEERS COCTAIL PARTY AT VANCOUVER ARTS CENTRE	-	3,200.00
EFT60100	27/05/2010 KRYSTA GUILLE PHOTOGRAPHY	PHOTOGRAPHY FOR AVC WEBSITE	-	1,100.00
EFT60101	27/05/2010 LEADING EDGE HIFI-ALBANY	PAIR OF UNIDEN 40 CHANNEL HAND HELD RADIOS	-	387.00
EFT60102	27/05/2010 STATE LIBRARY OF WA	LOST/DAMAGED BOOKS	-	1,492.70
EFT60103	27/05/2010 M2 TECHNOLOGY PTY LTD	M2 ON HOLD CUSTOMNET QUARTERLY INVOICE	-	402.60
EFT60104	27/05/2010 ALBANY PARTY HIRE	Share of Marquee hire and staging incl. setup and delivery to ANZAC Peace Park Opening for 24th April 2010	-	2,515.50
EFT60105	27/05/2010 MAIN ROADS	REFUND - NATIONAL BLACKSPOT NANARUP ROAD - P21103808	-	1,097.44
EFT60107	27/05/2010 MERRIFIELD REAL ESTATE	STORAGE RENTAL	-	200.00
EFT60108	27/05/2010 METROOF ALBANY	BUILDING MAINTENANCE - BUS SHELTER	-	114.76

EFT60109	27/05/2010 MIDALIA STEEL PTY LTD	STEEL SUPPLIES	-	13.54
EFT60110	27/05/2010 OCS SERVICES PTY LTD	CLEANING SERVICES	-	660.00
EFT60111	27/05/2010 ORICA AUSTRALIA P/L	CHLORINE SUPPLIES	-	1,334.52
EFT60112	27/05/2010 PERTH AMBASSADOR HOTEL	ACCOMODATION for Robbie Monck - STAFF TRAINING	-	176.00
EFT60113	27/05/2010 HANSON CONSTRUCTION MATERIALS PTY LTD	Tonnes 10MM WASHED BLUE METAL - ex QUARRY for works on Mettler Road	-	32,237.08
EFT60114	27/05/2010 PLAYRIGHT AUSTRALIA PTY LTD	Playground Equipment Audit	-	9,570.00
EFT60115	27/05/2010 KERRY QUINLAN	SENIOR FIRST AID TRAINING	-	90.00
EFT60116	27/05/2010 RADICAL FITNESS	EQUIPMENT	-	70.00
EFT60117	27/05/2010 RECHARGE-IT	CLEAN, REFILL & TEST CANON BC 05 COLOUR INKJET CARTRIDGE	-	25.00
EFT60118	27/05/2010 REEVES AND COMPANY BUTCHERS PTY LTD	STAFF BBQ	-	70.50
EFT60119	27/05/2010 RISKID	INTERGRATION OSH/ERM/ISO	-	7,040.00
EFT60120	27/05/2010 ROSMECH SALES AND SERVICE PTY LTD	PLANT MATERIALS/SPARE PARTS	-	178.15
EFT60121	27/05/2010 ROYAL LIFE SAVING SOCIETY AUSTRALIA	SWIMMING CERTIFICATES	-	368.60
EFT60122	27/05/2010 SEATADVISOR AUSTRALIA	APRIL TICKET SALES - 961 TICKETS	-	317.13
EFT60123	27/05/2010 SECUREPAY PTY LTD	WEB PAYMENTS SEAT ADVISOR PRICING TRANSACTION FEE	-	17.62
EFT60124	27/05/2010 SERENITY PARK	DISPOSAL OF DOGS	-	450.00
EFT60125	27/05/2010 SERENDIPITY BOOKS	BOOK PURCHASES	-	414.20
EFT60126	27/05/2010 SHERIDANS FOR BADGES	PLAQUE FOR ANZAC PEACE PARK OPENING AND DEDICATION ON 24TH APRIL	-	259.05
EFT60127	27/05/2010 G & L SHEETMETAL	WILDERNESS C/BOND APRON FLASHINGS, GUTTERS AND OUTLETS	-	387.20
EFT60128	27/05/2010 SKILL HIRE	CASUAL STAFF	-	5,703.17
EFT60129	27/05/2010 SOUTHERN ELECTRICS	ELECTRICAL REPAIRS/MAINTENANCE	-	2,523.35
EFT60130	27/05/2010 SOUTHWAY DISTRIBUTORS (WA) PTY LTD	CATERING GOODS	-	3,149.21
EFT60131	27/05/2010 STATEWIDE BEARINGS	VEHICLE PARTS	-	75.02
EFT60132	27/05/2010 STIRLING CONFECTIONERY PLUS	CONFECTIONERY SUPPLIES	-	1,496.45
EFT60133	27/05/2010 ST JOHN AMBULANCE AUSTRALIA	FIRST AID KIT SUPPLIES	-	128.20
EFT60134	27/05/2010 NEIL STRINGALL	TRAINING - SHADOW PROTECT - REIMBURSEMENTS	-	374.41
EFT60135	27/05/2010 ALBANY LOCK SERVICE	Replacement of inside cylinder at Library courtyard gate.	-	267.95
EFT60136	27/05/2010 SYNERGY	ELECTRICITY SUPPLIES	-	21,459.74
EFT60137	27/05/2010 T & C SUPPLIES	HARDWARE/TOOL SUPPLIES	-	1,610.97
EFT60138	27/05/2010 TELSTRA CORPORATION, PLANT DAMAGES	DAMAGES TO TELSTRA PLANT	-	157.33
EFT60139	27/05/2010 THE NAKED BEAN COFFEE ROASTERS	COFFEE SUPPLIES FOR ALAC CAFE	-	135.00
EFT60140	27/05/2010 DAVID THEODORE	REIMBURSEMENTS - CERTIFICATE OF MUSEUM STUDIES	-	442.15
EFT60141	27/05/2010 THE 12 VOLT WORLD	6V BATTERIES	-	36.00
EFT60142	27/05/2010 THE VEGIE SHOP	DAYCARE FOOD	-	188.00
EFT60143	27/05/2010 THINKWATER ALBANY	IRRIGATION SUPPLIES	-	581.85
EFT60144	27/05/2010 THOMPSON MCROBERT EDGELOE	Le Grande Drainage basin design	-	6,864.00
EFT60145	27/05/2010 TICKETS.COM	DATABOX SUPPORT	-	107.95
EFT60146	27/05/2010 TOLL PRIORITY	FREIGHT	-	434.03
EFT60147	27/05/2010 TOTAL EDEN	GARDEN SUPPLIES	-	1,838.44
EFT60148	27/05/2010 CENTAMAN SYSTEMS PTY LTD	CONTROLLER INSTALLATION FOR ON SITE/OFF SITE SUPPORT	-	4,966.50

EFT60149	27/05/2010 TRAILBLAZERS
EFT60150	27/05/2010 TRAFFIC SAFETY CONSULTANTS PTY LTD
EFT60151	27/05/2010 ALBANY TYREPOWER
EFT60152	27/05/2010 VANCOUVER WASTE SERVICES
EFT60153	27/05/2010 WEBSTER RP
EFT60154	27/05/2010 ALBANY & GREAT SOUTHERN WEEKENDER
EFT60155	27/05/2010 WESTCARE INDUSTRIES
EFT60156	27/05/2010 WESTRAC EQUIPMENT PTY LTD
EFT60157	27/05/2010 WA LOCAL GOVERNMENT ASSOCIATION
EFT60158	27/05/2010 LANDMARK LIMITED
EFT60159	27/05/2010 WESTSHRED DOCUMENT DISPOSAL
EFT60160	27/05/2010 WESTERN WORK WEAR
EFT60161	27/05/2010 WOOD AND GRIEVE ENGINEERS
EFT60162	27/05/2010 WREN OIL
EFT60164	27/05/2010 ZENITH LAUNDRY
EFT60165	27/05/2010 YARNELL CONTRACTING & SAFETY BARRIERS WA
EFT60166	28/05/2010 ALBANY OFFICE PRODUCTS - VAC
EFT60167	28/05/2010 ATC WORK SMART
EFT60168	28/05/2010 AUSTRALIAN SERVICES UNION WA BRANCH
EFT60169	28/05/2010 REPCO AUTO PARTS

GAS REFILL	-	57.85
ROAD SAFETY AUDITS (VARIOUS)	-	11,605.00
TYRE PURCHASES/MAINTENANCE	-	2,534.00
GREEN WASTE SERVICES	-	20,185.32
Rates refund for assessment A76051	-	47.54
Monthly full page- Community Info page May 2010	-	1,959.90
Blank outward green label	-	229.90
VEHICLE PARTS	-	958.21
ADVERTISING FOR ED DEVELOPMENT SERVICES	-	7,418.19
BOLLARDS AND WEED SPRAY	-	2,225.64
DOCUMENT DISPOSAL	-	346.50
UNIFORMS	-	1,977.86
DESIGN OF ROAD UPGRADE NEWBEY ST	-	27,995.00
WASTE OIL DISPOSAL	-	286.00
LAUNDRY SERVICES/HIRE	-	85.82
Supply & install 375.5metres W Beam guard rail on Festing Street	-	61,404.20
STATIONERY SUPPLIES	-	22.85
CASUAL STAFF - L SIMS	-	1,307.50
Payroll deductions	-	2,334.00
VEHICLE PARTS	-	202.46
TOTAL	-	2,605,428.38

TRUST CHEQUES AND ELECTRONIC FUNDS TRANSFER PAYMENTS

Chq	Date	Name	Description	Amount
26409	13/05/2010	ALAN PHILIP MAY	RETURN OF REVEGETATION BOND FOR 78-86 KOORYONG AVE WARRENUP WAPC 128765	12,066.00
26438	20/05/2010	CHRISTOPHER HOLDEN	REFUND OF CANDIDATES DEPOSIT FOR EXTRAORDINARY ELECTION 25/2/2101	80.00
26439	20/05/2010	TRIUMPHANT NOMINEES PTY LTD	RETURN OF DEFECTS LIABILITY BOND FOR WAPC121858 LOT 2 LOWER KING ROAD	33,609.60
26440	20/05/2010	COLLEEN JUDITH WOODHAMS	REFUND OF CANDIDATES DEPOSIT FOR EXTRAORDINARY ELECTION 25/2/1010	80.00
EFT59851	20/05/2010	VERA ANNE TORR	REFUND OF CANDIDATES DEPOSIT FOR EXTRAORDINARY ELECTION 25/2/2010	80.00
			TOTAL	45,915.60

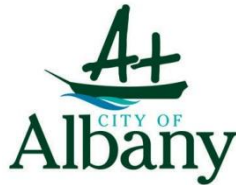
MASTERCARD TRANSACTIONS

20	Date	Payee	Description	Amount
	15-April-2010	Dog Rock Motel	Accommodation - M Hemsley - Risk Management	382.15
	16-April-2010	Skywest Airlines Pty Ltd	Air Fares (taxes only) - 5 Guests for Anzac Ceremony	676.25
	16-April-2010	Skywest Airlines Pty Ltd	Air Fares (taxes only) - 2 Guests for Anzac Ceremony	270.50
	19-April-2010	Skywest Airlines Pty Ltd	Air Fare - B Shanhun - Year End Financial Reporting Workshop	350.85
	20-April-2010	University of South Australia	Benchmarks for ALAC	425.00
	08-April-2010	Skywest Airlines Pty Ltd	Air Fare - D Adeline - Copyright Training	262.85
	13-April-2010	Camberwell Books	Albany Library - History books.	235.00
	16-April-2010	Vista Print	Albany Library - Promotional T Shirts	588.18
	01-April-2010	Avant Hotels Australia	Accommodation & Meals - J Berry - Infrastructure Conference	264.20
	02-April-2010	Qantas	Air Fares - Peter Brown - Waste Conference	937.71
	07-April-2010	Impact Environmental Consulting	Conference fees & accommodation - P Brown	1,754.40
	Various	Sundry < \$ 200.00		1,315.41
				7,462.50

Total MasterCard Expenditure - May 2010

Payroll - May 2010

Date	Description	Amount
05-May-2010	Payroll	375,784.86
19-May-2010	Payroll	374,172.14
20-May-2010	Sundry Pay	1,849.00
20-May-2010	Sundry Pay	212.00
21-May-2010	Sundry Pay	2,979.00
Total Payroll (net payments) - May 2010		754,997.00



CITY OF ALBANY
SENIORS ADVISORY COMMITTEE
MAN 131 (AM1012343)

MINUTES

for the meeting held at 10.00am on Thursday, 20th May 2010
in the Civic Function Room

DECLARATION OF OPENING AT 10.01am

1. ATTENDANCES:

Michael Calton	National Seniors Australia
Celia Barnesby	Senior Citizen Centre (Meals on Wheels)
David Mattinson	Association of Independent Retirees
Patsy Ranger	Over 50's Recreation Association
Esme' Justins	Albany Breaksea Ladies Probus Club
Kim Buttfield	WA Country Health Service (Injury Prevention)
Amanda Porritt	COA Community Development Administration Officer
Cr Chris Holden	COA Councillor
Kevin Ketterer	COA Executive Director for Works and Services
Cr Don Dufty	COA Councillor
Ruth Watson	Seniors Community Representative
Middy Dumper	Seniors Community Representative

2. APOLOGIES

Colleen Tombleson	Lions Community Care Centre
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3. CONFIRMATION OF MINUTES OF PREVIOUS MEETING

Recommendation:

THAT the minutes of the previous meeting held on the 15th April 2010 are CONFIRMED to be a true and accurate record of proceedings.

Moved: __Michael Calton__

Seconded: __Kim Buttfield__

Carried: _____9/0_____

4. DISCLOSURE OF INTEREST

5. ITEMS FOR DISCUSSION

5.1 BUSINESS ARISING FROM PREVIOUS MINUTES:

5.1.1 Update on North Road Precinct Plan

Kevin Ketterer addressed the Seniors Advisory Committee on the new plans for the North Road Precinct.

5.1.2 Signs on Footpaths – Albany Central

City of Albany Council had discussed at previous Council meeting the signs and what should be done in regards to them and the

Recommendation:

THAT the Council make it conditional of businesses within the central business district to meet suitable restrictions on where signs are placed along thoroughfares and sign indemnity clauses, before being allowed display footpath signs.

Moved: Michael Calton

Seconded: David Mattinson

Carried: 9/0

5.1.3 Seniors Card Concession at City of Albany Venues

Tricia Martin responded in writing to the Over 50's with the inclusion of seniors and pensioners discount for Albany Leisure and Aquatic Centre entry within the draft budget, which is still subject to approval by council.

5.1.4 Seating within Parks and walk trails within Spencer Park area.

Kevin Ketterer answered the queries on additional seating requirements within Spencer Park and will audit the area and work on additional seating at appropriate locations.

5.1.5 Green Waste Disposal – Referred to next meeting.

Query made as to why there has been an increase in the cost/abolition of the Seniors discount for disposing of green waste at the refuse, Councillor Don Dufty to follow up on this query.

5.1.6 Keeping and Welfare of Cats Local Law – Referred to next meeting.

Issue raised regarding the follow up on the implemented "Keeping and Welfare of Cats Local Law", incidents have been discussed with committee members regarding a lack of follow up and enforcement of the Local Law, Councillor Don Dufty to follow up with council.

5.1.7 World Health Organisation Age Friendly Communities

Original PowerPoint presentation from original presentation was presented to committee. A small budget has been allocated in the 2010/11 budget towards utilising the framework subject to approval by council.

Recommendation:

THAT the Seniors Advisory Committee support the City of Albany's application to apply to be a World Health Organisation Age-friendly Community.

Moved: Ruth Watson

Seconded: Kim Buttfield

Carried: 5/2

5.2 SENIORS ADVISORY COMMITTEE ACTION SHEET

Please refer to attachment 1. for the Seniors Advisory Committee Action Sheet including information regarding the ACROD Bays review from sub-committee tabled (attachment 2).

5.3 CORRESPONDENCE IN:

- Insurance Information from discussion with COA Corporate Services Officer – Erin Williamson (attachment 3)
- Invitation to attend Dementia Services Pathways Project to be held 17th May 2010. (attachment 4)

5.4 CORRESPONDENCE OUT: NIL

6. NEW AGENDA ITEMS

6.1. Obstructions to Pathways by Lawn Mowing Contractors parking on Council paths

It was brought to the attention of the Committee the issue of lawn mowing contractors parking their vehicles on the Council pathways obstructing the thoroughfare for pedestrians and those using motorised wheelchairs/gophers. Suggestion that Rangers be more aware and direct these contractors to park within driveways were possible.

6.2. Obstructions to Pathways by Garbage Bins on Council Paths

It was brought to the attention of the Committee the issue of pathways being right up to the road and residents placing bins on the Council pathways obstructing the thoroughfare for pedestrians and those using motorised wheelchairs/gophers. Suggestion that future planning of pathways allow for space between the road and pathways for residents to place bins, allowing the path to be free for pedestrians.

7. DATE OF NEXT MEETING

Thursday 17th June 2010 at 10am – Civic Rooms

8. CLOSURE OF MEETING

Meeting closed at 12noon.

Correct as at 20th May 2010.

ITEM #	CLASSIFICATION & PRIORITY RANK	DESCRIPTION	INITIAL ITEM DATE	COMMENT	PERSONNEL RESPONSIBLE	STATUS
2	Project Priority 1	Smoke Alarm Project	21/02/2008	Project to inform Seniors of the need to change smoke alarm batteries annually. Subcommittee - Kim Buttfield, Ruth Watson and David Mattinson. Funding request submitted to SGIO for the project by Injury Prevention with support from COA. Article submitted to Weekender for Seniors page. currently waiting funding application then will progress with ARVS to be contact for Seniors to find help checking alarms and replacing batteries.	Committee	Ongoing
4	Project Priority 1	ACROD Bay determinations	17/04/2008	A sub-committee reporting to Peter Brown to consult on the number and location of ACROD bays. Report presented to SAC at May 2010 meeting. Letter to be written to Australia Post Office on Sanford road to request that they relocate their ACROD bay to the first entry bay as a more suitable and ACROD friendly location.	Kim Buttfield to lead project. Middy and Michael to assist	Ongoing
6	Project Priority 6	Housing for life Communication links regarding retirement Village	15/05/2008	Project to seek sponsorship / funding for display boards that promote the 'Housing for Life' in different local community facilities such as the Senior Citizen Centre, bowling clubs etc. The boards are costed at approx \$7,500.	Committee	Onhold review in June 2010

8	Project Priority 3	Albany Seniors Expo	15/01/2009	2009 Event has occurred. Evaluation and funding acquittals are complete. Commence internal documentation for 2012 Expo in March 2011	CDO-Seniors	Onhold until March 2011
9	Process	Seniors articles for the	15/01/2009	To be an ongoing agenda item	Committee	Ongoing
10	Project Priority 4	Library Parking bays	19/02/2009	Library Parking bays to be reviewed along with other needs areas for ACROD parking, with sub-committee and Peter Brown.	Sub-committee CDO - Seniors to follow up.	ongoing
12	Project Priority 8	Senior Service Directory	19/03/2009	Requires revision and reprint Budgeted into 2010/11 financial budget subject to council budget approval.	CDO-Seniors	Onhold review in June 2010
14	Project Priority 5	Safe Crossing points across North road	18/06/2009	Kevin Ketterer presented to the SAC the North Rd Precinct traffic plans at 20 May 2010 meeting. SAC to provide a report from potential pedestrians with evidence to support increasing the warrant for a zebra striped pedestrian crossing at the mid-section crossing point on North rd. Kim Buttfield to contact relevant residential houses and business with North Road precinct.	CDO-Seniors Kevin Ketterer (COA) Sub-Committee	Ongoing
21	Project Priority 9	Flashing lights indicating when school zones are	19/11/2009	David Mattinson has submitted a copy of the reply letter received from the State Police regarding this item.	David Mattinson	Onhold
22	Issue	ALAC Access	19/11/2010	Issue raised regarding access to ALAC wet area changerooms etc. Original Email to be forwarded for Don Dufty to investigate further.	SAC Don Dufty and Tricia to follow up on.	Incomplete

Insurance Summary for Seniors Advisory Committee – correct as of 27th April 2010

The City of Albany (CoA) provides the following insurance cover currently that would affect SAC activities:

- Volunteers Insurance – covers volunteers that are volunteering for the CoA at any time under the direction of a CoA officer. This automatically covers volunteers 16-75 with volunteers outside this age group able to be added on an individual basis.
- Casual Hirers Liability – if a non incorporated body hires a CoA owned building (i.e. TownHall) for a function or event, they are covered for public liability.
- Public Liability Insurance - this insurance policy covers any member of the public while at a CoA event like Seniors Expo- excluding of business people/stall holders that attend (they should be covered by their own insurance)

No incorporated body/association is covered by the CoA public liability insurance if they are running an event separate to the CoA even if CoA funding is used.

The Insurance Commission of Western Australia is a state government insurance provider. ICWA can provide insurance quotes for affordable public liability insurance on request for community groups.

Ph: 92643333 or 1800 643 338

Post: GPO Box U1908 Perth WA 6845

Web: www.icwa.wa.gov.au

*Please note that all the advice given is of a general nature and may change in individual claim circumstances. This is valid until 30th June 2010.

ACROD Bays Central Area 2009 – Discussion Paper /Action Plan

The number of ACROD bays and their placement around the city centre has been an ongoing issue discussed by the City of Albany Seniors Advisory Committee.

Some of the City of Albany Seniors Advisory Committee supported a 'working party' of City of Albany Staff, SAC members and Disability commission in 2008 to investigate the issue of ACROD parking but due to changes in staff, following an initial two meetings, nothing was resolved or actioned.

The following information has been collated by Kim Buttfield, as a member of the Seniors Advisory Committee and a member of the Albany Central Area Master Plan Steering Committee to try to resolve some of these ongoing concerns:

Standards:

Car parking for people with disabilities is to comply with Part D.5 of the Building Code of Australia 2008 Vol 1 and AS2890.1

Typically a disabled bay is 3.2 m wide by 5.5 m in length. The fall over the bay is not to be steeper than 1:40 gradient.

For a shop there is a proportion of 1 disabled car bay per 50 car parking spaces.
For an office it is 1 disabled bay per 100 car parking spaces.

Email from David Maher, CoA Principal Building Surveyor

Based on information provided to the Albany Central Area Master Plan Steering Committee there are approximately 3500 parking bays in the Central Area, which would equate to approximately 70 disabled bays. This would include bays on private property (eg outside offices) and council owned bays. Many of the private bays have signs indicating only for use of business clients, thus restricting other users.

Current ACROD council bays

The following summary of parking bays is taken from the City of Albany 2006 Survey of Parking Bays – Parking Identification Map.

Street/s	Number of Bays	Reference No.	Additional Info
Albany Highway – near Crosswalk	1	AH28	Outside Gomm's shoe store
Albany Highway/York Street top	1	AH02	Outside Sails, in slip road
Serpentine Road	2	CL01, CL02	Near Centrelink
Grey Street West	1	GS25	Outside Pop, Health
IGA Proudlove Parade	1	DW03	Outside IGA? Unsure ownership - council
Lockyer Avenue	1	LA01	Outside Eagle Boys Pizza – opposite Woolies
Middleton Loop	2	ML54, ML37	On Middleton Loop and in ABC carpark
Public Library Carpark	3	PL71, PL72 PL86	Back of Library
York Street – mid section	1	Y113	Outside Library
York Street – mid section	1	Y009	Outside Pharmacy
Aberdeen Street	3	SJ01-03	Inside St Josephs Church carpark
Stirling Terrace	2	ST52, UN05	Near Dylans Behind UWA –side st
Link Car Park	2	TL 69 TL64	Side of Icky Finks Corner near Sports store
York Street – below Grey	2	Y054 Y070	Middle parking areas opposite Appleyards, Premier Hotel
Total Number	23		

The bays highlighted above have been identified by some of the Seniors Advisory Committee members of being in an inappropriate position and need relocating.

There is also a need for **additional ACROD bays** in the following areas:

Street/s	Number of Bays	Reference No.	Additional Info
York Street – bottom section	1		Near newsagency
Grey Street West	1		Should be moved to the opposite side of the road, near Senior Citizens
Grey Street West	1		Near old Commonwealth Bank
Grey Street East	2		Near Post office
Peels Place	1		On slip road near hairdresser
Stirling Terrace	1		Near Rivers – closer to York Street

In addition the current 4 parking bays for staff parking behind the library should be converted to 2 short term parking bays, one additional ACROD bay and one bay should be converted to Loading Zone to allow staff short term parking for pick ups/deliveries. All longer term staff parking should be in the top or middle tier parking.

Policing of ACROD bays

A continued frustration of disabled seniors is the lack of policing of the ACROD bays, and the use of these bays by non-ACROD drivers.

To assist seniors with limited/restricted mobility to continue to remain active members of the community it is essential they have access to these bays to be able to undertake their regular shopping and access to key services.

This is essential, particularly in light of the poor public transport options for seniors, and the encouragement of continued use of private vehicle usage through the Country Age Petrol Fuel Card.

A more regular parking ranger service is required, and as occurs in other jurisdiction 'tougher' council action on offenders soon relays the message that these bays are for ACROD holders only.

Recommended Actions:

City of Albany Seniors Advisory Committee to review the paper and provide feedback/recommendations on additional ACROD bays and changes to existing ACROD bays in writing to Robert Fenn and Graeme Bride by March 2010.

Meeting with Peter Brown – Assets Manager, City of Albany and members
Seniors Advisory Committee (Kim, Middy and Esme)
Wed 28 April, 2010

Discussion on specific ACROD bays and their placement around the City Centre.

Peter advised staff will look for additional bays at:

- Aberdeen Street – Eastern side (near Dentists, GP's)
- York Street – bottom section (near Newsagency)
- Grey Street East (possibly 2 bays) (near Post Office)
- Peels Place (East) - on slip road (Near Toyworld)
- Peels Place (West) – in slip road parking or near Cosi's
- Stirling Terrace – (near crn of York and Stirling Terrace – night club)
- Serpentine road East

Also agreed to move existing bays at:

- Grey Street West – to opposite side of road – nearer Snr Citizens Centre
- Also to review ACROD parking at Middleton Beach.

In most cases, this will require replacement of existing 'normal bay' into ACROD Bay. Depending on site, may need to allocate two bays. No major site works required.

Considerations:

Length of site required (Peter to confirm length recommended for bay)

Access to key services and businesses (eg post office, newsagency)

Awareness of loss of standard parking bays for non-ACROD users, and need to ensure they have access to alternative bays.

Acknowledgement that disabled seniors may not be able to park right outside the shop they require

Gradients around City Centre also limit where bays are placed

Policing of ACROD Bays

Discussion on the challenges faced, with existing ACROD bays often used by non-ACROD users.

Actions:

City of Albany Seniors Advisory Committee to raise issue at next meeting, with idea to promote in Weekender (Seniors page).

'Dob in a Donkey' concept – seniors to phone in registration number of non-ACROD bay user to City ranger staff. Ranger staff to follow up promptly.

Create a 'perception' of close monitoring of parking (eg Subiaco Council).

Private Disabled Bays

Local businesses provide some disabled bays, for use by their customers. Need to increased number, particularly in key places.

Actions:

City of Albany Seniors Advisory Committee to write to :

- Paul Lionetti to encourage additional Disabled bays in large carpark area between Peels Place and Stirling Terrace.
- Post Office – Sandford Road and request moving to current bay to easier location.

Group to meet with Peter Brown in 1 month, (early June) to review progress and report back to City of Albany Seniors Advisory Committee.



2014/15 ANZAC CENTENARY STRATEGY COMMITTEE

REL164 (AM10142403)

MINUTES

For the meeting held on Tuesday 11 May 2010
2:00pm in the Civic Rooms

THE CHAIR DECLARED THE MEETING OPEN AT 2:07pm

1.0 ATTENDANCES:

Elected Members

The Mayor (Chairperson)
West Ward
RSL (Albany sub-branch)
RSL (Albany sub-branch)

Milton J Evans JP
D Wolfe
L Fraser
P Aspinall

Staff

Executive Officer (Public Relations)
Administration Officer

J Gray
C Young

Invited Guests

RSL State President
Guest (Standing)
ANZAC Day 2010 Event Manager – RSL
Senior Sargeant Albany Police
Sargeant Albany Police

B Gaynor
G Hand
D Cotton
T Evans
D Grimes

Apologies

West Ward

D Dufty

2.0 OPEN & WELCOME

The Mayor declared the meeting open at 1:30pm and welcomed everyone.

3.0 CONFIRMATION OF MINUTES OF PREVIOUS MEETING

ITEM:3.0 – COMMITTEE RECOMMENDATION

THAT the minutes of the 2014/15 ANZAC Centenary Strategy Committee Meeting Committee meeting held on 9 April 2010 be CONFIRMED as a true and accurate record of proceedings

**MOVED: P ASPINALL
SECONDED: L FRASER
MOTION CARRIED: 3-0**

4.0 DISCLOSURE OF INTEREST

Nil

5.0 ITEMS FOR DISCUSSION

5.1 De-brief: Operational issues – acknowledgements, thank you's (letters & certificates) and evaluation of event

- **Did the event fulfil its goals and objectives?** Overall the main goals and objectives of the event were generally achieved and Albany Police were satisfied with the outcome and had no issues.
- **Identify what worked and what needs fine tuning.** At future events RSVP for VIP seating will need to have strict cut off date. VIP's also need to be educated in advance on where they will fit in on the list and early police involvement in future events will see that everything is understood and carried out correctly.
- **Was the Event well attended?** The event was very well attended although it was suggested that there may not have been enough advertising. Advertising possibly should have started a week earlier.
- **Was informal and formal feedback about the event positive?** Historical Society expressed their disappointment that they were not mentioned as a supporter. It was suggested that a thank you ad run in the paper listing all supporters, a certificate of appreciation and recognition be presented to all volunteers and schools are also presented with their participation certificates. Feedback from VIP's has been very positive.

ACTION: CR WOLFE AND MAYOR TO PRESENT SCHOOL CERTIFICATES (NOT TUES AND THURS MORNINGS)

5.2 De-brief: Strategic issues – advocacy to support the 2014/15 Centenary.

The email from Jon Berry was tabled as he was on leave. The information supported the views of the staff and committee that the presentations to the VIP's went extremely well. See appendix 1 attached.

6.0 OTHER BUSINESS RAISED

AE2 plaque location

Historically, the AE2 plaque does not fit in at the Forts with the US Submariners memorial being from World War II, the AE2 Submarine was from World War I.

ACTION: COA STAFF TO CONTACT ARMY MUSEUM IN PERTH FOR PROFESSIONAL ADVISE TO PUT TO COUNCIL FOR THE LOCATION OF THE PLAQUE. (officer note: This item is no longer relevant as motion to place AE2 plaque was carried to be located in the Peace Park)

ITEM 7.0 – COMMITTEE RECOMMENDATION

THAT in the event of council accepting the recommendation for establishment of the board for coalition framework, that this committee is disbanded.

**MOVED: M EVANS
SECONDED: L FRASER
CARRIED: 4-0**

8.0 CLOSURE OF MEETING

There being no further business to discuss, the meeting closed at 3:20pm.

Appendix 1- Ref. Item 5.2

De-brief: Strategic issues – advocacy to support the 2014/15 Centenary.

From: Jon Berry
Sent: Tuesday, 4 May 2010 6:43 PM
To: Julie-Ann Gray
Cc: Mark Weller
Subject: ANZAC Park Dedication - Advocacy De-brief

JAG,

As discussed, to follow are some dot points regarding the presentations for the 2014/15 ANZAC Centenary held during the ANZAC Day weekend for the Committee debrief next week

Presentations

- Two presentations were held on Saturday 24 April 2010.
 - 11.00am - A broad audience of around 30 Government, political, diplomatic and military personnel
 - 1.00pm – Premier the Hon Colin Barnett, Robyn McSweeney MLC and Barry House (Members for the South West)
- The presentations outlined the project objective, significance of Albany's ANZAC heritage, proposed infrastructure upgrades and funding requirements and proposed strategic framework to realise the City's vision, including collaboration with a wide range of organisations as part of a proposed structural review. (A copy of the presentation is attached)

Comments/Outcomes

- Several attendees sought a copy of the presentation, including the Hon Eric Ripper MLA, Leader of the Opposition. Mr Ripper offered to make representations to the Prime Minister and assist through his Labor Party contacts
- Some comments were made that the City could aim higher than just upgrading Mt Clarence and that this was an opportunity to receive significantly more than \$3m for the Mt Clarence proposal. Upgrading of the Forts and other infrastructure could be put up in an integrated package
- The Premier indicated that a submission to his Cabinet may be considered and that an integrated package would be considered by his Government. He indicated we should make any requests directly through his office rather than through other Ministerial portfolios.

Actions/Recommendations:-

- A follow-up letter to be sent to all attendees thanking them for there attendance and input and outlying our direction from here.
- A submission to the Premier be developed outlining a staged approach to implementation, indicating the infrastructure costs currently quantified (ANZAC Park completion and Mt Clarence) to have considered in the 2010/11 State Government budget. The letter to indicate a further detailed submission will be made including a schedule of events and wider infrastructure program for consideration in future years that can be then included in the WA Treasury forward estimates. (We may include a request for financial assistance to contract the Events Strategy Consultant in a first tranche of funding)
- Prepare the Brief for the Events Consultant that is tied to the provision of funds for an Events Strategy from Council (Tbc) and possibly the State Government

- Upon completion of an overall integrated submission, re-commence an Advocacy Program (upgrading the draft attached) to key military, government, political and bureaucratic representatives and including the new ANZAC Centenary Commission announced by the Prime Minister on ANZAC Day. We need to determine who actually should attend each presentation/ advocacy meeting and need further advice from Geoff Hand on navy and army personnel.

Regards

Jon Berry

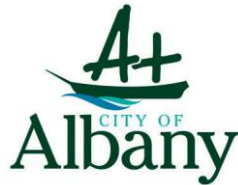
Manager, Economic Development

City of Albany

PO Box 484

ALBANY WA 6331

Tel: (08) 98419339



CITY OF ALBANY
ALBANY TOURISM MARKETING ADVISORY COMMITTEE

STR208

MINUTES

For the meeting held at 4:00pm on Wednesday 12th May 2010 in the Margaret Coates Boardroom.

THE CHAIR DECLARED THE MEETING OPEN AT 4:00pm

1. ATTENDANCES:

D Wellington	Deputy Mayor, Frederickstown Ward Councillor	Chairperson
G Harvey	Business Representative	
S Lyas	Business Representative	
G Clarke	Tourism Representative	
M Evans	Mayor	
M Dayman	Coordinator Events and Tourism	
C Young	Events Assistant (Minutes)	

2. APOLOGIES

R Harris	Tourism Representative
M Weller	Executive Manager, Corporate Services

3. CONFIRMATION OF MINUTES OF PREVIOUS MEETING

RECOMMENDATION

THAT the minutes of the Albany Tourism Marketing Advisory Committee meeting held on Thursday 8th April 2010 be CONFIRMED as true and accurate.

**MOVED: S Lyas
SECONDED: G Harvey
CARRIED: 3-0**

4. DISCLOSURE OF INTEREST

Nil

5. ITEMS FOR DISCUSSION

5.1 GUEST SPEAKER – RAY HAMMOND

Ray was unable to attend the meeting due to commitments in Perth. He will reschedule his presentation for a future meeting.

5.2 POTENTIAL HILIPAD LOCATION

Graham Harvey provided information to the Committee regarding the potential location for the helipad being the eastern end of the foreshore development.

The committee agreed that it would be a great tourism product for Albany and would encourage Rob Woodgate to formulate a formal application to the City and Department of Transport to have the helipad positioned at the Port.

5.3 2011 WINTER MARKETING CAMPAIGN

An update on progress with the Winter Campaign marketing activity was given to the committee which included viewing images of the recent photoshoot. Release date for the Albany Traveller magazine is now the 12th June 2010

5.4 amazingalbany LOGO TRADEMARKING

The West Australian amazingalbany logo is already trademarked however the Great Southern and amazingalbany alone is not registered or trademarked. Committee agreed to get the logo redesigned with the registered trademark.

ACTION: COA Staff to get a quote for the redesigning of the amazingalbany logo with the registered trademark emblem incorporated.

6. OTHER ITEMS TO BE DISCUSSED

6.1 Impian Films

The Committee will write a letter of support to Impian Films for their Whaling movie and invite them to do a presentation at the second Tourism Forum.

ACTION: COA Staff to draft a letter of support to Impian Films for the committee's approval.

7. ITEMS TO BE DISCUSSED AT NEXT COMMITTEE MEETING

- Ray Hammond to conduct his presentation.

8. DATE OF NEXT MEETING

26th May – Tourism Industry Forum

9. CLOSURE OF MEETING

Meeting closed at 4:25pm



Council Policy

Climate Change

DRAFT

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1. Objective

To ensure that the City of Albany commits to taking action on climate change, recognising that while uncertainty is present in existing climate science, this does not present a reason for inaction or delay of action, and that the “precautionary principle” should be applied.

The key principles behind this objective include;

- Ensuring that an understanding is reached on the potential impacts of climate change in a local, regional and international context;
- The recognition of the City's existing green house gas footprint through its operational activities;
- The evaluation of the City's footprint and the provision of practical strategies for reduction, offsetting and / or sequestration, and
- A commitment to reducing the City's footprint and the adoption of appropriate risk management, mitigation and adaption strategies.

2. Policy Framework

The City will ensure that the implications of climate change will be considered at all levels of operation, including;

- Planning and development;
- Infrastructure provision and asset management;
- Transport;
- Financial management, accounting and economic development;
- Reserves and coastal management;
- Waste management and recycling;
- Health;
- Risks, liabilities and emergency management;
- Water management; and
- Energy consumption.

The City will prepare a climate change strategy that will guide the implementation of initiatives to reduce the City's green house gas footprint by auditing the current position and providing strategies for reduction, adaption and mitigation.

The climate change strategy will be informed by audit data, which will include;

- electricity, water, gas and fuel use via city facilities and services;
- street lighting, and
- energy and water consumption indicators for the population.

3. Definitions

"Precautionary Principle" - "That lack of full scientific certainty should not be used as a reason for postponing a measure to prevent degradation of the environment where there are threats of serious or irreversible environmental damage" (Source: Environmental Protection and Biodiversity Conservation Act 1999 (Cth), section 391(2)).

"Greenhouse Gas Emissions" -The release of greenhouse gases (as determined under the Kyoto Protocol as being carbon dioxide, methane, nitrous oxide, sulphur hexafluoride, hydro fluorocarbons and per fluorocarbons) into the atmosphere which are widely recognised to cause global warming and climate disruptions.

"Mitigation" - refers to the reduction of climate change impacts via broad scale behaviour change. Mitigation strategies principally rely on impacts of climate change being reducible via the contribution to collective global implementation of 'greenhouse gas' emissions reduction strategies. This may involve, amongst other things, improved energy efficiency, sequestration programmes and educational or behaviour change programs.

"Adaptation" - strategies involve identifying the inevitable changes that climate change will cause, regardless of the success of any current or future mitigation strategies deployed, and managing these changes in the present and the future. Reducing the long term impact and severity of climate change relies on the success of international agreements to reduce greenhouse gas emissions. However due to historical greenhouse gas some changes are unavoidable, and these changes will have to be managed by all spheres of the community, including Local Government, who will feel the financial, infrastructure, water, land use planning, liability and social impacts of not addressing climate change most markedly.

4. Policy Statement

The City of Albany is committed to ensuring that appropriate responses are undertaken to mitigate the potential climate change impacts. To achieve this, the City will,

- Acknowledge and recognise climate change as a factor in all City operations;
- Be prepared and adaptable to future events, by applying the "precautionary principle" and conducting risk analysis. The resulting risk analysis will be used for informed decision-making;
- Develop and implement a measured greenhouse gas mitigation and adaptation strategy throughout Council to meet a determined green house gas reductions;
- Establish sufficient budget allocation to deliver mitigation and adaptation initiatives, as outlined in the strategy, and
- Build community understanding and awareness by promoting City actions and providing education programmes to address priority areas.

5. Legislative and Strategic Context

Local Government Act 1995

Section 1.3 (3) of the Local Government Act 1995 states... "In carrying out its functions, a local government is to use its best endeavours to meet the needs of current and future generations through integration of environmental protection, social advancement and economic prosperity".

In order to 'meet the needs of current and future generations', Local Government must address climate change impacts on its community. A range of mitigation and adaptation strategies must be applied to ensure that economic, social, environmental and legal obligations are met.

City of Albany Strategic Plan

In terms of the City's strategic plan, this policy compliments and recognizes the Albany Insight – Beyond 2025 Strategic Plan document, in particular;

The City of Albany will be a City where...

1. *Lifestyle and Environment*
 - 1.5 *Development...*
 - *embraces environmentally responsible approaches to energy and water consumption*
 - *Incorporates healthy lifestyle activities and access to green space.*
2. *Economic Development...*
 - *renewable energy completely powers the region.*

National Greenhouse and Energy Reporting Act 2007 (NGER Act)

The National Greenhouse and Energy Reporting Act 2007 (NGER Act) introduced a national framework for the reporting and dissemination of information about the greenhouse gas emissions, greenhouse gas projects, energy use and production of corporations.

The objectives of the NGER Act are;

- to underpin the introduction of an emissions trading scheme;
- to inform government policy formulation and the Australian public;
- to help meet Australia's international reporting obligations;
- to assist commonwealth, state and territory government programmes and activities, and
- avoid the duplication of similar reporting requirements in the states and territories.

It is anticipated that the City may be required to provide the following information under the act in the near future, including;

- greenhouse gas emissions;
- energy production;

- energy consumption
- other information specified under NGER legislation.

Carbon Pollution Reduction Scheme (CPRS)

The proposed Carbon Pollution Reduction Scheme (CPRS) is part of the Australian Government's strategy to reduce Australia's carbon pollution by 60 percent of 2000 levels by 2050. The NGER Act will underpin the CPRS, providing the emissions data on which obligations under the CPRS will be based.

Environmental Protection and Biodiversity Conservation Act 1999

The objectives of the Act are to:

- provide for the protection of the environment, especially matters of national environmental significance,
- conserve Australian biodiversity,
- provide a streamlined national environmental assessment and approvals process,
- enhance the protection and management of important natural and cultural places,
- control the international movement of plants and animals (wildlife), wildlife specimens and products made or derived from wildlife,
- promote ecologically sustainable development through the conservation and ecologically sustainable use of natural resources.

Western Australian Carbon Rights Act 2003

The Western Australian Carbon Rights Act 2003 provides the framework for the legal recognition of a "carbon right", which is created upon registration and may be transferred separately from the land in respect of which it is registered. The proprietor of a carbon right has the legal and commercial benefits and risks arising from changes to atmosphere that are caused by carbon sequestration and carbon release occurring in or on land in respect of which carbon is registered. Carbon rights may be protected by "carbon covenants". A carbon covenant is an agreement between the landholder, the owner of the carbon right and anyone else whose cooperation is required to give effect to the agreement. These may be registered against the land. (from Carbon Rights in WA – a new interest in Land, Dept of Agriculture, 2005).

6. Review Position and Date

Responsibility and Reporting

Council is responsible for approving (including amendments to) the following documents;

- Climate Change Policy;
- Climate Change Strategy, and
- Climate Change Plans.

Council is also responsible for ensuring (upon recommendation of the CEO) that resources are allocated to achieve the objectives of the above documents.

Chief Executive Officer (CEO) – is responsible for ensuring that systems are in place to ensure that Council's Climate Change (CC) Policy, CC Strategy, CC Plans are prepared and kept up to date, reviewed at least annually and that recommendations are put to Council (at least annually) in relation to appropriate resource allocation to fulfil the objectives of the above documents. The CEO reports to Council on all matters relating to Climate Change.

Executive Director Management Team (EDMT) – is responsible for monitoring the implementation of the Climate Change Strategy across the organisation. The EDTM will ensure that strategies are put in place to remove barriers to the successful implementation of Climate Change mitigation and adaptation initiatives.

Executive Director Works and Services – is responsible for providing the administration and technical support for implement policy and strategy.

To be reviewed by;

This policy has an expected life of two (2) years and will be reviewed by 30th June 2012.

7. Associated Documents

The City's Strategic Plan – Albany Insight – Beyond 2020

Albany Local Planning Strategy, current version

The City's Climate Change Strategy (under development)

City of Albany Town Planning Scheme

National Greenhouse and Energy Reporting Act 2007

Proposed Carbon Pollution Reduction Scheme (2009)

Environmental Protection and Biodiversity Conservation Act 1999

WA Local Government Act 1995

WA Carbon Rights Act 2003

WALGA Climate Change Policy Background Paper/ April 2009

WALGA Climate Change Policy Statement

CEO Authorisation: _____

Date: ____/____/____



CITY OF ALBANY

STREETSCAPE ADVISORY COMMITTEE

MINUTES OF MEETING, HELD 24 MAY 2010.

MAN161/AM1012644

1.0 Meeting commenced at 7.35am

2.0 Attendance

Mayor Milton Evans
Councillor Joy Matla
Councillor Wellington
Kevin Ketterer
Lindie Crawford

3.0 DECLARATION OF INTEREST – Nil

4.0 Councillor Joy Matla was elected as Chairperson for the Streetscape Advisory Committee.

5.0 DISCUSSION

5.1 Terms of Reference confirmed as:

- Street Furniture – Urban Design
- Public Art
- Landscaping – Road Reserves, including roundabouts
- Signage – Entry Statements

5.2 External Committee Members:

- Proposal to be put to external committee members
 - Sally Malone – Councillor Wellington to action
 - Elisa Stuart – KK to action.

5.3 It has been confirmed that no relationship exists between Streetscape Committee and Albany Central Area Master Plan.

5.4 External *Entry Statements* to be prioritised in highest order – to commence with Highways (Chester Pass Road / Albany Highway, South Coast Highway)

5.5 *CBD Implementation* - Wakes Wall to be beautified, KK to approach the owner of the Wakes Store to discuss.

5.6 A letter from the Bahai Group was received in terms of erecting a Peace Pole in Alison Hartman Gardens. (Project to be listed on next Agenda – Paul Nadeary).

5.7 Middleton Beach Group survey results to be presented to Council Briefing Forum. Final submission to be forwarded to Council.

5.8 Arts Application approved and being supported, application to be submitted to Council for approval.

5.9 Final plan for Lockyer Avenue and Cockburn intersection to be obtained and submitted to the Streetscape Committee for consideration. KK to arrange.

ACTION LIST

Item Number	Action	Responsible Person	Date
5.2	(i). External Committee Members - Sally Malone to be contacted	Kevin Ketterer	11 June 2010
	(ii). Elisa Stuart to be contacted	Councillor Wellington	11 June 2010
5.5	CBD Implementation – Owner of Wakes Stores to be approached in terms of beautifying the Wakes Wall.	Kevin Ketterer	11 June 2010
5.9	Final plan for Lockyer Avenue/Cockburn intersection to be obtained and submitted to the Streetscape Committee for consideration.	Kevin Ketterer	11 June 2010

6.0 Date of next meeting will be determined on a 'need to' basis.

7.0 Meeting closed at 8.45am.

CITY OF ALBANY
REPORT

To : His Worship the Mayor and Councillors
From : Administration Officer - Building
Subject : Building Activity – May 2010
Date : 1 June 2010

1. In May one hundred and fifteen (115) building licences were issued for building activity worth \$13,676,519.00. This included three (3) demolition licences, and four (4) sign licences.

It is brought to Council's attention that these figures included building licence 291252 for a Nocturnal House at Whale World estimated value: \$3,300,000.00.

2. The two (2) attached graphs compare the current City activity with the past three (3) fiscal years. One compares the value of activity, while the other compares the number of dwelling units.
3. A breakdown of building activity into various categories is provided in the Building Construction Statistics form.
4. Attached are the details of the licences issued for May 2010, the eleventh month of activity in the City of Albany for the financial year 2009/2010.


Kerry Cox
Administration Officer – Building

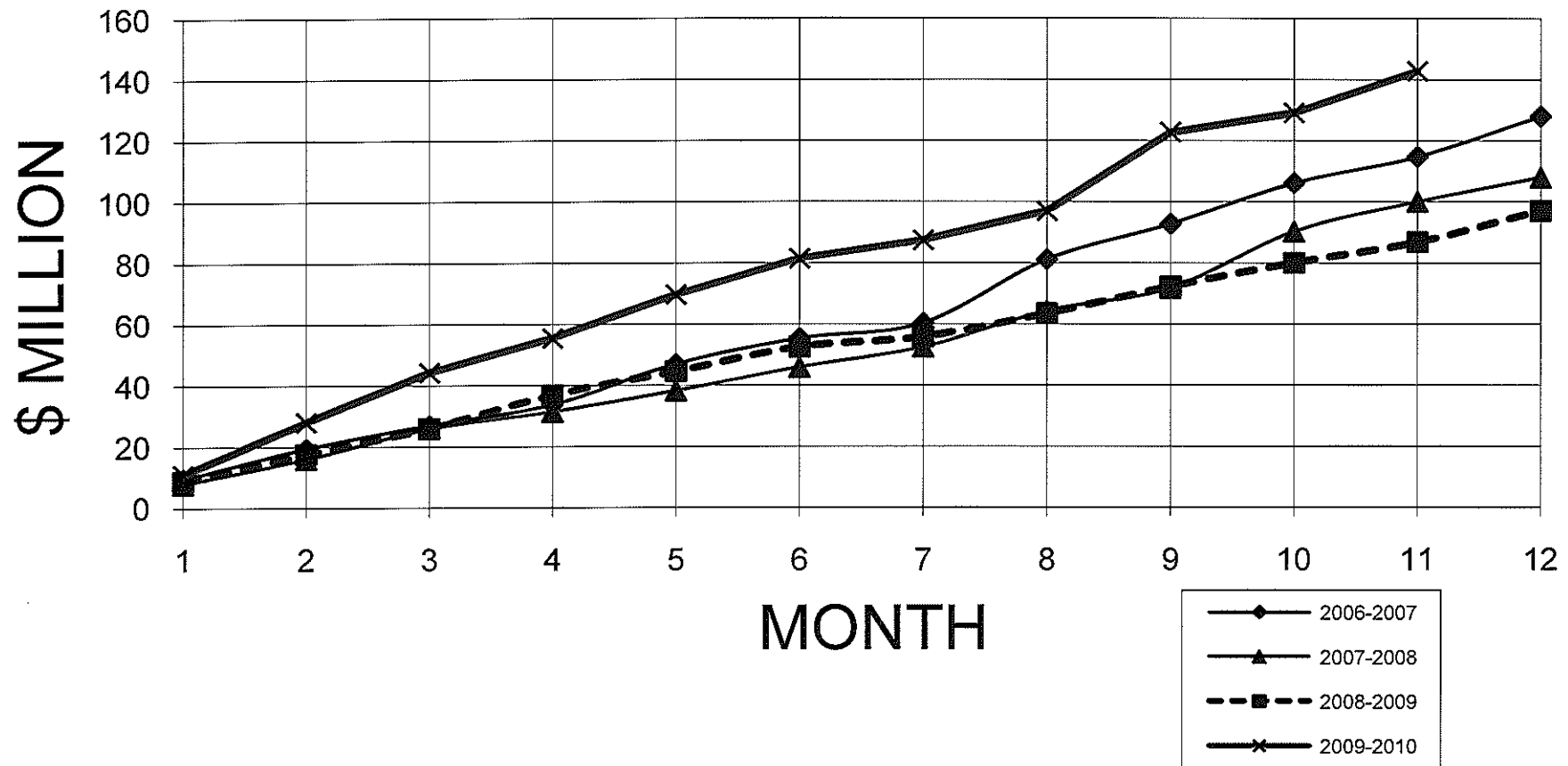
CITY OF ALBANY

BUILDING CONSTRUCTION STATISTICS FOR 2009 - 2010

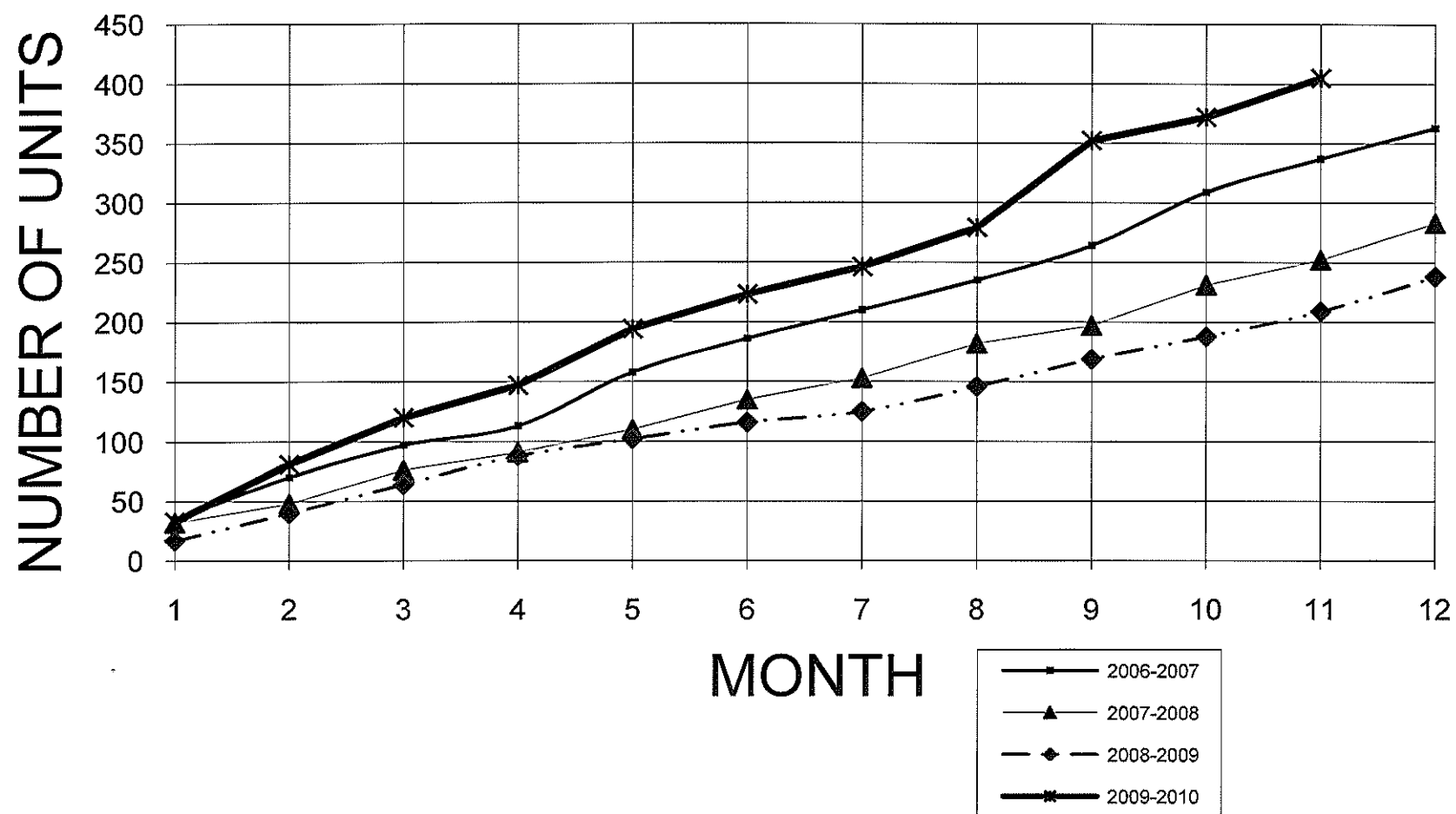
2009/2010	SINGLE DWELLING		GROUP DWELLING		Total	DOMESTIC/ OUTBUILDINGS		ADDITIONS/ DWELLINGS		HOTEL/ MOTEL		NEW COMMERCIAL		ADDITIONS/ COMMERCIAL		OTHER		TOTAL \$ VALUE
	No	\$ Value	No	\$ Value		No	\$ Value	No	\$ Value	No	\$ Value	No	\$ Value	No	\$ Value	No	\$ Value	
JULY	31	6,894,101	2	363,500	33	16	258,102	40	864,472	0	0	1	1,000,000	8	1,042,946	13	388,290	10,811,411
AUGUST	37	7,803,923	11	2,007,784	48	17	400,128	21	1,008,076	0	0	2	1,557,000	7	4,367,595	9	49,836	17,194,342
SEPTEMBER	39	13,956,728	0		39	21	326,526	37	607,000	0	0	1	187,140	7	977,595	11	165,807	16,220,796
OCTOBER	26	6,734,277	1	169,836	27	22	361,251	34	1,538,977	0	0	2	1,950,000	1	180,000	10	255,900	11,190,241
NOVEMBER	39	10,718,277	8	1,598,156	47	17	190,053	40	927,236	0	0	2	233,750	3	385,000	11	110,948	14,163,420
DECEMBER	29	6,619,849	0	0	29	12	170,243	32	954,308	0	0	2	1,571,104	6	2,176,183	11	247,329	11,739,016
2010																		
JANUARY	23	4,126,381	0	0	23	10	207,863	19	425,278	0	0	1	100,000	3	1,103,088	6	81,769	6,044,379
FEBRUARY	32	7,375,806	1	220,000	33	16	168,612	23	1,089,843	0	0	1	90,687	5	496,750	7	56,100	9,497,798
MARCH	52	12,662,021	21	5,019,502	73	24	295,259	37	1,305,192	0	0	0	0	5	6,187,000	18	298,832	25,767,806
APRIL	19	4,671,105	1	170,000	20	23	408,307	37	756,801	0	0	0	0	2	138,000	9	304,509	6,448,722
MAY	33	8,352,272	0	0	33	23	233,157	37	470,007	0	0	3	3,820,000	3	318,500	16	482,583	13,676,519
JUNE					0					0	0							0
TOTALS TO DATE	360	89,914,740	45	9,548,778	405	201	3,019,501	357	9,947,190	0	0	15	10,509,681	50	17,372,657	121	2,441,903	142,754,450

BUILDING ACTIVITY

\$M Value



DWELLING UNITS



BUILDING, SIGN & DEMOLITION LICENCES ISSUED UNDER DELEGATED AUTHORITY

Applications determined for May 2010

Application Number	Builder	Owner	Description of Application	Street #	Property Description	Street Address	Suburb
300290	OUTDOOR WORLD	Owner's name & address not shown at their request	PATIO	205	Location ALBAN T Lot 102	GREY STREET	ALBANY
300375	T & W BRADE	Mr C J & Mrs C A RAINSFORD	DWELLING ALTERATIONS	30	Location AT131 Lot 18	ROWLEY STREET	ALBANY
300385	OWNER BUILDER	Owner's name & address not shown at their request	RETAINING WALL	4	Location AT448 Lot 2	ROWLEY STREET	ALBANY
300391	KOSTERS STEEL CONSTRUCTION PTY LTD	GINGER NELSON PTY LTD	PATIO ADDITION	228-232	Location ATL 47 Lot 12	STIRLING TERRACE	ALBANY
300398	TECTONICS CONSTRUCTIONS GROUP PTY LTD	Owner's name & address not shown at their request	OFFICE FIT OUT TENANCY 3	59	Location ATL 38 Lot 101	PEELS PLACE	ALBANY
300370	KOSTERS STEEL CONSTRUCTION PTY LTD	A E PAYNE	PATIO	64A	Location ASL 119 Lot 1	PARADE STREET	ALBANY
300454	C C BROWN	GALWAY HOLDINGS PTY LTD	DEMOLITION OF DWELLING	126	Location ATL 157 Lot 3	BRUNSWICK ROAD	ALBANY
300355	Whytehall Shopfitters Pty Ltd	Mr A J & Ms C M D'ESPEISSIS	FITOUT OF EXISTING BANK WEST	232-234	Location TS107 Lot 20	YORK STREET	ALBANY
300379	AR & DA DOCKING	D P & T D OORSCHOT	ADDITIONS TO BOUNDARY FENCE	222-226	Location ALB TOWN Lot 25	STIRLING TERRACE	ALBANY
300412	WHYTEHALL SERVICES	Mr A J & Ms C M D'ESPEISSIS	UNDER AWNING & HORIZONTAL SIGNAGE	232-234	Location TS107 Lot 20	YORK STREET	ALBANY
300438	EYERITE SIGNS	D P & T D OORSCHOT	1 X FASCIA SIGN 1 X WALL SIGN	222-226	Location ALB TOWN Lot 25	STIRLING TERRACE	ALBANY
300213	WA COUNTRY BUILDERS PTY LTD	HOUSING AUTHORITY	DWELLING GARAGE & VERANDAH	57	Location 4790 Lot 774	GRENFELL DRIVE	BAYONET HEAD

Application Number	Builder	Owner	Description of Application	Street #	Property Description	Street Address	Suburb
300318	RYDE BUILDING COMPANY PTY LTD	Owner's name & address not shown at their request	DWELLING GARAGE & ALFRESCO	47	Location 4790 Lot 748	GRENFELL DRIVE	BAYONET HEAD
300319	RYDE BUILDING COMPANY PTY LTD	Owner's name & address not shown at their request	DWELLING & RETAINING WALLS	28	Location 3040 Lot 486	PAUL TERRY DRIVE	BAYONET HEAD
300372	RYDE BUILDING COMPANY PTY LTD	Owner's name & address not shown at their request	DWELLING GARAGE & PATIO	33	Location 4790 Lot 630	WATERS ROAD	BAYONET HEAD
300353	WISHART HOMES PTY LTD	M & R C VERTIGAN	BEDROOM & LIVING ADDITION	45	Location 3470 Lot 431	RANGE COURT CRESCENT	BAYONET HEAD
300407	ANTHONY PERRELLA	Owner's name & address not shown at their request	PATIO	38	Location 3470 Lot 443	RANGE COURT CRESCENT	BAYONET HEAD
300427	PULS PATIOS	Owner's name & address not shown at their request	PATIO	2	Location 3470 Lot 470	GREEN ISLAND CRESCENT	BAYONET HEAD
300445	RP & CM LITTLE	Owner's name & address not shown at their request	PATIO	33	Location 282 Lot 32	MEANANGER CRESCENT	BAYONET HEAD
300414	BRIAN IFFLA	B A & K J IFFLA	DWELLING GARAGE & ALFRESCO	12	Location 359 Lot 2	SIMMONS STREET	BAYONET HEAD
300435	SCOTT PARK HOMES GREAT SOUTHERN PTY LTD	Owner's name & address not shown at their request	DWELLING & GARAGE	8	Location 4790 Lot 758	LAMONT GRANGE	BAYONET HEAD
300429	MD PHILIP	Owner's name & address not shown at their request	UNAPPROVED PATIOS X 3	20	Location 371 Lot 22	YOKANUP ROAD	BAYONET HEAD
300448	STATEWIDE DEMOLITION	Owner's name & address not shown at their request	DEMOLITION OF CARETAKERS COTTAGE		Location 359 Lot 500	ALISON PARADE	BAYONET HEAD
300478	KOSTERS STEEL CONSTRUCTION PTY LTD	MS M E TION	SHED	38	Location 3470 Lot 443	RANGE COURT CRESCENT	BAYONET HEAD

Application Number	Builder	Owner	Description of Application	Street #	Property Description	Street Address	Suburb
300451	WA COUNTRY BUILDERS	Owner's name & address	DWELLING GARAGE &	55	Location 4790 Lot	GRENFELL DRIVE	BAYONET HEAD
	PTY LTD	not shown at their request	ALFRESCO		752		
290584	LANSKEY	COCKLES PTY LTD	EXTERNAL SIGNS X 5 PILON	302-324	Location ASL	MIDDLETON ROAD	CENTENNIAL PARK
	CONSTRUCTIONS PTY		SIGN X 1 TOWER SIGN X 1		65/66 Lot 90		
300219	RYDE BUILDING	Owner's name & address	7 X STORAGE UNITS	25	Location ASL 02	ALBERT STREET	CENTENNIAL PARK
	COMPANY PTY LTD	not shown at their request			Lot 142		
300262	RH ESKETT	B E WHITAKER	DWELLING	3	Location 43 Lot	SHEOAK WAY	COLLINGWOOD
					251		HEIGHTS
300404	OWNER BUILDER	Owner's name & address	RETAINING WALLS	3	Location 43 Lot	SHEOAK WAY	COLLINGWOOD
		not shown at their request			251		HEIGHTS
300443	OWNER BUILDER	Owner's name & address	SHED	37	Location 43 Lot	BORONIA AVENUE	COLLINGWOOD
		not shown at their request			224		HEIGHTS
300480	D & A HOLLAND	Owner's name & address	TWO STOREY DWELLING &	1	Location TC02 Lot	HOPE STREET	COLLINGWOOD
		not shown at their request	GARAGE		1		PARK
300354	OWNER BUILDER	C & C M ROBERTS	DWELLING ADDITION - NEW	111	Location 525 Lot	PRESCOTTVALE ROAD	CUTHBERT
			LIVING ROOM		17		
300406	NEW HORIZON HOMES	Owner's name & address	DWELLING & VERANDAH	23	Location 3140	LAKE POWELL ROAD	ELLEKER
	(WA) PTY LTD	not shown at their request					
300436	NEW HORIZON HOMES	Owner's name & address	DEMOLITION OF DWELLING	23	Location 3140	LAKE POWELL ROAD	ELLEKER
	(WA) PTY LTD	not shown at their request					
291252	JELDA HOLDINGS PTY	Owner's name & address	NOCTURNAL HOUSE &		Location RES	WHALING STATION ROAD	FRENCHMAN BAY
	LTD	not shown at their request	AMPTHEATRE		36721 Lot 7900		
300405	OWNER BUILDER	Owner's name & address	PATIO & CARPORT	84	Location	CHARLES STREET	GLEDHOW
		not shown at their request			GLEDHOW Lot 68		
300276	RYDE BUILDING	Owner's name & address	DWELLING & SHED		Location 4378 Lot	BON ACCORD ROAD	KALGAN
	COMPANY PTY LTD	not shown at their request			210		

Application Number	Builder	Owner	Description of Application	Street #	Property Description	Street Address	Suburb
300441	KOSTERS STEEL CONSTRUCTION PTY LTD	V T FORD	SHED	45722	Location 5656 Lot 5	SOUTH COAST HIGHWAY	KALGAN
300455	OWNER BUILDER	Mr A P & Mrs J L BARKER	RELOCATED SHED	178	Location 3331 Lot 902	NORWOOD ROAD	KING RIVER
300440	CHESTERS CONSTRUCTIONS	S P TAYLOR	SHED		Location TAA 37 Lot 1	KILLINI ROAD	KRONKUP
300153	WA COUNTRY BUILDERS PTY LTD	Owner's name & address not shown at their request	TWO STOREY DWELLING	256	Location 7181 Lot 268	MASON ROAD	LANGE
300136	K & T CASTLEHOW BUILDERS	B H & R L BONE	DWELLING GARAGE & ALFRESCO	4	Location 7181 Lot 212	ELARAY WAY	LANGE
300253	WA COUNTRY BUILDERS PTY LTD	Owner's name & address not shown at their request	PERIMETER FENCE- STAGE 1	21	Location 293 Lot 1000	BROOKS GARDEN BOULEVARD	LANGE
300189	R & E SCHLAGER	A JOYCE	DWELLING & RETAINING WALL	81	Location 24 Lot 8	WILSON STREET	LITTLE GROVE
300421	CHESTERS CONSTRUCTIONS	B M & G K ZALMSTRA	GARAGE WITH LEAN TO	15	Location 24 Lot 2	MAITLAND AVENUE	LITTLE GROVE
300418	TURPS STEEL FABRICATIONS	CITY OF ALBANY	BOAT SHELTER	87	Location RES 1036 Lot 500	CHIPANA DRIVE	LITTLE GROVE
300473	OWNER BUILDER	A M HORWITZ & D FORSHAW	PATIO	620	Location 24 Lot 41	FRENCHMAN BAY ROAD	LITTLE GROVE
300388	PULS PATIOS	Owner's name & address not shown at their request	PATIO	8-10	Location 228 Lot 513	SINCLAIR STREET	LOCKYER
300417	OUTDOOR WORLD	Owner's name & address not shown at their request	PATIO	93-97	Location 228 Lot 1	SOUTH COAST HIGHWAY	LOCKYER
300366	A J CASELLA	Owner's name & address not shown at their request	DWELLING		Location 7 7 7 7 Lot	LOWER KING ROAD	LOWER KING
300214	OWNER BUILDER	Owner's name & address not shown at their request	SHED	20	Location 1077 Lot 98	MILNE CLOSE	LOWER KING
300381	SCOTT PARK HOMES GREAT SOUTHERN PTY LTD	Owner's name & address not shown at their request	DWELLING & GARAGE	8	Location 7 Lot 205	DANIELS CLOSE	LOWER KING

Application Number	Builder	Owner	Description of Application	Street #	Property Description	Street Address	Suburb
300380	OWNER BUILDER	Mr R E & Mrs J R DELL	SHED		Location 401 Lot 41	BARFLEUR PLACE	MARBELUP
300442	KOSTERS STEEL CONSTRUCTION PTY LTD	R E & K A MARSHALL	PATIO		Location 401 Lot 32	LAITHWOOD CIRCUIT	MARBELUP
300280	WA COUNTRY BUILDERS PTY LTD	Owner's name & address not shown at their request	DWELLING & RETAINING WALL	8	Location 492 Lot 83	LEO LANE	MCKAIL
300350	JJ SPAANDERMAN	J J & N SPAANDERMAN	DWELLING CARPORT RETAINING WALL & SHED	37	Location 492 Lot 153	CENTAURUS TERRACE	MCKAIL
300399	OWNER BUILDER	B L MARTIN & A H MILISAVLJEVIC	SHED	23	Location 381 Lot 699	O'KEEFE PARADE	MCKAIL
300383	OWNER BUILDER	Mr T & Mrs H J BRATBY	RETAINING WALL	113	Location 492 Lot 370	LANCASTER ROAD	MCKAIL
300402	OWNER BUILDER	Owner's name & address not shown at their request	PORTICO ADDITION	35	Location 355 Lot 52	LE GRANDE AVENUE	MCKAIL
300411	OUTDOOR WORLD	Owner's name & address not shown at their request	SHED	7	Location 492 Lot 166	MOON PARADE	MCKAIL
300423	OWNER BUILDER	P A MORRIS & C HALL	PATIO	2	Location 381 Lot 765	ORION AVENUE	MCKAIL
300393	OUTDOOR WORLD	Owner's name & address not shown at their request	SHED	60	Location 386 Lot 200	LANCASTER ROAD	MCKAIL
300447	RYDE BUILDING COMPANY PTY LTD	Owner's name & address not shown at their request	DWELLING & GARAGE	36	Location 492 Lot 359	COMET CORNER	MCKAIL
300344	RYDE BUILDING COMPANY PTY LTD	Owner's name & address not shown at their request	DWELLING GARAGE	26	Location 381 Lot 711	GERDES WAY	MCKAIL
300476	RYDE BUILDING COMPANY PTY LTD	Owner's name & address not shown at their request	ALFRESCO & SHED	115	Location 492 Lot 371	LANCASTER ROAD	MCKAIL
			DWELLING GARAGE & ALFRESCO				

Application Number	Builder	Owner	Description of Application	Street #	Property Description	Street Address	Suburb
300434	SCOTT PARK HOMES GREAT SOUTHERN PTY LTD	Owner's name & address not shown at their request	DWELLING GARAGE & ALFRESCO	32	Location 381 Lot 713	KITCHER PARADE	MCKAIL
300449	OUTDOOR WORLD	Owner's name & address not shown at their request	PATIO	51	Location 492 Lot 290	ORION AVENUE	MCKAIL
300464	J & TW DEKKER PTY LTD	Owner's name & address not shown at their request	NEW DWELLING		Location 4950 Lot 11	ALBANY HIGHWAY	MCKAIL
300364	MD PHILIP	Owner's name & address not shown at their request	PATIO	3	Location 492 Lot 267	DORADO BEND	MCKAIL
300483	TURPS STEEL FABRICATIONS	R ENSTON & B E KEENAN	SHED	66	Location 399 Lot 711	GREGORY DRIVE	MCKAIL
300433	SCOTT PARK HOMES PTY LTD	Owner's name & address not shown at their request	DWELLING & CARPORT	29	Location 2174 Lot 283	DONALD DRIVE	MCKAIL
300491	OWNER BUILDER	Owner's name & address not shown at their request	SHED AND LEAN-TO	4	Location 492 Lot 263	DORADO BEND	MCKAIL
300413	OWNER BUILDER	Owner's name & address not shown at their request	SCREEN WALL	28	Location RES 36320 Lot 1340	FLINDERS PARADE	MIDDLETON BEACH
300314	SCOTT PARK HOMES PTY LTD	Owner's name & address not shown at their request	DWELLING	26	Location 368 Lot 142	ADELAIDE STREET	MILPARA
300315	M PEARCE	Owner's name & address not shown at their request	SIGN	25	Location 384 Lot 133	NEWBEY STREET	MILPARA
300316	GREG LEEDER BUILDING SERVICES	Owner's name & address not shown at their request	WAREHOUSE AND OFFICE		Location 384 Lot 229	ANSON ROAD	MILPARA
300446	OWNER BUILDER	Owner's name & address not shown at their request	PATIO	28	Location 240 Lot 26	RUFUS STREET	MILPARA

Application Number	Builder	Owner	Description of Application	Street #	Property Description	Street Address	Suburb
300481	OWNER BUILDER	MS J J PANTING	CARPORT & PORCH	4	Location 240 Lot 1	BRONTE STREET	MILPARA
300499	OWNER BUILDER	Mr C J & Mrs T M FULLER	SHED	39	Location 240 Lot 38	COOGEE STREET	MILPARA
291097	MEUZELAAR	Owner's name & address	FACTORY ADDITIONS TO	5-7	Location AT325	COCKBURN ROAD	MIRA MAR
	ENTERPRISES PTY LTD	not shown at their request	UNIT 1		Lot 27		
300228	M A BOCCAMAZZO	Owner's name & address	DWELLING GARAGE &	63A	Location ALBANT	COCKBURN ROAD	MIRA MAR
		not shown at their request	ALFRESCO		Lot 6		
290909	OUTDOOR WORLD	J M GRIFFITHS	RETAINING WALL	21	Location 44 Lot 200	NELSON STREET	MIRA MAR
300343	NIELSEN KAJ	Owner's name & address	ADDITION & ALTERATION	7	Location ASL B6	NELSON STREET	MIRA MAR
		not shown at their request			Lot 1		
300428	PULS PATIOS	Owner's name & address	PATIO	5B	Location 45 Lot 2	MCLEOD STREET	MIRA MAR
		not shown at their request					
300283	OWNER BUILDER	MR B W SHEPHERDSON	RETAINING WALL	18	Location 44 Lot 28	SEYMOUR STREET	MIRA MAR
300489	CHESTERS	Owner's name & address	SHED	12	Location ASL 112	STANLEY STREET	MT MELVILLE
	CONSTRUCTIONS	not shown at their request			Lot 29		
300494	M A BOCCAMAZZO	Owner's name & address	PATIO	217	Location SL127	SERPENTINE ROAD	MT MELVILLE
		not shown at their request			Lot 13		
300371	OUTDOOR WORLD	Owner's name & address	SHED	57	Location 5845	YOUNGS ROAD	NAPIER
		not shown at their request					
300426	PULS PATIOS	Owner's name & address	PATIO	5	Location 355 Lot 3	CARBINE STREET	ORANA
		not shown at their request					

Application Number	Builder	Owner	Description of Application	Street #	Property Description	Street Address	Suburb
300431	OUTDOOR WORLD	Owner's name & address not shown at their request	PATIO UNIT 4	56	Location 229 Lot 4	MCKAIL STREET	ORANA
300479	KOSTERS STEEL CONSTRUCTION PTY LTD	J L & P M AYLMOORE	REPLACE EXISTING PATIO	29	Location 355 Lot 17	FLEMINGTON STREET	ORANA
300415	OWNER BUILDER	MS A M OSTIGH	GARAGE EXTENSION	34	Location PL384 Lot 85	BROUGHTON STREET	ORANA
300439	GREGORY & EVELYN BROOK	G E & E BROOK	DWELLING & VERANDAHS		Location 4959 Lot 11	REDMOND-HAY RIVER ROAD	REDMOND
300396	MICHAEL MCLEISH	Owner's name & address	2 X PATIO	46	Location 42 Lot	GEAKE STREET	SPENCER PARK
300432	OUTDOOR WORLD	Owner's name & address not shown at their request	PATIO	61	Location 42 Lot 74	ANGOVE ROAD	SPENCER PARK
300368	COLIN BRINHAM	SHORESIDE HOLDINGS PTY LTD	RETAINING WALL	48	Location 42 Lot 16	DAVID STREET	SPENCER PARK
300457	TURPS STEEL FABRICATIONS	Mr J & Mrs U M LAWRENCE	SHED	33	Location 42 Lot 99	WANSBOROUGH STREET	SPENCER PARK
300456	TURPS STEEL FABRICATIONS	MR A S PUMPHREY & C G OSMAN	PATIO	97B	Location 42 Lot 1	DAVID STREET	SPENCER PARK
300359	KOSTERS STEEL CONSTRUCTION PTY LTD	E NAIDOO	PATIO	98	Location 42 Lot 685	ANGOVE ROAD	SPENCER PARK
300500	OWNER BUILDER	R A DILLON & D A RATHBONE	SHED	39	Location TORBAY Lot 148	NEWBOLD ROAD	TORBAY
300342	OUTDOOR WORLD	Owner's name & address not shown at their request	SHED & CARPORT	125	Location 4419/418 Lot 174	DELORAIN DRIVE	WARRENUP
300376	U & TW DEKKER PTY LTD	Owner's name & address not shown at their request	DWELLING AND GARAGE	18	Location 5492/5493 Lot 249	OWEN COURT	WARRENUP
300470	OUTDOOR WORLD	Owner's name & address not shown at their request	PATIOS X 3	31	Location 4119 Lot 193	DELORAIN DRIVE	WARRENUP

Application Number	Builder	Owner	Description of Application	Street #	Property Description	Street Address	Suburb
300305	TRAVIS BAKER	Owner's name & address not shown at their request	DWELLING		Location 439 Lot 222	MANTON WAY	WILLYUNG
300424	RYDE BUILDING COMPANY PTY LTD	Owner's name & address not shown at their request	SHED		Location 439 Lot 218	RIVERWOOD ROAD	WILLYUNG
300394	TIMOTHY COLLETT	T J COLLETT	DWELLING GARAGE & ALFRESCO	4	Location 243 Lot 730	TEATREE WAY	YAKAMIA
300410	OUTDOOR WORLD	Owner's name & address not shown at their request	SHED	25	Location AT356 Lot 813	GALLE STREET	YAKAMIA
300408	WA COUNTRY BUILDERS PTY LTD	Owner's name & address not shown at their request	DWELLING GARAGE & ALFRESCO	23	Location 356 Lot 139 Pt 1	BALTIC RIDGE	YAKAMIA
300378	OWNER BUILDER	Owner's name & address not shown at their request	PATIO	21	Location PL356 Lot 310	TARGET ROAD	YAKAMIA
300400	OUTDOOR WORLD	Owner's name & address not shown at their request	PATIO	9	Location 221 Lot 100	SYDNEY STREET	YAKAMIA
300390	RYDE BUILDING COMPANY PTY LTD	Owner's name & address not shown at their request	DWELLING GARAGE VERANDAH	29	Location AT356 Lot 832	NOTLEY STREET	YAKAMIA
300461	KOSTERS STEEL CONSTRUCTION PTY LTD	Owner's name & address not shown at their request	SHED EXTENSION	8	Location 177 Lot 1	LESLIE STREET	YAKAMIA
300377	OWNER BUILDER	MR SE O'BRIEN & MS N CROUCH	DECK & PATIO	6	Location AT176 Lot 58	MILPARA WAY	YAKAMIA
300503	SCOTT PARK HOMES GREAT SOUTHERN PTY LTD	Owner's name & address not shown at their request	DWELLING GARAGE & ALFRESCO	9	Location 243 Lot 669	JUNIPER COURT	YAKAMIA
300430	OWNER BUILDER	Mr B C & Mrs J G POWELL	SHED		Location 2557	LAKE SAIDE ROAD	YOUNGS SIDING

CITY OF ALBANY

REPORT

To : His Worship the Mayor and Councillors
From : Administration Officer - Planning
Subject : Planning Scheme Consents – May
Date : 1 June 2010

1. The attached report shows Planning Scheme Consents issued under delegation by a planning officer for the month of May 2010.
2. Within the period there was a total of thirty three (33) decisions made on active Planning Scheme Consents ;
 - Thirty three (33) Planning Scheme Consents approved under delegated authority;
 - One (1) Planning Scheme Consent approved by Council;
 - One (1) Planning Scheme Consent cancelled; and
 - Two (2) Planning Scheme Consents withdrawn.


for **Gayle Sargeant**
Administration Officer – Planning

PLANNING SCHEME CONSENTS ISSUED UNDER DELEGATED AUTHORITY

Applications determined for May 2010

Application Number	Application Date	Applicant	Street Address	Locality	Description of Application	Decision	Decision Date	Assessing Officer
105069	15/03/2010	K Upson	Stirling Tce	Albany	Change of Use (Restaurant/Cafe to Shop)	Delegate Approved	3/05/2010	Taylor Gunn
105051	22/02/2010	Hobbs Smith & Holmes	Proudlove Pde	Albany	Change of Use - Commercial to Single House	Delegate Approved	5/05/2010	Taylor Gunn
105094	13/04/2010	A Boffey	York St	Albany	Change of Use (Restaurant)	Delegate Approved	21/05/2010	Taylor Gunn
105108	27/04/2010	S Williams	Parade St	Albany	Holiday Accommodation	Delegate Approved	26/05/2010	Taylor Gunn
105119	10/05/2010	V Scherini	Albany Hwy	Albany	Lot 27 Albany Hwy, Albany	Withdrawn	11/05/2010	
105116	4/05/2010	P Joyce	Alison Pde	Bayonet Head	Single House (Additions) front setback relaxation	Delegate Approved	17/05/2010	Adrian Nicoll
105067	12/03/2010	I de Beaumont	Bolitho St	Bornholm	Chalet (Additions inc conversion of shed to living accommodation)	Delegate Approved	10/05/2010	Taylor Gunn
105063	4/03/2010	Ironmonger Building	Prior St	Centennial Park	Funeral Parlour (Additions)	Delegate Approved	3/05/2010	Taylor Gunn
105085	31/03/2010	Ryde Building	Albert St	Centennial Park	Storage Units (7 plus existing 5)	Delegate Approved	3/05/2010	Craig McMurtrie
105066	11/03/2010	B Richardson	Hercules St	Centennial Park	Workshop (Additions)	Delegate Approved	5/05/2010	Tom Wenbourne
105110	29/04/2010	T Melrose	Lockyer Ave	Centennial Park	Warehouse (Commercial & Domestic Cleaning) and Office	Withdrawn	12/05/2010	Deb Delury
105056	26/02/2010	R Charles	Lower King Rd	Collingwood Heights	Public Worship (Additions - Hall)	Delegate Approved	17/05/2010	Taylor Gunn
105129	20/05/2010	P Jongen	Hope St	Collingwood Park	Single House (side setback relaxation)	Delegate Approved	26/05/2010	Adrian Nicoll
295368	7/12/2009	G Attwell	Attwell Rd	Cuthbert	Industry Extractive (sand/lime)	Delegate Approved	21/05/2010	Taylor Gunn
105081	26/03/2010	R Hiam	Milne Close	Lower King	Single House - Outbuilding x 2 (Relaxation of scheme provisions - additional outbuilding situated adjacent to existing - total floor area over size al	Delegate Approved	14/05/2010	Deb Delury
105083	29/03/2010	K Loxton	Rutherford St	Lower King	Single House - Additions & Outbuilding	Delegate Approved	19/05/2010	Craig McMurtrie
105002	6/01/2010	R Holmes	Drew St	Mira Mar	Change of Use - Holiday Accommodation	Delegate Approved	7/05/2010	Taylor Gunn
105090	7/04/2010	K Nielson	Nelson St	Mira Mar	Single House (Additions) - overlooking from deck at rear	Delegate Approved	18/05/2010	Taylor Gunn
105122	12/05/2010	Dykstra Planning	Cockburn Rd	Mira Mar	Grouped Dwellings (x12)	Delegate Approved	19/05/2010	Tom Wenbourne
105077	23/03/2010	Concept Building	Middleton Rd	Mira Mar	Holiday Accommodation (Units x 5)	Delegate Approved	21/05/2010	Tom Wenbourne
105101	21/04/2010	R Jackson	Wollaston Rd	Mira Mar	Single House (Outbuilding) side setback relaxation	Delegate Approved	21/05/2010	Deb Delury
105022	3/02/2010	T English	McLeod St	Mira Mar	Holiday Accommodation	Delegate Approved	25/05/2010	Taylor Gunn
105029	5/02/2010	Albany Cemetery Board	Middleton Rd	Mt Clarence	Boundary Fence - Albany Memorial Park Cemetery	Delegate Approved	3/05/2010	Jan Van der Mescht
105052	22/02/2010	Benson Design	Burt St	Mt Clarence	Single House - design code relaxation overlooking setback relaxations	Delegate Approved	4/05/2010	Taylor Gunn
105061	3/03/2010	D Titterton	Festing St	Mt Melville	Holiday Accommodation	Delegate Approved	4/05/2010	Taylor Gunn

Application Number	Application Date	Applicant	Street Address	Locality	Description of Application	Decision	Decision Date	Assessing Officer
105055	25/02/2010	R Maroni	Albany Hwy	Mt Melville	Change of Use - Real Estate Agent as Professional Office	Approved	18/05/2010	Jan Van der Mescht
295353	20/11/2009	R Lynn	Eden Rd	Nullaki	Grouped Dwelling x 2 (Main Residence & Caretaker Cottage)	Delegate Approved	18/05/2010	Tom Wenbourne
105045	16/02/2010	Wren (WA) Pty Ltd	Richard St	Orana	Single House - front setback relaxation	Delegate Approved	17/05/2010	Tom Wenbourne
105043	15/02/2010	Howard & Heaver	Martin Rd	Spencer Park	Education Establishment (Additions - Trade Training Centre)	Approved	5/05/2010	Tom Wenbourne
105115	4/05/2010	A Taylor	Mokare Rd	Spencer Park	Single House - additions overlooking boundary setback relaxations	Delegate Approved	17/05/2010	Adrian Nicoll
105100	16/04/2010	Kosters Steel	Angove Rd	Spencer Park	98 Angove Rd Spencer Park	Cancelled	31/05/2010	
105089	6/04/2010	Howard & Heaver	Copal Rd	Willyung	General Industry - Steel Fabrication Workshop and Office	Delegate Approved	6/05/2010	Taylor Gunn
105117	5/05/2010	L Thomson	Notley St	Yakamia	Single House - front setback relaxation	Delegate Approved	21/05/2010	Taylor Gunn

Louise Burgler

From: Halit Eren [H.Eren@exchange.curtin.edu.au]
Sent: Thursday, 29 April 2010 9:09 AM
To: Louise Burgler; Julie-Ann Gray
Cc: mevlut can
Subject: Mayor's visit

Julie-Ann and Louise

The mayor of Gallipoli verbally asked me to express his gratitude for excellent organisation of the events in Albany. He has thoroughly enjoyed the trip which was constructive and rewarding. He also asked me to express interest to further the Sister City relationship by taking some joint projects.

On behalf of Mayor of Gallipoli, Mr Mustafa Ozacar, and myself Dr Halit Eren, I would like to thank you to two ladies for your hospitality and we would like to thank the Mayor of Albany Milton Evens for making this occasion fruitful. He expressed that he will be working on a similar concept of Peace Park to signify the relationship between the two cities. Also, he wishes to continue with some more projects that can bring the two nations together.

Mustafa Ozacar is interested in any media coverage and photographs while he was in Albany. Could you please compile information and send it to me to forward it to Gallipoli.

Regards
Halit eren

Mevlut

Please pass this information to Mustafa Ozacar to indicate that I have conveyed his message through appropriate channels.

Milton Evans

From: "DENT Adrian - NOVOTEL Perth Langley GM" <H1764-GM@accor.com>
To: <milte@albanyis.com.au>
Sent: Wednesday, 28 April 2010 9:27 AM
Subject: Recent visit to Albany

Dear Milton,

I had the opportunity to visit Albany over the ANZAC long weekend, and attended the various ANZAC Albany services.

I was most impressed by your beautiful city, and the great services you coordinated over the weekend.

Having been my first visit to Albany, I can honestly say you are the Mayor of a patch of paradise!

I look forward to catching up with you when you return to Perth next.

Regards,

Adrian Dent
General Manager



Novotel Perth Langley
221 Adelaide Terrace
Perth WA 6000
Australia

Tel : +61 (8) 9425 1775

Fax : +61 (8) 9221 2830

Mob : +61 (0) 417 142 270

Email : adrian.dent@accor.com

www.accorhotels.com.au

www.novotelperthlangley.com.au

Novotel Perth Langley is committed to the environment. Please join us in promoting sustainable development and view our policy on

www.novotelperthlangley.com.au

We welcome feedback and look forward to receiving your questions, comments, ideas and suggestions.

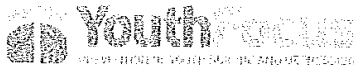
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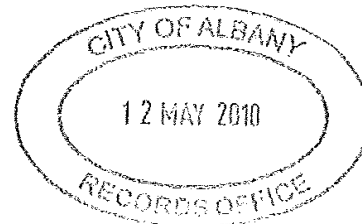
8/05/2010

ICR 1012703



7 May 2010

Mayor Milton Evans
City of Albany
PO Box 484
ALBANY WA 6331



Dear Milton

RE: HAWAIIAN RIDE FOR YOUTH 2010

On behalf of Youth Focus and all the young people and families who access our services, I would like to thank you very much for your support of Hawaiian Ride for Youth 2010. Thank you especially for speaking at the Official Start of the Ride at North Albany Senior High School. I know that the riders and support crew who trained and worked so hard really appreciated your best wishes together with NASHS enthusiastic students who rode out with the peloton as they set off on their long journey.

Please find enclosed a Publicity Report outlining the extensive media exposure obtained by the Hawaiian Ride for Youth in 2010 - *58 pages - available on request.*

Together, we have all achieved an amazing result. To date we have received over \$747,000 in donations, and there are still more pledges coming in, with cut off being 30 May 2010. Thanks to our sponsors and support from organisations such as yours, the actual expenses of the ride were minimal which means that almost all of these funds can be applied directly to our youth and family counselling services and the mentor and peer support programs over the next 12 months.

As you are aware, Youth Focus is a West Australian, non profit community based organisation working with young people between 12-18 years of age who are showing early signs associated with suicide, depression and self harm. Youth Focus offers community based individual youth counselling, family therapy and peer support services, designed for youth whom have been difficult to engage, or have had difficulty accessing support from other services and work to prevent the devastating tragedy a suicide cause's family and friends for what is a totally senseless and avoidable loss of a young life. Due to the awareness Ride for Youth has created we now have offices in the South-West in Mandurah, Bunbury and Collie and have recently opened a new office in Albany.

Thank you again for supporting this event which is so important to us, the young people and the families who are in desperate need of our help. We do hope you will join us again next year in our quest to prevent youth suicide, depression and self-harm, by supporting Ride for Youth 2011 as it continues to go from strength to strength.

Kind regards

A handwritten signature in cursive script, reading 'Jenny Allen'.

Jenny Allen
Chief Executive Officer

Kind regards

A handwritten signature in cursive script, reading 'Cara Massingham'.

Cara Massingham (nee Gibbs)
Senior Event Coordinator

CR 612 860



SENATOR CHRISTOPHER BACK

Liberal Senator for Western Australia

PERTH
89 Aberdeen Street
Northbridge WA 6003
Post Office Box 143
Northbridge WA 6865
Freecall: 1300 301 846
Telephone: (08) 9328 3688
Facsimile: (08) 9328 3900
Email: senator.back@aph.gov.au

CANBERRA
Parliament House
Canberra ACT 2600
Telephone: (02) 6277 3733
Facsimile: (02) 6277 5877

12 May 2010

Mr Milton Evans JP
His Worship The Mayor
City of Albany
PO Box 484
ALBANY WA 6331

Dear Mr Evans

I wish to thank you for the wonderful hospitality you and the City of Albany bestowed on us in and around the events preceding Anzac day this year.

We were most interested in the research regarding the Ibuki – truly a forgotten aspect of the Anzac legend.

The presentation from the City of Albany, outlining the challenges and opportunities leading up to the major events in 2014 and 2015 were of particular interest. It is certainly an iconic moment in history, commemorating 100 years since the departure of the first troop convoy and the subsequent Gallipoli landings.

It was wonderful also, to be present for the dedication ceremony of the new ANZAC Peace Park on 24 April 2010.

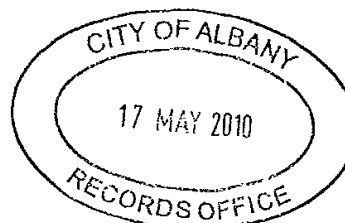
The development of the Peace Park is a credit to the contribution that Albany had in sending Australian and New Zealand troops to the battle areas of World War I.

Now officially open, it is clear that the renewed waterfront area will be a centre not only for moments of reflection, but also for enjoyment of the present – a community facility for all. Of course it will also be a hub for tourists and will deliver many benefits to the region.

I look forward to the commemoration of the 2014/15 Centenary of Albany's Anzac heritage and wish you every success in the planning.

Yours sincerely

Dr C J BACK
Senator for Western Australia



"Towards an Australian community in which every member is safe, feels valued and contributes to a sustainable future."

cc: HWM.

Louise Burgler

From: Michael Wood [woodinwa@iinet.net.au]
Sent: Wednesday, 28 April 2010 9:35 PM
To: Louise Burgler
Subject: RE: Woods

Hi Louise

Now that Anna and I are safely back in Perth, can I tell you how much we enjoyed our visit to Albany and ask you to pass on to Milton and his councillors our grateful thanks for the magnificent and thoughtful hospitality that they provided to us.

The smooth running of the weekend was a tribute to you and the whole council. From the briefing to the dedication to the reception, the first day gave us a great opportunity to learn about Albany, to participate in an historic event and to meet some of its people. And the dawn service in such special and beautiful surroundings was particularly meaningful.

I should also say that we both enjoyed the visit to Mount Romance and I am writing a separate note to David and his team to thank them for their hospitality.

Again our thanks. It was very sad that the French contingent were prevented from being there because you would have done Australia proud!

Kind regards
Michael Wood
Hon French Consul in WA
Mob 0404 739 522

ICR1012738

Harrison Carnaby
20 Anchorage Vista
ALBANY WA 6330
Phone:- 9844-1743

Mayor Milton Evans
City of Albany
North Road
ALBANY WA 6330

Dear Mr Evans

2010 CITY OF ALBANY SCHOLARSHIP

I would like to take this opportunity to thank the City of Albany for awarding me the 2010 City of Albany Scholarship.

I completed Year 12 in 2009 and as the first year of the Bachelor of Commerce degree was available at UWA Albany, I decided to commence in 2010 as opposed to taking a gap year and moving to Perth. I have been coordinating part time work and full time study this semester and have settled into University life.

I have utilised the \$1,000 scholarship funds to purchase text books and contribute toward unit fees for semester one of 2010. This assistance has allowed me to spend more time studying and to date I have achieved pleasing results in all units selected.

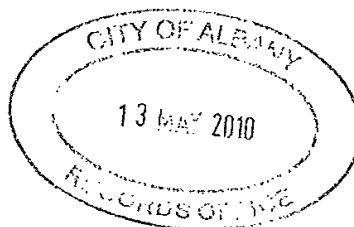
Once again, thank you for your generosity in awarding me a scholarship.

Yours sincerely



HARRISON CARNABY

10 May 2010



ICR 1012100
JUNE BULLETIN

The Lower King and Bayonet Head Progress Association
C/O The Lower King Post Office
Lower King
Albany WA 6330

The Mayor
City of Albany
102 North Road
Yakamia
Albany WA 6330 29.4.2010

Your Honour,

The Members of the above mentioned organisation wish to express their admiration for the splendid organisation apparent during the Annual General Meeting of the Ulysses Club (Inc).

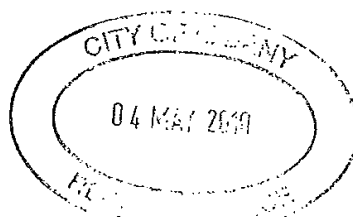
The Members also wish to congratulate Mr Waters on his role in organising the event.

Yours faithfully

Richard Pittman



Secretary (temp).



1CR1012097
JUNE BUNNETT



CONSULAT- GENERAL OF FRANCE
SYDNEY

Le Consul Général
No 1132

Sydney, 28 April 2008

Dear Mayor, *my dear Miltou,*

Without any further delay, I wanted to let you know how pleased I was to be present in your City of Albany on the occasion of the Dedication of the ANZAC PEACE PARK, the moving ANZAC Ceremonies and, particularly, the Dawn Service at Mount Clarence.

I wanted to thank you personally for your so warm welcome in your beautiful City and for the kindness you and your team extended to me during my too short stay in Albany.

Would you please also extend my great appreciation to your staff, with a special mention to Julie-Ann Gray, Emma Martin, David Theodore and Julie.

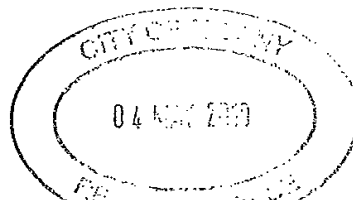
I keep in mind all the projects we had the occasion to discuss together, especially those concerning a deeper co-operation between Albany, Western Australia in general and France. I hope to welcome you here in Sydney in the very near future.

With my warmest Regards to you and Muriel.

A bientôt !

L. Majesté-Larrouy
Lionel MAJESTÉ-LARROUY

His Worship the Mayor
Mr Milton EVANS JP
Mayor of the City of Albany
102 North Road
YAKAMIA WA 6330



St Martin's Tower, Level 26, 31 Market Street, Sydney NSW 2000
Tél : (61.2) 9268 2401 - Fax : (61.2) 9268 2431
Assistant : veronique.gin@diplomatie.gouv.fr



Doc No: City of Albany Records
File: ICR1012488
REL102

Date: 07 MAY 2010
Officer: MAYOR1

Attach:

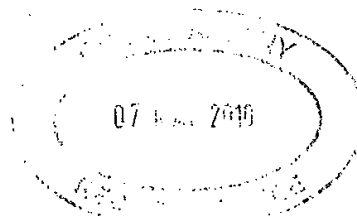
City of Albany
Mayor Milton Evans
25th April 2010

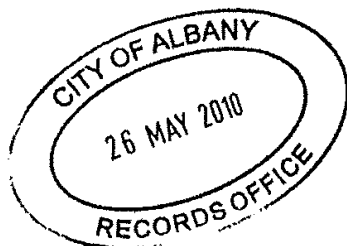
Dear Mayor Evans

I would like to say thank you for the City of Albany scholarship that you presented to me. The money that you gave me will be extremely beneficial to my studies. I intend to use the money for my textbooks and stationary for next semester and next year. This extra financial boost will make it much less stressful when I transfer to Perth as I will not have to worry about affording my very expensive textbooks. I would like to again say thank you so very much and I intend to put these funds to good use.

Yours sincerely,

Breana Butler
UWA Bachelor of Science Student





Great Southern TAFE
sustained excellence

JUNE BULLETIN
ICR 1013518.

His Worship the Mayor Milton Evans JP
City of Albany
PO Box 484
ALBANY WA 6331

Dear Milton

AWARDS PRESENTATION CEREMONY 2010

On behalf of the Governing Council, staff and students of Great Southern Institute of Technology, I would like to sincerely thank you for sponsoring an award to support our 2009 outstanding students at the 2010 Award Ceremony.

This recognition provides our students with the impetus for even greater achievement not only academically but also in personal pursuits. Experience has shown that recognition of a student's achievement can be a turning point in their lives. Your winning student was given your contact details as part of their Award Package, and we encouraged them to make contact to express their personal appreciation.

As a token of our gratitude, please find enclosed a Certificate of Appreciation. We have also enclosed a copy of the Sponsor "Thank You" advertisement that appeared in the Albany, Katanning and Denmark local papers the week of 17th May 2010. A large sign listing all the sponsors was displayed prominently in the foyer at the Awards Ceremony venue, and will continue to be on display at the Albany campus.

Your association with Great Southern Institute of Technology is much appreciated and we thank you once again for your involvement.

Yours sincerely

LIDIA ROZLAPA
CEO/MANAGING DIRECTOR

21 May 2010



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F: (08) 9851 3998

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Anson Road, Albany WA 6330
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GREAT SOUTHERN INSTITUTE OF TECHNOLOGY

Awards Evening 2010

THANK YOU


The Institute's Governing Council members, Managing Director and Staff would like to thank the following sponsors for their continued support. Without the generosity of the local community and businesses, it would not be possible to provide awards to our students.

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Visit us at www.gs institute.wa.edu.au for information.



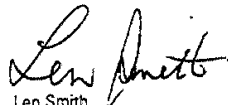
Great Southern
Institute of Technology



Certificate of Appreciation

City of Albany

Presented in recognition of the invaluable contribution
made to our students, and towards the success of the
2010 Awards Ceremony


Len Smith
Chair, Governing Council



Great Southern
Institute of Technology


Lidia Rozlapa
CEO/Managing Director

RMAT 12/09

Bulletin

Louise Burgler

From: Joanna Hands [albanyyha@westnet.com.au]
Sent: Friday, 28 May 2010 10:47 AM
To: ceo@albanycci.com.au; Milton Evans; 'The Rocks Albany'; Emma Martin; Albany Visitors Centre; 'Andrew Miles'; 'Karen Howson'; 'Jenni Dines'; 'Bibbulmun Tourism'; 'Charli Heinz'; 'Helen Polette'; 'TULLY MARWICK'; 'Vicki Brown'; 'Val Hack'; holidays@parklodge.com.au; 'Cape Howe Cottages'; 'sara'; 'Rebekah Hands'; 'Barbara Hands'; weissenfels.nicole@gmx.de; 'Chris hands'; 'Paul Guest'
Subject: Albany YHA - Winner of the 2009 Excellence Award

Hi All,

James and I have just returned from the Annual YHA WA Conference and I am very happy to announce that out of 19 YHA hostels in WA, Albany YHA is the winner of the 2009 Excellence Award!

We are attributing our success to a number of factors including refurbishing our private rooms with brand new queen size beds, fridges and flat screen TV's, lockers in all the dorm rooms, lifting the atmosphere by hosting regular BBQ's and events, upgrading our communal kitchen facilities etc. We have made these improvements based on feedback from our guests which we actively seek.

In 2010 we are committed to exceeding our guests expectations by providing them with a top quality hostel that has all the frills, thus, a great hostelling experience!

* A huge thank you to the team at the Visitors Centre for supporting us and everyone else *
who has helped us achieve this amazing result.

Thanks!

Joanna Hands
Owner/Manager
Albany's Bayview Backpackers YHA,
49 Duke St
Albany, 6330
Western Australia
FREE CALL: 1800 308 680
PH: 08 98 42 3388
FAX: 08 98 41 3949
www.yha.com.au
www.bayviewbackpackers.com.au

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Winner of the 2009 YHA Excellence Award