

ELECTED MEMBER'S REPORT/INFORMATION BULLETIN

**ORDINARY
COUNCIL MEETING**

Tuesday 20th November 2007

ELECTED MEMBER'S REPORT/INFORMATION BULLETIN
20th November 2007

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1.1 Development Services

- 1.1.1 Development Application - Caravan Park (Park Home Park with 400 units) - Lots 32, 33 and 34 Catalina Road, Lange
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- 1.1.2 Development Application - Native Fauna Enclosure and Amphitheatre - Lot 7900 Whaling Station Road, Frenchman Bay
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- 1.1.3 Removal of Pine Trees - 7 Thomas Street, Mt Clarence
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- 1.1.4 Liquor Licensing Arrangements - Boutique Brewery - Lot 301 Millbrook Road, Millbrook
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- 1.1.5 Local Law - Proposed City of Albany "Responsible Cat Ownership Local Law"
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1.2 Corporate & Community Services

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- 1.2.2 Minutes of the Audit Committee, 18 October 2007
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- 1.2.3 Great Southern Regional Recreation Strategy and Advisory Group
Terms of Reference
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- 1.2.4 Albany Arts Advisory Committee Meeting Minutes – 10th October 2007
[Agenda Item 12.8.1 refers] [Pages 204-205] 2 pages

1.3 General Management Services Section

Nil

2.0 MINUTES OF OTHER COMMITTEES

- 2.1.1 Albany Local Emergency Management Committee Minutes - 26
September 2007
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2007
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3.0 GENERAL REPORTS ITEMS

3.1 Development Services

- 3.1.1 Building Activity Report – October 2007
[Pages 213-223] 10 pages
- 3.1.2 Planning Scheme Consents – October 2007
[Pages 224-226] 3 pages

3.2 Corporate & Community Services

Nil

3.3 Works & Services

Nil

3.4 General Management Services

3.4.1 Incoming correspondence to City of Albany

51st Battalion, The Far North Queensland Regiment dated
23 October 07

WA Police Legacy Official Receipt, Big Rainbow Ride Donation dated
24 October 07

3.4.2 Common Seal

NCSR073578 Contract C07005 Provision of Hygiene Services
City of Albany and G&M Detergents & Hygiene
Services Albany
OCM OCM 18/09/2007 13.4.1

NCSR073579 Deed of Extension and Variation of Lease Lease of
Cheyne Beach DRS Site
City of Albany and Telstra Corporation Limited
OCM OCM 16/08/2005 12.2.1

NCSR073605 Deed of Restrictive Covenant Hillview at Yakamia -
Stage 4A & B
City of Albany and Hofrad Pty Ltd
OCM Delegated Authority

NCSR073665 Deed of Restrictive Covenant Electricity Networks
Corporation Land
City of Albany and Western Power
OCM Delegated Authority

NCSR073665 Deed of Restrictive Covenant Electricity Networks
Corporation Land
City of Albany and Western Power
OCM Delegated Authority

NCSR073667 New Licence for Reserve 46776 Cooma Court Reserve
46776 Cooma court
City of Albany & Mark Selby
OCM OCM 126/06/01 12.2.2

NCSR073668 Assignment of Lease Airport Hangar Site 10
City of Albany and John Charles Woollett & Johannes
Pieter Vermeulen
OCM OCM 18/04/06 12.2.3

NCSR073669 Assignment of Lease Forts Tea Rooms and Kiosk at
the Fort Site, Mt Adelaide
City of Albany and Patrick Reginald Willdig, Peter
James Niven and Allison Mary Niven
OCM OCM 18/04/06 12.2.3

Item 3.4.2 continued

- NCSR073671 Surrender of Lease Lot 20 Cheynes Road, Cheynes Beach
City of Albany and B ryan John Sell
OCM OCM 21.08.2007 13.5.1
- NCSR073672 Initial Scheme Amendment Lot 5 Racecourse Road, Robinson
City of Albany
OCM OCM 21/08/2007 11.3.6
- NCSR073673 Operational Agreement Temporary removal of Albany Waterfront Footbridge
City of Albany, Main Roads and Albany Port Authority
OCM Delegated Authority
- NCSR073694 Contract C07006 Provision of Window Cleaning Services
City of Albany and Albany City Cleaners
OCM OCM 18/09/2007 13.4.2
- NCSR073715 Contract C07011B Winning and Supply of Gravel
City of Albany and AD Contractors
OCM OCM 16/10/07 13.4.1
- NCSR073767 Restrictive Covenanct Access to Link Road and Redgum Trail
City of Albany and J.P & M Vermeulen
OCM Delegated Authority
- NCSR073768 Contract C07011A Winning and Supply of Gravel
City of Albany & Armogdin Pty Ltd
OCM OCM 16/10/07 13.4.1
- NCSR073769 Contract Appointment of Settlement Agent
City of Albany and Moss Conveyancing
OCM OCM 21/02/06 12.7.2

4.0 STAFF MEMBERS

4.1 Disclosure To Engage in Private Works

Nil

4.2 Staff Movements

Appointments	Resignation
Mr Doug Kieltyka – Temporary Environmental Health Technician	Mr Gregg Harwood – Senior Environmental Health Officer
Mr Ben de Vries – Emergency Management Coordinator	Mr Steve Gray – Emergency Management Coordinator
Mr Luke Ditchburn – Apprentice Horticulturist	Ms Helen Tasker – City Services - Property Officer
Ms Julie Leaver – Administration Officer – Vancouver Arts Centre (VAC)	Mr Phil Dunkley – Ranger
Nova Kettlewell – Administration Officer –VAC	Ms Jo Hawkins – IT Support Officer
Mr Louis Castellaro – Civil Construction Worker	Ms Sandie Smith – Library – Administration Officer
Ms Nicole Bylund – Records Officer	Ms Emma Bradshaw – Child Care – Qualified Child Care Worker
	Ms Patrice O’Neil – City Services – Admin Officer
	Mr Peter Hill – Building Surveyor

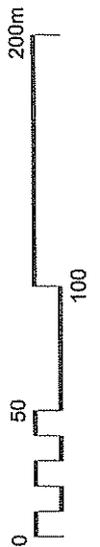
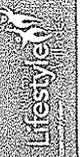
Agenda Item Attachments

DEVELOPMENT SERVICES SECTION



800

YAKAMIA LIFESTYLE VILLAGE - LOTS 32, 33 & 34 CATALINA ROAD
400 HOMES
CITY OF ALBANY - CONCEPT PLAN AUGUST 2007
A NATIONAL LIFESTYLE VILLAGES PROJECT





City of Albany Records
 Doc No: ICR7040248
 File: A55659
 Date: 12 OCT 2007
 Officer: PLAN10
 Attach:

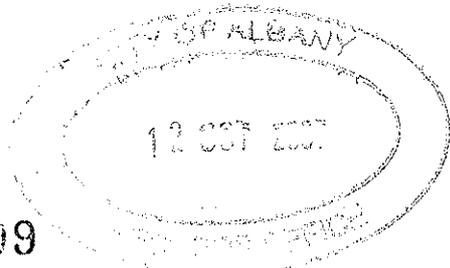
Janeon Holmes
 14 Hudson Rd
 Yakermia
 Albany
 6330

11-10-07

Dear Sir/Madam
 to: whom it may concern.

It came to my notice by accident, that it is proposed to have 400 units across the road. The sign on Hudson Rd is small, old, dirty & leaning, & looks insignificant, until the small print is read, on the corner of the proposed block. Quite disgusting!!
 I have not seen a notice in the paper about this proposal of 400 units in this location. I am very disappointed with the lack of concern for the Hudson Rd residents, by our Albany Council. I feel we should have been notified of the proposal, in our street as it affects us greatly.

Sincerely
 E. D. Holmes.





Ms Margaret Walsh
20 Hudson Road
Albany 6330

City of Albany Records
Doc No: ICR7039733
File: A55659
Date: 05 OCT 2007
Officer: PLAN10
Attach:

4-10-2007

Chief Executive Officer

Dear Sir

I am writing to you concerning the proposed caravan/park home site situated between Hudson and Catalina Roads. As a rate payer and resident living in the area, I'm very opposed to the proposal.

Listed below are the reasons.

After two years of constant heavy trucks driving up and down my road, I have many internal and external cracks in my home. The proposed site would take many months, may be a year of intensive site works to prepare it, more cracks.

The area is a residential area with many families, especially in the new estate at the bottom of Hudson Road.

It is a most unusual site for a caravan park being residential, not close to town, a beach or river. It has none of the things a traveller would desire.

This sort of park would attract the most undesirable and transient type and definitely not suitable in an area with many young children.

Furthermore, it was only by accident that I saw your small notice tacked to the fence, very hard to see between the trees and bushes. Was there a notice in the paper? If so, I didn't see it! It makes me wonder how many people know about this proposal. It will have an impact on *my many* families and not for the better. I think there should be more consultation before any thought of a caravan/park home is given the green light to go ahead.

Yours sincerely
M. Walsh



010



Doc No: City of Albany Records
EF7039838
File: A55659

Records

From: Paint 'n' Quip [pnq@inet.net.au]
Sent: Monday, 8 October 2007 4:02 PM
To: Records
Subject: Andrew Hammond CEO re: Catalina/Hudson Rd Caravan Park Proposal

Date: 08 OCT 2007
Officer: PLAN10
Attach:

Andrew Hammond CEO
City of Albany
PO Box 484, Albany 6331

Re: proposed unit development/caravan park on Lot () Catalina Rd/Hudson Rd

To whom it may concern:

As a resident in the area of the above proposal I am deeply disturbed that a caravan park is being considered for this part of our City. I am aware that the park will be built by a life style company, however no age or social restrictions are specified. I list the following reasons for my objections:

1. Many young families live in this area; including my young family
2. A future school is zoned close to the proposed caravan park
3. Caravan parks are notorious for attracting residents who are of lower socio and economic status; often with issues such as drug and alcohol abuse. These issues have a flow on effect, in the way of increased crime and unseemly street behaviour. This is unsuitable for a built up area, especially where young children live
4. The area immediately surrounding the proposed caravan park is to the best of my knowledge zoned for residential blocks,(see the Yakamia Construction plan), as documented in your town planning department
5. The park will be unsightly and out of place in the area proposed, when the Yakamia construction plan comes into effect. Some would also argue that it is out of place in the rural setting proposed.
6. The real estate values of land around this area will more than likely be disadvantaged because many people have reason to believe that caravan parks are not a 'positive attribute' for a residential area

On top of this I believe many people in the area are totally unaware of what is proposed. It seems that the council could have sent letters asking for comment from all residents in the area i.e. Hudson Rd and Leonora Street. We trust that you will consider the future of this area carefully because the Yakamia Construction plan makes sense, where as the proposed Caravan park is at odds with this plan.

Yours truly,

Ian and Georgina 't Hart
21 Leonora Street
Albany 6330



City of Albany Records
Doc No: ICR7038943
File: A55659
Date: 24 SEP 2007
Officer: PLAN10
Attach:

RD:pa

20th September, 2007

City of Albany
Chief Executive Officer
PO Box 484
ALBANY WA 6330

Dear Sir

**Re: APPLICATION PARK HOME PARK
- 70 CATALINA ROAD, LANGE**

I refer to your letter dated 11 September, 2007 regarding the abovementioned matter.

I would like to register my strong objection to this application.

The basis of my objection is as follows:

1. The density of the proposal will have a dramatic negative affect on the amenity of the area.
2. This area, as I understand it, is proposed to be "future urban". Given the high standard of residential development immediately south of this proposal (i.e. Yakamia generally and Hillview Estate), it is absolutely obvious that a Park Home development will not be in keeping with this high standard.
3. The integrity of main stream residential development should be maintained through out this area. By allowing a Park Home Park to be created right in the middle of this future urban growth area will severely inhibit the desirability of the surrounding residential developments to attract quality homes and estates.
4. An overall and long term view must be taken. This proposal should be viewed and assessed on the basis of the long term goals for the Yakamia District and not on a short term, lot specific basis that may meet immediate needs. To approve this application will be reactionary and short sighted. I pose the question; how does this proposed development sit with the rest of the developments in Yakamia? Obviously it doesn't and therefore should be refused.



I trust you will take into account my concerns when considering this application.

Could you please keep me informed as to when this matter will come before the council.

Yours faithfully

A handwritten signature in cursive script that reads "Daniele".

C. DANIELE

PO Box 1799
ALBANY WA 6330

3/19/07
FAXED

DYKSTRA
PLANNING



Our Ref: 01/136/0710021 - aLBANY



Doc No: City of Albany Records
EF7039585
File: A55659
Date: 03 OCT 2007
Officer: PLAN10

Local convenience...better results
2953 Albany Hwy
Kelmescott WA 6111
PH: 08 9495 1947
FAX: 08 9495 1946
admin@dykstra.com.au

2 October 2007

Attach:

Chief Executive Officer
City of Albany
PO Box 484
ALBANY WA 6330

Attention: Ian Humphrey

Dear Sir

**Public Advertising – Proposed Lifestyle Village on
Lot 32 – 34 Catalina Road, Albany**

I refer to the above and confirm that Dykstra Planning represents Mr G Bergsma, landowner of Lot 35 Catalina Road, which immediately adjoins the eastern boundary of the land subject of the above application. (One of the initial owner group meetings on 15 November 2001 was also attended by Robert Fenn).

Mr Bergsma has participated in the structure planning processes for this area over many years, and has been quite instrumental in facilitating a landowner group approach in relation to rezoning of Lots 31 – 35 Catalina Road.

In relation to the abovementioned lifestyle village application over Lots 32 – 34, our client objects to this proposal at this stage because:-

- a) maintaining a quality interface between the lifestyle village and the surrounding future residential area is critical, but this cannot be guaranteed until this perimeter land has been rezoned;
- b) unless the perimeter residential “buffer” can be guaranteed, (via zoning) the proposed lifestyle village presents a real threat to the quality and value of our client’s land as a future residential estate; and
- c) lots 31 – 35 Catalina Road represent a logical unconstrained precinct for immediate rezoning and local structure planning, particularly in view of the larger Yakamia Structure Plan being delayed indefinitely due to other constraints, (that are not present on Lots 31 – 135). It would constitute for better planning to rezone and plan the small precinct of Lots 31 – 35 Catalina Road prior to approving the lifestyle village.

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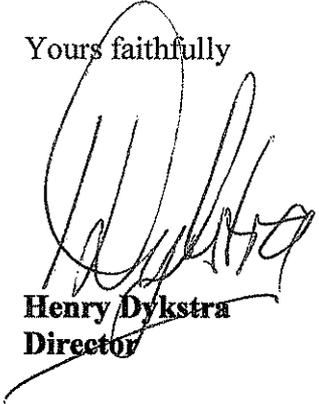
For the above reasons, our client objects to the lifestyle village proposal at this stage. Notwithstanding this qualified objection, our client can see that with appropriate zoning controls and a local structure plan the land use of a lifestyle village could potentially be integrated approximately within a residential environment. To do this in a planned, secure and equitable manner, we recommend the following actions:-

1. resolve to rezoning Lots 31 – 35 Catalina Road from “Rural” to “Residential” on the basis that this represents frontal development of land that is not subject to some of the other constraints within the broader Yakamia Structure Plan area;
2. require the landowners, as part of the rezoning process, to compile a Local Structure Plan for this rezoning precinct; and
3. further consider the lifestyle village proposal in the context of an adopted Local Structure Plan for Lots 31 – 35.

I trust that Council accepts our client’s concerns regarding the lifestyle village application, and also wish to emphasise our preparedness to facilitate the planning processes that will promote a local rezoning and structure plan over the precinct comprising Lots 31 – 35 Catalina Road.

I shall contact you shortly to arrange a further meeting to discuss this matter. In the meantime, should you require any further information please do not hesitate to contact the undersigned at this office.

Yours faithfully



Henry Dykstra
Director

HOFRAD PTY LTD
A.C.N. 008 710 790
c/- P.O. Box 7019, Cloisters Square
PERTH W.A. 6850



16-204290.01
04 October 2007

The Chief Executive Officer
City of Albany
PO Box 484
ALBANY 6331

City of Albany Records
Doc No: EF7039745
File: A55659

Date: 04 OCT 2007
Officer: PLAN10

Attach:

**70 Catalina Road, Lange
Proposed Development
Park Home Park
Submission by Hofrad Pty Ltd**

Dear Sir/Madam

Thank you for the opportunity to comment on this proposal.

We understand the land the subject of the proposed development is zoned "Rural" in Council's Town Planning Scheme and that the proposal is being assessed as a "Caravan Park", being an AA permitted use within that zoning.

However, we believe the proposal is more akin to a "grouped housing development" with the only caravans likely to be on-site being stored in the designated area at the North East corner.

The definition of "Grouped Housing" under the Residential Design Codes clearly covers a Park Home proposal of the scale suggested, and a similar development in Ashby within the City of Wanneroo, is on land zoned "Urban" under the Metropolitan Region Scheme and "Residential" under Council's Town Planning Scheme.

The density of this particular proposal would contemplate an R20 designation under the R-codes, if considered as a Grouped Housing development.

We respectfully suggest that the Council obtain legal advice to support their position.

In the event that Council's assessment of the proposed development under the Scheme is legitimate, the following comments/queries apply:

1. It is not clear what subdivision and/or amalgamation is proposed (if any), however Hofrad Pty Ltd ("Hofrad") supports the planning approach of creating a buffer between park homes and the existing residential lots on Hudson Road, through the placement of standard residential lots fronting onto Hudson Road.

The size of the residential lots fronting Hudson Road should be commensurate with the existing lots (i.e. range from 600 - 700 square metres to maintain a consistent standard along Hudson Road) and we expect that the City would encourage the

Proponent to contribute to the development of the Public Open Space which provides a gateway into the park home 'village' from the southern end of the development.

2. Please note that Hofrad has fully funded the construction of 360 metres of pavement (including drainage and road crossings) along Hudson Road, adjoining the proposed development, and will seek a contribution from the Proponent at the appropriate time, as contemplated under the Planning and Development Act (2005).

3. In the absence of a comprehensive drainage strategy for the proposed development, it is not possible to comment specifically on drainage aspects, however given that the scale of the proposed development and the amount of hard surface planned for internal roads, it is difficult to see where the drainage is to be contained on-site.

4. The Education Department has flagged the need for another primary school in the locality and is collecting cash contributions from subdividers within the Yakamia Structure Plan area.

A previous draft of the Yakamia Structure Plan indicated the school would be placed on the land, the subject of this proposal. Has the Education Department been consulted within the 21 day advertising period?

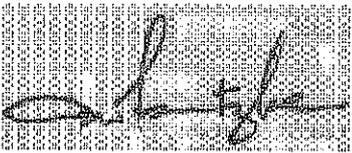
5. What wastewater treatment will be applied to the development, connection to deep sewerage or a portable treatment plant?

6. Council's advice as to the contribution (if any) it expects the Proponent to make towards the construction of Range Road (future Yakamia Drive) would be appreciated, given that the proposed development adjoins the existing Range Road reserve.

We look forward to Council's consideration of these factors and await a response on the questions posed in this submission.

Should you have any queries in relation to this letter, please contact the writer.

Yours faithfully

A handwritten signature in black ink, appearing to read 'David Lantzke', is written over a rectangular area of a fine, dotted grid pattern.

David Lantzke
Company Secretary



Doc No: ICR7039738
File: A55659

Date: 04 OCT 2007
Officer: PLAN10

Attach:

Date No.

MR. L. BOND
25 LEONORA ST.
ALBANY

CHIEF EXECUTIVE OFFICER
ALBANY CITY COUNCIL

4/10/07

Dear Sir,

I am not in favour of a
carroum Park being built in
Hudson Road. Its bad enough having
certain people housed in Leonora St.
& Hudson Rd. by the Government a
Park of the type proposed would
make matters worse for residents of
both streets. As a resident of both
streets I would like to see improvements
not backward steps.

Yours truly
L. Bond.



Records Coversheet



City of Albany Records
Doc No: ICR7039750
File: A55659
Date: 05 OCT 2007
Officer: PLAN10
Attach:

4th. Oct. 2007,

27 Leonora St.
Yakamia
W.A. 6330,

Dear Sir,

We have seen there is to be a caravan park on Hudson Road. You should be aware that some of us are not in favour of anything other than houses there. Already we have had to get used to the idea that our road is to be closed, also have to put up with families placed by the council, and because of this we find people sitting in our sunroom. We find our gates unlocked and open. So we wonder how much more problems you intend to place on us

in this districts

So we are not in favour
of a calawan park at all.

Hope this letter will make
a little difference to
what we have to put
up with in these two
streets.

Yours Sincerely,

George Mawis Jolley.



Centro Albany Centre Management
Corner Chester Pass & Catalina Roads, Albany WA 6330
Tel (+61 8) 9841 7402 Fax (+61 8) 9842 1483
www.centro.com.au
ABN 55 257 979 396



Managed by
CPM (WA) Pty Ltd
ABN 12 079 527 272
M. Barrington, Director and Licensed Real Estate Agent



2 October 2007

Ian Humphrey
Senior Planning Officer
City of Albany
PO Box 484
ALBANY WA 6331

Doc No: City of Albany Records
ICR7039933
File: A55659
Date: 09 OCT 2007
Officer: PLAN10
Attach:

We refer to your correspondence dated 11 September 2007 in respect to the application for the Park Home development along Catalina Road.

We write to advise that we have no objection to the application in principle; however with the future development of this area, we enquire as to whether there will be a need to widen Catalina Road, and if so, what impact this may have on the Shopping Centre.

Please contact myself on either 08 9375 3228 or timothy.richards@centro.com.au

Kind regards,
CENTRO ALBANY


Tim Richards
Centre Manager



021

Ian Humphrey

From: Perry Spanbroek [perry@kingopen.com]
Sent: Thursday, 4 October 2007 8:08 PM
To: Ian Humphrey
Subject: Application for Planning Consent 70 Catalina Rd Lange

Hi Ian

I would like to make it known that we would like to make a submission regarding the above application. I understand that submissions need to be in by today (4th October), however we do need some more information regarding this development and I have rung a few times. Would you please phone me tomorrow (Friday 5th October) so that we can clarify a few items before we proceed.

Kind Regards

Perry Spanbroek.
(Brooks Gardens Lifestyle Village).

022



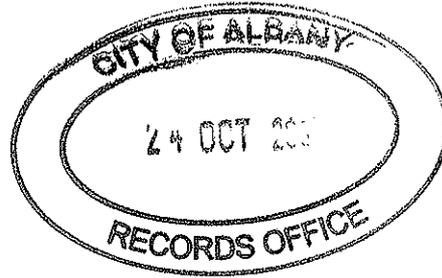
Doc No: City of Albany Records
ICR7040960
File: A55659

Date: 24 OCT 2007
Officer: PLAN10

Attach:

Ian Humphrey
Senior Planning Officer
City of Albany
PO Box 484
ALBANY WA 6330

Your ref: A55659/PA21738/P275288
Our ref: SC770-06 SRS20651
Enquiries: Helen Barwick (9841 0119)
Email: helen.barwick@water.wa.gov.au



Dear Ian,

**Notice of Application for Planning Consent - Park Home Park
70 (Lots 32, 33 & 34) Catalina Road, Lange
Interim Response**

Thank you for referring the above proposal.

The South Coast Regional Office of the Department of Water (DoW) has identified significant issues that require further investigation and clarification prior to consideration of the proposal. These matters relate to but are not limited to:

Integrated Water Management

It is not clear how the applicant proposes to manage stormwater and nutrients on the site. The documentation provided does not illustrate where and how the proposal will cater for stormwater management and as a result the proposal can not be supported by DoW at this time.

The site is located in the upper reaches of the Yakamia Creek catchment which is considered one of the most polluted waterways in the Albany area. As such, stormwater and nutrients must be appropriately managed on the site to prevent potential pollutants from entering the receiving water body of Yakamia Creek. Information should be provided on the potential impacts of the development on water quality and the potential risk of contaminating the Yakamia Creek.

Infiltration at point of source is to be expected together with the use of Urban Water Sensitive Design principles. As the geotechnical information provided in the Environmental Assessment documentation (OPUS, 2007) indicates the soil at the site consists of silty sand over sandy gravel over clay, infiltration at point of source may not be possible. DoW conducted a site assessment on the 18 October 2007 and observed parts of Lot 33 to be damp with clayey soils. In this regard, alternative stormwater and nutrient management approaches need to be explored and detailed in the proposal, such as the need for detention basins and other stormwater infrastructure across the site. Given the density of development

proposed the impact of increased stormwater flows and nutrients are both likely to be high and should be addressed prior to any conditional approvals being issued.

Wetland

The DoW acknowledges a wetland being located on 33. The wetland is degraded and is considered a Multiple Use Category wetland. As such the DoW supports the proponent's concept of the retention and revegetation of this wetland. However it is not clear from the documentation that the extent of the wetland is sufficiently included as part of the wetland POS area as shown on Figure 4.

The DoW has produced documents to support such concepts as constructed wetlands. Advice about constructed wetlands is available in Chapter 9 of the *Stormwater Management Manual for Western Australia (DoW, 2007)*. However, it should be noted that stormwater flows should be managed in the higher parts of the site and no direct drainage should occur into the wetland.

Land Contour

It is unclear whether the proponent wishes to retain the natural contours of the land or re-contour the land with retaining walls to accommodate development. Due to the topography of the site, this matter needs to be addressed as it may have implications for stormwater drainage provisions on the site.

Should you require any further information on this proposal please contact Helen Barwick at the address shown.

Yours sincerely



Per/ **Naomi Arrowsmith**
Regional Manager
Department of Water

23 October 2007

Your Ref: A55659/PA21738/P275288
Our Ref: Grange 3673534
Enquiries: G Wright
Telephone: 98424230



October 04, 2007

City of Albany
PO Box 484
ALBANY WA 6331

City of Albany Records
Doc No: ICR7039735
File: A55659

Date: 05 OCT 2007
Officer: PLAN10

Attach:

Great Southern Regional Office
215 Lower Stirling Terrace
ALBANY WA 6330

PO Box 915
ALBANY WA 6331

Tel (08) 9842 4211
Fax (08) 9842 4255

www.watercorporation.com.au

Attention: Mr Ian Humphrey

**CITY OF ALBANY
APPLICATION FOR PLANNING CONSENT - Lots 32, 33 and 34 CATALINA
ROAD, LANGE**

Dear Ian,

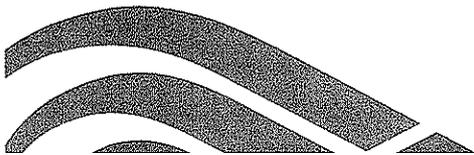
I refer to your letter of September 27, 2007 regarding an application for planning consent for Lots 32, 33 and 34 Catalina Road, Lange.

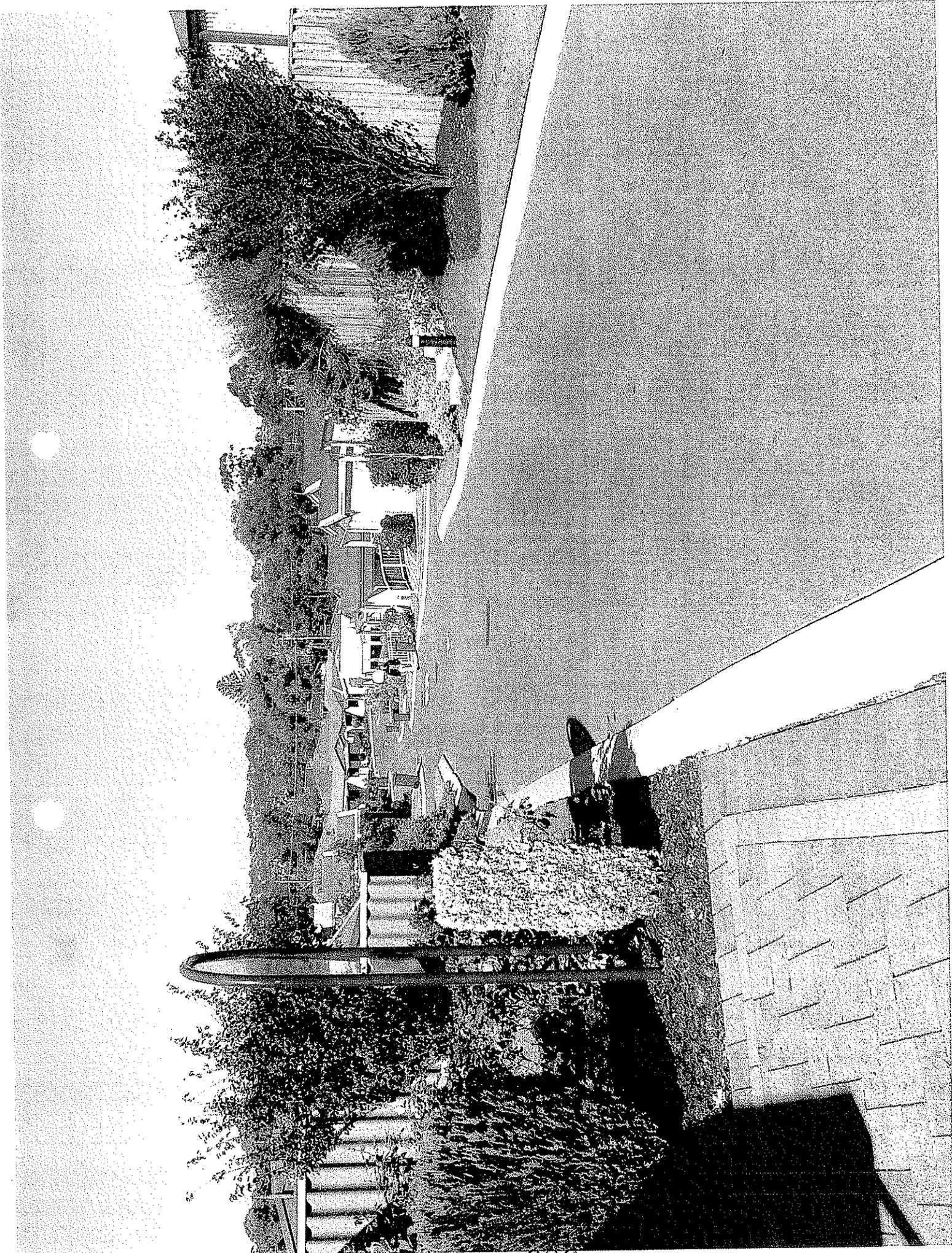
You are advised that the Water Corporation has no objection to the proposed development however the proponents will need to engage a consulting engineer to discuss with the Corporation, the servicing of the area with water and wastewater services.

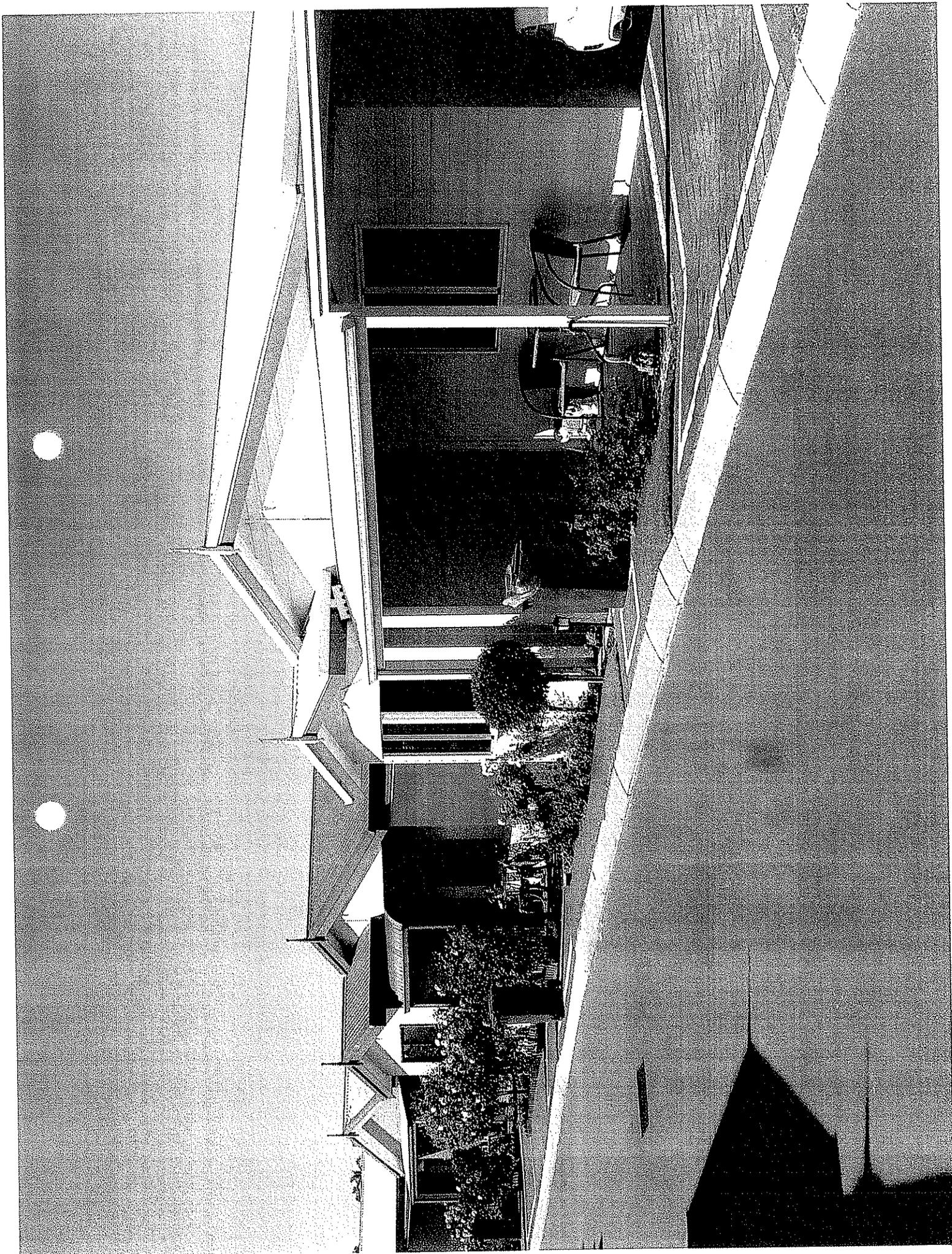
Yours sincerely

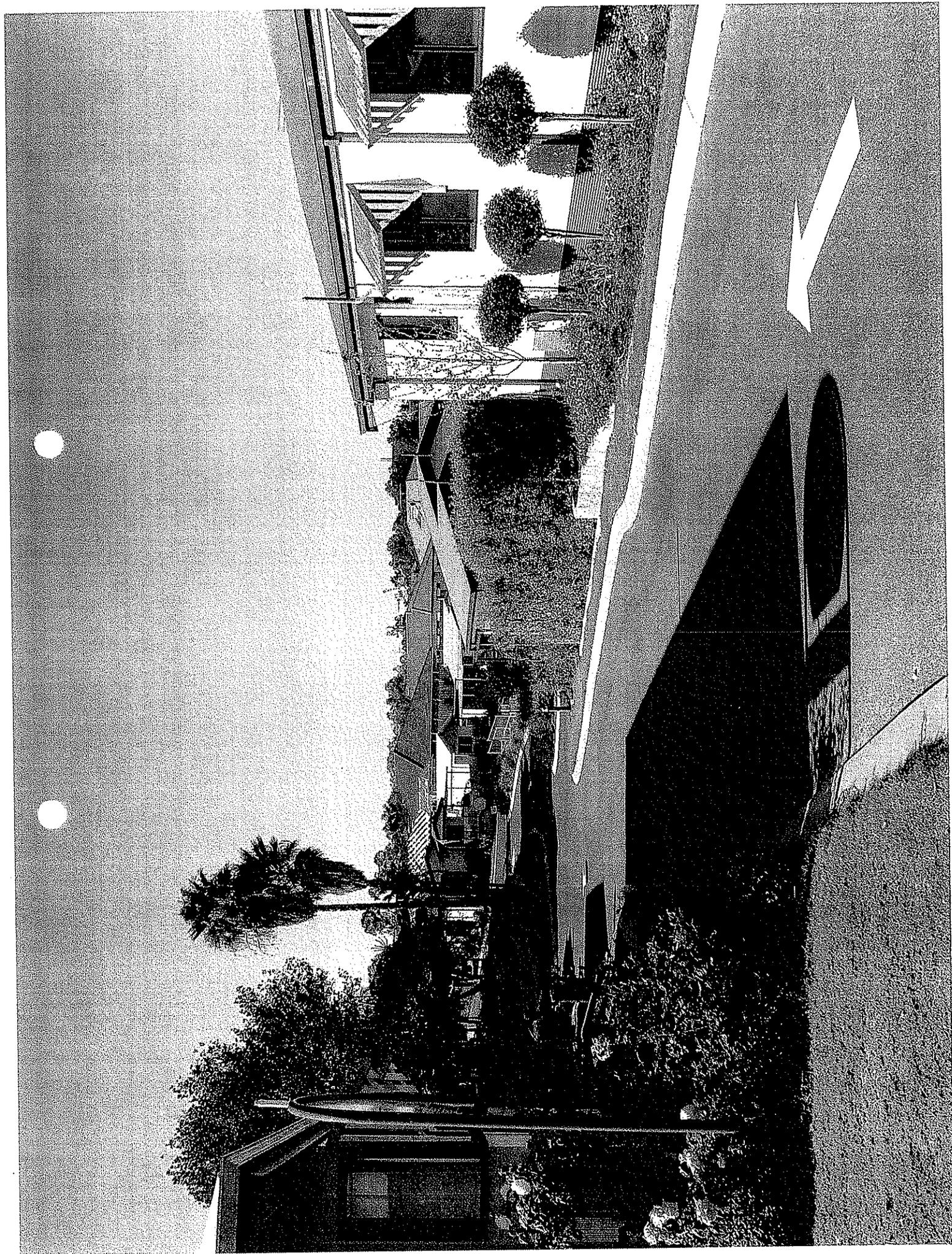
A handwritten signature in black ink, appearing to read "Rod Collins".

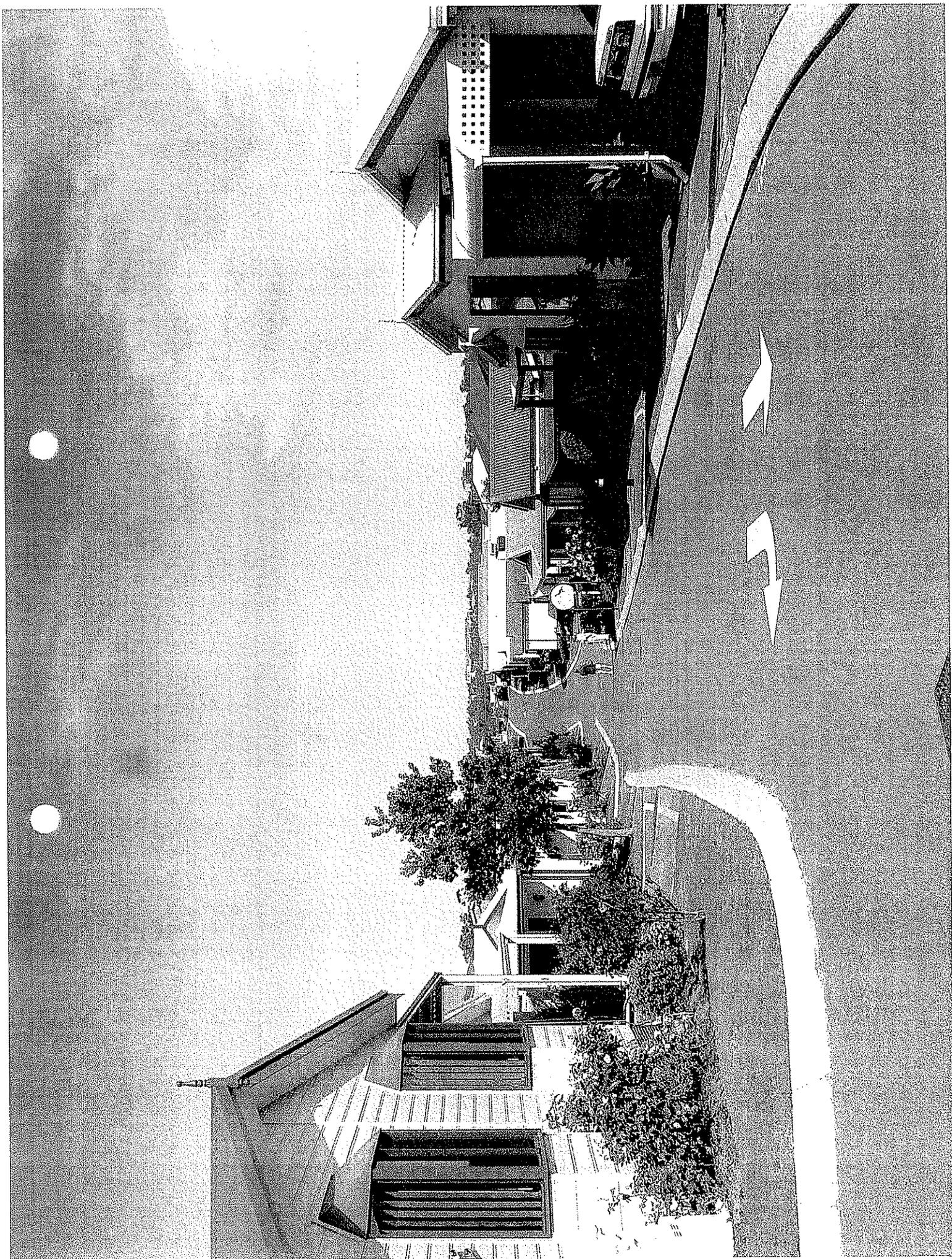
for Rod Collins
Manager Assets GSR
Asset Management Division

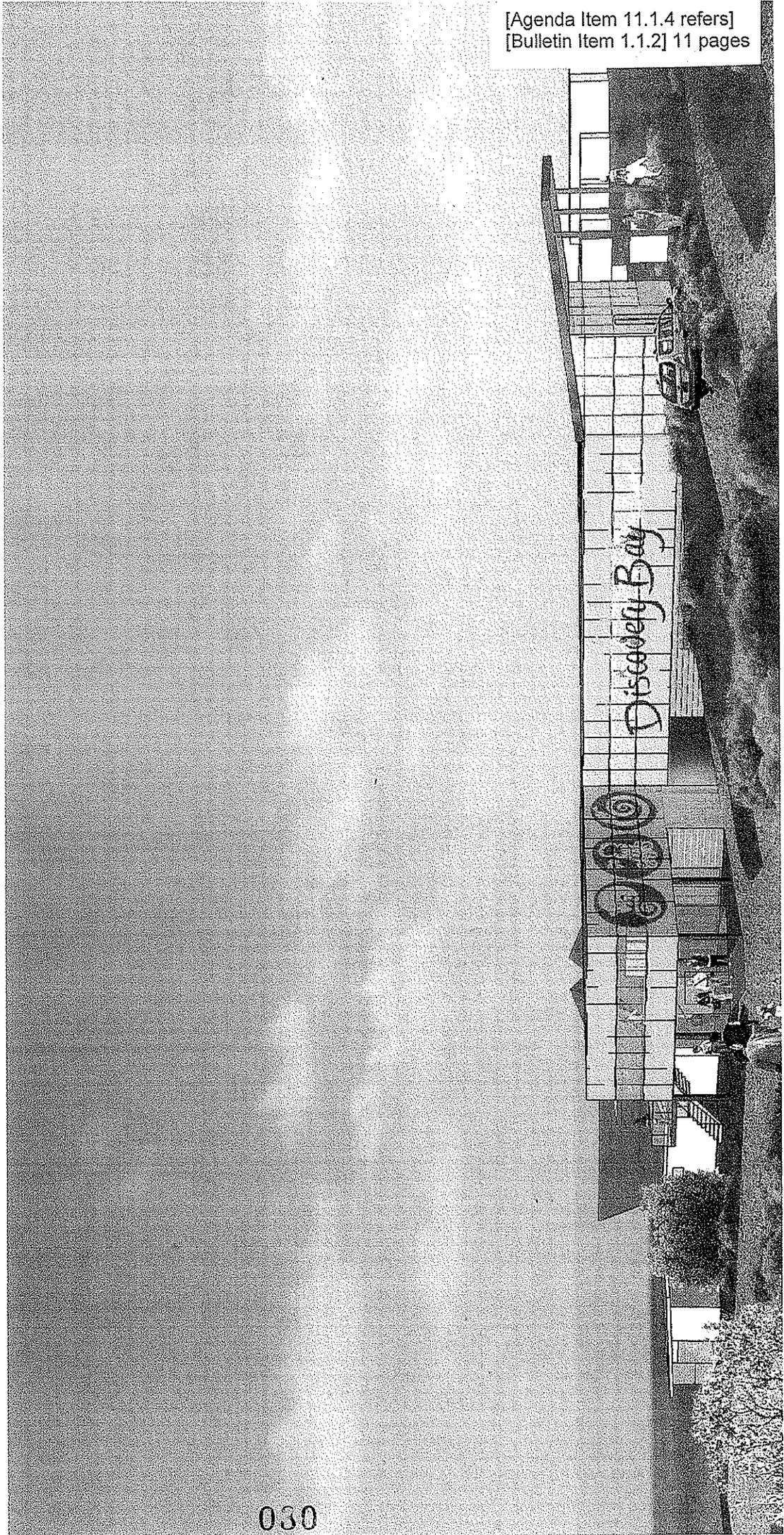


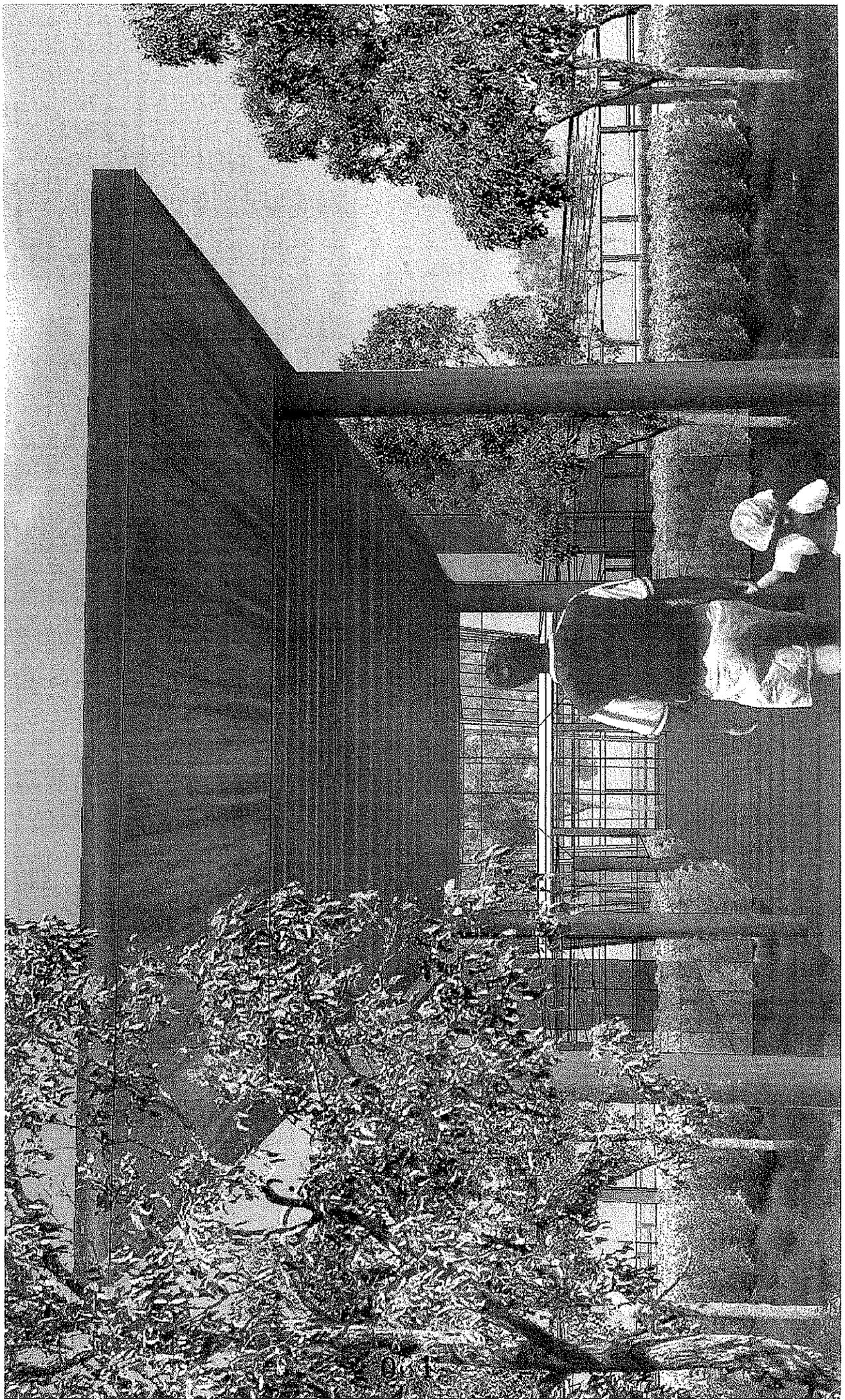


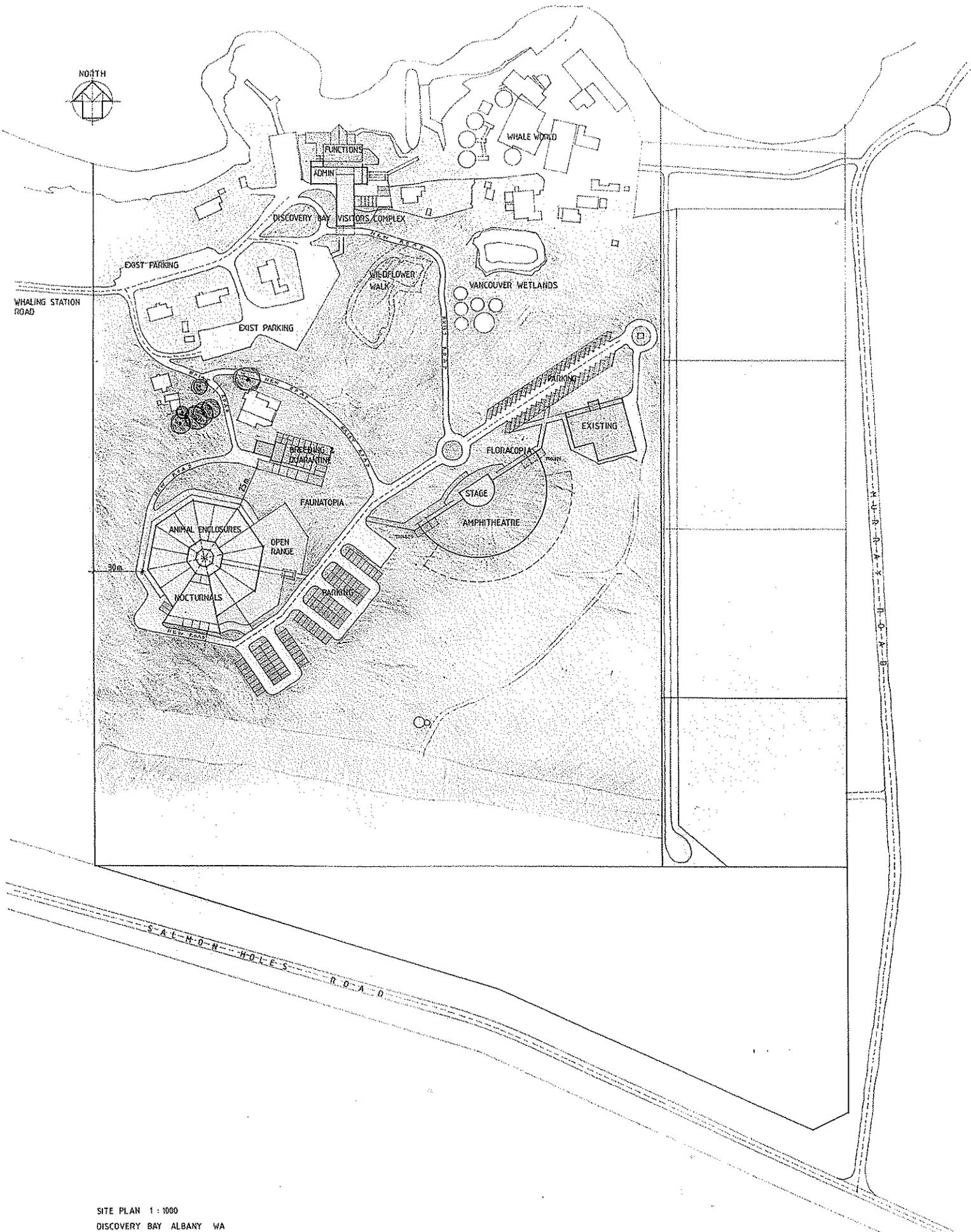




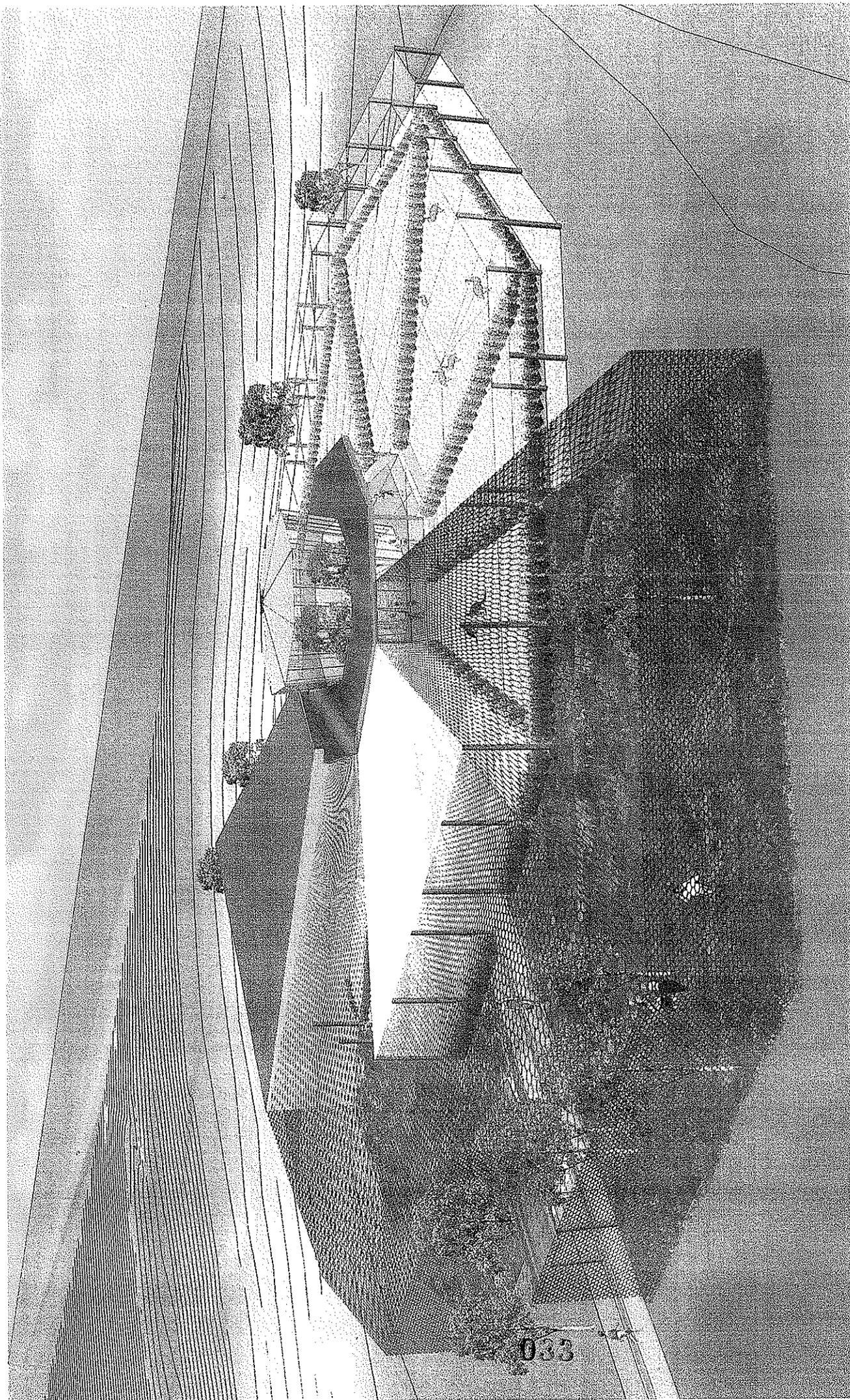








SITE PLAN 1 : 1000
DISCOVERY BAY ALBANY WA





DISCOVERY BAY WHALEWORLD ALBANY

FAUNATOPIA

CAMP BUS PARKING

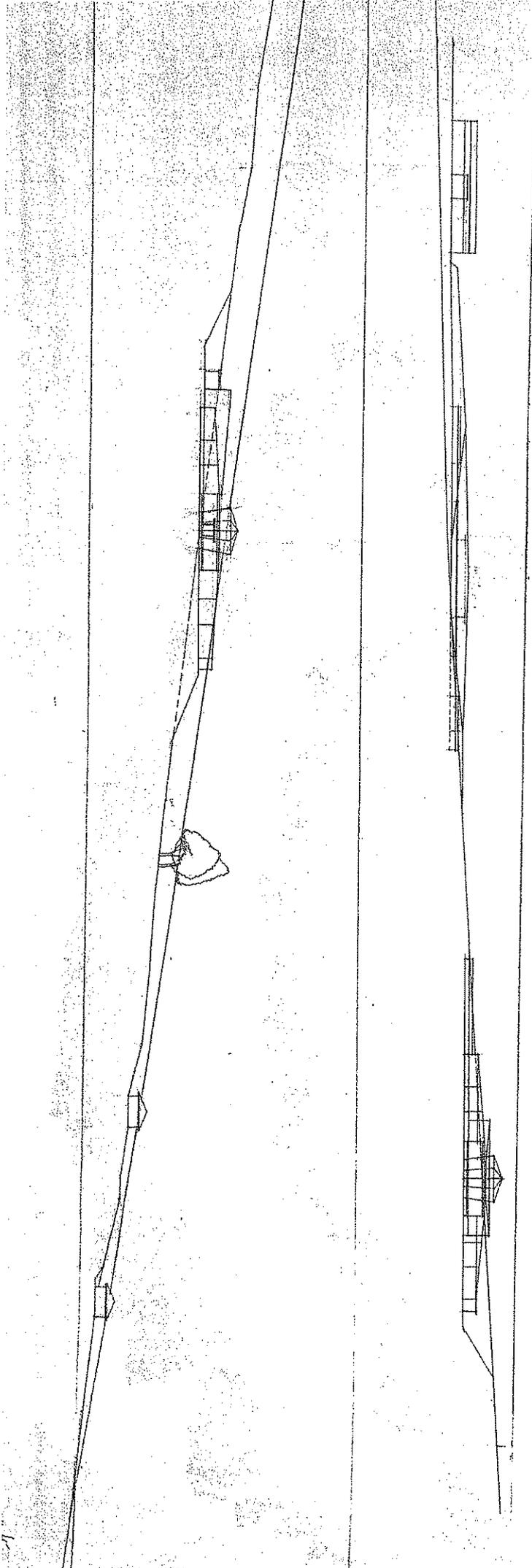
AMPHITHEATRE

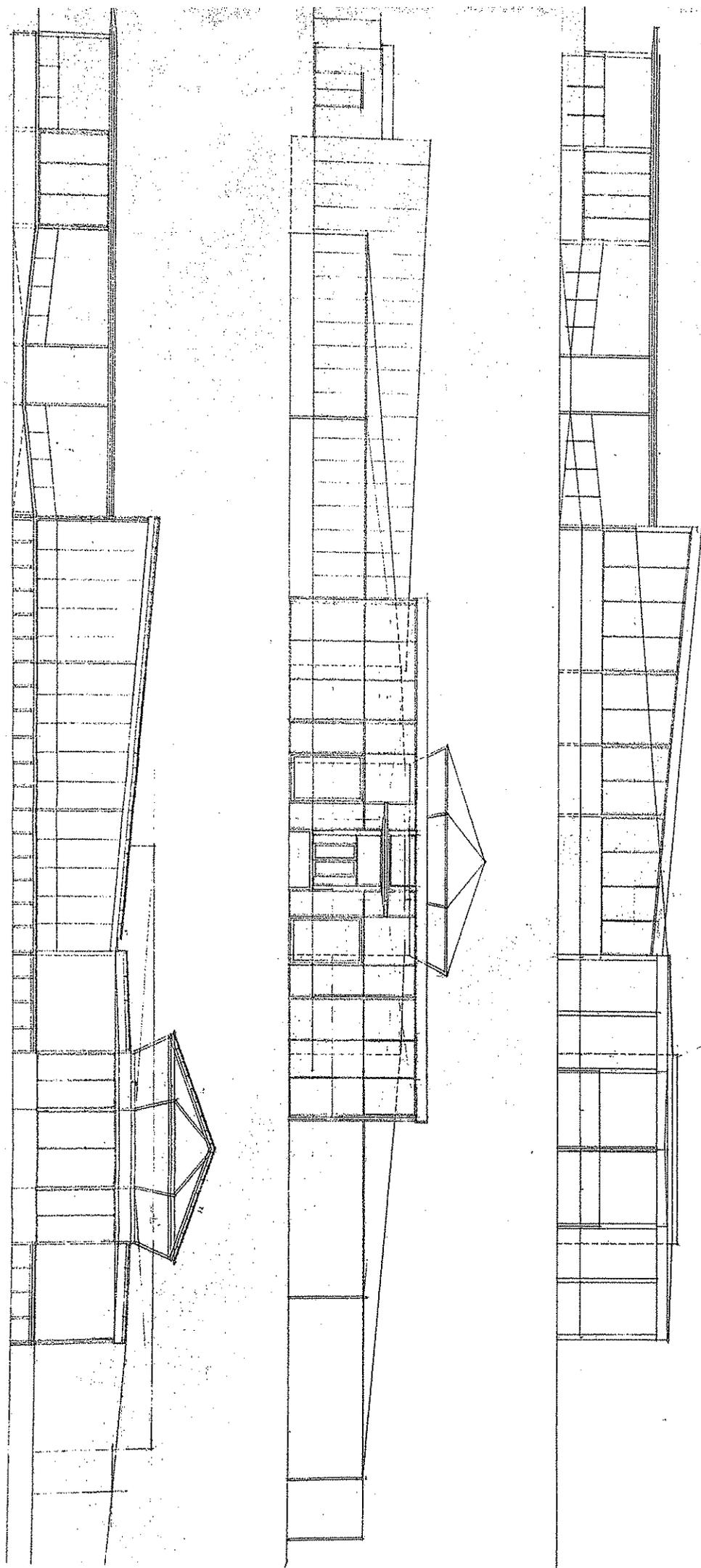
PARKING

EXIST. ROAD

NEW ROAD

JOHN FARRINGTON, DESIGNER
TEL. 9 835 3070



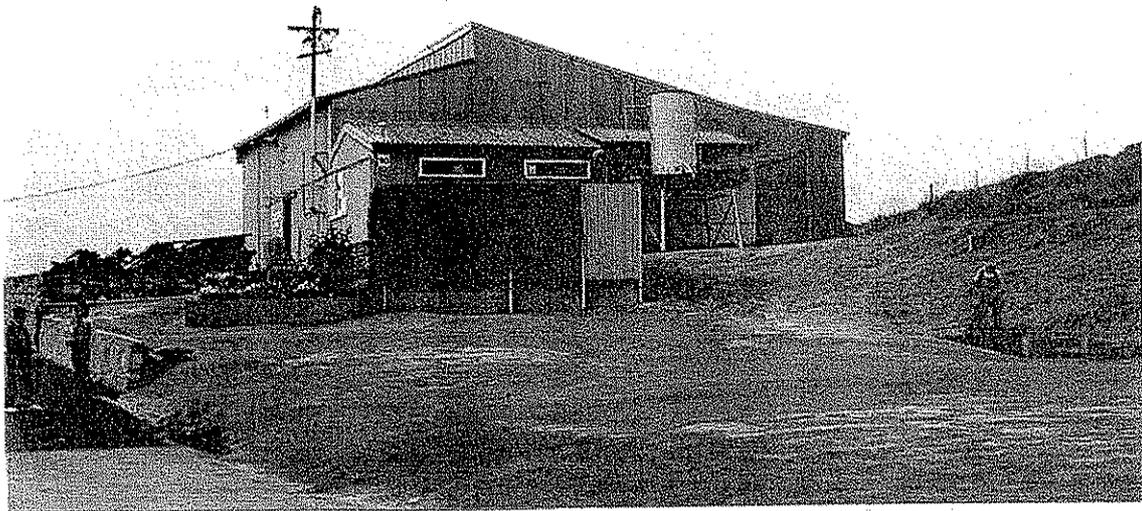


**CITY OF ALBANY
MUNICIPAL HERITAGE INVENTORY**

Man Cat
A+

PLACE RECORD FORM (Outer Area)

Type/Name of Place	Lot/Loc	Number	Street Name	Locality
<i>Whaleworld Museum</i>	Lot 7620		Whaling Station Rd	Frenchman Bay



One of the processing buildings left over from the Whaling Station days.
(Heritage TODAY 1999)

LOCATION	
HCWA Reference Number	3644
Other Reference Number	
Type/Name of Place	Whaleworld Museum
Other names	Cheyne's Beach Whaling Station
Address	Whaling Station Road
Suburb/Town	Frenchman Bay
Local Government Authority	City of Albany

OWNERSHIP & LAND DESCRIPTION			
<i>Owner details are kept on the rates data base at the City of Albany.</i>			
Reserve No.	Lot/Location No.	Plan/Diagram	Vol/Folio
36721	Loc 7620		3083/162

PERIOD	Post War (1940-1960)
Design Style	Industrial
Construction Date	1952-1979
Source/Details	Heritage Council of WA assessment

USE(S) OF PLACE	
Original	Industrial site for the processing of whales
Present	tourist attraction
Other	

HISTORICAL NOTES

Whaling has been a part of the Albany region since the early 19th century. The Cheynes Beach Whaling Station was built in 1952 to process whales caught in the area. Norwegian whalers were involved in the early development of the station and whale chasing vessels in the 1950s.

Following the closure of the Cheynes Beach Whaling Company in 1979 the buildings were given to the Jayceess Community Foundation Inc in 1980. With State and Federal Government and Western Australian Tourism Commission funding and private sector support, Whaleworld has been developed into the world's biggest whaling museum featuring the station much as it was when Australian whaling ceased in 1978.

For an in depth study of this place refer to Duncan, Stephen and Mercer Architects., 'Cheynes Beach Whaling Station Conservation Plan' Documentary Evidence prepared for Albany Maritime Heritage 1996.

DESCRIPTION

The former Cheynes Beach Whaling Station is now known as Whaleworld Museum and consists of an industrial site formerly used for processing whales, comprising a number of large steel and concrete sheds and workshops, smaller timber-framed offices and amenities buildings, as well as tanks and boilers, and the whale chasing vessel Cheyne IV.

Other buildings on the site are the Visitor Centre and Museum building. The Visitor Centre is used as the entrance to Whaleworld with visitor facilities, café, display and exhibition areas and souvenir shop. The Museum is located on the western extremity of the site, away from the station proper and houses aircraft used for whale spotting, a number of other aeroplanes unrelated to the Whaling station and associated artefacts.

ASSOCIATIONS	ASSOCIATION TYPE

HISTORIC THEME/Subtheme	CATEGORIES OF SIGNIFICANCE
Occupations/ <i>Fishing and other maritime industry;</i> <i>Hospitality industry and tourism</i>	Aesthetic
	Historic
	Representative
	Social
	Rarity

STATEMENT OF SIGNIFICANCE

Cheynes Beach Whaling Station, an industrial site formerly used for processing whales, comprising a number of large steel and concrete sheds and workshops, smaller timber-framed offices and amenities buildings as well as tanks and boilers, and comprising the whale chasing vessel, Cheyne IV has aesthetic, historic, scientific, social, representative and rarity cultural heritage significance for the following reasons;

- The place is the most tangible evidence of the mid-twentieth century history of whaling in the Albany region and is of local, national and international importance as a rare example of a largely intact whaling station complex.

STATEMENT OF SIGNIFICANCE Continued

- The place is an important element of the maritime history of the Albany region and of the history in the region which extends back to the early nineteenth century
- The place is historically significant as a regional industry developed at a time when its international counterpart was centred on Albany
- As a surviving industrial complex the place is important as an educational resource for demonstrating the processing of whales and,
- The place is of social value to the people who built the station and operated it, its vessels and aircraft(?).

RATING AND ASSESSMENT	High				Low
Aesthetic value (streetscape, setting)	1	2	3 ✓	4	5
Architectural merit (design features)	1	2 ✓	3	4	5
Rarity value	1 ✓	2	3	4	5
Value as part of a group/precinct	1	2 ✓	3	4	5
Condition	1	2 ✓	3	4	5
Integrity	1	2	3 ✓	4	5

MANAGEMENT RECOMMENDATIONS**Management Category A+**

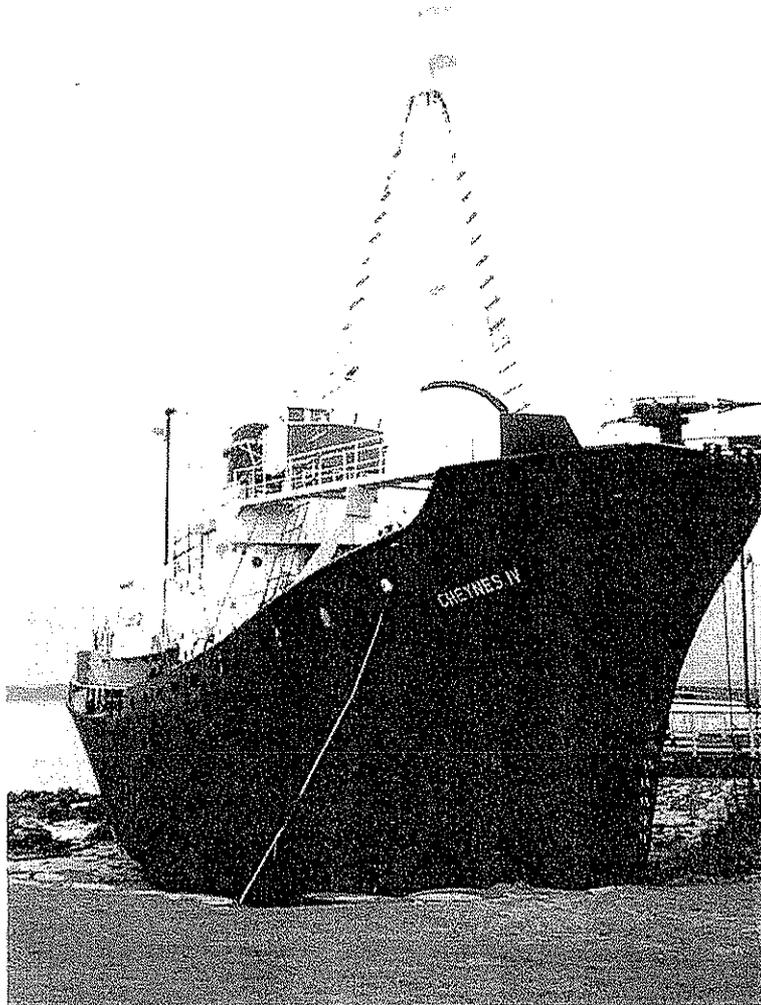
Already recognised at the highest level – the WA State Register of Heritage Places. Redevelopment requires consultation with the Heritage Council of Western Australia and the local government authority; provide maximum encouragement to the owner under the City of Albany Planning Scheme to conserve the significance of the place. Incentives to promote heritage conservation should be considered.

HERITAGE LISTINGS

So that Heritage Listings can be up dated regularly, a separate appendix of these Listings is located at the end of this report. For current information it will be important to check the various listings for the places with the Heritage Council of WA, National Trust and Australian Heritage Commission, as they are continually expanding their databases.

SUPPORTING INFORMATION/BIBLIOGRAPHY

- *Heritage TODAY* Site visit and Assessment 1999.
- Heritage Council of Western Australia assessment for entry on permanent basis 15/05/1998
- Duncan Stephen and Mercer, Architects: 'Cheynes Beach Whaling Station Conservation Plan', prepared for Albany Maritime Heritage,



Whale chaser, *Cheyne IV*.
(Heritage TODAY 1999)



[Agenda Item 11.1.5 refers]
[Bulletin Item 1.1.3] 21 pages

Doc No:

File: A133613

Date:

04 OCT 2007

Officer:

MPR

Attach:



ABN 68 578 245 820

ARBORIST

PO Box 957, Denmark, WA, 6333
Telephone/Fax: (08) 9840 9918

E-mail: greenman@westnet.com.au

TREE HAZARD REPORT OF

ALBERT ADAMS

SUBJECT:

Hazard Assessment of the large *Cupressus macrocarpa* (Monterey Cypress) tree close to the north western corner of No.7 Thomas Street, Albany, Western Australia.

ON BEHALF OF:

Joanna Thiel and Andrew Knight
7 Thomas Street
Mt. Clarence
Albany
Western Australia, 6333

ON THE INSTRUCTIONS OF:

Joanna Thiel

DATE:

1st. October 2007

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1.0 EXECUTIVE SUMMARY

- 1.1 This report describes the inspection and hazard assessment of the large *Cupressus macrocarpa* (Monterey cypress) tree situated in the north western corner of No7 Thomas Street, Mt Clarence, Albany, Western Australia.
- 1.2 The report discusses how the tree has been subjected to extensive root damage and excessive pruning during the course of developing No.7 Thomas St into a residential property over past three years.
- 1.3 The assessment concludes that although the entire tree is unlikely to fail in the near future, the tree has entered into a state of decline that will accelerate with time and that the tree is of diminishing amenity value.
- 1.4 The tree poses a significant hazard to the target area and the report recommends the immediate removal of the tree.

2.0 INTRODUCTION

- 2.1 This report describes the inspection and hazard assessment of the large *Cupressus macrocarpa* (Monterey cypress) tree situated in the northwestern corner of No7 Thomas Street, Mt Clarence, Albany, Western Australia.
- 2.2 The results of the author's inspection of both the site and the tree are presented. An assessment of the hazard posed by the tree is made, the findings of the inspection are interpreted, and a recommendation of the best course of action to pursue is made.

3.0 TERMS OF REFERENCE

- 3.1 This report was commissioned by Joanna Thiel, owner of No.7 Thomas Street, Mt. Clarence, Albany, Western Australia.
- 3.2 Verbal instructions were received on site at No.7 Thomas Street, Mt. Clarence, Albany, WA during a site meeting between Ms. Thiel and the author on the 24th. September 2007.
- 3.3 The instructions requested a report on the condition of the large *Cupressus macrocarpa* (Monterey cypress) tree located in the northwest corner of No.7 Thomas St., Mt Clarence, Albany, WA.
- 3.4 No.7 Thomas St. is part of a recent subdivision on which a residential dwelling has been constructed. Ms. Thiel and Mr. Knight purchased the property in 2006, permanently moving into the dwelling on the property in September 2006.
- 3.5 The cypress tree under discussion in this report has its point of attachment to the ground located entirely within the boundary of the lot at No.7 Thomas Street. The root system and the crown of the tree extend into and over the road reserve (Thomas St.) and neighbouring private property to the north of the tree.
- 3.6 Buildings now occupy a large percentage of the available space on No.7 Thomas Street and are located in close proximity to the butt of the tree being discussed. Buildings are partially situated well within the drip-line (overhanging canopy) of the tree.
- 3.7 The cypress tree under discussion displays evidence of having been subjected to recent heavy pruning aimed at raising the canopy of the tree.
- 3.8 Numerous incidents of branch failure have occurred on the cypress tree over the period since Ms. Thiel and Mr. Knight moved into the residential buildings at No.7 Thomas St. and they are concerned that this tendency will continue.
- 3.9 Ms. Thiel and Mr. Knight are concerned that branch failure as mentioned in #3.8 above poses a major threat to the health and safety of people frequenting the target area of the tree and to buildings and other property located within the target area.
- 3.10 Residents and owners of surrounding properties have indicated that they place high value on the cypress tree which appears to be of substantial age and maturity, arguing that the tree has heritage value and adds considerable amenity value to the area.

3.11 The instructions ask for:

- An assessment of the condition of the tree.
- An assessment of any factors that may be influencing the tree's health or stability.
- An analysis of the hazard presented by the tree and failure potential of the tree or any part of it.
- Recommendations for any action required to manage the tree.

3.12 The tree was inspected by Albert Adams, consulting arborist and practicing arboricultural trades person with Greenman Trading Company and is qualified to FDS Sc Arboriculture. He has been employed in the capacity of consulting arborist with Greenman Trading Company for two years, and has 12 years experience in the arboricultural industry.

4.0 CAVEAT EMPTOR

- 4.1 The tree was inspected from the ground only. A climbing inspection was not performed.
- 4.2 The report reflects the tree as found on the day of inspection. Any changes to site conditions or surroundings, such as construction or landscape works, may alter the findings of the report.
- 4.3 The report is based on the inspection and the material available at the time of inspection. No past architect's drawings, planning applications, planning consents and conditions, or drainage plans were made available. It is possible that the contents of such documents may directly affect the findings and recommendations of this report.
- 4.4 No soil samples were taken for laboratory analysis.
- 4.5 The roots were not inspected below ground.
- 4.6 The inspection period to which this report applies is two months from the date of the report.

5.0 THE SITE

- 5.1 Please refer to the site plan (Appendix A).
- 5.2 The cypress tree is situated just inside the north-west corner of No.7 Thomas Street. (Photo 1)
- 5.3 No7 Thomas St. is part of a recent subdivision and is located on the east side of and about half way up Thomas St.
- 5.4 Thomas Street is a bitumen surfaced public road. The butt of the tree is located +/-6m to the east of Thomas St. (Photo 1)
- 5.5 The butt of the tree is situated 3m. from the northwest corner of the building complex on No.7 Thomas St (Photo 1 &2).
- 5.6 A bitumen surfaced area (part of a hard surface surrounding much of the buildings at No.7 Thomas St.) comes within 2m of the butt of the tree on the east side. (Photo 1)
- 5.7 The butt of the tree is 3m. from the paved driveway leading up to the building complex mentioned in #5.5 above. (Photo2)
- 5.8 A retaining wall is located within 2m of the butt of the tree on the southeast side (Photo 1 &3).
- 5.9 The water meter for 7 Thomas St. is located within 1/2m of the butt of the tree on the northwest side (Photo 3).
- 5.10 A frequently used pedestrian thoroughfare leading from the driveway into No7 Thomas St. to the front entrance of the house passes over the 3m gap between the cypress tree and the garage mentioned in#5.5 and #5.7 above. The thoroughfare also passes over the hard surface mentioned in #5.6 above (Photo 4)
- 5.11 No historical records or old plans and/or maps of the area were provided. However, the form of remnant trees in the area indicate that a number of large trees in close proximity to the cypress tree under discussion have been removed from the area in the time leading up to my inspection of the site on 24/9/07.
- 5.12 The house at No7 Thomas St. has been erected on a relatively steep slope on the northwest slopes of Mt Clarence. There is considerable evidence that extensive excavation works have taken place in close proximity of the cypress tree prior to and during the construction of the house (over the past 3 years).

6.0 THE TREE

- 6.0.1 The tree was inspected on 24/9/07 and again on 30/9/07, by Albert Adams at a site meetings at which Ms. Thiel was present.
- 6.0.2 The tree was sited in an isolated position in a domestic garden.
- 6.0.3 The form of the tree was **not** typical of the species or of a specimen growing in an isolated position.
- 6.0.4 The tree is a maturing Monterey cypress (*Cupressus macrocarpa*), which is estimated to be in excess of 75 years old. The tree had the following dimensions.

• Height	23m.
• Diameter at breast height (DBH)	1,4m.
• Circumference at breast height	4.4m.
• Maximum diameter of crown spread	11 m.

6.1 Roots

- 6.1.1 The area surrounding the tree was a mixture of exposed soil (covered lightly with wood chip), paved and bitumen covered surfaces, buildings and retaining walls and some garden plants in beds (see appendix B).
- 6.1.2 The soil around the tree appeared to be severely compacted.
- 6.1.3 Trunk flare normally associated with a specimen of this age appeared to be well developed
- 6.1.4 The constructed bitumen and paved surfaces, buildings, retaining walls as well as underground services were all found to be within the normal root spread of this tree

6.2 Butt and Stem

- 6.2.1 There was no cavity found in the trunk of the tree.
- 6.2.2 No evidence of fungal wood rotting infection was found anywhere on the butt or stem.
- 6.2.3 The bark of the butt and stem was found to be typical of the species at this age.

6.2.4 The tree has been excessively pruned to raise the canopy. A number of large limbs with a diameter of +/- 400mm had been removed from the bottom half of the trunk to achieve the raised canopy appearance of the tree (see photo 2 & 6). The height from the ground level to the first branches was +/- 8m.

6.2.5 Evidence is displayed that the limbs discussed in #6.2.4 above were poorly removed leaving tears down the trunk indicating damage to the branch collar.

6.2.6 The natural lean of the tree stem is $> 5^\circ$ to the southeast.

6.3 Crown

6.3.1 As discussed in #6.2.4 above the tree was found displaying evidence of being subjected to relatively recent excessive pruning. In excess of 60% of the crown had been removed from the tree within the past three years with the result that the tree now displays an uncharacteristic decurrent form.

6.3.2 The crown was evenly spread in a radius of +/- 11m from the central stem of the tree.

6.3.3 The scaffold branches were poorly represented, a large percentage having been removed as discussed in #6.3.1 above. Those remaining were typical for a tree of this species and age. They were well-formed and evenly distributed throughout the crown.

6.3.4 No sign of dieback in the crown was evident.

6.3.5 Some dead wood was observed evenly spread throughout the crown.

6.3.6 Evidence of substantial recent limb shedding and/or storm damage was observed from the ground. Limbs broken by recent storms were observed hanging from the canopy of the tree (see photo 7) as well as completely sheered off were branches present lying around the base of the tree.

6.3.7 Numerous weak and/or crossing branches were observed from the ground as is typical for the species.

6.3.8 Bark wounds on the scaffold branches were observed from the ground.

6.3.9 No decay in the crown was observed from the ground.

7.0 DISCUSSION

7.1 Roots

- 7.1.1 As indicated in #5.4, #5.5, #5.6, #5.7, #5.8, #5.9, #5.12 and in #6.1.1, and #6.1.4 extensive construction works were found to have taken place within 3m. of the butt over the past three years. Building a house on a concrete slab on a relatively steep incline would have involved earthworks, including cutting and filling to achieve a level building site, trenching and backfilling for the installation of underground services and base material introduction and compaction.
- 7.1.2 Compaction is rated as the number 1 cause for the decline of urban trees world wide (Matheny et al, 2004).
- 7.1.3 Considering the amount of disturbance (including compaction) that has occurs within the root zone, especially within the drip-line, of the tree over the past three years and coupled with the over pruning of the crown (discussed in #7.1 below) and the fact that the tree is a mature specimen (past the vigorous growth stage of younger specimens), it is the opinion of the author that it is unlikely that the root system of the tree will be able to recover in full from the damage that appears to have been done during the development of housing at No.7 Thomas St.
- 7.1.4 Poorly developed, diseased or damaged root systems starve a tree of water and nutrients, ultimately leading to the decline of the tree and increased risk of failure.

7.2 Butt and Stem

- 7.2.1 As mentioned in #6.2.4 and #6.2.5 numerous limbs with a diameter of +/-0,4m have been removed from the lower canopy of the tree. Poor pruning techniques which have resulted in damage to the branch collars on the trunk of the tree have been used. This couple with the fact that the tree is a mature specimen with reduced vigor, in the opinion of the author, makes it unlikely that the tree will ever be able to successfully grow over the large wounds on the trunk left after the removal of limbs.
- 7.2.2 Poor pruning cuts and poor callus tissue production after wounding (such as arise from pruning) results in poor compartmentalization of decay in the stems of trees.

7.2.3 Poor control of the spread of decay in trees ultimately results in trees becoming unstable

7.2.4 As mentioned in 6.2.3 the tree displays well defined trunk taper and butt flare which has a positive effect on the overall stability of a tree.

7.3 Crown

7.3.1 The natural growth form for the species is excurrent with branches extending out from the trunk all the way down to the ground.

7.3.2 Excessive pruning in the recent past has resulted in the tree having a form which is totally uncharacteristic for the specie; a long upright bare trunk extending from ground level upwards for >30% of the total height of the tree (see photo 8)

7.3.3 Removal of too large a percentage of the original crown has resulted in the exposure of branches which previously enjoyed the protection of a large and dense crown during their development. Such branches have not developed any reaction wood and are now vulnerable to wind shear.

7.3.4 Over the past twelve months since moving in the current owner/occupants of the property have recorded four incidents of significant branch loss due to wind damage. These incidents are recorded to have occurred in September 2006, January 2007, July 2007 and September 2007 (see photo 9).

7.3.5 With only <30% of the original crown remaining the tree has a greatly reduced capacity to photosynthesize food for the sustenance of the tree. Combined with root damage and large wounds left by excessive removal of large scaffold branches; the tree which at the time of sustaining this damage was already mature with reduced vigor, in the opinion of the author, has entered into a state of slow decline from which it will be unable to recover.

7.3.6 Significant limb loss is to be expected periodically for the remainder of the life of the tree as its condition slowly deteriorates in condition.

8.0 HAZARD ASSESSMENT

8.1 A hazard situation requires a tree with a potential to fail, and a target that would be hit if the tree fails. A target can be for example be people, vehicles, a structure or animals.

8.2 Targets present (see Site Plan):

- House to the east of the tree and garage to the south east of the tree— Constant residential occupation.
- Driveway for access to No.7 Thomas St – Used daily for vehicular access to residence – Occasional access on foot.
- Path between driveway and the main entrance of the house at No.7 Thomas St.— Frequent pedestrian use.
- Bitumen surfaced area to the west of the house between the butt of the tree and the house. – Frequent pedestrian use as access rout to house from the garage/driveway. – Occasional pedestrian use for leisure activities
- The area to the north of the butt of the tree including a drive way used by neighbours – Occasional vehicular and pedestrian traffic

8.3 Hazard Rating

8.3.1 The widely used International Society of Arboriculture's hazard rating system rates three components of the tree hazard analysis on a scale of 1 to 4.

8.3.2.1 **Failure potential** of all or part of the tree, on a scale of 1 (low) to 4 (severe), within the inspection period of the report:

4 Severe

8.3.2.2 **Size** of part most likely to fail, on a scale of 1 (small) to 4 (large):

2 15 – 45 cm branches are most likely to fail.

8.3.2.3 **Target** rating, on a scale of 1 (occasionally used) to 4 (constantly used):

4 The area to east south and southwest is frequently used as a pedestrian thoroughfare. Buildings to the east are constantly occupied.

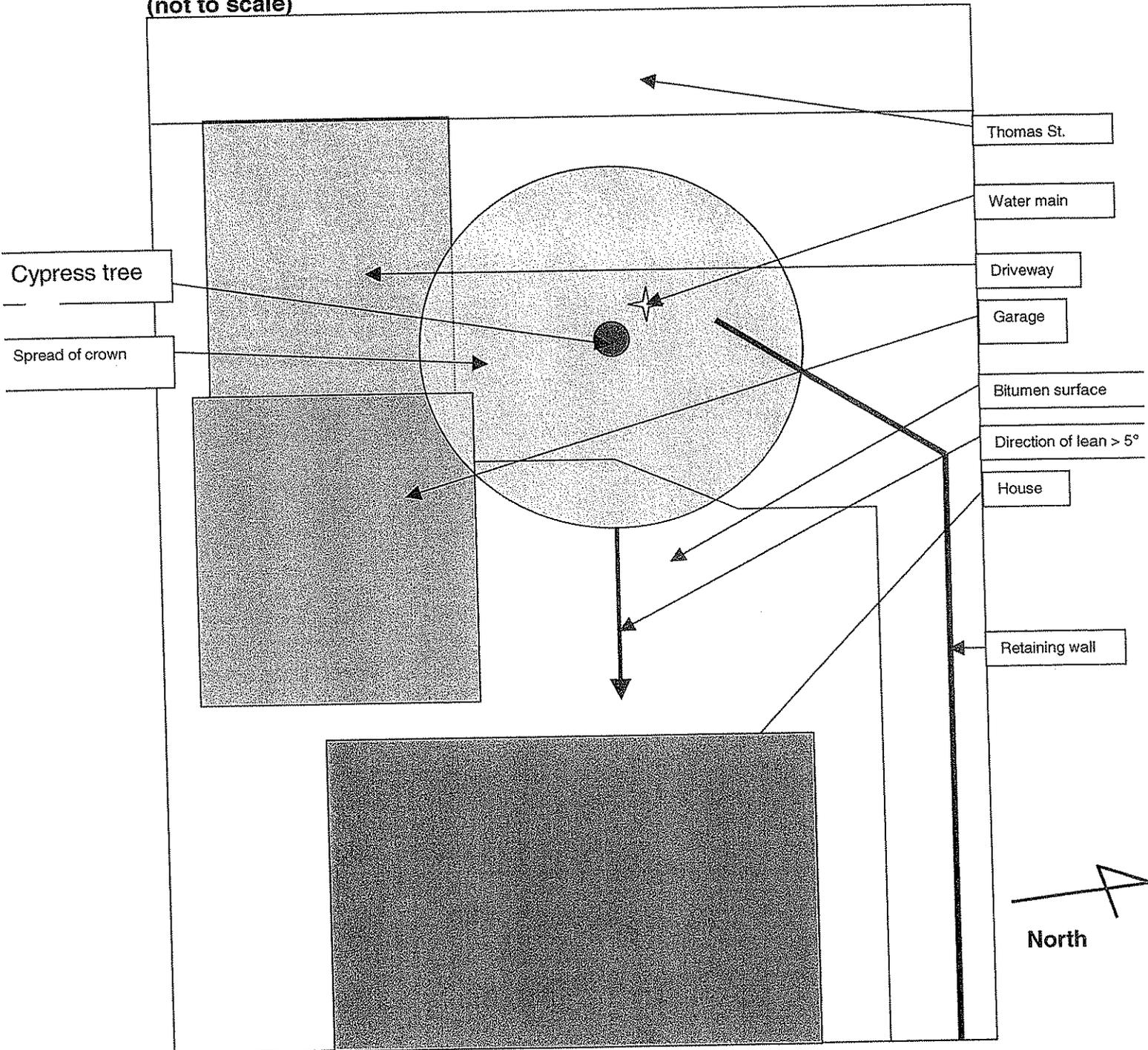
8.3.2.4 This results in a hazard rating of **10**. This is 83% of the maximum score indicating that the tree is classified as a **high level hazard**

9.0 RECOMMENDATIONS

- 9.1 As described in the discussion and hazard assessment above it is of the opinion of the author that the cypress tree described in this report has entered into a state of decline from which it is unlikely to recover.
- 9.2 Over pruning has resulted in the exposure of limbs previously protected from the elements by an extensive crown. These exposed limbs are highly likely to suffer wind shear and are a severe hazard to the target area of the tree.
- 9.3 Currently the tree as a whole appears to be in a relatively stable condition and entire tree failure is unlikely over the short term
- 9.4 Because of its large size and great height and because of its deteriorating condition the tree poses a significant hazard to the security of people and property within a radius of 23m. from the base of the stem.
- 9.5 Little can be done to reverse the consequences of severe damage inflicted on the tree over the past three years as described in this report
- 9.6 Damage to the supporting roots of this tree means that the likelihood of failure over the medium to long term is very high. The potential for fatalities and damage to structures if the tree fails is also high. The tree should be removed to ground level as soon as possible.
- 9.7 Should a decision be made to keep the tree it is strongly recommended that a hazard assessment be carried out on the tree every six months, preferably in May, before the onset of the stormy winter period and in November, shortly after the end of the worst of the winter storms. Branches broken and damaged by wind should be removed as a matter of urgency by a trained arborist using natural target pruning techniques

Appendix A - Site plan

No.7 Thomas St, Mt Clarence, Albany, WA
(not to scale)



Appendix B – Photographs

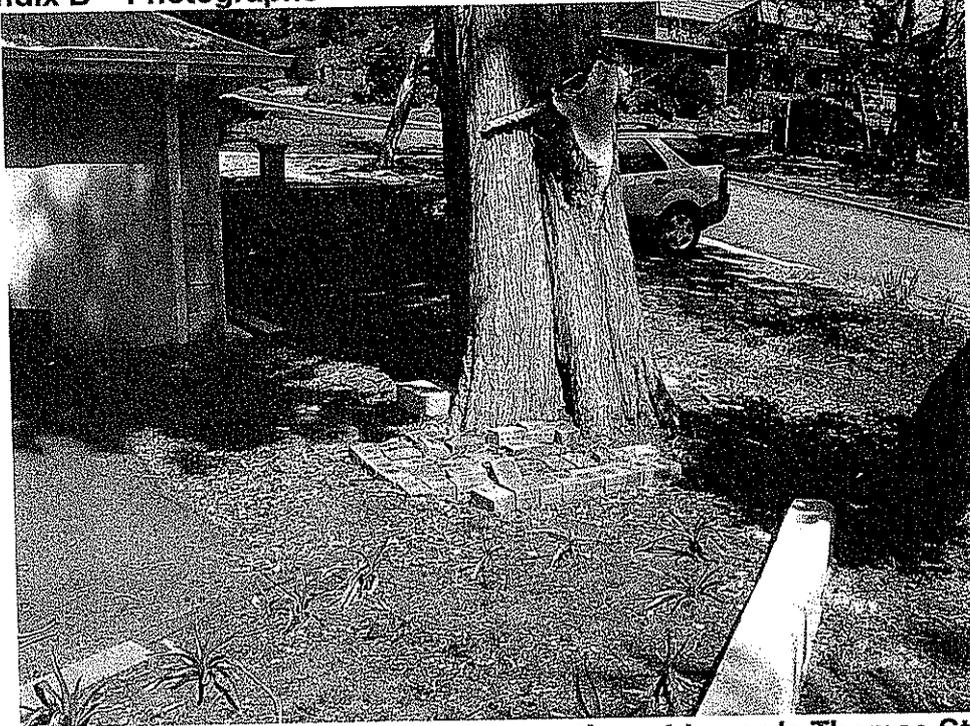


Photo 1 (Base of the tree looking southwest towards Thomas St)

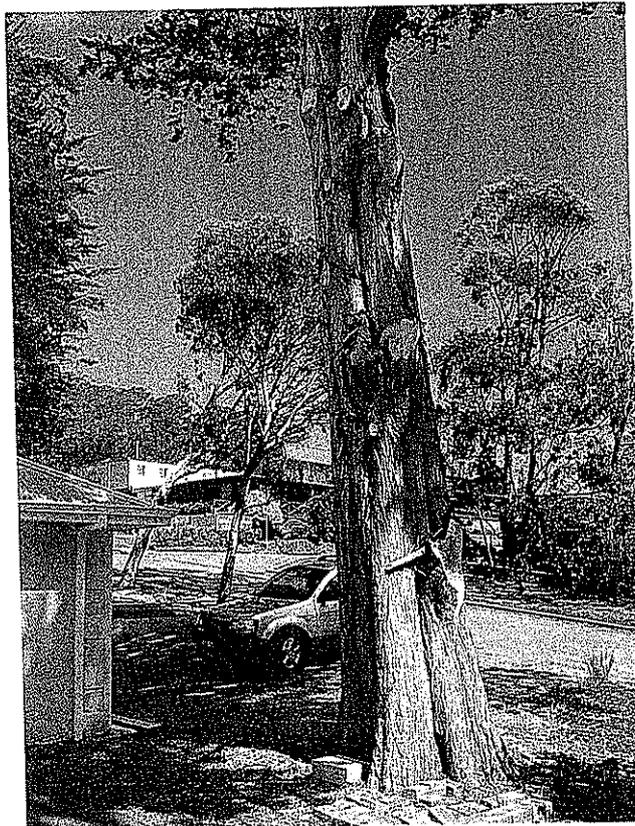


Photo 2 (Base of the tree looking southwest)

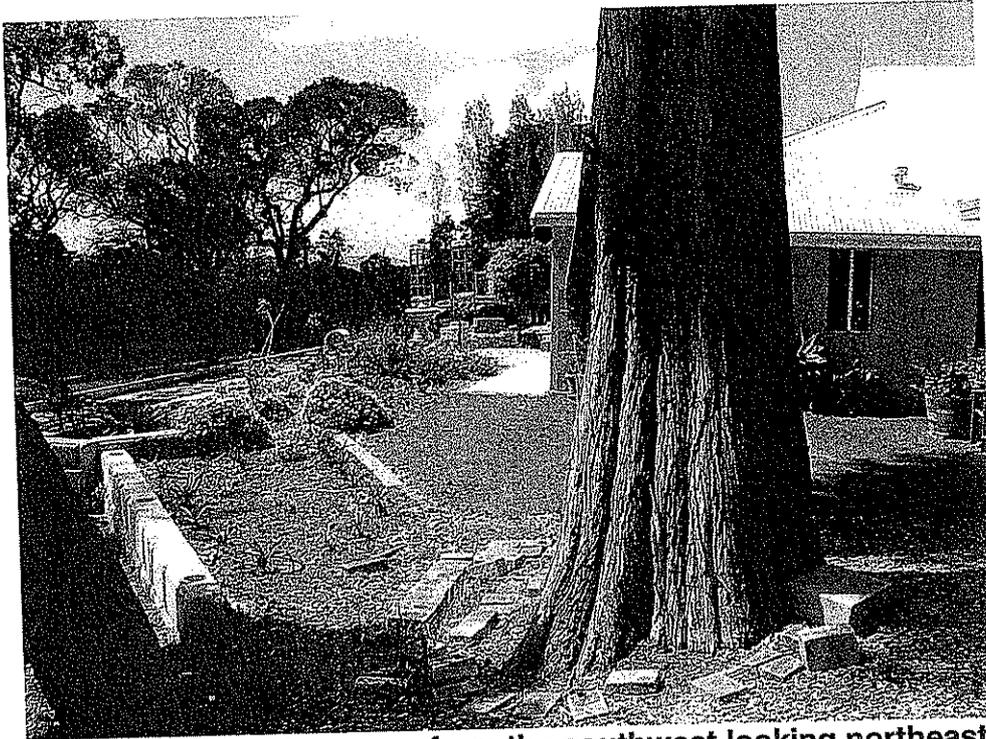


Photo 3 (Base of tree seen from the southwest looking northeast)

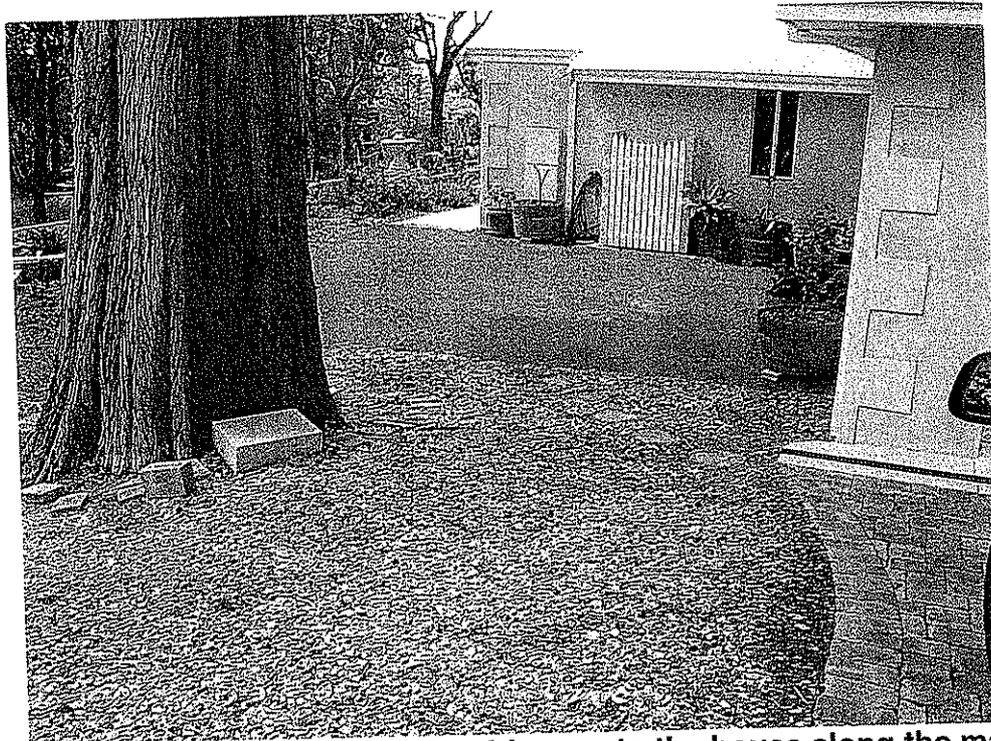


Photo 4 (Looking east from the driveway to the house along the main pedestrian route from car park to main entrance to the house)

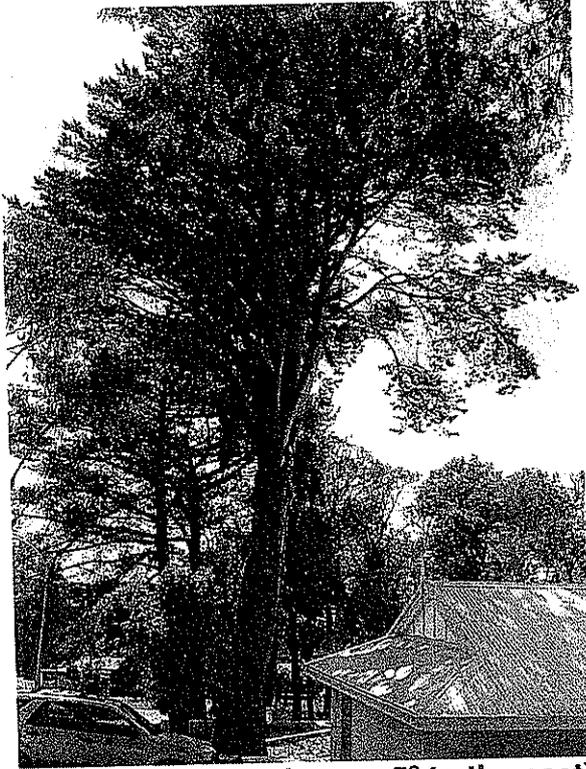


Photo 5 (The tree leans $>5^\circ$ to the east)

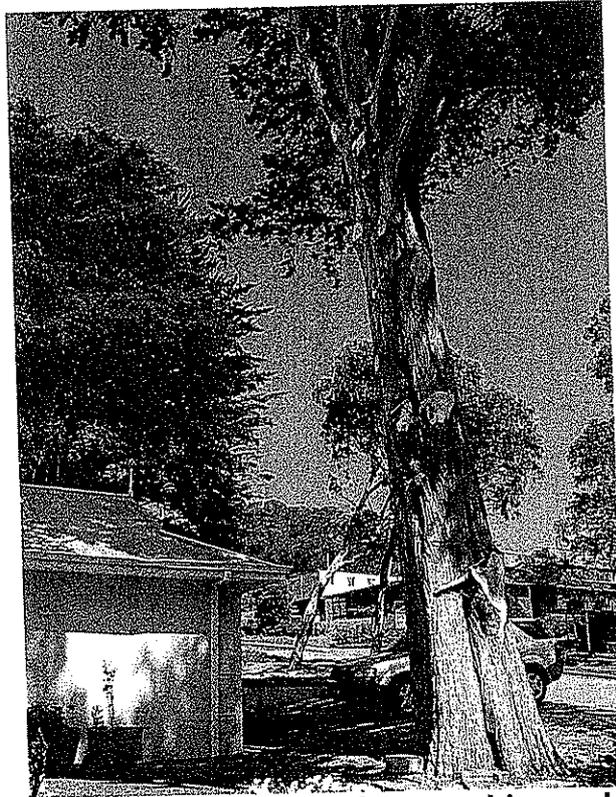


Photo 6 (Evidence of severe pruning to achieve raised canopy)

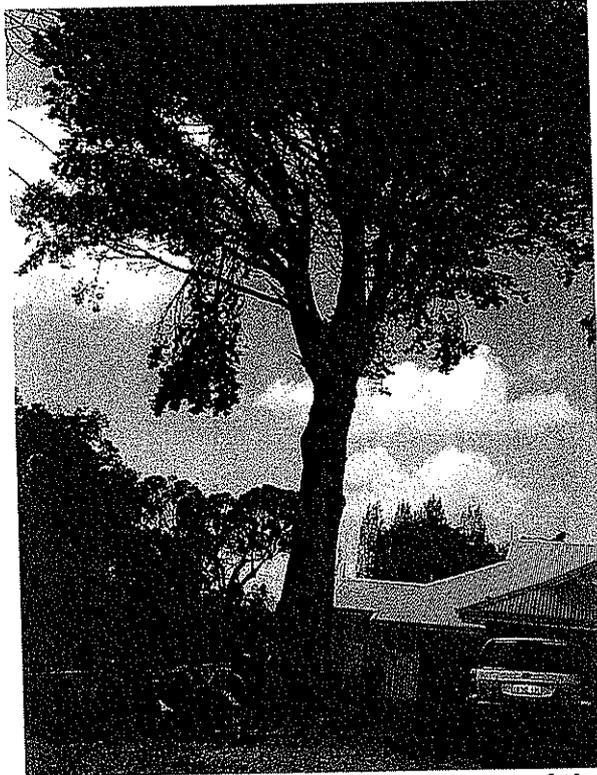


Photo 7 (Wind damaged limb hanging out of the canopy)

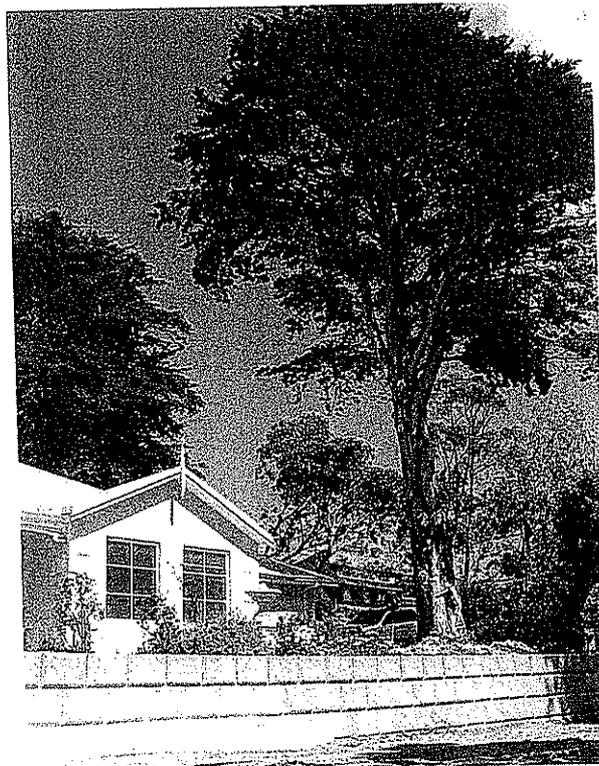


Photo 8 (*Cupressus macrocarpa* displaying uncharacteristic decurrent form)



Photo 9 (View of a limb sheered of by wind in July 2007)

Appendix C – References

1. Matheny, N.P., Clark, J.R. & Harris. (2004). *Arboriculture*. Fourth Edition. Prentice Hall, New Jersey, USA.
2. Mattheck, C. & Breloer, H. (1994). *The Body Language of Trees – A Handbook for Failure Analysis*. HMSO Books, Norwich, U.K.
3. Mattheck, C., Bethge, K. & West, P.W. (1994). Breakage of hollow tree stems. *Trees* 9.
4. Lonsdale, D. (1999). *Principals of Tree Hazard Assessment and Management*. HMSO Books, Norwich, U.K.



Freehills

City of Albany Records
Doc No: ICR7038948
File: A195469

CONFIRMATION

Date: 24 SEP 2007
Officer: PLAN10

Attach:

Mr Graeme Bride
Manager of Planning
City of Albany
PO Box 484
ALBANY WA 6331

20 September 2007
Matter 81236859
By email: graemeb@albany.wa.gov.au

Dear Mr Bride

**Proposed Microbrewery/Restaurant- Lot 301 Millbrook Road,
Millbrook- Application for section 40 certificate**

1 Background

We confirm that we act for Lentham Holdings Pty Ltd (**Applicant**) which is seeking the grant of a tavern licence for a proposed microbrewery located at Lot 301, Loc.5756, Millbrook Road, Millbrook, Albany (**Premises**).

We refer to our telephone conversation on 10 September 2007 and your letter dated 2 August 2007 enclosing a section 40 certificate under the *Liquor Control Act 1986* (**Liquor Act**) dated 3 August 2007.

In summary, the section 40 certificate issued by the City of Albany (**City**) stated that the proposed Premises 'will not comply with the relevant planning laws' because:

'the planning approval (P275126) is for a micro-brewery and restaurant and is not for a Tavern. A special facilities licence appears more relevant to the planning approval issued'.

The effect of this section 40 certificate is that our client will not be able to lodge an application for a tavern licence and, as explained in this letter, will be unlikely to be able to apply for any liquor licence to operate the Premises in the manner intended.

The purpose of this letter is to:

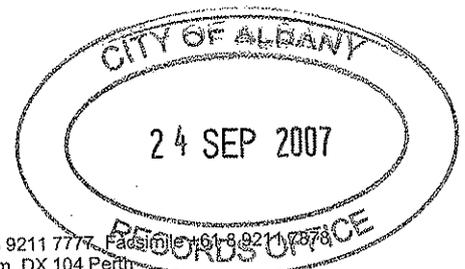
- request the City to issue a new section 40 certificate to our client which states that the Premises will comply with all relevant planning laws;
- explain why the City can issue such a section 40 certificate and why the proposed liquor licence category is irrelevant to this issue; and
- explain why a special facility licence cannot be granted under the Liquor Act for this Premises.

2 Section 40 certificate

Section 40(1) of the *Liquor Control Act 1988* (**Liquor Act**) requires an application for the grant of a liquor licence to include:

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'a certificate from the authority responsible for planning matters in the district in which the application relates... are to be situated'.

Section 40(2) of the Liquor Act requires a section 40 certificate to state that the proposed use of the premises-

- (a) will comply with the requirements of the written laws relating to planning specified;
- (b) would comply with the requirements specified if consent were to be given by a specified authority, if it is known whether the authority will give the consent, and what specified conditions or specifications should be, or are likely to be, imposed; or
- (c) will not comply with the requirements specified for the reasons specified.

We confirm that on 10 September 2007 we met with an officer at the Department of Racing, Gaming & Liquor (**Licensing Authority**) to discuss your 2 August letter and the section 40 certificate issued by the City.

In our meeting, the officer at the Licensing Authority confirmed our view that:

- the purpose of a Section 40 Certificate is to confirm that the 'use' of the proposed licensed premises will comply with the relevant town planning scheme and planning consent;
- a Section 40 Certificate is not intended to convey consent from the local planning authority for the type of licence applied for (that is a matter for the Licensing Authority under the Liquor Act). Rather it confirms that the manner in which the applicant intends to trade under the licence will comply with those planning laws;
- if the way which the applicant intends to operate the premises is consistent with the written laws relating to planning specified in the certificate, then the local planning authority should grant the section 40 certificate; and
- the local planning authority is able to specify conditions on a section 40 certificate to ensure the applicant operates its premises in compliance with the relevant planning approval. For example, if the City of Albany considered that a condition relating to the type of product which could be sold for consumption off the Premises should be imposed to ensure that the Premises operated in accordance with the approved use "Microbrewery/ Restaurant", it could impose a condition on the section 40 certificate.

3 Proposed use of the Premises will comply with planning laws

3.1 Background

In our view, the Applicant's proposed use of the Premises will comply with all relevant planning laws (including the planning consent).

The proposed use of the Premises is set out below.

The Applicant proposes:

- To brew beer on the Premises.
- To sell beer brewed at the Premises as well as wine and spirits produced in the region for consumption on the Premises with or without a meal.
- To sell packaged beer brewed at the Premises for consumption off the Premises.

3.2 Proposed hours of trade

The Applicant will seek the trading hours under a tavern licence for the purposes of its operations. That is:

- 6.00am – 12 midnight Monday – Saturday; and

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Freehills

- 10.00am - 10.00pm Sunday.

However it is intended that the regular hours of trade for the Premises will be:

- 10.00am – 6.00pm Monday – Thursday;
- 10.00am – 12.00 midnight Friday – Saturday; and
- 12.00 noon – 6.00pm Sunday.

3.3 Proposed trading conditions

The Applicant proposes the following trading conditions for discussion:

- (1) The Applicant is permitted to sell and supply liquor for consumption on the Premises.
- (2) Only beer produced on the Premises may be sold as packaged liquor for consumption off the Premises.
- (3) Seating must be provided for 50 people inside the Premises and 50 people in the outside alfresco area of the Premises during the permitted trading hours.
- (4) Coffee, tea and light food shall be made available when the Premises is open to the public.
- (5) When the Premises are open to the public all live entertainment played at the Premises is to be of a background type and shall not be amplified at levels which will interfere with normal conversation.
- (6) Live music must finish at 11.00pm on the occasions when a pre-booked function is hosted at the Premises.
- (7) The maximum number of persons permitted on the Premises at any time shall not exceed 350.
- (8) The Licensee is to notify the local Police in writing whenever it is anticipated an excess of 300 persons are to be attending a pre-booked function.
- (9) The children's playground is to have secure access and appropriate signage prohibiting glass and liquor inside the playground.

4 The section 40 certificate issued by the City

As noted above, if a tavern licence cannot be applied for (because of the current section 40 certificate), then no licence will be available for the Applicant to trade in the manner that it had always intended.

We confirm our previous discussions with you that in our view a special facility licence cannot be granted as a matter of law if a licence of another class can be granted (with or without conditions attached). That is, section 46(1a) of the Liquor Act states:

'The licensing authority shall not grant a special facility licence if granting or varying a licence of another class, or imposing, varying or cancelling a condition on a licence of another class, or issuing an extended trading permit in respect of another class of licence, would achieve the purposes for which the special facility licence is sought.'

Regarding the current matter, a tavern licence granted under the Liquor Act could achieve the purposes for which the licence is sought (see proposed manner of trading and draft trading conditions above). On that basis the officer at the Licensing Authority confirmed that it could not grant a special facility licence.

The table below identifies the predominant reasons why a producers licence, restaurant licence and special facility licence will not be granted by the Licensing Authority in the circumstances of the proposed microbrewery.

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Licence Type	Reason why this type of licence is not available	Provision of the Liquor Act 1988/ Liquor Control Regulations 1989
Producers licence	<ul style="list-style-type: none">The Applicant intends to sell liquor brewed on site for consumption on the Premises.The sale of beer produced on site for consumption on premises is only authorised by way of sample.	<ul style="list-style-type: none">Section 55(1), regulation 5A (Sample of beer is prescribed as 100 millilitres)
Restaurant licence	<ul style="list-style-type: none">The Applicant intends to sell packaged beer produced on site.The sale of packaged liquor is not authorised under a restaurant licence.	<ul style="list-style-type: none">Section 50(1)
Special Facility	<ul style="list-style-type: none">The Licensing Authority, as a matter of law, does not have power to grant an SFL if another category of licence (for example a tavern licence) is able to have a condition placed on it to meet the licensing requirements of the proposed premises.	<ul style="list-style-type: none">Section 46(2)

For the above reasons, we are of the view that a tavern licence is the only category of licence to achieve the purposes of the proposed microbrewery operations.

5 Other Microbreweries

Additionally, it is now accepted within the hospitality industry that tavern licences are appropriate for microbrewery style premises. Recent microbrewery style premises such as the Old Coast Brewery in Myalup, Mad Dog's English Brewery in Toodyay and the Ironbark Brewery in Caversham have all been granted tavern licences in the last two years by the Licensing Authority.

6 Request for new section 40 certificate

We confirm our client's request for a new section 40 certificate to be issued by the City which indicates that the proposed use of the Premises "will comply with all relevant planning laws".

The City has the power to impose conditions on the section 40 certificate to ensure that the Premises trades in accordance with the Shire of Albany Town Planning Scheme No 3 and planning consent granted in respect of the Premises.

Additionally, the Licensing Authority has a broad discretion under section 64 of the Liquor Act to impose conditions on the grant of a tavern licence which, generally, it considers to be in the public interest.

066

This may include conditions which the City of Albany considers are desirable to, for example:

- limit the kinds of liquor that may be sold; or
- prohibit entry to the Premises after a specified time; or
- limit the type of entertainment which may be provided on the Premises.

We are available to discuss any proposed conditions that the City of Albany may wish to impose on the certificate.

7 Clarification from the Licensing Authority

Further, if the City of Albany would like any further clarification on the operation of section 40 of the Liquor Act or licence categories, Mr Richard Gregor of the Licensing Authority has said that he available on (08) 9425 1888 to discuss these matters.

Otherwise, please do not hesitate to contact Declan Doherty (08) 9211 7568 and Lisa Ranford (08) 9211 7859 if you have any queries in relation to this letter.

Yours sincerely



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Partner
Freehills

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0407 467 660
tony.vanmerwyk@freehills.com

Declan Doherty
Senior Associate
Freehills

+61 8 9211 7568
0402 834 376
declan.doherty@freehills.com

067

THE PIED PIPER BREWING COMPANY

The signing below is in relation to concerns regarding the trading hours of The Pied Piper Brewing Company.

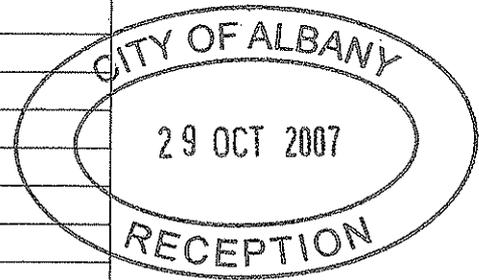
As it is in our best interest and surrounding neighbours we have taken it upon ourselves to approach each individual neighbour within our affected zone and explained in detail how we expect to operate the pied piper to its full potential

Yours Sincerely
Shane Martin

We the undersigned have been made fully aware of the trading hours and operation procedures regarding The Pied Piper Brewing Company.

In signing we agree to give our full support regarding this matter.

Signature	Date
<i>J. Beattie</i>	18-10-07
<i>W. R. M. Millon</i>	18-10-07
<i>Daphne Saleeba</i>	18-10-07
<i>W. M. M. M. M.</i>	20/10/07
<i>R. G. D. Barber</i>	20-10-07
<i>R. R. R. R.</i>	20-10-07
<i>D. R. R. R.</i>	24-10-07
<i>M. M. M. M.</i>	24-10-07
<i>J. M. M. M.</i>	27-10-07
<i>J. M. M. M.</i>	29-10-07



*Distance between Neighbours vary
Between 300 mtrs and approx 1.5Kms.*

Shane Martin

LOCAL GOVERNMENT ACT 1995
CITY OF ALBANY
RESPONSIBLE CAT OWNERSHIP LOCAL LAW 2007

Under the powers conferred by the Local Government Act 1995 and under all other powers enabling it, the Council of the City of Albany resolved on [date] to make the following local law.

1. Citation

This local law may be cited as the City of Albany *Responsible Cat Ownership Local Law 2007*.

2. Objects

The object of this local law is –

- (a) to encourage responsible cat ownership;
- (b) to reduce public and environmental nuisance caused by cats; and
- (c) to promote the effective management of cats.

3. Interpretation

In this local law –

“Act” means the *Local Government Act 1995*;

“authorised officer” means an officer of the City authorised by the Chief Executive Officer to administer and enforce the provisions of this local law;

“cat” means any member of the species *felix domesticus* (domestic cat) over the age of two months and includes all domestic, feral and stray cats;

“CEO” means the Chief Executive Officer of the City of Albany;

“City” means the City of Albany;

“Council” means the Council of the City of Albany;

“keeper” in relation to a cat means each of the following:

- (a) the owner of the cat;
- (b) a person by whom the cat is ordinarily kept;
- (c) a person who has or appears to have immediate custody or control of the cat or;
- (d) a person who keeps the cat, or has the cat in her or his possession for the time being;

“nuisance” means if a cat –

- (a) is injurious or dangerous to the health of any person or domestic or Australian indigenous animal or is in the opinion of an authorised officer likely to be injurious or dangerous to the health of any person or domestic or Australia indigenous animal;
- (b) creates a noise which persistently occurs or continues to a degree or extent which in the opinion of an authorised person, and has or could have a disturbing effect on the state of reasonable physical, mental, or social well-being of a person; or
- (c) behaves in a manner that is contrary to a reasonable standard of behaviour expected of an animal in the locality of the premises where the cat is normally resident;

“premises” includes –

- (a) any land and any improvements; and

- (b) any part of any building as separate ownership or separate occupation, or any unit, flat, townhouse, duplex or apartment;

4. Cat not to be a Nuisance

- 4.1 A keeper shall not allow a cat to be or create a nuisance;
- 4.2 Where, in the opinion of an authorised officer, or the City receives signed complaints in the form of the Schedule 1 from two persons each of whom occupy different premises, that a cat is creating a nuisance the City may give written notice to the keeper of the cat requiring that person to abate the nuisance.
- 4.3 When a nuisance has occurred and a notice to abate the nuisance is given, the notice remains in force for the period specified by the City on the notice or until the City withdraws the notice.
- 4.4 A person given a notice to abate the nuisance shall comply with the notice within the period specified in the notice.

5. Limit of Cat Numbers

No person shall, without the prior written approval of Council keep more than three cats on premises.

6. Authorised Officer

- 6.1 The City may appoint suitable persons to be authorised officers for the purpose of administering and enforcing this local law.

7. Giving of a Notice

A notice served under this local law may be given to a person –

- (a) personally;
- (b) by registered mail addressed to the person; or
- (c) by leaving it for the person at her or his address.

8. Penalties

A person who contravenes or fails to comply with any provision of this local law is, upon conviction, is liable to a penalty not exceeding \$1000.

9. Modified Penalties

- 9.1 An offence against any provision of this local law is a prescribed offence for the purpose of section 9.16(1) of the Act.
- 9.2 The amount appearing in the final column of Schedule 2 directly opposite an offence described in that Schedule is the modified penalty for that offence.
- 9.3 An infringement notice in respect of an offence against this local law may be given under section 9.16 of the Act and is to be in the form of Schedule 3.
- 9.4 A notice sent under section 9.2 of the Act withdrawing an infringement notice is to be in the form of Schedule 4.

Schedule 1
City of Albany
RESPONSIBLE CAT OWNERSHIP LOCAL LAW 2007
FORM 3 – NUISANCE FORM

TAKE NOTICE THAT a cat, believed to be a (1)
has created a nuisance by (2)
the cat is believed to belong to (3)
and is kept at (4)
and I (5)

of
requests the Council to institute proceedings, if the nuisance does not stop, and
undertake –

- (a) to give full information to the Council as to this matter; and
- (b) to appear in Court and give evidence as a witness to the truth of this complaint.

Dated this..... day of 20

.....
(to be signed by complainant)

- (1) Insert breed or kind of cat and, where possible, its sex and identifying marks.
- (2) Describe details of the alleged nuisance, including the kind of nuisance and, where possible, the dates and time on or between which the nuisance occurred, and where the cat was at the time of the nuisance.
- (3) State name and address of the person believed to be the owner.
- (4) State, if known, where the cat is usually kept.
- (5) Insert name and address of complainant.

Schedule 2
City of Albany
RESPONSIBLE CAT OWNERSHIP LOCAL LAW 2007
PRESCRIBED OFFENCES AND MODIFIED PENALTIES

Item	Clause	Nature of Offence	Modified Penalty
1.	4	Keeper of a cat which is a nuisance	\$100
2.	5	Keeping more than the approved number of cats	\$100

Schedule 3
Local Government Act 1995
City of Albany
RESPONSIBLE CAT OWNERSHIP LOCAL LAW 2007
INFRINGEMENT NOTICE

Serial No.

Date

City of Albany

To: (1)

(2)

It is alleged that on at (3)

at (4)

you committed the following offence

.....

.....

contrary to clause.....of the (5)

The modified penalty for the offence is \$.....

If you do not wish to have a complaint of the alleged offence heard and determined by a court, amount of the modified penalty may be paid to an authorised person at (6) within a period of 28 days after the giving of this infringement notice.

Name and title authorised person giving the notice

Signature

- (1) Name of alleged offender
- (2) Address of the alleged offender
- (3) Time at which offence allegedly committed
- (4) Place at which offence allegedly committed
- (5) The City of Albany Responsible Cat Ownership Local Law 2007
- (6) Place where modified penalty may be paid

Schedule 4
Local Government Act 1995
City of Albany
RESPONSIBLE CAT OWNERSHIP LOCAL LAW 2007
FORM 2 – WITHDRAWAL OF INFRINGEMENT NOTICE

No.

Date

To

Infringement Notice No. dated/...../.....

for

.....

Penalty \$ is hereby withdrawn.

No further action will be taken / It is proposed to institute Court proceedings for the alleged offence.

.....
(to be signed by an Authorised Person)

Dated the/...../.....

The Common Seal of the City of Albany was hereunto affixed in the presence of

.....
ANDREW HAMMOND
Chief Executive Officer

.....
MILTON EVANS
Mayor

Department of Local Government and Regional Development
Government of Western Australia

Your Ref: LT7012513

Our Ref: E0721197

Mr Andrew Hammond
Chief Executive Officer
City of Albany

Attention: Mr Graeme Bride
Manager Planning and Ranger Services

Dear Mr Bride

Thank you for your letter dated 18 September 2007 regarding the proposed *City of Albany Responsible Cat Ownership Local Law 2007*. Pursuant to section 3.12(3)(iii) of the *Local Government Act 1995*, please consider the following comments on the proposed local law.

1 Preamble

For the purposes of consistency with current drafting practice, the City may wish to reword the preamble to the following effect:

'Under the powers conferred by the *Local Government Act 1995* and under all other powers enabling it, the Council of the City of Albany resolved on [date] to make the following local law.'

2 Interpretation

- For paragraph (e) of the definition of 'keeper', the Joint Standing Committee on Delegated Legislation (JSCDL) has indicated its concern that this definition may be too broad. In order to address this issue, the City may wish to either delete this paragraph, or as an alternative, include a defence. The City may wish to refer to the 16th Report of the JSCDL at item 5 which can be downloaded from the Parliament's website. For an example of a defence, the City may wish to refer to the *Shire of Mundaring Keeping of Cats Local Law* gazetted on 22 February 2005 at clause 8.2 which can be downloaded from the Local Laws Register at the Department's website and adapt it as appropriate.
- For the definition of 'premises', it is suggested that the City replace the semi-colon at the end of paragraph (b) of this definition with a full-stop.

3 Clause 9

- For clause 9.3, it would appear that the reference to 'section 9.13' should read as 'section 9.16'. Kindly verify.

- For clause 9.4, it would appear that the reference to 'section 9.2' should read as 'section 9.20'. Kindly verify.

4 Schedule 1

For the form under this Schedule, for the purposes of consistency, the City may wish to replace 'Local Law – Responsible Cat Ownership' with '*Responsible Cat Ownership Local Law 2007*'.

5 Schedule 2

For the purposes of consistency, the City may wish to replace 'Local Law – Responsible Cat Ownership' with '*Responsible Cat Ownership Local Law 2007*'.

6 Schedule 3

- For the purposes of consistency, the City may wish to replace 'Local Law – Responsible Cat Ownership' with '*Responsible Cat Ownership Local Law 2007*'.
- For purposes of consistency with current drafting practice, it would appear that 'contrary to section' should read as 'contrary to clause'.
- As the infringement notice is only applicable for the purposes of this local law, it would appear that:
 - the full title of the local law should be stated in blank number (5) and footnote (5) deleted accordingly;
 - Footnote (1) should only read as 'Name of alleged offender'; and
 - Footnote (2) should only read as 'Address of alleged offender'.
- For the sentence 'If you do not wish...giving of this infringement.' it would appear that 'notice' should be inserted at the end of the sentence.

7 Schedule 4

- For the purposes of consistency, the City may wish to include a reference to the 'Local Government Act 1995'.
- For the purposes of consistency, the City may wish to replace 'Local Law – Responsible Cat Ownership' with '*Responsible Cat Ownership Local Law 2007*'.
- The City may wish to include a provision to the effect that *if the modified penalty has not been paid, it should not be paid* as appears in Form 3 in Schedule 1 of the *Local Government (Functions and General) Regulations 1996*. The City may also wish to refer to section 9.20 of the *Local Government Act 1995*.

8 Sealing Clause

The City may wish to ensure that the wording of the sealing clause is in accordance with the City's documentation in relation to the use of the common seal if applicable as appropriate.

My comments:-

- have been provided to assist you with drafting matters;
- are not legal advice;
- have been provided in good faith for your consideration; and
- should not be taken as an approval of content.

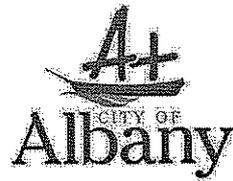
You should ensure that your proposed local law has had a detailed editorial analysis, and that the content is in accordance with your Council's objectives.

Please contact me at 9217 1494 or email if you have any queries.

Kind regards
Sandy Widjaja
Senior Legislation Officer



Department of Local Government
and Regional Development
Government of Western Australia
www.djgrd.wa.gov.au



Council Policy

Sloping Land

© City of Albany 2007

Adoption Date:
Adoption Reference:
Review Date:
Maintained By: Executive Director of Development Services
Document Reference:

102 North Road, Yakamia WA 6330
PO Box 484, Albany WA 6331
Tel: (+61 8) 9841 9333
Fax: (+61 8) 9841 4099
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1.0 Introduction

The topography and vegetation in Albany's urban area is an important part of Albany's character and its retention is encouraged. There are also environmental and economic benefits to retaining the natural landform, rather than clearing and benching sites. Steeply sloping sites do, however, pose specific challenges to development opportunities and land usage.

2.0 Issues

- Albany has numerous properties comprising steeply sloping land (greater than 10%). There is the desire (of developers) to create a level building site on which to build a house for the end consumer. In order to create a level building site on steeply sloping land, extensive cutting, filling occurs and the construction of retaining walls on property boundaries is required.
- Extensive cutting and filling of lots and the construction of large retaining walls has the potential to impact on the amenity of an area and add considerably to the cost of the land and/or the proposed development for the end consumer.
- The provision of excess fill on a property to obtain access to views or to increase property values has the potential to detrimentally impact upon the value of adjoining land parcels.
- Many landowners, builders and designers are seeking to place single level, project home designs, or excessively large house designs, onto land parcels that cannot accommodate the design without extensive earthworks.
- Building large retaining walls on the boundaries of an individual lot has the potential to create conflict between the neighbours and adversely affect the development potential of land parcels on either side of the retaining wall(s).
- In addition to the impact of the actual retaining wall, there is a requirement to place a fence on top of the wall to maintain privacy and safety for the person(s) living above that wall.

3.0 Objectives

- Encourage a philosophy that discourages the recontouring of land as being the preferred method of undertaking the development of sloping sites.
- Restrict excessive cutting and filling of steeply sloping land and encourage house design sympathetic (split level) to the natural topography.
- Reduce neighbour conflict by encouraging a reduction in the level of cutting and filling on development sites and the size of the retaining walls that need to be constructed along the common property boundary(s).
- Promote development that is sensitive to the natural topography and character of Albany.

Adoption Date:
Adoption Reference:
Review Date:
Maintained By: Executive Director of Development Services
Document Reference:

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- Promote housing designs which complement the slope of the land to reduce the building's bulk and visual impact.

4.0 Application

- This policy applies to those lots identified in Schedule 1 which have been created as part of a subdivision process and have a slope greater than 1:10;
- The policy also applies to those lots where a developer or a previous owner has recorded on the Certificate of Title for the land a restriction on the amount of cutting and filling that can take place on the lot.
- The provisions of this policy apply in addition to any other provisions contained within the City of Albany Planning Schemes 1A and 3, the Residential Design Codes (R-Codes) and the Building Code of Australia.
- This policy seeks to guide landowners, architects and staff at the City in preparing and assessing development proposals¹.

5.0 Development Requirements

5.1 General Requirements

Landowners or development proponents seeking to vary the requirements of this policy must demonstrate how the Policy Objectives are to be achieved as part of any application to development contrary to this policy.

5.2 Subdivision of Land

- Upon the subdivision of land, a developer may provide retaining walls up to a total maximum height of 2.0m along a property boundary to create a flat site for building construction.
- In regard to clause 5.2, the maximum extent of cutting or filling to be undertaken on the individual lot shall not exceed 1.0m at the property boundary.
- In addition to clauses 5.2 and 5.3, where the proposed retaining wall is to be constructed on the outer boundary of the subdivision area, and it abuts an existing developed land parcel, the subdivider shall consult with the adjoining landowner to ensure the amenity of the neighbour's property is not compromised, that any drainage issues are resolved prior to the construction of the retaining wall and any overlooking of the neighbouring property is adequately addressed.
- Where the slope of the land is greater than 1:10, the subdivider is encouraged to identify the affected lots on the plan of subdivision and request that Council add those lots into Schedule 1 of this policy.

¹ Landowners, architects and designers are encouraged to consult with the staff at the City of Albany prior to the preparation of site work plans, the design of retaining walls on property boundaries or the lodgement of designs with the City of Albany for Building Licence approval.

5.3 Retaining on Property Boundaries

The maximum height of a retaining wall on a neighbouring property boundary, is to be no higher than 2.0m, with a maximum change in the height of the natural ground level being limited to 1.0m (refer to figs 1 and 2).

5.4 Retaining Within the Confines of the Lot

- Retaining within 4.0m of a neighbouring property boundary and the street frontage(s), is to be no higher than 2.0m, with a maximum change in the height of the natural ground level being limited to 1.0m (refer to fig 1).
- Beyond 4.0m of the boundaries, retaining is to be no higher than 3.0m, with a maximum change in the height of the natural ground level being limited to 1.5m (refer to figs 1 and 5).
- Where retaining is undertaken for the purpose of constructing a building, the external walls of the building should be designed as retaining walls and therefore contain the soil created by the cutting and filling (refer to figs 3 and 4).
- Minor retaining within the lot is acceptable to provide for discrete garden areas, open spaces and to accommodate vehicle movements within the site, provided clauses 5.6 - 5.9 are met.

5.3 Screening

Where limitations on cutting and filling produce a building located on a podium, the exposed underside of the building is to be screened utilising materials that compliment the remainder of the building (refer to fig 3) and demonstrate connectivity of the building to the site.

5.4 Neighbours

Where the retaining wall on a neighbouring property boundary is greater than 0.5m in height and/or does not meet the acceptable criteria for side setbacks as per the R-Codes, the applicant is to provide (on application) evidence of consultation with their neighbour and documentation demonstrating that the proposed retaining wall meets the current and future building objectives of both landowners. Where no agreement is obtained, Council will determine the proposal in accordance with the Performance Criteria specified in Part 2.5 of the Residential Design Codes.

5.5 Height Bonus

A wall and roof height bonus of 1.5m may be permitted where a house design compliments the objectives of this policy (refer to Fig.5).

6.0 Definitions

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Review Date:
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Height Bonus: Height permitted (1.5m) over and above category "B" of the Residential Design Codes.

Neighbouring Property Boundary: A boundary that is common to two freehold lots that are shown on a Diagram of Survey and does not include a common boundary to a reserve vested in the Crown or to a road reservation.

Split Level: (refer to Fig.5)

Figures

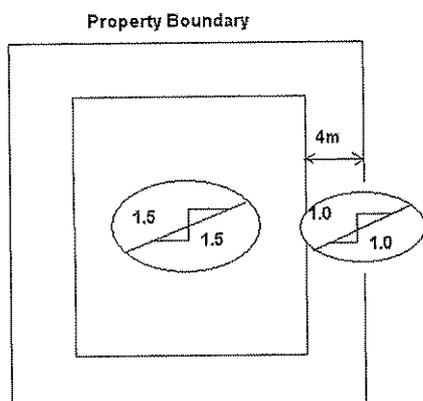


Fig1

Maximum retaining permitted dependent on the location within or beyond 4.0m of the property boundaries.

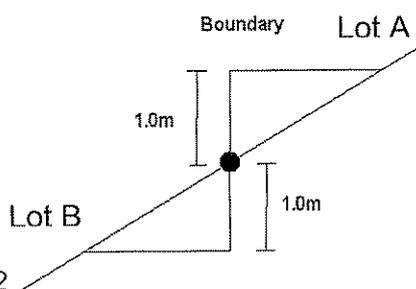
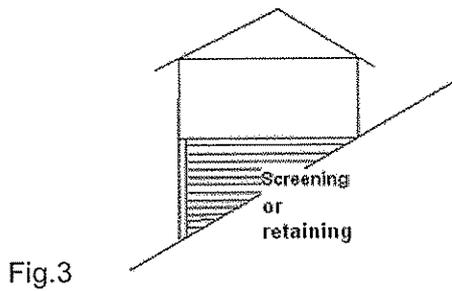
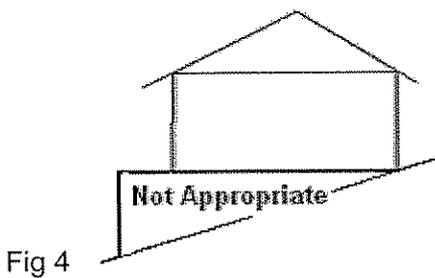


Fig 2

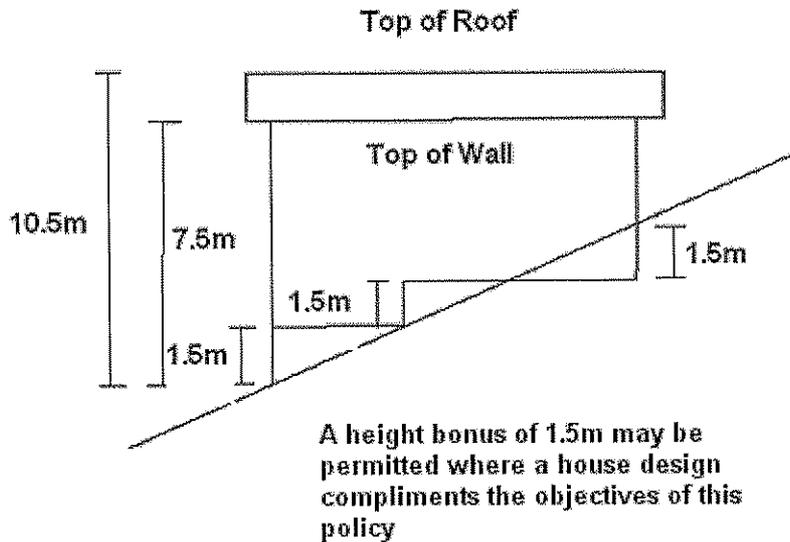
Maximum retaining permitted (either side of the natural ground level) at the boundary subject to neighbours comment.



Retainin wall and or screening to be utilised as part of the building construction



It is not appropriate to extend retaining beyond the confines of the building envelope

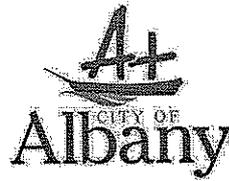


Schedule 1

No	Locality	Lots
1	Bayonet Head	Proposed Lots 478-484 Berliner Street, 489-501 Culley Road, 506-515 White Place and 518-519 Cnr Tipping Road and Paul Terry Drive (as per subdivision #124643).
2	Spencer Park	Proposed Lots at Lot 103 Ulster Road (as per WAPC subdivision 243-07)

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Council Policy

City of Albany Residential Development (Detailed Area Plan) Policy

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Adoption Date:
Adoption Reference:
Review Date:
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Document Reference:

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1.0 Preamble

This local planning policy has been created to provide guidance for Council and landowners in preparation of Detailed Area Plans where required by Council or as condition of a subdivisional approval issued by the Western Australian Planning Commission.

Detailed Area Plans are generally required for increased density residential development (cottage type/R30 lots or greater), lots with rear laneways, lots adjoining areas of public open space, corner lots and for local centres. Detailed Area Plans for all lots listed in Schedule 1 will be attached as an appendix to this policy.

This planing policy sets out general criteria for the development of the lot types referred to above. However in some instances variation from these general criteria will be appropriate. Such variations will be included with each individual Detailed Area Plan in Schedule 1.

A LPP is not part of the Scheme and shall not bind the Local Government in any respect of any application for Planning Approval but the Local Government shall have due regard to the provisions of any Policy and the objectives which the Policy is designed to achieve before making its decision.

2.0 Aim

The aim of the City of Albany's Detailed Area Plan Policy is:

- To avoid the need for separate Local Planning Policies to be prepared for individual sites where Detailed Area Plans have been required as a condition of subdivision by the Western Australian Planning Commission or otherwise required by Council;
- To ensure a consistent approach to the treatment of lots with access via a rear laneway, those adjoining areas of Public Open Space, corner lots, local centres and all other lots subject to a Detailed Area Plan;
- To provide a detailed set of provisions to guide developers in the treatment and design of dwellings with regard to setbacks, site coverage, privacy and surveillance;
- To ensure that dwellings on lots adjoining Public Open Space are designed to provide passive surveillance; and,
- To ensure that corner lots are designed to address both the primary and secondary streets, whilst providing a high level of privacy to future occupants; and,
- To allow for variation of development standards where considered necessary to address site-specific criteria such as existing built form or sloping land.

3.0 Policy Application

This policy applies to those lots identified in Schedule 1, which have been created as part of a subdivision process and a Detailed Area Plan has been required as condition of the approval issued by the Western Australian Planning Commission or any lot for which Council has determined a Detailed Area Plan is required.

The provisions of this policy apply in addition to any other provisions contained within the City of Albany Town Planning Schemes 1A and 3, the Residential Design Codes (R-Codes) and the Building Code of Australia.

Landowners or development proponents seeking to vary the requirements of this policy or the relevant Detailed Area Plan must demonstrate how the policy objectives are to be achieved as part of any application for development.

This policy includes general development and design criteria for the following lot types:

- Cottage/R30 lots/Rear laneway lots;
- Lots adjoining areas of public open space; and,
- Corner lots.

4.0 Cottage/R30 Lots/Rear Laneway Lots

The detailed design of rear laneways shall be considered during the subdivision process, with the laneways being designed and constructed in accordance with the following design criteria:

- Laneways shall have a minimum width of 6.0m;
- Corner truncations to the street shall be provided with a minimum of 2.0m x 2.0m;
- Laneways shall be through roads with no 'dead-ends', the length shall be kept to a minimum and designed to allow for good visibility from one end of the laneway to the other;
- Laneways shall allow for two-way traffic;
- Laneways shall be designed to include good street lighting from lighting poles, with bollard lighting not considered acceptable. The design shall ensure that light spill into residential lots is minimised;
- On street car parking shall be provided along the primary street for use by visitors to the dwellings. Appropriate line making shall be provided to indicate there is no parking within the laneway.

4.1 Development Standards

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The following criteria shall be applied for those lots with rear laneways subject to this policy, in addition to those required by the R-Codes.

Vehicle Access and Garages

- All vehicle and garage access shall be taken from the laneway.
- Where located on a corner, garages shall be located at the furthest point from the intersection of the street and laneway and shall be designated on Detailed Area Plans;
- Development over a garage is required to ensure personal and property safety within the laneways as follows:
 - Identification of lots at both ends of lanes and at the junction of laneways where provision for rear studio units is required;
 - Ensuring that these studio units are designed for independent occupation, have good sized windows overlooking the lane and have an independent entry from the street or lane;
- Development above a garage is encouraged, as follows:
 - Examples of development may include a studio apartment, ancillary accommodation or an area to be used for the purpose of a suitable home occupation.
 - Development over a garage will not be included in any calculation of the developments site coverage.
 - Any balcony over the garage can be used in the calculation of the sites courtyard area.

Dwelling Design

Dwellings should be designed to address all street frontages and laneways through appropriate window treatments and shall consider the following:

- Large areas of blank wall on areas with frontage to or visible from the street or laneway shall not be permitted
- Where a two-storey dwelling is proposed, at least one habitable room window on the upper floor shall address the rear laneway.
- Windows and openings shall be required to address secondary streets.

Setbacks

Rear

- Garages shall have a 1.0m minimum and a 1.5m maximum setback from the rear laneway and may be permitted with a nil setback to the side boundary in the location designated on the Detailed Area Plan.
- Development above a garage should be setback a minimum of 1.0m from the laneway
- The remainder of the dwelling should be setback to provide a variation to the building line with a minimum setback of 2.0m from the laneway

Front

- Dwellings should have a 2.0m minimum setback (averaged at 3m) from the primary street with open sided porches permitted to have a 1.5m minimum setback. No averaging is required for open side porches.

Sides

- Boundary walls are permitted for two thirds of the length of the southern or western boundary, in addition to a nil setback for the garage or as otherwise specified on a Detailed Area Plan. A nil setback to the side will not be permitted for a secondary street.
- The relevant provision of the R-Codes shall apply to northern and eastern boundaries.

Secondary Street

- Dwellings on corner lots shall have a 1.5m minimum setback from the secondary street and be designed to address the street.

5.0 Lots Adjoining Public Open Space (Subdivision Guidelines)

Subdivision layouts should be designed so that areas of public open space are fronted along all boundaries by streets, with lots orientated to overlook areas of public open space. Whilst not desirable, the City acknowledges that there may be situations where lots directly abut areas of public open space. In these instances, the following should occur:

- The boundary between the lots and the public open space should be clearly demarcated; and,
- As a minimum, a 600mm difference should be provided between the ground level of the open space and the finished ground level of abutting lots unless exceptional circumstances occur. In this instance individual Detail Area Plans can modify this design criteria.
- The difference in ground levels provides increased privacy and security for those living on the abutting properties and provides for surveillance of the open space from the properties.

5.1 Development Standards

The following design criteria shall be applied for those lots that abut an area of public open space subject to this policy, in addition to those required by the R-Codes or any outlined in the Detailed Area Plans:

Passive Surveillance

- Principle habitable spaces of each dwelling should be located to ensure that views of adjoining open space are available;
- At least one habitable room window, with a minimum size of two square metres, shall address the open space;

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- Where a two-storey dwelling is proposed, at least one habitable room window on the upper floor shall address the open space, in addition to a window at ground floor level.
- Carports and Garage may not abut the public open space in order to encourage an active interface.

Fencing

- A minimum of 75% of the length of the fencing provided along the common boundary with the public open space shall be visually permeable above 1.2m to a maximum height of 1.8m.
- Windows or active habitable rooms should be located to address the visually permeable portion of the fence.
- Corrugated fibre cement sheeting is not permitted.

6.0 Corner Lots

The following criteria shall be applied for those corner lots subject to this policy, in addition to those required by the R-Codes or any outlined in the Detailed Area Plans.

6.1 Development Standards

Dwellings shall address both street frontages through respective elevation treatments and design. This shall be achieved using the following criteria:

- No entirely blank walls shall be permitted for any storey that addresses a street;
- A minimum of 50% of the length of the fencing provided along the boundary with the secondary shall be visually permeable above 1.2m to a maximum height of 1.8m.
- At least one habitable room (major opening) window shall address the area of permeable fencing fronting the secondary street;
- Where a two storey dwelling is proposed, at least one habitable room window on the upper floor shall address the street frontages, in addition to the window on the ground floor level;

Crossovers and Garage/Carport Location

- Crossovers and driveways may be permitted from either road frontage, but shall be located at the furthest point from the intersection of the two streets

7.0 Variations

It is recognised that individual lots will have site specific characteristics which will require further variation of the provisions of the R-Codes. This is particularly evident with regard to street and side setbacks, the location of building

envelopes, vehicular access, the provision of street fencing and retaining walls. In such instances a specific Detailed Area Plan can be prepared and included as part of Schedule I

Schedule 1

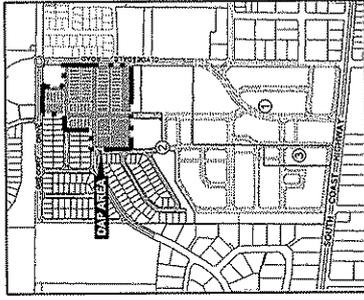
No	Locality	Lots
1	McKail	Lot 2 South Coast Highway
2	Lower King	Lot 2 Mason Road/Lower King Road, Lange
3	Lower King	Lot 94 & 95 the Esplanade

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DETAILED AREA PLAN

Lot 2 South Coast Highway ALBANY



DHW : CLIENT
 1:1500@A3 : SCALE
 24 October 2007 : DATE
 3092-4-001c : PLAN No
 c : REVISION
 T.D : PLANNER
 M.H : DRAWN

Base data supplied by Landgate
 Aerial Photography dated January 2006, accuracy +/- 4m.
 Projection MGS95

Areas and dimensions shown are subject to final survey calculations. All arrangements are shown for illustrative purposes only and are subject to detailed engineering design.

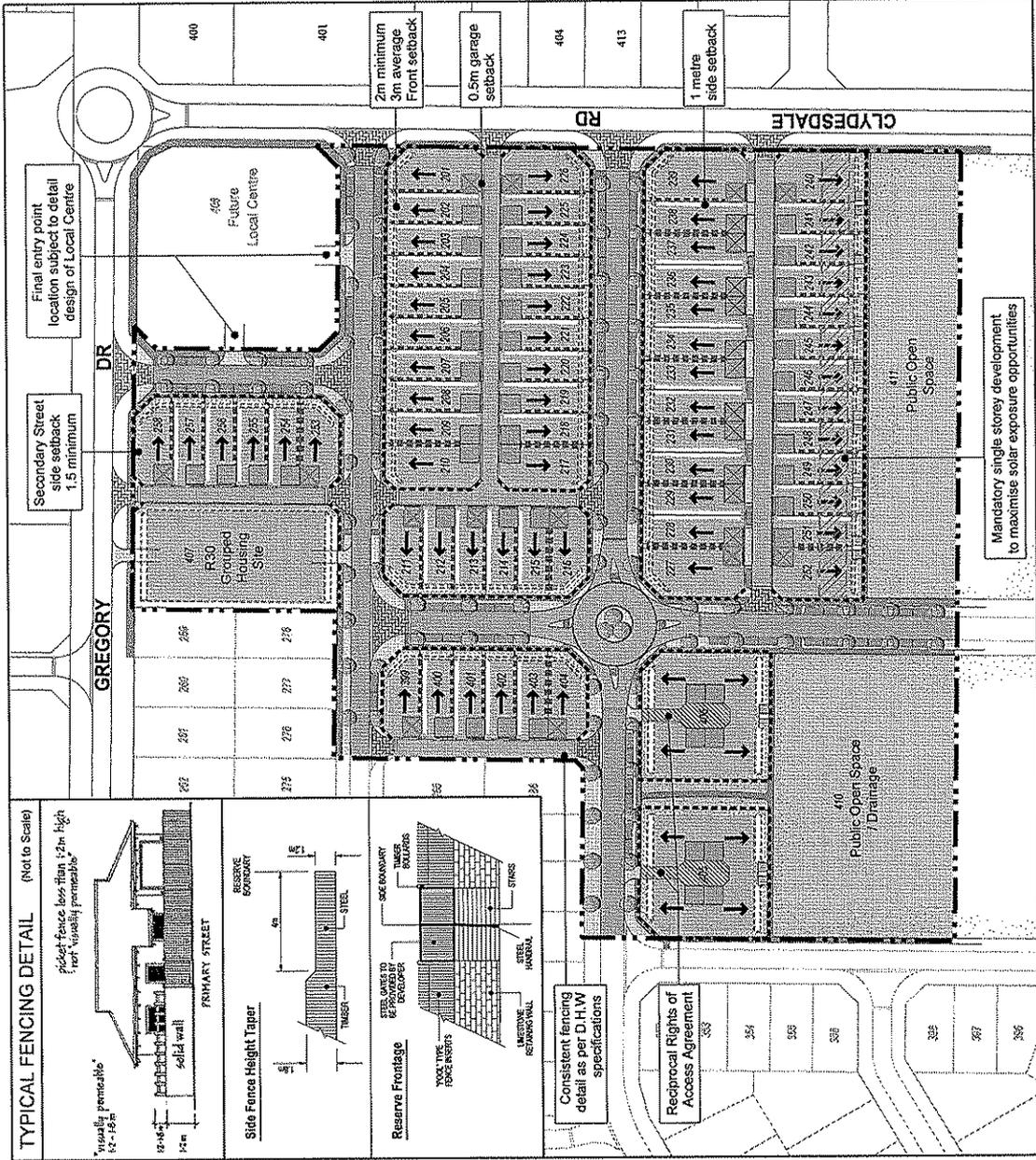
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Urban Planning - Project Management
 Koltasz Smith
 Head Office: Perth
 Mackay: Mackay



koltasz smith
 URBAN PLANNING - PROJECT MANAGEMENT
 TOWN DESIGN - DEVELOPMENT CONSULTING
 PERTH Tel: (08) 9488 2222 Email: perth@ksp.com.au



TYPICAL LOT LAYOUT		TYPICAL LOT LAYOUT	
(Not to Scale)		(Not to Scale)	
	Cottage Type 1A		Cottage Type 1A
	Cottage Type 1B		Cottage Type 1B

LEGEND	
	D.A.P Boundary
	Visitor car parking
	Building Orientation
	Preferred garage location
	Designated garage location
	Mandatory garage location with independently occupiable studio above
	Mandatory single storey development to maximise solar exposure opportunities
	Building Envelope
	Driveway crossover
	No Vehicle Access
	Estate Fencing, Permeable, Non-permeable
	Nominated residential zero metre side setback
	Footpaths / Dual-use paths
	Pedestrian Access via a stairway
	Nominated minimum 2m and average 3m residential front setback to the primary subdivision road or Public Open Space

DETAILED AREA PLAN R-CODE VARIATIONS

Options/Elements

The following options apply, where required, to the design and construction of a residence or outbuilding on a lot within the boundary of the D.A.P.

- All dwellings must include construction of a double garage.
- Unless otherwise approved by the City of Albany, all dwellings and garages shall be constructed within the nominated building envelope.
- Alternative building envelope and parking provisions may be approved by the City of Albany, subject to the submission of a site plan and a landscape plan for improved sustainability outcomes and pedestrian/cyclist safety outcomes.
- Where variations are sought, the applicant must provide adequate information for the City of Albany to assess the appropriateness of the variations against the matters listed above.
- At least one major opening shall be installed on all northern elevations to maximize access to northern sun.
- Dwellings constructed on the 4 packs lots (405, 406 and 409) contiguous with the pedestrian access way shall have at least one (1) major opening overlooking the pedestrian access way to ensure passive surveillance and activation.
- Two-storey development is permitted on all lots except for that area south of the demarcation line shown on lot 240-252 to ensure access to winter sun for private open space.

R-Code

The Residential Density Code which applies to the land is R30 for the grouped site and 4 pack lots (lots 405-409) and R40 for all other lots in the D.A.P. area.

R-Code Variations

The City of Albany Residential Density Codes and associated Residential Development Guidelines for the City of Albany are varied as shown on this Detailed Area Plan. The requirements of the City of Albany Scheme, R-Codes and Guidelines shall be satisfied in all other matters.

Setbacks

Setbacks for the construction of improvements upon the lot will not be other than in accordance with the following:

REAR SETBACK
 1 metre minimum dwelling setback
 500 millimetre minimum garage setback
 1 metre minimum garage setback

SIDE SETBACKS
 All construction on the lot will ensure that at least 40% of the site comprises Open Space.

ENCLOSURE
 The maximum width of any crossover shall be 5 metres.

Subdivisions and Sitings
 Outbuildings and Sheds may be 2 storeys in accordance with Table 3.7.4 of R-Codes to ensure activation and passive surveillance of driveways.

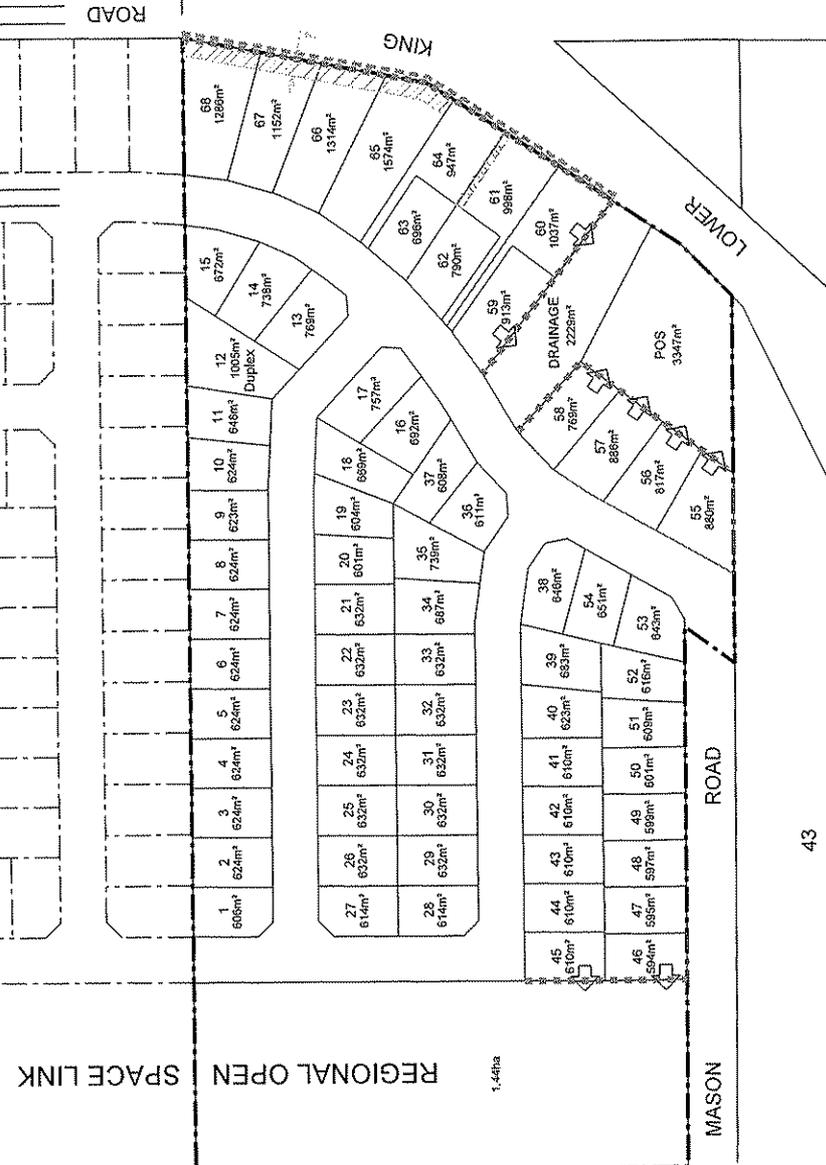
Estate Fencing

Where provided by the seller, estate fencing is not to be removed or altered in any way. All side fencing forward of the building line are to match open style permeable front fencing at the expense of the purchaser.

Builder's fencing on secondary street frontages from the front setback to the building line to match that installed by the developer along the public open space boundary or primary street boundary (see "Side Fence Height Taper" and "Reserve Fringe" diagrams). Fencing along the public open space boundary will be installed by the Vendor.

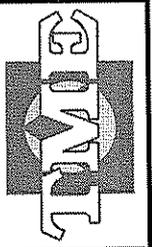
INDICATIVE DESIGN FOR ADJOINING COUNCIL OWNED PROPERTY

APPROVED ACCESS TO LOWER KING ROAD (TO BE CONDITION OF SUBDIVISION APPROVAL)



- Lots 65 to 68**
- A minimum 7m setback for Lower King Road
 - The outdoor living area for the dwelling closest to the 7m setback area abutting Lower King Road shall address Lower King Road.
 - All other setbacks shall be in accordance with the Residential Design Codes.
 - No direct vehicular access shall be permitted to Lower King Road.
 - No clearing of remnant vegetation outside the building envelopes unless approved by Council.
- Lots 45-46 and 55-60**
- Fencing**
- A minimum of 75% of the length of the fencing provided along the common boundary with the public open space/drainage reserve shall be of 1.8m brick piers with open metal picket infill above a 1.2m high portion of face brick clad wall.
 - The maximum height of the fence shall be 1.8m. Windows or active habitable rooms should be located in the visual permeable portion of the fence.

- Setbacks**
- A minimum 1.5m setback for all boundaries abutting public open space or drainage reserves.
 - All other setbacks to be in accordance with the requirements of the R Codes.
- Outdoor living Areas**
- The outdoor living areas required under clause 3.4.2 of the Residential Design Codes are encouraged in locations along boundaries abutting the public open space/drainage reserve
- Variations**
- Variation to the DMP can be approved by the City of Albany following consultation with adjoining owners.
- Additional Requirements - Landscaping/Landform**
- Lots 46-53 and Lots 55-60**
- Retaining walls shall not be permitted on lot boundaries unless approved by the Local Government.
 - building footprints shall be located and designed to minimize disturbance to the existing landform.
 - remnant vegetation shall be retained on site, where practical for Lots 55-58.



PLANNING	B.W.	DATE	DATE
1:1000 at A1	1:2000 at A3	24.10.2007	07070P-03

THIS PLAN HAS BEEN PREPARED FOR ORIGINAL A1 SIZE. THIS DOCUMENT IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN CONSENT OF THE AUTHOR. UNAUTHORIZED USE OF THIS DOCUMENT IN ANY FORM OR MANNER IS PROHIBITED.

- APPLICATION BOUNDARY
- PUBLIC OPEN SPACE
- PERMEABLE FENCING
- BUILDING ENVELOPES
- HABITABLE ROOMS TO ORIENTATE TOWARDS POS
- SETBACK AREA
- DIRECT VEHICLE ACCESS PROHIBITED
- SEWER EASEMENT

DETAILED AREA PLAN
LOT 2 MASON & LOWER KING ROADS
LANGE, ALBANY

DETAILED AREA PLAN FOR LOT 94 & 95 THE ESPLANADE LOWER KING

The requirements detailed below must be read in conjunction with the attached plan at Page 2 of this document.

AIM

The purpose of placing a Detailed Area Plan (DAP) over the subdivision is to allow for a number of relaxations of the normal Residential Design Codes of WA (R-Codes) requirements in order to create an intimate streetscape that encourages community interaction. It will allow each landowner to maximise the development potential of their property without impacting upon the enjoyment of the neighbouring lot. All this whilst continuing to respect the existing, surrounding streetscapes of Francis Street and The Esplanade.

The primary aims of the detailed area plan are to:

- i. Provide Flexibility and guidance in design and construction of residences, while introducing design elements that will ensure quality development on small lots;
- ii. Allow equal access to northern light; and
- iii. Provide a quality streetscape where the focus is on the dwelling and its interface with the surrounding streets, particularly The Esplanade; and
- iv. Encourage the incorporation of sustainable features into dwelling design.

The DAP contains 'mandatory features' that must be adhered to in order to ensure the coordinated development of the whole precinct and 'choice features' that are designed to raise awareness and encourage landowners to incorporate sustainable features into their dwelling designs.

RESIDENTIAL DESIGN CODES OF WA (R-CODES)

R-CODE VARIATIONS

The Town Planning Scheme and R-Codes are varied in the following manner:

1. The requirements of the R-Codes are varied as shown in the notations on this Detailed Area Plan and in the table below.
2. The requirements of the R-Codes and Town Planning Scheme shall be satisfied in all other matters.
3. The requirement to consult with adjoining or other owners to achieve a variation of the R-Codes, where the variation is in accordance with this Detailed Area Plan, is not required.

DESIGN ELEMENTS – Mandatory Features

Dwellings

- The dwellings (including patios and gazebos) and garages must be constructed within the nominated building envelope.

Access & Garaging

- It is mandatory for all allotments with rear access available to locate carports and garages at the rear (Lots 20-24).

DESIGN ELEMENTS – Mandatory Features (continued)

- With the exception of Lots 17 & 18 direct vehicular access from The Esplanade is not permitted.
- North-south facing lots are required to position the garage on the western side of the lot (Lots 11-16, 28-30, E-K, M and N).

Side Setbacks (east-west orientated lots)

- A nil side setback for two thirds of the length of the boundary is permissible on lots where a nil setback is shown on the DAP (generally southern side boundary) to a maximum height of 3.0m.
- Second storey setbacks are to be in accordance with the R-Codes.

Site Coverage

- All construction on the land will ensure that 40% of the site comprises Open Space as defined by the R-Codes 2002.

Front Setbacks & Streetscape (Internal Roads)

- Dwellings shall have a 3.0m minimum setback from the primary street and a 4.5m maximum unless otherwise stated (no averaging).
- Open sided porches/verandas are permitted to have a 2.0m minimum setback from the primary street.
- Garages are to be located behind or level with the front wall of the dwelling to ensure that the dwelling is the dominant feature of the streetscape.

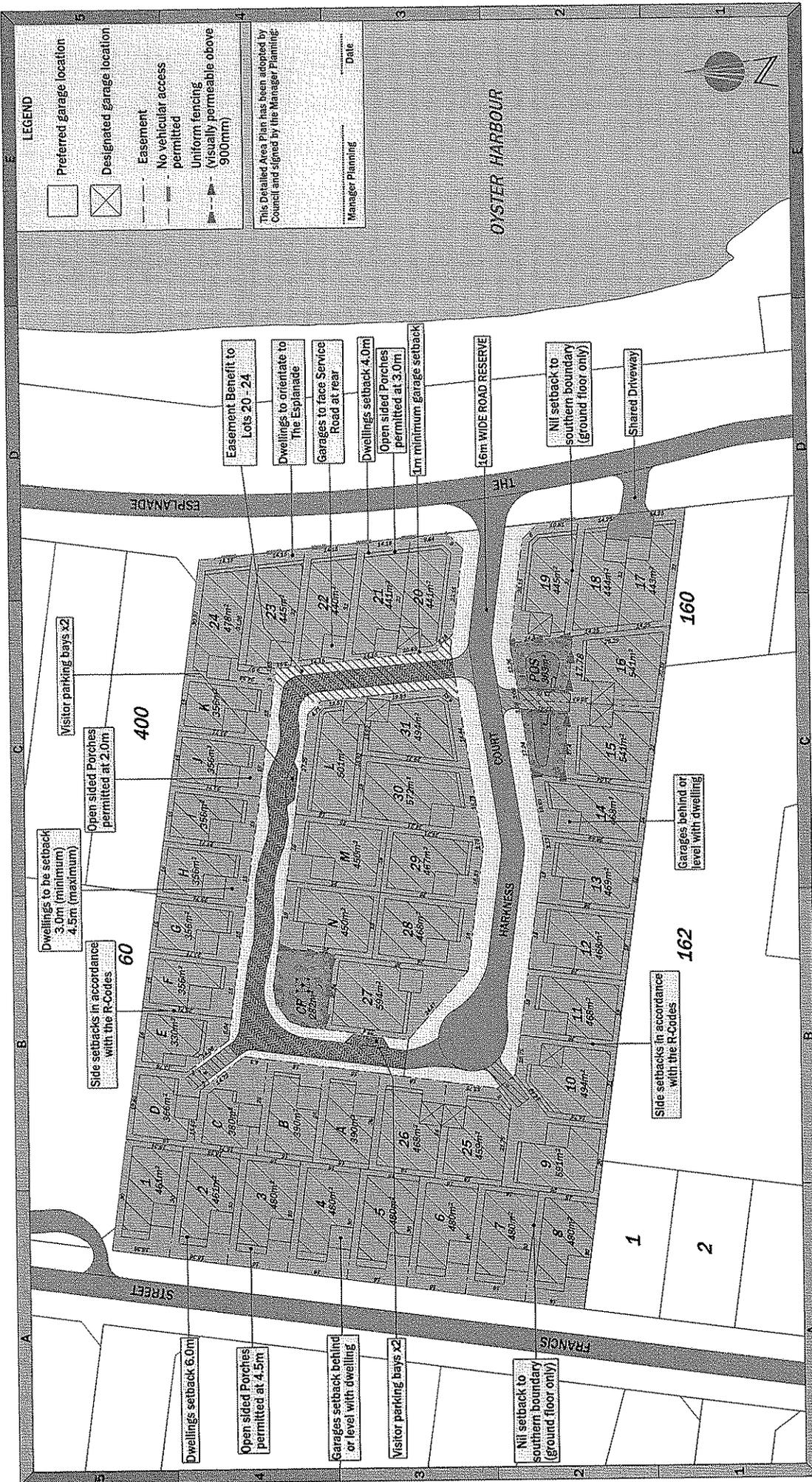
Front Setbacks & Streetscape (Francis Street)

- Dwellings shall have a 6.0m minimum setback from Francis Street (no averaging).
- Open sided porches/verandas are permitted to have a 4.5m minimum setback from The Esplanade.
- Garages are to be located behind or level with the front wall of the dwelling to ensure that the dwelling is the dominant feature of the streetscape.

Front Setbacks & Streetscape (The Esplanade)

- The dwellings on Lots 17-24 (incl.) shall be designed to address The Esplanade.
- Dwellings shall have a 4.0m minimum setback from The Esplanade (no averaging).
- Open sided porches are permitted to have a 3.0m minimum setback from The Esplanade.
- On Lot 17 & 18 garages are to be located behind or level with the front wall of the dwelling to ensure that the dwelling is the dominant feature of the streetscape.



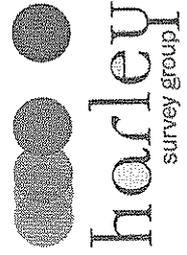


Detailed Area Plan

Lot 94 and 95

The Esplanade

Lower King



scale @ A3 1:1000

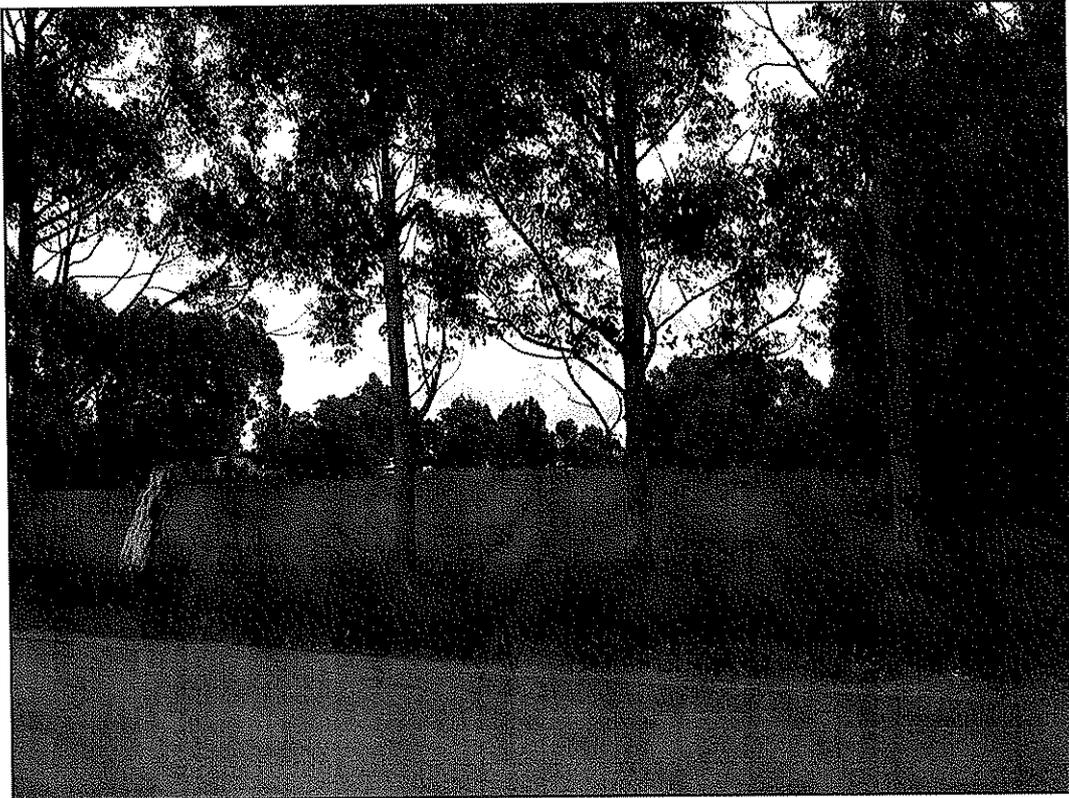
0 10 20 30 40 50

all distances are in metres

NB: Plan to be read in conjunction with Page 1 - Details of Design Elements

930

CITY OF ALBANY
TOWN PLANNING SCHEME POLICY
OUTLINE DEVELOPMENT PLAN
Lot 7 Rufus Street, Milpara



HARLEY SURVEY GROUP
PLANNING CONSULTANTS
116 Serpentine Road.
ALBANY WA 6330
Ph: 9841 7333

23rd July 2007

OUTLINE DEVELOPMENT PLAN – LOT 7 RUFUS STREET, MILPARA

CONTENTS

- 1.0 INTRODUCTION
- 2.0 BACKGROUND
- 3.0 CONSULTATION
- 4.0 SUBJECT LAND
- 5.0 EXISTING STATUTORY AND PLANNING CONSIDERATIONS
- 6.0 THE OUTLINE DEVELOPMENT PLAN
- 7.0 CONCLUSION

APPENDICES

- APPENDIX 1. Lot 7 Rufus Street Structure Plan – Engineering Report – Wood & Grieve Engineers
- APPENDIX 2. Certificate of Title – Lot 7 Rufus Street, Milpara

FIGURES & PLANS

- FIGURE 1 Alternate Subdivision Guide Plan – Special Residential Area No 7.
- FIGURE 2 Albany Local Planning Strategy excerpt
- PLAN 1 Location Plan
- PLAN 2 Site Plan
- PLAN 3 Outline Development Plan

1.0 INTRODUCTION

The purpose of this Outline Development Plan (ODP) is to provide the necessary details required in order to guide the future subdivision of Lot 7 Rufus Street, Milpara in a manner that ensures that a future subdivision will:

- i) Respect the sites constraints and opportunities;
- ii) Be coordinated with surrounding development;
- iii) Be fully serviced and subdivided at the Residential 'R20' density.

This ODP follows the rezoning of Lot 7 Rufus Street from the 'Rural' zone to the 'Residential Development' zone. The 'Residential Development' zoning requires that Council adopt a Development Plan over the site prior to further subdivision or development.

The ODP has deliberately been kept concise because, with the exception of providing a road link to the lot to the east, the subdivision of Lot 7 will be possible in isolation from surrounding development. There are no special outcomes required by this ODP that can not be addressed as a condition of subdivision.

The ODP has been prepared in accordance with the requirements of the City of Albany Town Planning Scheme No 3 and is guided by Western Australian Planning Commission (WAPC) guidelines.

Details of the ODP are at Plan 3. The plan creates a logical internal road layout, installs appropriate drainage measures and establishes suitable, useable lots with good solar orientation. The proposed density of residential use within the ODP area is to be R20. This includes an average lot size greater than 500m². The ODP area is to contain 10 percent public open space, located in two separate parcels at both the northern and southern ends of the property.

The ODP was prepared with the assistance of Wood & Grieve Engineers who prepared an Engineering Report that provides advice and recommendations regarding the appropriate levels of servicing and infrastructure within the ODP. This document is to be read in conjunction with the Engineering Report found at Appendix 1.

2.0 BACKGROUND

Lot 7 Rufus Street, Milpara was rezoned from the 'Rural' zone to the 'Residential Development' zone in Scheme Amendment 263 of the City of Albany Town Planning Scheme No 3. The scheme amendment was initiated by the City of Albany Council at their meeting of the 16th January 2007 and was finally adopted at their meeting of the 15th May 2007.

During the advertising of the scheme amendment only two submissions were received; from the Environmental Protection Authority and the Department of Water. Both raised the need for the employment of "water sensitive design principles", a foreshore management plan to guide the rehabilitation of the Willyung Creek foreshore area and appropriate setbacks to be maintained to Willyung Creek.

All of the issues raised by these environmental agencies are addressed in this ODP document and are expected to be conditions of subdivision approval in future subdivision applications.

Lot 7 Rufus Street was rezoned to the 'Residential Development' zone rather than the 'Residential' zone in order to ensure that the property was developed with fully serviced residential lots, connected the deep sewerage system. As the 'Residential Development' zone requires the adoption of a Development Plan before subdivision, this zoning gave Council the control to ensure that no further unsewered residential lots would be created as part of the subdivision of this land.

3.0 CONSULTATION

This Outline Development Plan has been prepared with the assistance of Wood & Grieve Civil Engineers who provided the Engineering Report at Appendix 1.

Officers from the Department of Water and the City of Albany Planning Officers were consulted in the drafting of this document.

4.0 SUBJECT LAND

4.1 Area to Which this ODP Applies

This Outline Development Plan (ODP) applies to Lot 7 Rufus Street, Milpara, which is located approximately 5 kilometres northwest of the Albany CBD. The registered proprietor of Lot 7 Rufus Street, Milpara is Acetown Nominees Pty Ltd (Certificate of Title at Appendix 2).

The total land area affected by the ODP is 7.8968ha. The ODP area has a road frontage of approximately 150m to Rufus Street.

4.2 Site Context

The ODP area is located some 5 kilometres northwest of the Albany CBD in the suburb of Milpara.

The City of Albany Housing Position Paper describes Milpara as “...a suburb of Albany bounded by Albany Highway, Bronte/John Streets, Richard Street, Chester Pass Road and Henry Street. The area is largely single residential with a significant area of industrial uses along Chester Pass Road. The Touristville Caravan Park is within the precinct.”

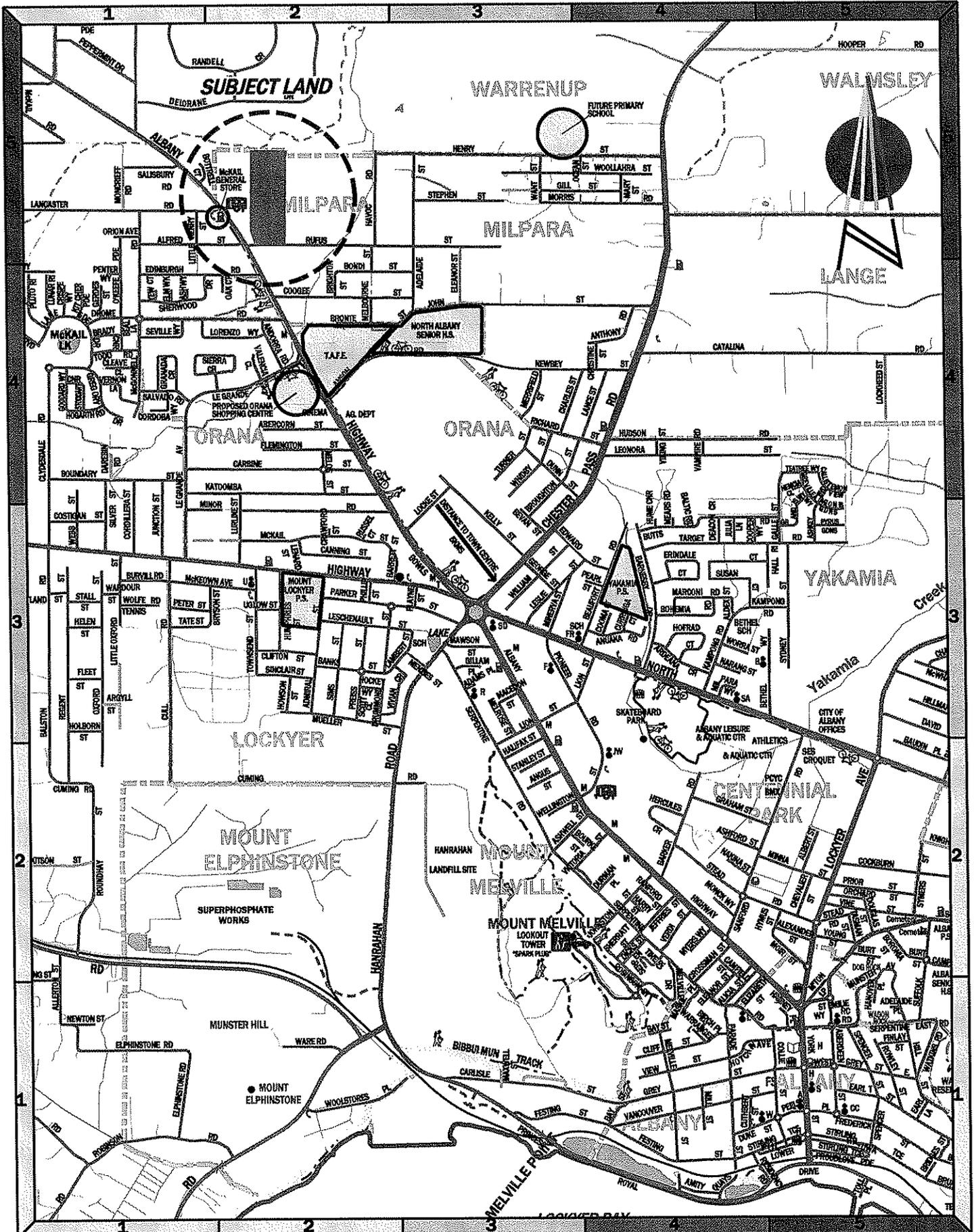
Milpara is one of many identified urban fronts in Albany, it is currently characterised by large lot (2000-4000m²), unsewered residential development. With the introduction of deep sewerage Milpara has good potential for increased urban consolidation.

Lot 7 has adequate access to shopping opportunities. A local centre, the McKail General Store, is located 200m away and the proposed Orana Neighbourhood Shopping Centre is ~500m to the south.

Lot 7 has good access to education opportunities being 500 metres from the Great Southern Regional College of TAFE and 900 metres from the North Albany Senior High School. The closest Primary School is to the south at either Mt Lockyer or Yakamia Primary School. The expanding McKail urban front to the west of Lot 7 will have an additional primary school site provided as part of this urban area.

The Education Department has identified a site 1.3km further along Henry Street to the east of Lot 7 for the development of a future Primary School.

See the Location Plan at Plan 1 for details.



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B	General Info added	17-07-07
A	Original drawing	01-12-06
rev	details	date

survey	COMPILED	cad file	14128-02B.dgn
drawn	ABS 17-07-07	checked	CP 17-07-07
horiz datum		level datum	
scale at A4	all distances are in metres		
1 : 25000			

description	LOCATION PLAN FOR LOT 7 RUFUS STREET MILPARA	
client	ACETOWN	
drawing no	14128-02B	

harley
survey group

PYRMONT HOUSE, ALBANY

4.3 Land Use

4.3.1 Current Land Use

Lot 7 Rufus Street is currently used for the purposes of a large lifestyle lot as is found in many locations on the urban periphery of Albany. However, given the extent of urban development occurring within the McKail/Milpara vicinity and the excellent location of the ODP area for residential use, this lifestyle lot is seen as an inappropriate use of the land.

4.3.2 Surrounding Land Uses

The subject lot is surrounded by land zoned either 'Rural' or 'Special Residential', with the exception of a 'Caravan Park' directly adjoining the lot to the west. The ODP is located on the rural/urban periphery of Albany. Refer to the location plan and site plan at Plans 1 and 2 respectively for more details.

Lot 5 Rufus Street, Milpara adjoins the eastern boundary of Lot 7 and is zoned 'Special Residential Area No 7' under Town Planning Scheme No 3 (TPS 3). Lot 5 is to be developed with unsewered 'Special Residential' lots and is a self contained development providing its own open space, roads and limited services. The Subdivision Guide Plan for Special Residential Area No 7 shows a road linking Lots 5 & 7 to ensure that the development of these lots is interconnected.

To the west of the subject site is Grace Brothers Removals and Storage and the Touristville Caravan Park. The portion of the caravan park adjacent to Lot 7 has been developed as a Park Home Park for permanent residents.

To the north is Lot 3 Henry Street, a property that is characterised by a tributary of the Willyung Creek running through the middle of the property.

To the south are larger, unsewered residential lots currently used for largely residential purposes.

4.4 Environmental Characteristics

4.4.1 Topography

Within the centre of the ODP area is the beginning of a ridge that extends in a westerly direction into the Orana suburb, meaning that the ODP area slopes downward toward its northern, southern and eastern boundaries. The ODP area has a high point of approximately 45m AHD on the above-mentioned ridge and low points of 35m AHD and 37m AHD in the northwest and southeast corners respectively. See Plan 2 - Site Plan for further details.

In the adjoining property to the north of the ODP area is a permanent tributary of the Willyung Creek.



note: this drawing is the property of harley survey group. it may not be copied or altered without the consent of the owner.	survey COMPILED		cad file 14128-06B.dgn		description SITE PLAN FOR LOT 7, RUFUS STREET MILPARA			
	drawn ABS 17-07-07		checked CP 17-07-07					
Harley Survey Group Pty Ltd 118 Serpentine Rd, ALBANY WA 6330 T: 9841 7333 F: 9841 3843 E: hsgalb@harleygroup.com.au Also at Bunbury & Busselton		horiz datum MGA94		level datum AHD		client ACETOWN		drawing no PLAN 2 14128-06B
B Rename of plan 17-07-07 A Original drawing 20-12-06 rev details date		scale at A3 all distances are in metres 1 : 1500				PYRMONT HOUSE, ALBANY		

4.4.2 Soil Type/Land Capability

The land falls into the 'Dc Dempster' and 'S7 Minor Valleys' soil types. The land quality assessment from the Shire of Albany Local Rural Strategy - 'Physical Assessment and Hazards' publication produced by AGC Woodward - Clyde describes the S7 soil type as "broad concave valleys incised in sedimentary rocks...with...deep leached sands and podzols on the slopes with humus podzols and some yellow duplex soils on the floors (S7f)."

The document describes the Dc soil type as "broad convex crests of spurs and ridges with gravelly yellow duplex soils and some lateritic boulders."

The Dempster soil types are found along the ridge running through the centre of Lot 7, the Minor Valleys soil types are found throughout the remainder of the lot.

The following is the land quality assessment table from the Shire of Albany Local Rural Strategy - 'Physical Assessment and Hazards' publication produced by AGC Woodward - Clyde.

Land Qualities	Map Unit Minor Valley (S7)	Map Unit Dempster (Dc)
Water Erosion Risk	Moderate	V_Low
Wind Erosion Risk	Low	Moderate
Microbial Purification Ability	Very Low	Low
Water Pollution Risk O.F.	Moderate	Moderate
Water Pollution Risk S.D.	Very High	Low
Ease of Excavation	Moderate	Low
Inundation Risk	Low	Moderate
Flood Risk	Moderate	Nil
Foundation Soundness	Good	Fair
Slope Instability	Nil	Nil
Soil Absorption Ability	High	Low
Subsoil Water Retention	Low	High
Soil Workability	Fair	Poor
Nutrient Availability	Low	Low
Nutrient Retention Ability	Very Low	Moderate/High
Topsoil Nutrient Retention	Very Low	Moderate
Moisture Availability	Very Low	Moderate
Rooting Condition	Easy	Moderate
Salinity Risk	NS	NS
Exposure Factor	Very Low	Low
Wind Erodibility	High	High
Water Erodibility	Low	Moderate
Soil Resistance	Low	Moderate
Rain Acceptance	Very High	Moderate

This document describes the Dempster (Dc) soil type as having a 'fair capability' for supporting on-site effluent disposal, however as the site is to be connected to the deep sewerage system as part of any subdivision of the property, this is largely irrelevant. Importantly the study indicates the Dc Unit has a high capability for housing development.

The Minor Valleys (S7) soil type is described as having a 'low capability' for supporting on-site effluent disposal and housing development, given the low ability for microbial purification and flooding risk. However, the subject land is to be connected to a reticulated sewerage supply, meaning on-site effluent disposal is irrelevant when evaluating housing capability. Importantly the S7 land capability unit has 'Good' foundation soundness, 'High' rain acceptance and a 'Low-Moderate' chance of erosion. However, it is noted that the soil does have poor nutrient retention and appropriate drainage retention measures will be incorporated into any future development to limit nutrient export from the ODP area.

A site inspection confirms that the site clearly has a high capability for housing development as it is gently sloping and has well draining, sandy soils that are highly likely to be suitable for providing sound housing foundation consistent with the general mapping described above. This is confirmed by the Engineering Report at Appendix 1, which states that the site will have a *'silty organic topsoil layer with underlying silty clean sands above a coffee rock/clayey layer'*.

It is acknowledged that a detailed geotechnical assessment will be required as a condition of subdivision.

4.4.3 Existing/Remnant Vegetation

The ODP area is fully cleared, with the exception of rows of former paddock trees and introduced trees that lined the former driveway to the existing house on the site. Most vegetation appears to have been imported onto the site and is not in its natural form.

4.4.4 Surface Water

Lot 7 is divided into two smaller catchment areas:

- The northern portion of the lot drains directly into the tributary of the Willyung Creek that runs within the adjacent property to the north. .
- The southern portion of the site drains into the open drains in the Rufus Street road reserve. From there the water then flows through Lot 5 Rufus Street before flowing north to join the Willyung Creek.

Both of these small tributaries eventually join further to the north in the Willyung Creek, which joins the King River and eventually Oyster Harbour.

All water bodies directly associated with Lot 7 are managed through the findings of a recent report, the "Willyung Creek Floodplain Management Plan 2007".

4.5 Existing Services

The ODP area is currently connected to reticulated water, power and telecommunications, with deep sewer being the only service which needs to be connected (the connection of deep sewer to Lot 7 is explored elsewhere in this ODP). It is anticipated that most of these services will require upgrading to service the proposed development of the ODP area. Reticulated gas is not currently provided in the vicinity of the ODP area and it is not anticipated that this service will be connected.

4.5.1 Road Network

There are currently no roads within the ODP area, with Rufus Street adjoining its southern boundary. This road will form the role of District Distributor road for the Milpara/Warrenup suburbs, hence adequate sight lines and a logical road crossover must be established.

At its meeting of 20th December 2005 Council resolved to adopt an alternative subdivision guide plan for the development of Special Residential Area No.7 on Lot 5 Rufus Street. This change was to make some amendments to the existing road system in the vicinity of Lot 7 at the time of the development of the Special Residential Area No.7. These changes include a redirection of Rufus Street to connect more directly with Henry Street to the north to create a more direct link between Chester Pass Road and Albany Highway. See figure 1 below for a description of the proposed road changes.

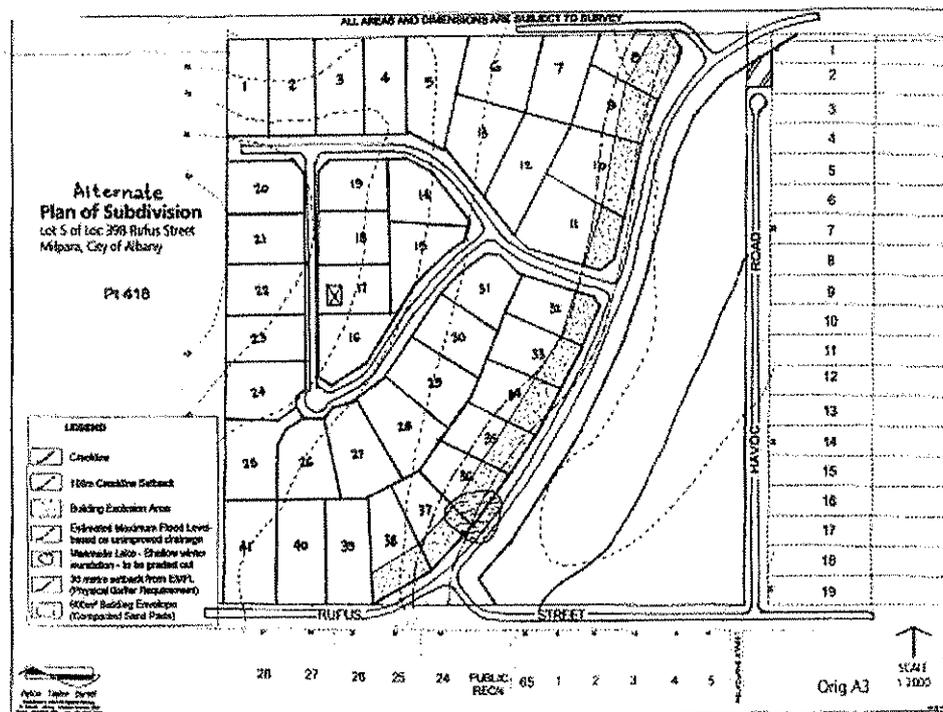


Figure 1. Alternate Subdivision Guide Plan – Special Residential Area No.7 - Lot 5 Rufus Street.

4.5.2 Public Transport

There is currently only one public transport route servicing the ODP area, being the extension of Route 101, operated by Loves Bus Service. This service operates along Albany Highway and connects the ODP area to regional facilities and the Albany CBD.

4.5.3 Pedestrian/Cycling Facilities

Presently there are no pedestrian or cycling facilities provided on Rufus Street. However directly adjacent to the site, on Albany Highway, is a Dual Use Path, which connects the site to a local centre and the Albany CBD.

5.0 EXISTING STATUTORY AND PLANNING CONSIDERATIONS

5.1 Draft Lower Great Southern Strategy

The draft Lower Great Southern Strategy (LGSS) aims to set the broad strategic direction for planning in the Lower Great Southern for the next 20 to 30 years. Its purpose is to guide regional land use and infrastructure planning and development, especially on matters of regional significance. It relies on further investigations to add detail to broad concepts. The strategy is designed to provide the region-wide context and consistency when local governments are setting priorities for their area through local planning strategies and schemes.

Of relevance to Lot 7, the draft Strategy makes particular reference to planning for the sustainable growth of settlements, including;

- *“the identification of additional residential land within centres and rural villages; and*
- *the provision of adequate and appropriate infrastructure to support development.”*

5.2 Guidelines for the Preparation of Local Structure Plans for Urban Release Areas (1992) (the Guideline)

This Guideline has been released as part of the WAPC Development Control Policies (including subdivision) and seeks to offer guidance on the preparation of structure plans and development plans for urban release areas.

This Guideline offers a hierarchy of plans ranging from “Strategy Plans” for broad level planning to “Development Plans” that are more detailed and are intended to show enough detail to guide subdivision and development. The Guideline refers to Development Plans as follows:

“...are a requirement of some town planning schemes and may be referred to as Outline Development Plans or Comprehensive Plans of Development. These development plans are required to be prepared prior to the subdivision and development of land occurring in urban release areas (usually referred to as Residential Development Zone). They are usually prepared at a scale of 1:2000, showing more detail than LSP’s. They guide subdivision and development, often showing the lot layout, major buildings,(eg shopping centres) and in some cases, landscaping proposals.”

This ODP has been prepared in a manner that is mindful of the requirements of both this Guideline and Town Planning Scheme No 3.

5.3 Draft Albany Local Planning Strategy (2006)

Council resolved to receive a draft of the Albany Local Planning Strategy (ALPS) at its meeting of the 20th December 2005. The Western Australian Planning Commission granted the current draft consent to advertise on the 9th August 2006. ALPS was available for public comment until the 15th December 2006.

The draft Albany Local Planning Strategy sets out the long term planning direction for the City of Albany and shall have regard to all State and regional planning policies for the City's planning.

Draft ALPS identifies the ODP area as 'Future Residential', Figure 2 below shows the current version of ALPS as it applies to the immediate area around Lot 7 Rufus Street, Milpara.

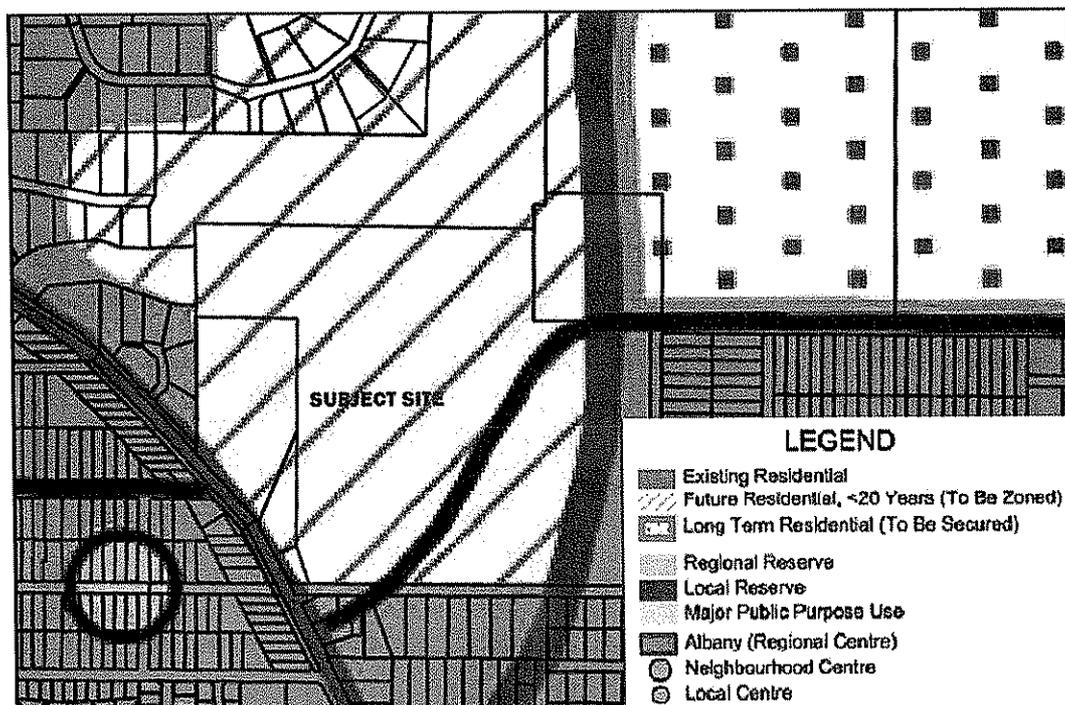


Figure 2. Albany Local Planning Strategy excerpt July 2007

ALPS recommends consolidation of urban areas. This ODP has the objective of consolidating residential uses in the City of Albany. The ALPS document also favours the use of outline development planning as a means of achieving coordinated community development.

ALPS encourages a smaller development footprint and seeks to 'facilitate staged fully serviced urban frontal development'.

5.4 City of Albany Town Planning Scheme No.3

The ODP area is zoned 'Residential Development' in the City of Albany Town Planning Scheme No.3. Clause 5.2 of this scheme notes that in order for 'Residential Development' zoned land to be subdivided, an Outline Development Plan must first be adopted by the Council and endorsed by the Western Australian Planning Commission.

Clause 5.2 sets out the minimum requirements of an ODP, this ODP has been prepared in a manner that is mindful of these requirements.

The lot immediately to the north is zoned 'Rural, to the east is Special Residential Area No 7, to the west is a Special Site 'Caravan Park' and the south is Residential and Rural zoned acre lots.

5.5 Liveable Neighbourhoods Edition No.3 (2003)

This document is not a statutory document at this stage. However, it is a strategic document and a 'best practice' document that may be considered by Council to assist in its consideration of planning related matters.

The Liveable Neighbourhoods is intended to operate as a policy to facilitate the development of sustainable communities. It is to be used in the preparation of Outline Development Plans and subdivisions but many of the principles of the document are pertinent in outlining the benefits of sustainable frontal development.

The following Liveable Neighbourhood aims are relevant to this proposed Outline Development Plan:

- To ensure cost-effective and resource efficient development to promote affordable housing;
- To maximise land efficiency wherever possible;
- To provide for an integrated approach to the design of open space and urban water management; and
- To provide access generally by way of an interconnected network of streets which facilitate safe, efficient and pleasant walking, cycling and driving.

5.6 City of Albany Housing Position Paper (2005)

The Housing Position Paper makes recommendations regarding the residential areas throughout the City of Albany. The Vision of this document is to "facilitate and encourage the provision and development of a significant variety of housing choice, types, styles, and opportunities through the City of Albany and provide a high standard of residential amenity and facilities for the benefit of the residents of the City."

The position paper makes general recommendations applicable to the entire Local Government area and specific recommendations based on a precinct basis.

The ODP area falls within Precinct 4B, Milpara. Precinct 4B recommends that the residential density of the area should increase from R5 to R20 subject to a connection to a reticulated sewerage service being established.

5.7 Willyung Creek Floodplain Management Plan (2007)

This Management Plan was prepared for Council by GHD Pty Ltd. It presents a floodplain management plan for Willyung Creek and its tributaries. It was prepared in response to the planned urban development within the Willyung Creek catchment area.

The Management Plan identifies the extent of the land affected by a 1:100 year flood event and makes recommendations to assist the City to develop land use planning and development controls for flood prone areas.

Only a small area at the extreme northern end of Lot 7 is affected by the Willyung Creek flood plain, this area has been acknowledged and placed within a public open space reserve.

All drainage and sewer infrastructure is proposed outside of the identified flood plain.

5.8 Other Statutory and Planning Documents applicable to the Outline Development Plan include:

- Western Australian Planning Commission State Planning Policies 1 and 3
- The Albany Regional Strategy (1994)
- Residential Expansion Strategy for Albany (1994)

6.0 THE OUTLINE DEVELOPMENT PLAN

6.1 Overview

This Outline Development Plan (ODP) is to be officially known as the 'Outline Development Plan – Lot 7 Rufus Street, Milpara'. This ODP is to be read in conjunction with the Lot 7 Rufus Street Structure Plan Engineering Report (Engineering Report) at Appendix 1 and Plan 3 of this report.

Details of the ODP are at Plan 3. The plan creates a logical internal road layout, installs appropriate drainage measures, acknowledges the site's constraints and establishes suitable, useable lots. The proposed density of residential use within the ODP area is to be R20. Lots have been orientated to achieve maximum solar orientation.

This ODP has been kept deliberately simple and concise as Lot 7 Rufus Street, Milpara is an isolated development site. It was rezoned to 'Residential Development' more to ensure that it is developed for fully serviced residential rather than for any need to extensively coordinate its development with surrounding residential areas. It is anticipated that many of the detailed studies (such as geotechnical investigations) will be required as conditions of subdivision.

6.2 Aim

To provide for the coordinated development of the subject land, encompassing key planning principles and practices with particular regard to solar orientation of lots and water sensitive urban design principles.

6.3 Elements of the Outline Development Plan

Future subdivision of Lot 7 Rufus Street, Milpara shall generally accord with the details shown in the Outline Development Plan.

6.3.1 Projected Population

Given its location and base density coding of 'R20', the ODP area is expected to mainly accommodate families. The total projected population for the ODP area is expected to be approximately 230 persons, calculated at 2.7 persons per household, based on a lot yield of 85 lots for the ODP area.

6.3.2 Proposed Land Use

Lot 7 will be developed entirely for residential purposes at the R20 density. It is anticipated that the existing house will be retained.

6.3.3 Proposed Lot Sizes and Density

The residential density proposed in the ODP area is R20, which allows an average lot size of 500m². Given the suburban location and good access to shopping and education opportunities it is anticipated that the ODP area will be developed largely for family housing.

No medium density housing is to be provided considering that there is no focal point in the ODP area to warrant such densities in accordance with the recommendations of the City of Albany Housing Position Paper.

6.3.4 Subdivision Design

The subdivision design is to be generally in accord with that shown on the Outline Development Plan.

A simple subdivision design, which incorporates solar orientation of lots has been established for the ODP area. The legible grid pattern allows for good connectivity and permeability. Approximately 95 percent of lots have large to very large solar access potential as defined under the Liveable Neighbourhoods document, facilitating the development of energy efficient housing.

6.3.5 Road Layout

Access to the ODP area will be via an 'access street', which will connect to Rufus Street. This access road has been located as far from the intersection of Rufus Street and Albany Highway as practical. Another local access street will be used to connect the ODP area to the proposed special residential area on adjoining Lot 5 Rufus Street, Milpara.

Road reserve widths are to be 15-16 metres, pavement width is to be 5-6 metres and construction is to be of kerbed and asphalted standard with brick paved intersections in accordance with the recommendations of Appendix 1 of this document and the City of Albany Subdivision and Development Guidelines.

Shared crossovers are compulsory for lots facing directly onto Rufus Street to reduce the intersection points onto this road and thus the potential points of conflict..

This document realises that the Western Australian Planning Commission will most probably require a contribution of 50 percent of costs for the upgrade of Rufus Street for the duration of the ODP area road frontage. This road is currently under-width, given the role as a District Distributor that it is expected to play in the future.

Appendix 1 also undertook studies of the Rufus Street/Albany Highway intersection, finding that there would be an approximate increase of 720 vehicles per day at this intersection, but that the intersection is currently in a condition to service these extra vehicular movements.

6.3.6 Pedestrian/Cycle Access/Links

The attached Engineering Report at Appendix 1 recommended that both a 2.5m Dual Use Path (DUP) be constructed on Rufus Street linking the intersection of Rufus Street with the existing DUP in Albany Highway. Additionally a 1.5m footpath is to be provided on the local access street that connects the northern Public Open Space to Rufus Street.

6.3.7 Services

All proposed lots to be developed within the Outline Development Plan will be connected to reticulated water, sewerage, power and telecommunications as a condition of subdivision.

A detailed investigation of servicing has been undertaken by Wood and Grieve Engineers in Appendix 1. It found that:

- Reticulated water can be provided to the ODP area, although it will require the installation of 'a new 150 AC PVC main...to service the development. This would need to be extended from the existing 250 AC main on Albany Highway.';
- It is assumed that power of a suitable capacity connection can be established from the existing power supply in Rufus Street, but that this cannot be determined until a formal application for subdivision is lodged;
- The existing Telstra network on Rufus Street could be connected to service the development;
- Reticulated gas is not located in the adjacent area; and
- The provision of reticulated sewerage is to occur via two methods, both subject to the approval of the Water Corporation:
 - Gravity feeding to the existing waste water pump station on the corner of Le Grande Avenue and Albany Highway for lots in the southern portion of the ODP area; and
 - The provision of a waste water pump station in the northern Public Open Space, to service the lots in the northern portion of the ODP area. This will pump effluent over the ridge running through the centre of Lot 7 to join with the southern catchment.

The benefits of providing deep sewerage to Lot 7 include a better environmental outcome in accordance with the objectives of the relevant planning documents and it helps extend the sewer to the Milpara locality in general.

6.3.8 Public Open Space

Ten percent (10%) Public Open Space (POS) is to be ceded at the time of subdivision to the Crown, and shall generally be located in the size and dimensions of that shown on the Outline Development Plan.

It is proposed to install two parcels of POS in the ODP area. Providing two separate parcels of POS will ensure that all areas of POS are within easy walking distance to all residents.

The northern POS is to consist of approximately 6750m² of Public Open Space adjoining the northern boundary of the ODP area. This area will serve as recreational space as well as acting to set back development from the tributary of the Willyung Creek running the through the neighbouring lot.

The southern POS is to consist of approximately 1330m² of POS to be located in the southeastern corner of the ODP area. This will function as a pocket park and creates an attractive entrance to the ODP area.

Both of these POS parcels are to include drainage infrastructure, which is described below.

6.3.9 Drainage Infrastructure

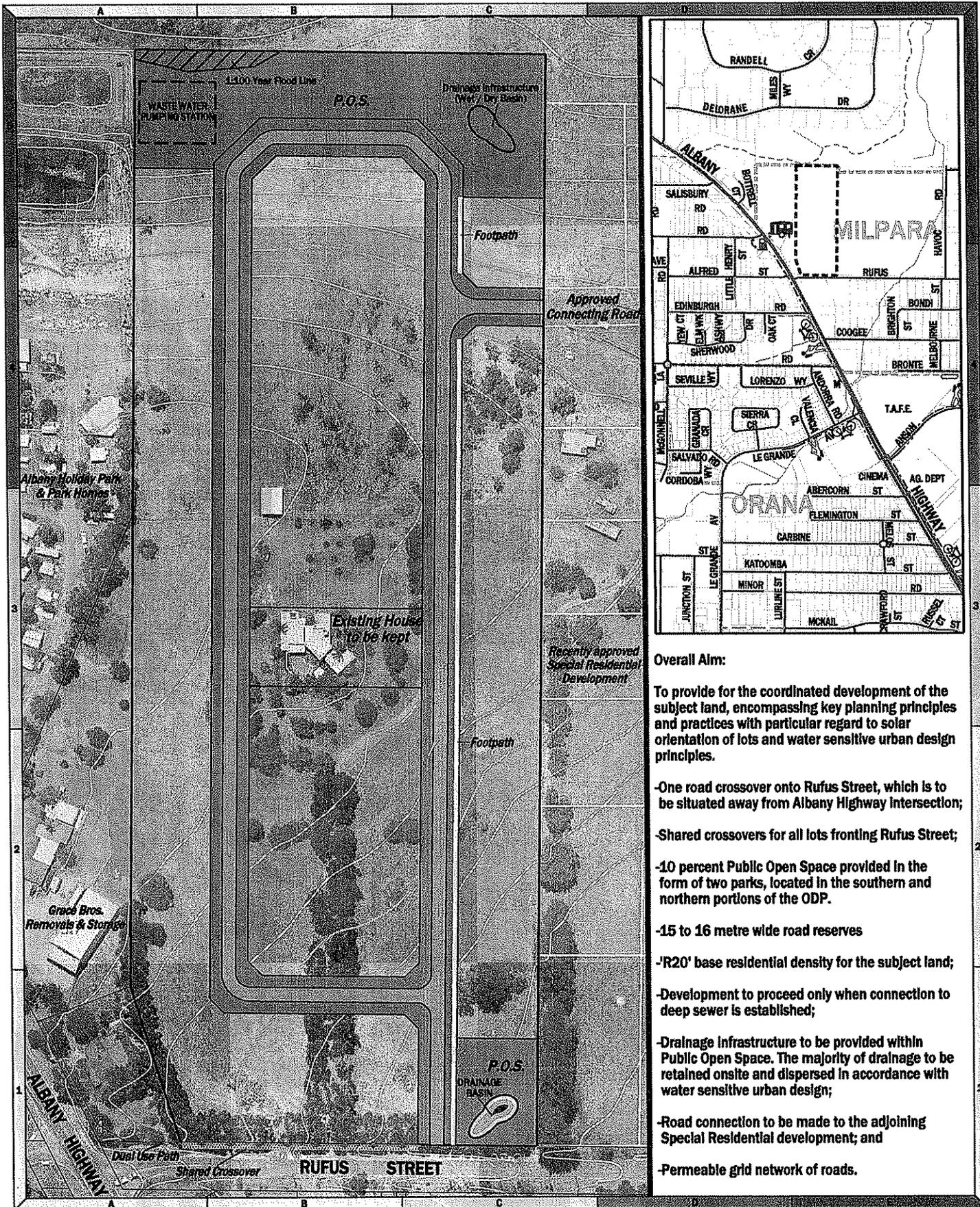
Storm water drainage is to be accommodated with the construction of drainage basins as shown on the Outline Development Plan. Water Sensitive Design Principles are to be incorporated into the final subdivision design for drainage throughout the ODP area. A more detailed investigation of the storm water drainage requirements is at the Engineering Report at Appendix 1.

As has been previously mentioned, there will be the location of two drainage basins, both within the POS of the ODP area.

The drainage basin located in the southern POS parcel is to contain a permanent water area of up to 200m², and a maximum (temporary) 10 year ARI water surface area of 720m². *'For usability reasons, we would expect the basin to have 1:10 batters internally to the water level, with moveable (1:16) external batters (on the bund) to existing ground.'*

The drainage basin located in the northern POS parcel is to contain no permanent water and is to be a wet/dry basin. *'The basin would be constructed above the 1:100 year flood line with moveable batters (1:6) and have a predicted maximum 10 year ARI water surface area of 450m².'*

It is expected that both of these basins will be planted with nutrient stripping wetland species, which will decrease the nutrient loading entering local waterways.



Overall Aim:

To provide for the coordinated development of the subject land, encompassing key planning principles and practices with particular regard to solar orientation of lots and water sensitive urban design principles.

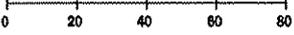
- One road crossover onto Rufus Street, which is to be situated away from Albany Highway Intersection;
- Shared crossovers for all lots fronting Rufus Street;
- 10 percent Public Open Space provided in the form of two parks, located in the southern and northern portions of the ODP.
- 15 to 16 metre wide road reserves
- 'R20' base residential density for the subject land;
- Development to proceed only when connection to deep sewer is established;
- Drainage infrastructure to be provided within Public Open Space. The majority of drainage to be retained onsite and dispersed in accordance with water sensitive urban design;
- Road connection to be made to the adjoining Special Residential development; and
- Permeable grid network of roads.

Outline Development Plan

**PLAN 3
LOT 7
RUFUS STREET
MILPARA**



scale at A3 1:1500



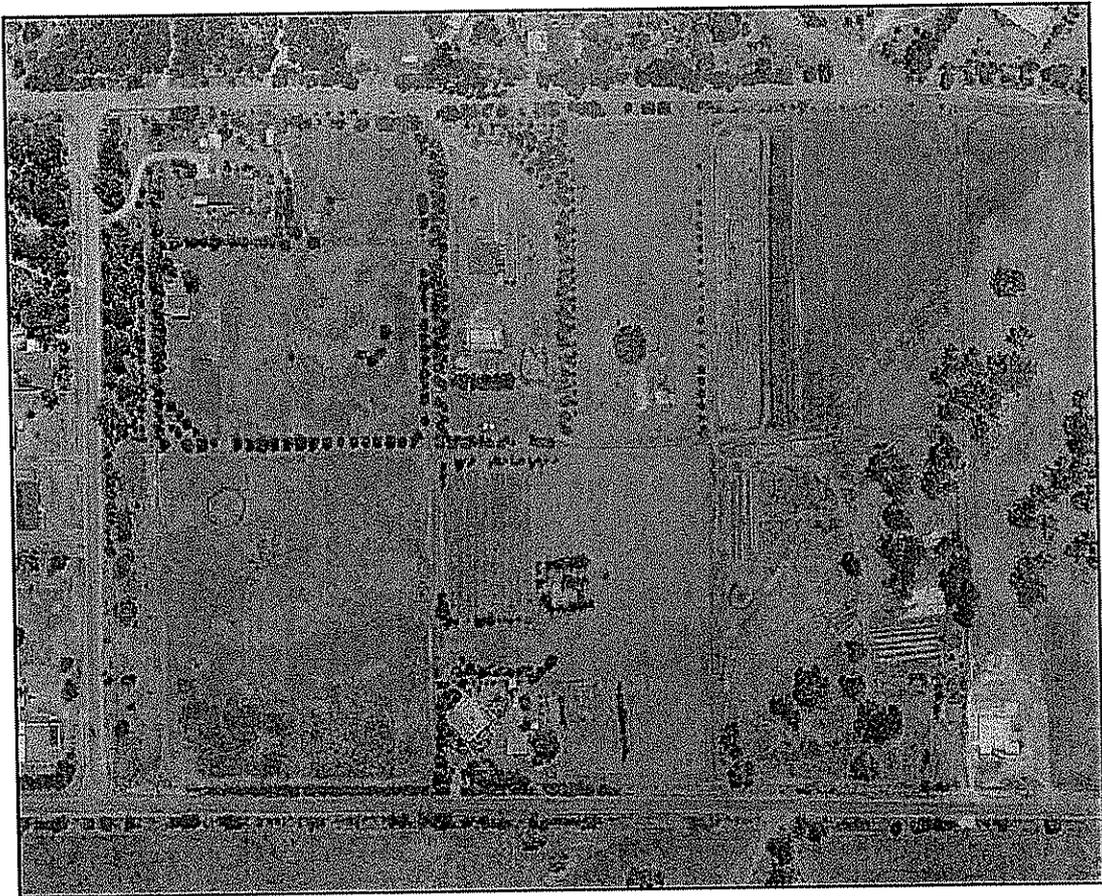
7.0 CONCLUSION

This Outline Development Plan has been prepared to guide the future subdivision and development of Lot 7 Rufus Street, Milpara in a manner that respects the site's opportunities & constraints and facilitates the coordinated development of fully serviced residential lots at the R20 density.

The ODP design creates lots with excellent solar orientation and access to public open space in a location with good access to education and shopping opportunities. The development of Lot 7 will help extend the deep sewer system to an unsewered locality.

This ODP is therefore intended for Council and Western Australian Planning Commission (WAPC) endorsement. The Council is requested to advertise and adopt this Outline Development Plan before forwarding it to the WAPC for their endorsement.

CITY OF ALBANY
TOWN PLANNING SCHEME NO. 3
AMENDMENT NO. 269



Prepared by:

Harley Survey Group
Planning Consultants

MINISTER FOR PLANNING & INFRASTRUCTURE

PROPOSAL TO AMEND A TOWN PLANNING SCHEME

LOCAL AUTHORITY: CITY OF ALBANY

DESCRIPTION OF TOWN
PLANNING SCHEME: TOWN PLANNING SCHEME NO. 3

TYPE OF SCHEME: DISTRICT SCHEME

SERIAL NO. OF AMENDMENT: AMENDMENT NO. 269

PROPOSAL: REZONE LOT 48 MORGAN PLACE, LOT 49 MORGAN ROAD AND LOTS 47, 50 AND 51 LANCASTER ROAD, MCKAIL, FROM THE 'RURAL' ZONE TO THE 'RESIDENTIAL DEVELOPMENT' ZONE.

SCHEME REPORT-SCHEME AMENDMENT NO.269

1.0 INTRODUCTION

The purpose of this amendment to Town Planning Scheme No.3 (TPS 3) is to rezone:

Lot 48 Morgan Place, Lot 49 Morgan Road and Lots 47, 50 and 51 Lancaster Road, McKail, from the 'Rural' zone to the 'Residential Development' zone. The rezoning of these lots will enable the future development of this area on the fringe of the suburb of McKail in a coordinated manner through the use of an Outline Development Plan, in a manner that respects the sites opportunities and constraints and those of surrounding development.

The rezoning will:

- Secure land at the urban fringe for fully serviced residential purposes in accordance with state and local planning strategies;
- Enable the residential development of the land in the future; acknowledging the site constraints and statutory planning requirements;

- Protect this future residential land from inappropriate interim land uses and development;
- Coordinate development of suitable land considered part of Albany's urban front;
- Remove the zoning of the land which is inappropriate given the ideal location and availability of services of the subject land and the current demand for residential land; and
- Establish structure planning for the area.

This document is formatted as such that the rezoning of the subject land from 'Rural' to 'Residential Development' is included in the scheme report, with the Outline Development Plan (ODP) for the subject land included as an Appendix to this document.

The ODP addresses the more detailed planning for the site including:

- i) Addressing site constraints discussed within this document;
- ii) Describes how the site will be serviced; and
- iii) Ensures that the property is developed in a coordinated fashion with the neighbouring properties to create an organised extension to the urban front.

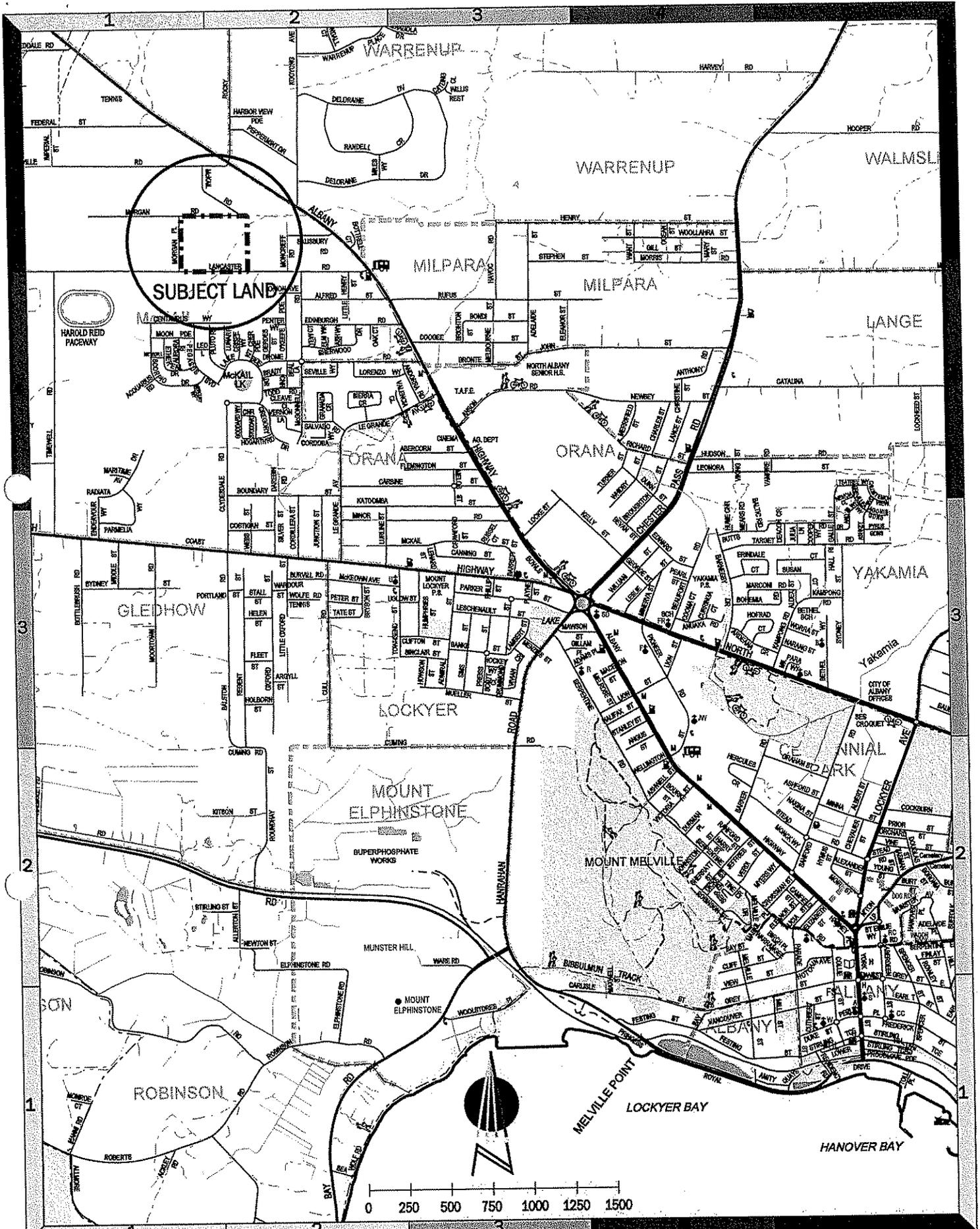
2.0 SITE DETAILS

2.1 Location

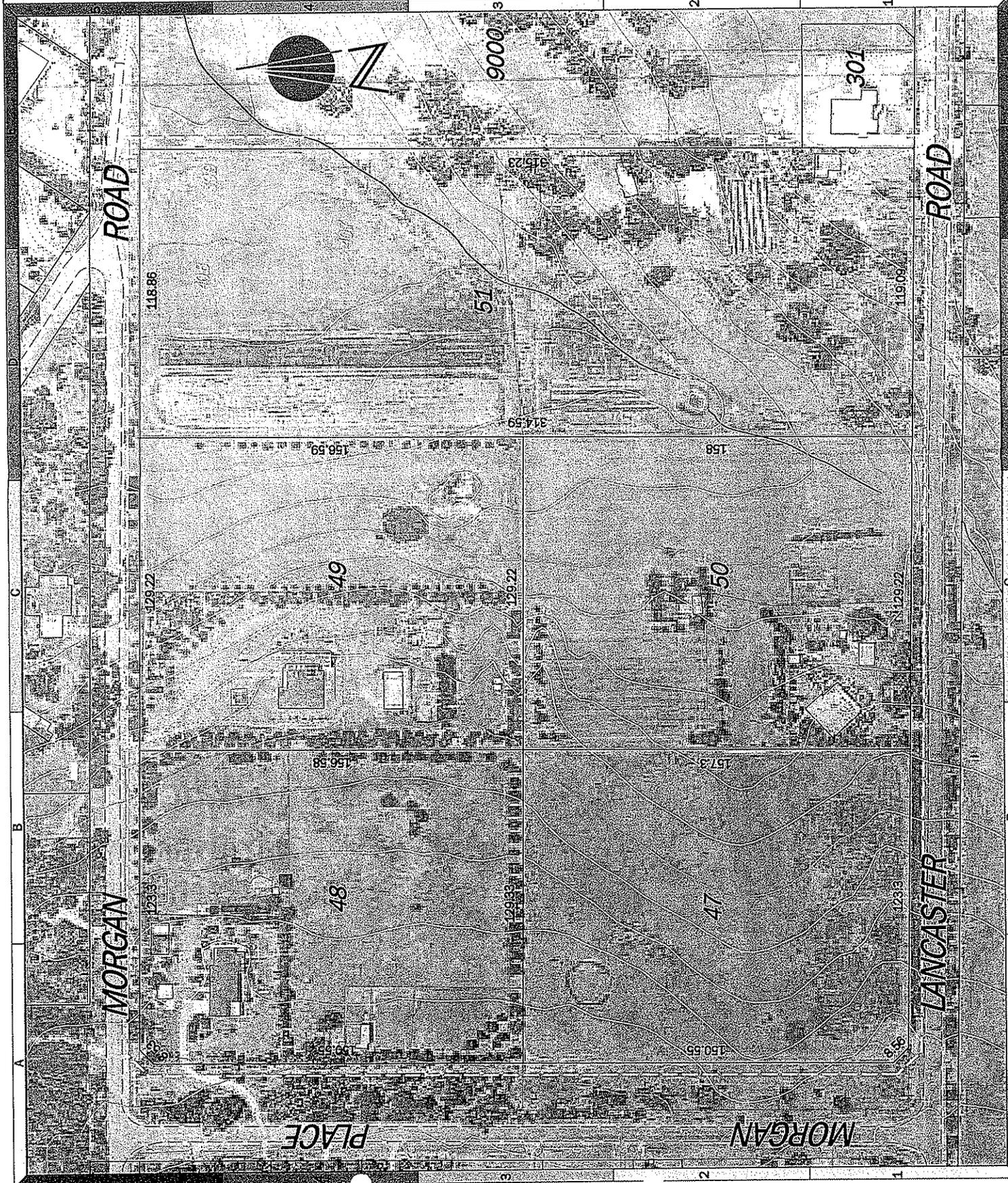
The subject land is located approximately 5.5 kilometres northwest of the Albany CBD. The total site area of Lot 48 Morgan Place, Lot 49 Morgan Road and Lots 47, 50 and 51 Lancaster Road is approximately 11.8583 hectares. Refer to Plan 1 for location details.

2.2 Site Description

The subject land consists of 5 lots which are mostly cleared, with the exception of a few isolated groups of native vegetation, which have been parkland cleared. The subject land slopes downward to the northeast with a low point of approximately 40m AHD located in the north-eastern corner of the subject land. An intermittent drainage line runs through the subject land and is a tributary of the Willyung Creek. The subject land has a high point of approximately 54m AHD located on the western boundary. Refer to Plan 2 for site details.



note: this drawing is the property of harley survey group. it may not be copied or altered without the consent of the owner.	survey COMPILED		cad file 14117-01A.dgn		description LOCATION PLAN LOTS 47,50 AND 51 LANCASTER ROAD, LOT 48 MORGAN PLACE AND LOT 49 MORGAN ROAD, MCKAIL		 PYRMONT HOUSE, ALBANY
	drawn ABS 10-04-07		checked SP 10-04-07		client WILKINSON		
Harley Survey Group Pty Ltd 116 Serpentine Rd, ALBANY WA 6330 T: 9841 7333 F: 9841 3643 E: hsg@harleygroup.com.au Also at Bunbury & Busselton	A Original drawing 10-04-07	scale at A4 all distances are in metres 1 : 30000		rev details date			



Original drawing	10-04-07	date
REV		date
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Harley Survey Group Pty Ltd
 116 Serpentine Road, ALBANY WA 6330
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 E: hsgalb@harleysurveygroup.com.au

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1 : 1500 0 20 40 60

client
WILKINSON

description
SITE PLAN
LOTS 47, 50 AND 51 LANCASTER ROAD,
LOT 48 MORGAN PLACE AND LOT 49
MORGAN ROAD, MCKAIL

drawing no
14117-02A

PYRMONT HOUSE
 ALBANY

harley
 survey group



Figure 1. The subject site is generally cleared paddock with rows of paddock trees



Figure 2. The north east corner of Lot 51 Lancaster Road, land along the drainage line leading up to higher land in the background.

2.3 Access

Access to the subject land is gained from Lancaster Road, Morgan Road and Morgan Place. All of these roads are bitumised, with the exception of a low-lying portion of Morgan Road. All of the subject roads are drained with open drains.

Access to the subject land is only currently available via private motor vehicle. As part of the proposed Outline Development Plan, a dual use path is to be constructed along Lancaster Road, giving adequate infrastructure for cyclists and pedestrians. Currently public transport is very limited. It is envisioned by the McKail Local Structure Plan that a public transport route will be introduced along Lancaster Road.

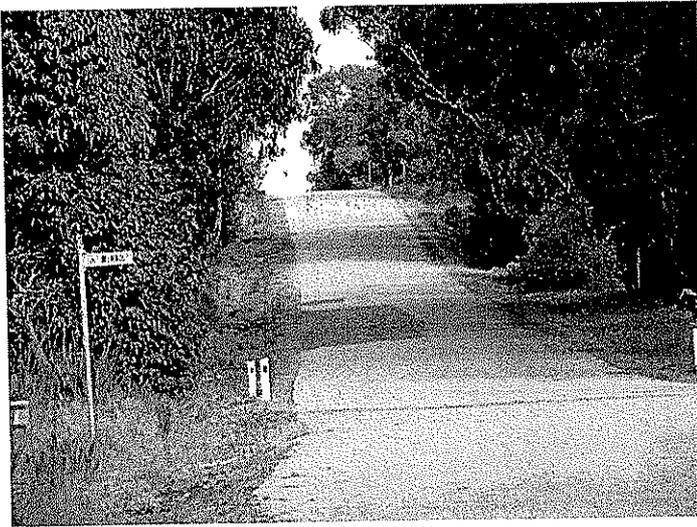


Figure 3. Morgan Road is sealed, no kerb with open drains



Figure 4. Lancaster Road is currently being upgraded as part of works at the Sanctuary.

2.4 Surrounding Land Uses

Immediately surrounding the subject site are a mosaic of uses. Directly to the south of the subject land is the existing McKail suburb, which is currently being developed toward Lancaster Road. To the west is a recently developed Special Residential estate with unsewered 2000m² lots. To the north of the subject land are small lifestyle lots used for hobby farming and large residential lots, which have been marked by the Albany Local Planning Strategy as being for 'Future Residential' land uses. To the east of the subject land are proposed large lot residential uses (2000m² and above).

The subject land has access to a local convenience store at present, being the Touristville Shop. The proposed Orana Neighbourhood Shopping Centre is approximately 1.2 kilometres southeast of the ODP area.

The subject land has good access to education opportunities being 1.2 kilometres from the Great Southern Regional College of TAFE and 1.4 kilometres from the North Albany Senior High School. It is expected that the new Primary School proposed within the McKail Local Structure Plan will service the ODP area and is located 1 kilometre to the south.

See the Location Plan and Site Plan at Plans 1 and 2 for details.

2.5 Services

Reticulated water, power, gas and telecommunications are available to all sites and can be utilised for any development resulting from the proposed amendment.

In consultation with Wood & Grieve Engineers, a Type 10 wastewater pump station will have to be implemented within the low point of the subject land. This will pump effluent, via a rising main, to either a pump station on the southern side of Lancaster Road, or via a rising main to the intersection of Lancaster Road and Albany Highway. See Appendix 1 of the attached Outline Development Plan for more details.

2.6 Environmental/Remnant Vegetation

The majority of the subject land is currently cleared, with the small remaining clumps of remnant vegetation being parkland cleared. As a key component of any development of the subject land it is proposed that revegetation take place, particularly surrounding the drainage line. This will allow natural drainage management measures to occur on the subject land.

2.7 Drainage

The subject land is currently drained utilising a system of open road drains and the intermittent drainage line located in the centre of the subject land. It is proposed that on-site drainage retention and dispersal techniques will be implemented to reduce pollution and undesirable run off from the urban area and maintain pre-development flows from the site following further subdivision. See Appendix 1 of the attached Outline Development Plan for more details.

Development to the south of the subject site has been drained to a compensating basin located opposite Lot 50 Lancaster Road. This compensating basin is designed to maintain pre-development flows through the subject site, despite the increase in intensity of the development on the southern side of Lancaster Road.

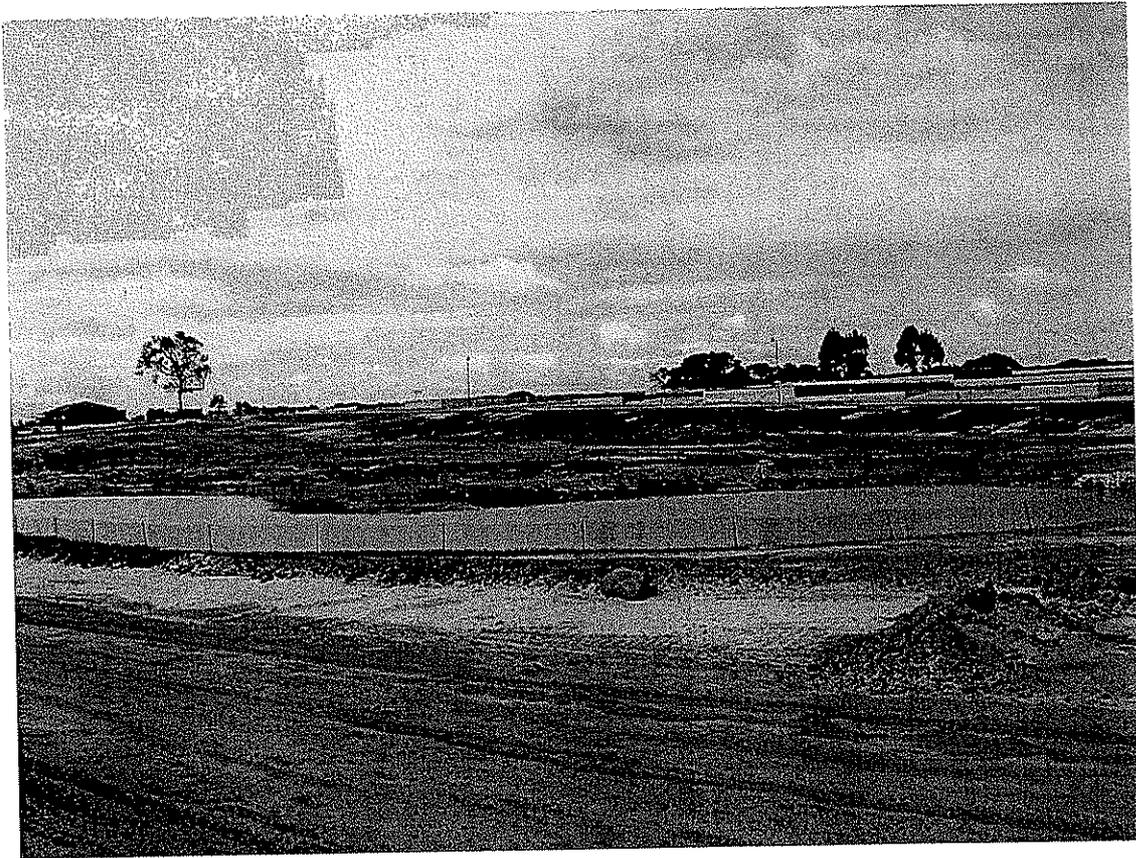


Figure 5. Drainage basin on the south side of Lancaster Road, opposite the subject site.

2.8 Land Capability

The subject land is undulating, sloping downward to the northeast. The majority of the subject land falls within the Minor Valley (S7) unit, whilst the most southern portion of the subject land falls within the Dempster (Dc) unit. The S7 unit is shown as having both a poor onsite effluent disposal ability and a poor capability of supporting housing.

This level of soil mapping is very broad; the 'S7 - Minor Valley' soil type is no doubt linked to the presence of the intermittent drainage line running through the property. The fact that the S7 soil type is shown as surrounded by the Dc soil type is purely indicative that we are at the head of a catchment for the Willyung Creek. Opus International have conducted more in depth land capability study (see Appendix 2 of the attached ODP) that clearly shows that the subject land is fully capable of supporting urban development, subject to design measures to overcome physical limitations.

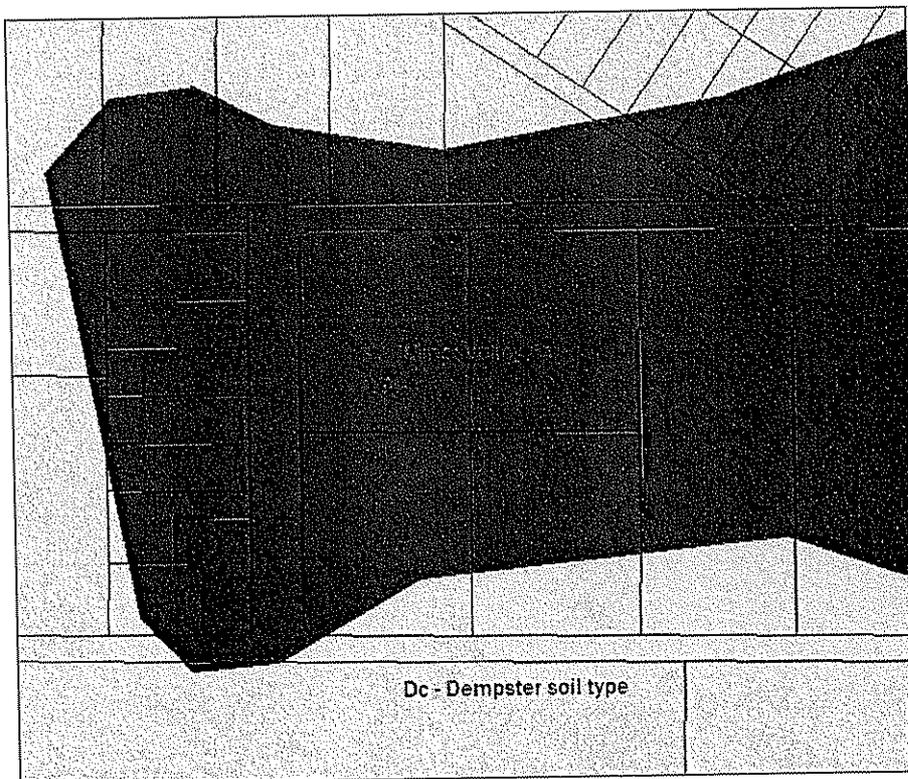


Figure 6. CSIRO Soil Type Mapping

3.0 PLANNING CONTEXT

3.1 Draft Lower Great Southern Strategy (2005)

This Strategy aims to set the broad strategic direction for planning in the Lower Great Southern for the next 20 to 30 years. Its purpose is to guide regional land use and infrastructure planning and development, especially on matters of regional significance. It relies on further investigations to add detail to broad concepts. The strategy is designed to provide the region-wide context and consistency when local governments are setting priorities for their area through local planning strategies and schemes.

Of relevance to the subject site the draft Strategy makes particular reference to

- *“the identification of additional residential land within centres and rural villages; and*
- *the provision of adequate and appropriate infrastructure to support development.”*

3.2 The Albany Regional Strategy (1994)

The Albany Regional Strategy includes the following objectives relative to residential growth in the region and in particular Albany:

To provide for urban growth, and associated services and infrastructure with minimum impact on agriculture, visual amenity, nature conservation, built heritage values, the environment and natural resources;

- To encourage frontal development/growth;
- To provide security/stability in the residential land market through the provision of sufficient land; and
- To promote urban consolidation, choice and affordability and to encourage diversification of housing stock in a manner which recognises the importance of heritage values to the amenity and identity of the region.

3.3 Residential Expansion Strategy for Albany (1994)

The subject site is shown as a site for 'Future Special Rural and Special Residential Development' in the 1994 Residential Expansion Strategy. However the strategy can, at some times, be out dated, with its adoption over ten years ago. Many other sites in the area have now been realised as potential residential growth areas, including land within the McKail suburb. The strategy does make recommendations regarding the drafting of Local Housing Strategies in the region with the following objectives being of particular relevance to this proposal:

- *“To utilise and build on existing community facilities and services...”*
- *To encourage a more contained urban area, by increasing the number of houses in existing urban areas...”*

3.4 Albany Local Planning Strategy (2007)

Council resolved to receive a draft of the Albany Local Planning Strategy at its meeting of the 20th December 2005 and adopted the strategy at its meeting of the 21st August following an advertising period. The draft Albany Local Planning Strategy (ALPS) sets out the long term planning direction for the City of Albany and shall have regard to all State and regional planning policies to the City's planning.

In this document the subject land is shown as being part of the existing 'Residential' area of the City of Albany. Even though this document is broad brush and visionary in nature, general recommendations about the location of residential uses are made.

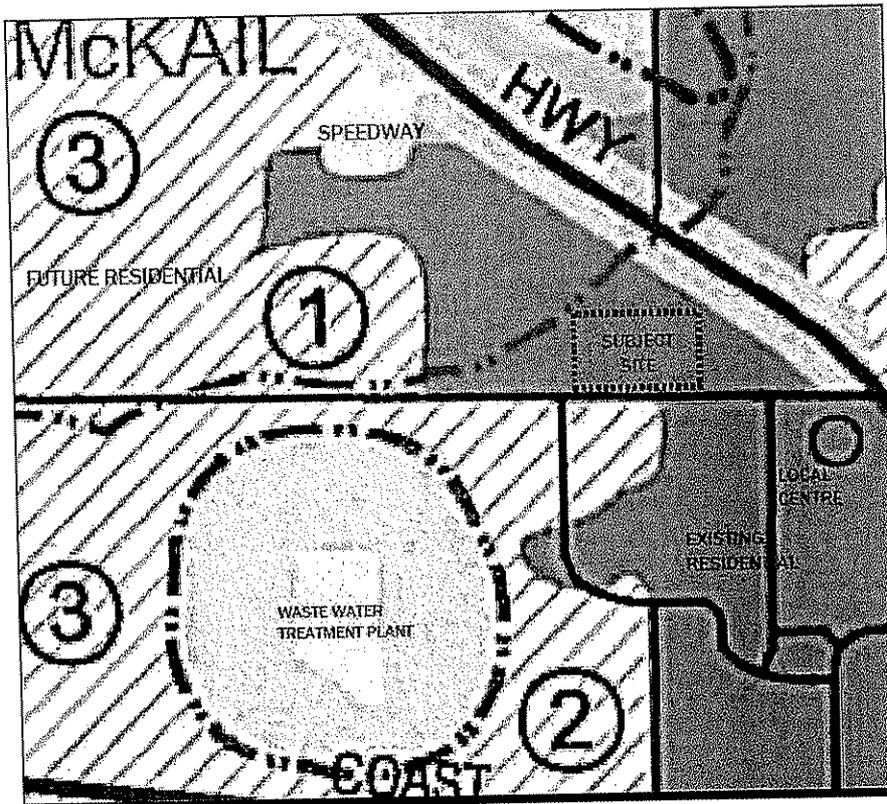


Figure 7. Excerpt from Map 9B of ALPS

A "Key Strategic Action" of the draft Local Planning Strategy's "Settlement Strategy" aims to:

- "Prepare precinct and structure plans to provide a planning framework and development priority for those areas identified for 'Residential', 'Future Residential' and 'Long Term Residential' in the Strategy"; and
- "Maximise the opportunity for variety of lot sizes and establish appropriate zones, controls and mechanisms in the CPS to ensure sufficient fully serviced urban land is available to cater for the short to medium term (2010-2015)".

The rezoning of the subject land to a Residential Development zone will enable the future planning of the residential area in accordance with the ALPS objectives.

3.5 City of Albany Housing Position Paper (2005)

The Housing Position Paper makes recommendations regarding the residential areas throughout the City of Albany. The Vision of this document is to *“facilitate and encourage the provision and development of a significant variety of housing choice, types, styles, and opportunities through the City of Albany and provide a high standard of residential amenity and facilities for the benefit of the residents of the City.”*

The position paper makes general recommendations applicable to the entire Local Government area and specific recommendations based on a precinct basis.

In regard to residential densities, the strategy recommends

- Higher Densities within 800m of the Central Business District.
- Medium densities around major commercial centres, major community or recreation facilities such as beaches, shopping centres and local centres.
- R20 base density applying to all other areas.

In terms of appropriate residential densities for the subject site, the subject site falls within the McKail sub-precinct. This document identifies that density should be similar to that in the McKail area, i.e. R20, that existing rural zoned areas should be rezoned and local structure plans be adopted.

3.6 Liveable Neighbourhoods 2004 (Edition 3 – Draft)

This document is not a statutory document at this stage. However, it is a strategic document and a ‘best practice’ document that may be considered by Council to assist in its consideration of planning related matters.

The Liveable Neighbourhoods is intended to operate as a policy to facilitate the development of sustainable communities. It is to be used in the preparation of structure plans and subdivisions but many of the principles of the document are pertinent in outlining the benefits of consolidating existing residential areas. The following Liveable Neighbourhood aims are relevant to this proposed change of zoning:

- *To ensure cost-effective and resource efficient development to promote affordable housing;*
- *To maximise land efficiency wherever possible; and*
- *To provide a variety of lot sizes and housing types to cater for the diverse housing needs of the community at a density that can ultimately support the provision of local services. Higher density housing should be concentrated in areas closer to town and neighbourhood centres, near public transport stops and in areas with high amenity such as next to parks.*

Liveable Neighbourhoods advocates a mix of densities and housing types as elements of sustainable development.

3.7 Town Planning Scheme No.3

The current zoning of the subject site is 'Rural'. This zoning would allow for the current use of the subject land to be maintained. Given the ideal location, availability of services and existing density of nearby development, the current coding is seen as an inefficient use of the subject land.

Under this proposal, the subject land would be rezoned to 'Residential Development'. TPS No.3 describes the broad objectives of the 'Residential Development' zone as follows:

"To facilitate the orderly and equitable development for residential purposes of areas where the existing subdivision pattern, multiple ownership, or other factors make this objective unobtainable by the normal methods of subdivision and development."

Clause 5.2 of the City of Albany Town Planning Scheme No.3 requires that the development of the subject land will occur only once a structure plan is adopted. The proposed Outline Development Plan, shown at Appendix 1, fulfils these requirements and instils a sensible pattern of subdivision on subject land and meets coordinated development outcomes.

4.0 OUTLINE DEVELOPMENT PLAN

Included in this report is an Outline Development Plan (ODP) over the subject land, which demonstrates the level of subdivision that can occur, given the site and statutory planning opportunities and constraints.

Major elements of the Outline Development Plan include:

- A base density of R20, with area of medium density R30-R40 either adjacent to or overlooking Public Open Space. This provides for a variety of housing in the ODP area.
- A large central area of Public Open Space, which is to include drainage basins and nutrient stripping vegetation, as a component of sustainable drainage management. This Public Open Space is to follow the drainage line and incorporate 'living creek' principles.
- A consolidation of Morgan Place to a 20-metre road reserve, with the additional land to be amalgamated and developed for residential uses.
- All services are to be connected to the ODP area, including reticulated water, power, telecommunications and deep sewer.
- A definitive grid road layout that is connective and permeable. For lots proposed to front Lancaster Road, there are to be shared crossovers, to reduce traffic conflict and improve amenity. The majority of access will occur from Morgan Place and Morgan Road.
- Limited access points onto Lancaster Road recognising this roads district-wide function.

The Outline Development Plan is included in this report at Appendix 1.

5.0 AMENDMENT PROPOSAL

The proposal is to rezone Lot 48 Morgan Place, Lot 49 Morgan Road and Lots 47, 50 and 51 Lancaster Road, McKail from the 'Rural' zone to the 'Residential Development' under the City of Albany Town Planning Scheme No.3.

The proposed amendment represents a logical extension of the McKail suburb. The 'Residential Development' zoning will require the adoption of the Outline Development Plan at Appendix One of this document prior to its development for residential uses; resulting in a coordinated development outcome.

The rezoning has been limited to the subject site because the lots are capable of being developed largely independently of the surrounding lots, are larger and therefore more simply coordinated and they form part of the same catchment area.

The proposed rezoning conforms to all local and state government principles applicable to the frontal development of residential land. The amendment is justified by the following:

- Realises frontal development principles and strategies. The proposed rezoning will secure residential land identified in the Albany Local Planning Strategy as being for the future expansion of the City of Albany and remove the possibility of inappropriate development. The proposed rezoning will coordinate development and allow future structure planning to occur, enforcing coordinated development principles;
- All services are available and can support a higher density of development on the site. The site is able to be connected to all services, including deep sewer, reticulated water, power and telecommunications;
- Maximises land efficiency as land fragmentation is uniform, the subject site is fully cleared and future subdivision has few constraints. Efficient subdivision will increase opportunities for subdivision of affordable housing and/or housing for the aged;
- The proposed rezoning allows for the revegetation of the intermittent creekline. This will reduce water pollution and be a step to improving the overall quality of waterways in the City of Albany. Future structure planning is to incorporate drainage retention on-site, treating runoff prior to introducing it into local water flows; and
- Represents a logical extension of the McKail suburb to the north of Lancaster Road in a planned and coordinated manner.

6.0 CONCLUSION

This report has demonstrated that the proposal to rezone Lot 48 Morgan Place, Lot 49 Morgan Road and Lot 47, 50 and 51 Lancaster Road, McKail from the 'Rural' to the 'Residential Development' zone, is consistent with the adopted and proposed planning strategies and planning principles. This rezoning will allow for the residential use of the subject land in the future, with the guidance of the proposed Outline Development Plan. This Outline Development Plan will enable the coordinated development of the subject land for residential purposes.

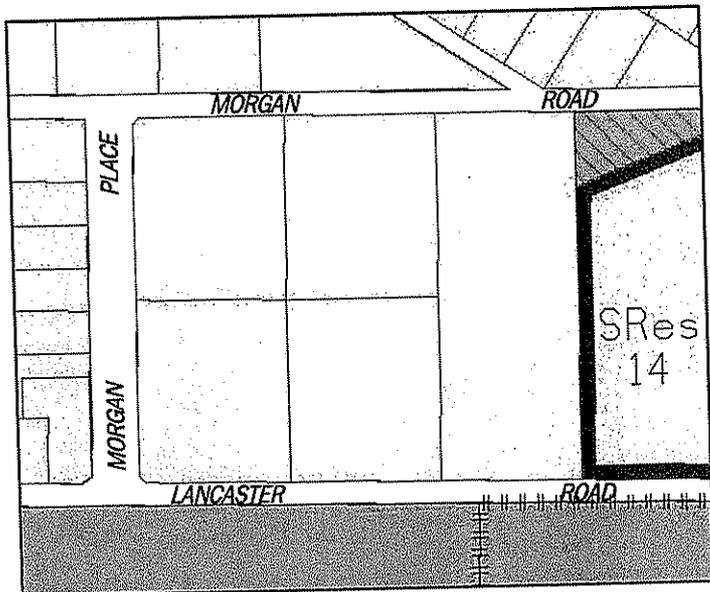
The proposed amendment will improve the efficient use of land in the City of Albany, and provide residential land that is in a well-serviced, accessible location.

The proposed amendment secures suitable and capable land for the supply of residential housing lots for development in the City of Albany.

CITY OF ALBANY

Town Planning Scheme No. 3

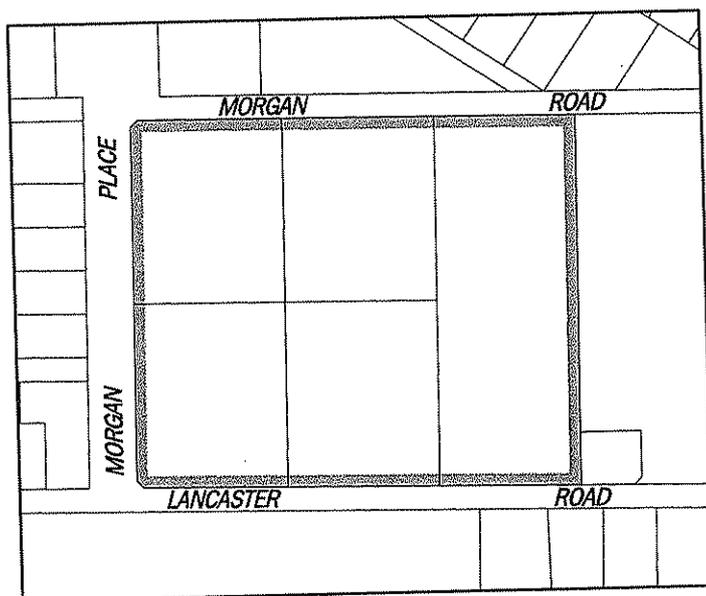
Amendment No. 269



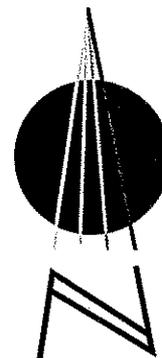
Existing Zoning

ZONES

- Rural
- Residential
- Parks and Recreation
- Residential Development
- Special Residential



Proposed Zoning



Allerding Associates

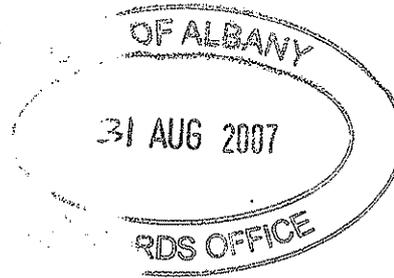
Town Planners, Advocates
& Subdivision Designers

ABN 24 044 036 646

30 August 2007

Our Ref: NLV YAK GE

Chief Executive Officer
City of Albany
PO BOX 484
ALBANY WA 6331



ATTENTION: ROB FENN

**RE: REZONING AMENDMENT REQUEST (REPORT) – LOTS 32, 33
AND 34 CATALINA ROAD, YAKAMIA (ALBANY)**

We write to formally request the initiation of an amendment to the City of Albany's Town Planning Scheme No. 3 to rezone the above mentioned land holdings from 'Rural' to 'Residential R20'. This is intended to include a portion of land as 'Additional Use – Park Home Park'. Letters from the owners of the land requesting the rezoning are included as Attachment A. The basis for our amendment request is outlined below.

Background

In relation to this report, National Lifestyle Villages have submitted a development application for a Lifestyle Village intended to be developed on Lots 32, 33 and 34 Catalina Road, Yakamia. A rezoning plan has been prepared for the report and is included as Attachment B.

Included in the design of the proposed Park Home Park are Residential lots around the boundary of the site and a future commercial site. These lots are proposed to be a combination of House lots, Solar lots and Grouped Housing lots. Public Open Space for the Residential land has been provided in accordance with the 10% requirement for subdivision.

A copy of the plans indicating the possible ultimate development of the site are included as Attachment C. It should be noted that the commercial area indicated on the plans would require a future rezoning application.

Location

Area

The subject site is situated 12 km north east of the Albany town centre. The lots subject to the proposed rezoning are bordered by Catalina Road to the north and Hudson Road to the south. The land has a total area of 24.5921 ha.

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The site is situated to the north of a large portion of land zoned Residential R20 under the City's TPS 1A. Directly adjacent to the site to the north west is an area of land zoned 'Residential Development' under the City's TPS 3. This is abutted to the west by a 'Central Area' zone including an Additional Use (No. 9) allowing for food wholesale, plant nursery and neighbourhood centre uses. All other land abutting the subject site is zoned Rural.

Zoning

Regional

There is no regional scheme applicable to this area.

Local Authority

(Draft) Albany Local Planning Strategy 2006

As outlined in the (draft) Albany Local Planning Strategy 2006, between 2001 and 2021, most of Albany's residential growth will occur to the west of the town centre, mainly in the suburbs of McKail and Gledhow, to the north in the suburb of Yakamia and in the outer north-east in the suburbs of Bayonet Head and Lower King. In this regard, Yakamia has been classified as a Local Centre in terms of 'Retail and Commerce' under clause 5.2.1 of the Strategy.

The proposed residential site would serve to address the City's principles of housing options as stated under Clause 6.2.6 of the Strategy in reference to 'Housing Choice':

"The City of Albany will encourage housing choice with a variety of residential densities, structure planning, housing design guidelines and medium residential density zones around the Albany regional centre, neighbourhood centres and within specific areas...."

Furthermore, as mentioned under Clause 8.3.2 of the Strategy, over the next 20 years the Gledhow, McKail, Yakamia and Bayonet Head localities will be the main suburban frontal growth areas. These areas have the capacity to satisfy present overall residential lot demand over the next 5 years.

It is anticipated that the medium term development (5 to 10 years) will be mainly associated with continuing development in the Yakamia and Bayonet Head localities having capacity for up to 20 years. The Strategy also has a built in contingency for a 20 year plus growth rate and/or a "boom" growth rate well above existing projections by identifying the Milpara, Lange and Walmsley localities as long term urban areas (extending from Yakamia).

It is therefore considered that the incorporation of a varied form of residential development in this locality will satisfy the housing choice objectives of the Strategy and provide an effective model of subdivision design for future developments in the area.

City of Albany Town Planning Scheme No. 3

The land is currently zoned 'Rural' under the City of Albany's Town Planning Scheme No. 3.

Policy Implications

Local

Rezoning

Based on discussions with officers at the City of Albany, the pursuit of a rezoning applicable to the overall site was seen as the preferred option to enable residential development to be facilitated on this site. The incorporation of the Additional Use – Park Home Park would then be included in addition to the base Residential zoning.

Clearing of Vegetation

The site was formerly used for cattle grazing and therefore required the majority of the native vegetation to be cleared. The only remaining vegetation are planted windrows, which are a mixture of endemic, native and non-native species.

Protection of Wetlands

There is one identified wetland situated on lot 33. This area has been recognised in terms of its function area, which includes the water body and supporting wetland vegetation. Accordingly this area will be retained and incorporated into the overall public open space area required as part of the subdivision requirement.

National Lifestyle Villages implement a number of water sensitive urban design approaches in their subdivisions and developments to manage stormwater quality and quantity and runoff to protect urban wetlands. These include water harvesting and storage techniques for houses and effective landscape and topography design to ensure runoff is utilised for gardens and areas of replanted native vegetation.

The Proposal

It is evident from the discussion above in regards to the draft Albany Local Planning Strategy that the varied residential land use in this location would meet the objectives for Housing Diversity and future housing stock requirements.

The surrounding area is currently characterised by existing large Rural lots and low density residential lots (R 20). We believe that within the development of the Lifestyle Village Park Home Park establishment, the provision of Residential zoning of R 30 on the bordering lots is appropriate. Essentially it will establish brick and tile housing choice in a denser setting to the existing residential development in the area, but in a more permanent built form tenure arrangement than the proposed Park Home Park.

Furthermore, clause 6.1.4 of the Strategy states that The LGS proportion of elderly persons (65 years and over) is the fastest growing age group in the Albany region. The population of elderly persons has experienced a growth from 10% of the total population in 1976 to 14% in 2001. The suburbs that have the highest representation of the older age groups are Goode Beach, Spencer Park, Yakamia, Middleton Beach, Mira Mar and Emu Point. The proposed Residential development and National Lifestyle Village on this site would provide for a greater capacity of elderly accommodation in the area.

The design includes a portion of land for future commercial use in the north west corner of the subject site. This site would be subject to a future rezoning application to accommodate this use. This commercial area would complement the nearby shopping centre currently situated 300 metres west of the site.

Finally, a predominant objective for National Lifestyle Villages is to offer a secure living environment for their residents. In this regard the proposed Residential boundary development will provide conventional development interface for the proposed village. This will ensure that all areas of the Village are buffered from the surrounding roads by built development resulting in an increase in amenity and security for residents.

Conclusion

The above rezoning is respectfully sought as the proposed residential use is considered to be compatible with surrounding land uses. Currently there exists a residential area adjacent to the subject land zoned R 20 and other larger Rural Living lots in close proximity. The built form would be complementary to surrounding residential development and facilitate the provision of residential living choices in the area.

Should you have any queries, please do not hesitate to contact our Office on 9328 5555

Yours faithfully

ALLERDING AND ASSOCIATES



**JOHN MEGGITT
ASSOCIATE**

Encl.

Cc. Client – National Lifestyle Villages: David Woo

ATTACHMENT A

Mr Robert Fenn
Executive Director Development Services
City of Albany
PO Box 484
ALBANY WA 6331

REQUEST FOR REZONING OF LOT 33 CATALINA ROAD, YAKAMIA

As owners of the abovementioned property, we give consent and authorize National Lifestyle Villages and its consultants to seek the support of the City of Albany to rezone the property from "Rural" to "Residential" and Additional Uses - Park Home Park" and "Commercial" to facilitate the construction of a lifestyle village and creation of residential housing lots including a commercial development .

Yours Sincerely

P. Pocock
PETER POCOCK

Dated: 25-7-07

L. Pocock
LINDELL POCOCK

Dated: 25-07-2007

I. D. Steinert
IAN D STEINERT

Dated: 27.7.07

W. G. Steinert
WINIFRED G STEINERT

Dated: 27-7-07

C. R. Powell
CHESTER R POWELL

Dated: 20/07/07

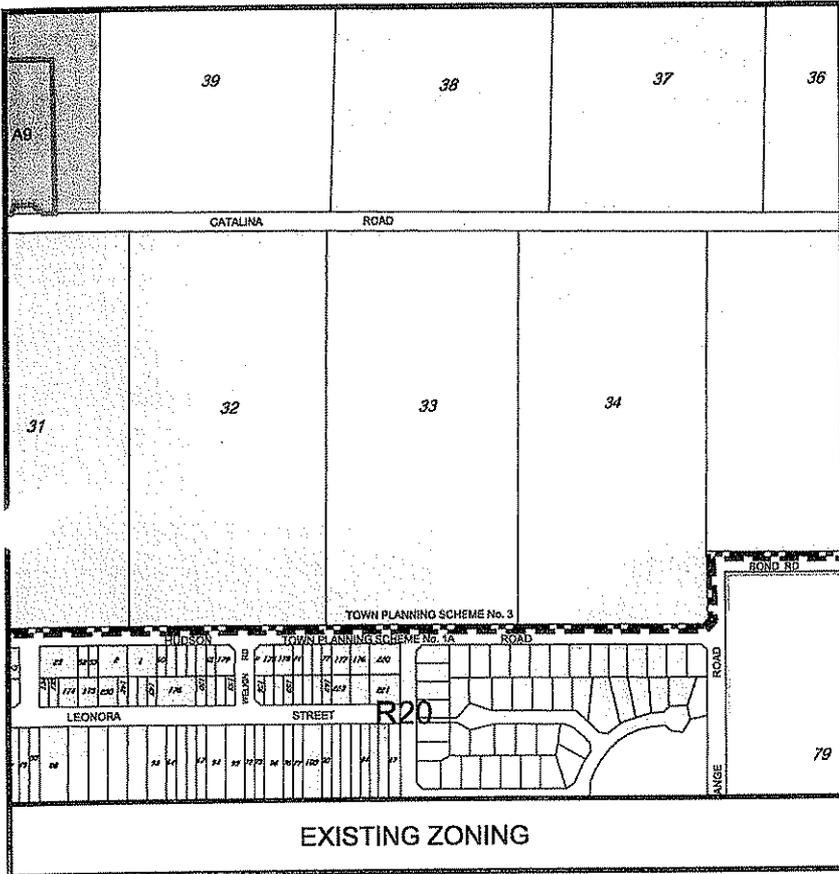
T. A. Powell
TRUDY A POWELL

Dated: 20/7/07

ATTACHMENT B

CITY OF ALBANY TOWN PLANNING SCHEME No. 3

Planning and Development Act 2005



LEGEND (T.P.S. No. 3)

ZONES

-  RESIDENTIAL
-  RESIDENTIAL DEVELOPMENT
-  COMMERCIAL
-  RURAL

OTHER

-  R CODES
-  ADDITIONAL USES
-  SCHEME BOUNDARY

LEGEND (T.P.S. No. 1A)

LOCAL SCHEME RESERVES

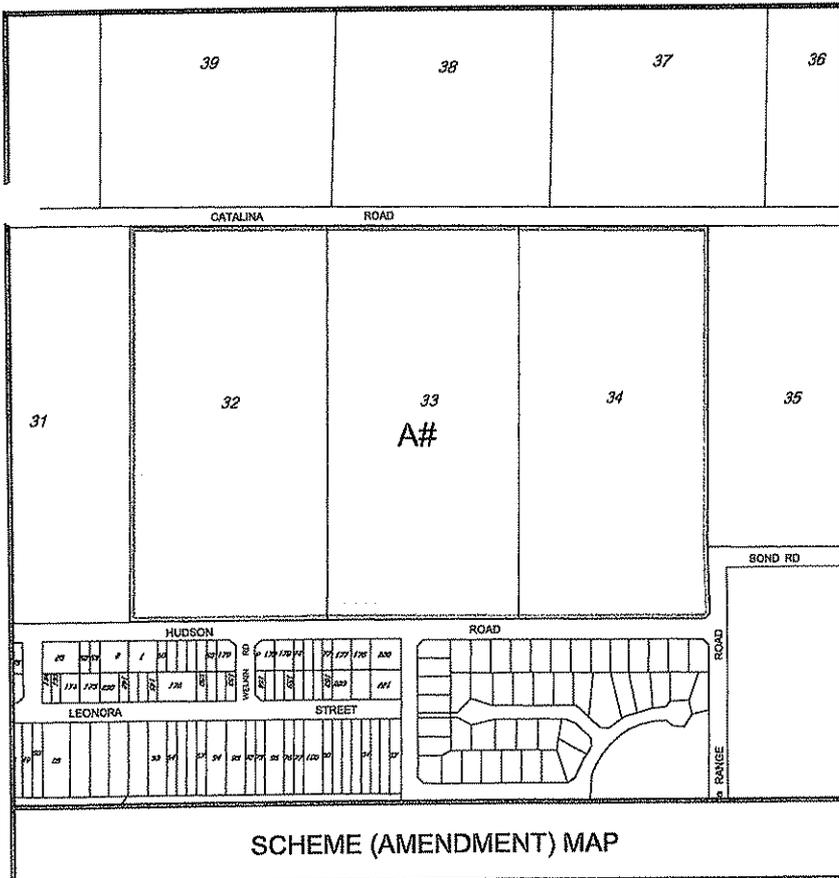
-  LOCAL ROADS

ZONES

-  FUTURE URBAN
-  RESIDENTIAL

OTHER

-  R CODES
-  ADDITIONAL USES
-  SCHEME BOUNDARY



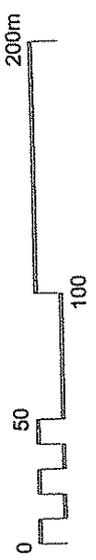
N
SCALE: 1:7500
DATE: 27.08.2007

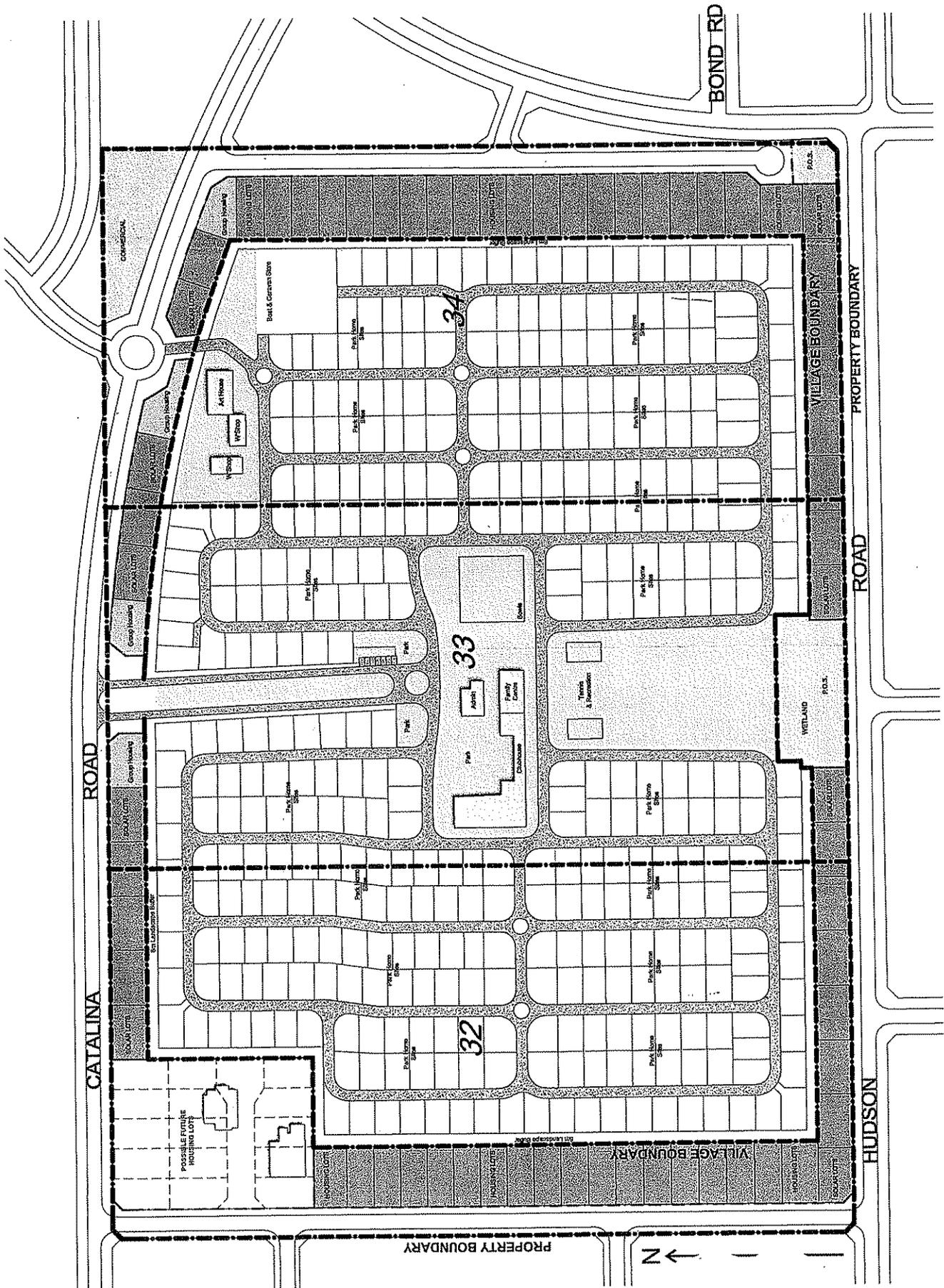
Amendment No.

ATTACHMENT C

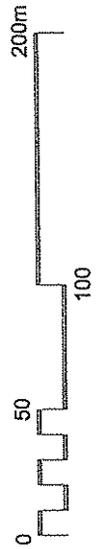



 YAKAMIA LIFESTYLE VILLAGE - LOTS 32, 33 & 34 CATALINA ROAD
 400 HOMES
 CITY OF ALBANY - CONCEPT PLAN AUGUST 2007
 A NATIONAL LIFESTYLE VILLAGES PROJECT





YAKAMIA LIFESTYLE VILLAGE - LOTS 32, 33 & 34 CATALINA ROAD
 400 HOMES
 CITY OF ALBANY - CONCEPT PLAN AUGUST 2007
 A NATIONAL LIFESTYLE VILLAGES PROJECT





David Tadj
PIONEER HEALTH - ALBANY
Pioneer Health Albany
PO Box 5763
Albany, WA, 6332
Ph 08 98 422822



22 September 2007

City of Albany Records
Doc No: ICR7039294
File: A93243

Robert Fenn
Executive Director Development Services
City of Albany

Date: 27 SEP 2007
Officer: EDDS

Attach:

Dear Mr Fenn,

Re: Wellington Street Road Dedication

I am writing in response to your correspondence of the 12th of September. I would like to advise you that as the landowner of Sub Pt 14 on Pioneer Road, that I have no objection to the City developing Wellington Street, as per your proposal.

I give my support to your proposed Street development subject to the following:

- The City provides an engineering solution to stormwater flowing off and through my block, to and across the proposed Wellington Street development.
- The City allows clearing and levelling of my land (Sub Pt 14), to match the level of the adjacent Wellington Street, development, to resolve future drainage issues.
- The City develop Wellington Street extension to a higher level, than it's current level. I am sure that the City is aware that the area through which the proposed Street development is to run, is a wetland which is prone to holding water and flooding, particularly in winter. It is thus suggested that the asphalt surface level of Wellington Street be put at a built up level, to avoid flooding.
- When constructing the road, could the City be aware of stormwater drainage pipes running from Sub Pt 14 and other neighbouring plots of land, under Wellington Street and into adjacent Council drainage basin. The City should hold plans of the stormwater drainage connection, from when the City granted approval for same in 2004.
- I am aware that the City has recently surveyed the area, and I would appreciate if a copy of the level survey of the area could be forwarded to me.

Should have any questions about the above, please do not hesitate to contact me.

With kind regards,

Yours sincerely,

A handwritten signature in black ink, appearing to read "D. Tadj". The signature is stylized with a large, sweeping initial "D" and a cursive "Tadj".

David Tadj



Department for Planning and Infrastructure
Government of Western Australia

Enquiries: Trish Ryans-Taylor
Our Ref: 402-5-2-21-1 PV2
Your Ref: A93243/LT70112372



City of Albany
PO Box 484
Albany WA 6331

City of Albany Records
Doc No: ICR7038465
File: A93243

ATTN: Robert Fenn

Date: 18 SEP 2007
Officer: EDDS

Dear Robert

Attach:

WELLINGTON STREET ROAD DEDICATION

Thank you for your letter dated 12 September 2007 regarding the proposed reopening of a section of Wellington Street, Centennial Park.

Our records indicate that the land is currently a Class C Reserve designated as Parks and Recreation and a Local Authority Reserve within the City of Albany.

I advise that the Commission has no objection to the above proposal provided that the various surrounding landowners and service agencies are consulted regarding the site.

Yours faithfully

GEORGINA FOLVIG
A/MANAGER - REGIONAL PLANNING
GREAT SOUTHERN REGION

13 September 2007

146

5/54-56 Lion Street
ALBANY WA 6330

Ph: 9841 2125



14 October 2007

Mr R Fenn
Executive Director Development Services
City of Albany
P O Box 484
ALBANY WA 6330

City of Albany Records
Doc No: ICR7040300
File: A93243
Date: 16 OCT 2007
Officer: EDDS
Attach:

Dear Mr Fenn,

RE WELLINGTON STREET ROAD DEDICATION

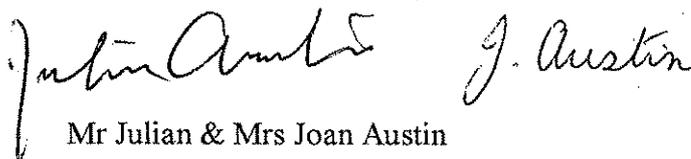
In regard to your letter of 12/9/07 about the above development, the only comment we would like to make is that with this further development in close vicinity to Lion Street, it is bound to increase the traffic using Lion Street as a through road from Albany Highway into North Road and vice versa. The traffic along this section of Lion Street has already increased since the Child Care Centre and the Doctors Surgery were built (not to mention the ever increasing clientele of the Body Care Centre on the corner of North Road & Lion Street). This section of the road also needs maintenance to enable it to cope with the extra load.

Currently, at peak periods of the day, ie before and after school hours, there is already a build up of traffic trying to cross from North Road into Lion Street and from Lion Street to North Road. A roundabout on that corner would help to alleviate this build up and make it a lot safer.

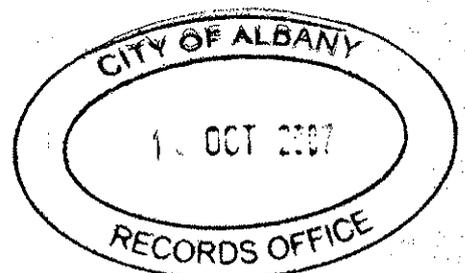
As well as this a pedestrian crossing for the many seniors in the area trying to walk across North Road to the shops would be very helpful and much safer for them.

Trusting you will take these matters into consideration when submitting your request for the above development to the Department of Planning and Infrastructure.

Yours sincerely,


Mr Julian & Mrs Joan Austin

147



Facsimile



Alinta

Alinta Asset Management Pty Ltd
ABN 52 104 352 650

Alinta Plaza
12-14 The Esplanade
PERTH WA 6000

Postal Address
P.O. Box 8491
Perth BC 6849

Contact Numbers
Ph (08) 6213 7000
Fx (08) 6213 7400

To: CITY OF ALBANY
ROBERT FENN

Fax No: 98414099

From: FRANK RIZZI
DRAFTSMAN GIS

No. of pages: 1 (including this page)

Date: 19 September 2007

For any queries regarding the transmission of this facsimile please telephone: 6213 7000
Please reply on facsimile number: 6213 7400

Our Ref:13.18.2

Your Ref: A93243 / LT7012372

Dear Sir/Madam,

RE: WELLINGTON STREET ROAD DEDICATION.

Thank you for your letter of the 12 September, 2007 and the enclosed plan concerning the above area.

We wish to advise that we have no AlintaGas Network Assets in the area specified.

The Alinta Asset Management Pty Ltd has no proposed work which will require amendment to your works.

Yours Faithfully


FRANK RIZZI
Mapping Officer GIS

Your Ref: A93243/LT7012372
Our Ref: Grange 3648087
Enquiries: G Wright
Telephone: 98424230



City of Albany Records
Doc No: ICR7039175
File: A93243

September 24, 2007 Date: 26 SEP 2007
Officer: EDDS

City of Albany Attach:
PO Box 484
ALBANY WA 6331

Great Southern Regional Office
215 Lower Stirling Terrace
ALBANY WA 6330

PO Box 915
ALBANY WA 6331

Tel (08) 9842 4211
Fax (08) 9842 4255

www.watercorporation.com.au

Attention: Mr Robert Fenn

**CITY OF ALBANY
WELLINGTON STREET ROAD DEDICATION**

Dear Robert,

I refer to your letter of September 12, 2007 regarding the proposal to re-open a section of Wellington Street, Albany between Pioneer Road and North Road.

You are advised that the Water Corporation has no objection to the proposal subject to the following conditions:

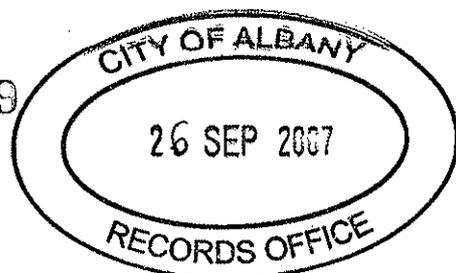
- All new lots created by this proposal will be subject to a Standard Headworks Contribution.
- All lots subsequently developed will be subject to the payment of all costs relating to the provision of water supply and sewerage services required to service each lot and will also be subject to the payment of annual water and sewerage rates.
- All costs associated with protecting, re-locating or adjusting levels of existing water and sewerage infrastructure that may be affected by this proposal are to be fully funded by Council.

Should you require any additional information, please do not hesitate to contact me.

Yours sincerely

R
Rod Collins
Manager Assets GSR
Asset Management Division

149



Robert Fenn

From: karen.hughesmore@westernpower.com.au on behalf of customer.contact.centre@westernpower.com.au
Sent: Monday, 8 October 2007 9:18 AM
To: Robert Fenn
Subject: NCSW-07-21013 - Robert Fenn (City of Albany) - Proposed Road Dedication - Wellington Street, Albany Affecting Reserve 5163 and Lot Sub 302



Section:	Customer Assist
Division:	Customer Services
Telephone No:	13 10 87
Facsimile No:	+61 8 9225 2660
Email:	customer.contact.centre@westernpower.com.au
Mailing Address:	Locked Bag 2511, Perth WA 6001
To:	Robert Fenn
Email or Fax:	robertf@albany.wa.gov.au
From:	Karen Hughes-More Network Services Officer
Date:	08/10/07
Our Ref:	NCSW-07-21013
Your Ref:	A93243 / LT7012372
Number of pages (including this page)	1

**Re: Proposed Road Dedication - Wellington Street, Albany
Affecting Reserve 5163 and Lot Sub 302**

Dear Robert,

Western Power, wish to advise that there are no objections to the changes you propose to carry out for the above-mentioned project.

1. Perth One Call Service (Phone 1100 or 9424 8117) must be contacted and location details (of Western Power's underground cable) obtained prior to any excavation commencing.
2. Work Safe requirements must be observed when excavation work is undertaken in the vicinity of Western Power's assets.

Western Power is obliged to point out that the cost of any changes to the existing (power) system, if required, will be the responsibility of the individual developer.

Yours faithfully,

Karen Hughes-More
 Network Services Officer
 Customer Assist
 Customer Services Division
 Western Power - 85 Prinsep Rd Jandakot WA 6164 [map]

150



Department for Planning and Infrastructure
Government of Western Australia

[Agenda Item 11.4.3 refers]
[Bulletin Item 1.1.12] 6 pages

Doc No: City of Albany Records
ICR7038454
File: A168743

Date: 18 SEP 2007
Officer: EDDS

Enquiries: Trish Ryans-Taylor
Our Ref: 402-5-2-21-1 PV2
Your Ref: A168743/LT7012375

City of Albany
PO Box 484
Albany WA 6331

ATTN: Robert Fenn

Dear Robert

BAKER STREET ROAD DEDICATION

Thank you for your letter dated 12 September 2007 regarding the proposed reopening of a section of Baker Street, Lower King.

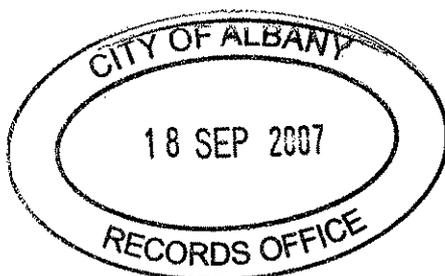
Our records indicate that the land is currently designated as a Class C Reserve for Public Recreation and appears to be vegetated with a minor watercourse transecting the land near the southern boundary.

I advise that the Commission has no objection to the above proposal provided that the various surrounding landowners and service agencies are consulted regarding the site.

Yours faithfully

GEORGINA FOLVIG
MANAGER - REGIONAL PLANNING
GREAT SOUTHERN REGION

13 September 2007



151

Our Ref: 1542

25 October 2007

The Chief Executive Officer
City of Albany
PO Box 484
ALBANY WA 6331

Attention: Mr. Robert Fenn – Executive Director Development Services

Dear Sir,

BAKER STREET ROAD DEDICATION

Planning Solutions (Aust) Pty Ltd acts on behalf of Anchorage Park, the registered proprietor of Lot 120 (18) Hadley Street, Lower King.

We refer to the City's letter dated 12 September 2007 to our Client, seeking comment on the proposal to re-open the section of Baker Street currently incorporated in Reserve 32523.

Comments within the City's referral letter lead one to infer that the City intends to recommend the Western Australian Planning Commission require the proposed road be constructed by our Client, in association with the anticipated future subdivision of Lot 120 Hadley Street.

Insofar as the City's letter and actions appear to preempt the consideration of any future subdivision application for Lot 120, our Client wishes to reserve their position with regard to the dedication of the subject portion of Baker Street. That is, 'in principle' non-objection to the proposed dedication of the subject portion of Baker Street should not be construed as implicit acceptance by our Client of any condition which may or may not be imposed on any future subdivision application.

Should you have any queries or require any clarification in regard to the matters raised, please do not hesitate to contact the undersigned.

Yours sincerely,



BEN DOYLE
SENIOR PLANNER

071025 1230 submission.doc

Robert Fenn

From: karen.hughesmore@westernpower.com.au on behalf of customer.contactcentre@westernpower.com.au
Sent: Monday, 8 October 2007 9:06 AM
To: Robert Fenn
Subject: NCSW-07-21006 - Robert Fenn (City of Albany) - Proposed Road Dedication - Baker Street, Lower King Affecting Reserve 32523



Section:	Customer Assist
Division:	Customer Services
Telephone No:	13 10 87
Facsimile No:	+61 8 9225 2660
Email:	customer.contactcentre@westernpower.com.au
Mailing Address:	Locked Bag 2511, Perth WA 6001
To:	Robert Fenn
Email or Fax:	robertf@albany.wa.gov.au
From:	Karen Hughes-More Network Services Officer
Date:	08/10/07
Our Ref:	NCSW-07-21006
Your Ref:	A168743 / LT7012375
Number of pages (including this page)	1

**Re: Proposed Road Dedication - Baker Street, Lower King
Affecting Reserve 32523**

Dear Robert,

Western Power, wish to advise that there are no objections to the changes you propose to carry out for the above-mentioned project.

1. Perth One Call Service (Phone 1100 or 9424 8117) must be contacted and location details (of Western Power's underground cable) obtained prior to any excavation commencing.
2. Work Safe requirements must be observed when excavation work is undertaken in the vicinity of Western Power's assets.

Western Power is obliged to point out that the cost of any changes to the existing (power) system, if required, will be the responsibility of the individual developer.

Yours faithfully,

Karen Hughes-More
 Network Services Officer
 Customer Assist
 Customer Services Division
 Western Power - 85 Prinsep Rd Jandakot WA 6164 [map]

153

Your Ref: A168743/LT7012375
Our Ref: Grange 3647851
Enquiries: G Wright
Telephone: 98424230



September 26, 2007

City of Albany
PO Box 484
ALBANY WA 6331

City of Albany Records
Doc No: ICR7039212
File: A168743
Date: 27 SEP 2007
Officer: EDDS
Attach:

Great Southern Regional Office
215 Lower Stirling Terrace
ALBANY WA 6330
PO Box 915
ALBANY WA 6331
Tel (08) 9842 4211
Fax (08) 9842 4255
www.watercorporation.com.au

Attention: Mr Robert Fenn

**CITY OF ALBANY
BAKER STREET ROAD DEDICATION**

Dear Robert,

I refer to your letter of September 12, 2007 regarding the proposal to re-open a section of Baker Street, Lower King between Slater Street and Hadley Street.

You are advised that the Water Corporation has a critical wastewater pumping station located in Baker Street immediately to the south of the proposed works. It is imperative that this facility remains fully operational at all times.

A 150mm AC water main is also located on the eastern side of Baker Street which must also remain undisturbed and fully functional at all times.

The Water Corporation has no objection to the proposal subject to the following conditions:

- All costs associated with protecting, re-locating or adjusting levels of existing water and sewerage infrastructure that may be affected by this proposal are to be fully funded by Council.

A plan indicating the general location of these facilities is attached for your information.

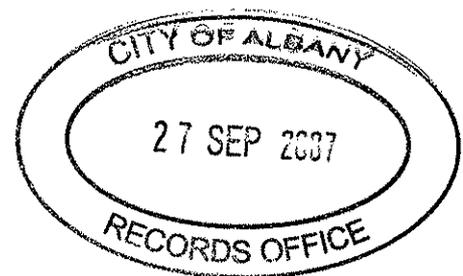
Should you require any additional information, please do not hesitate to contact me.

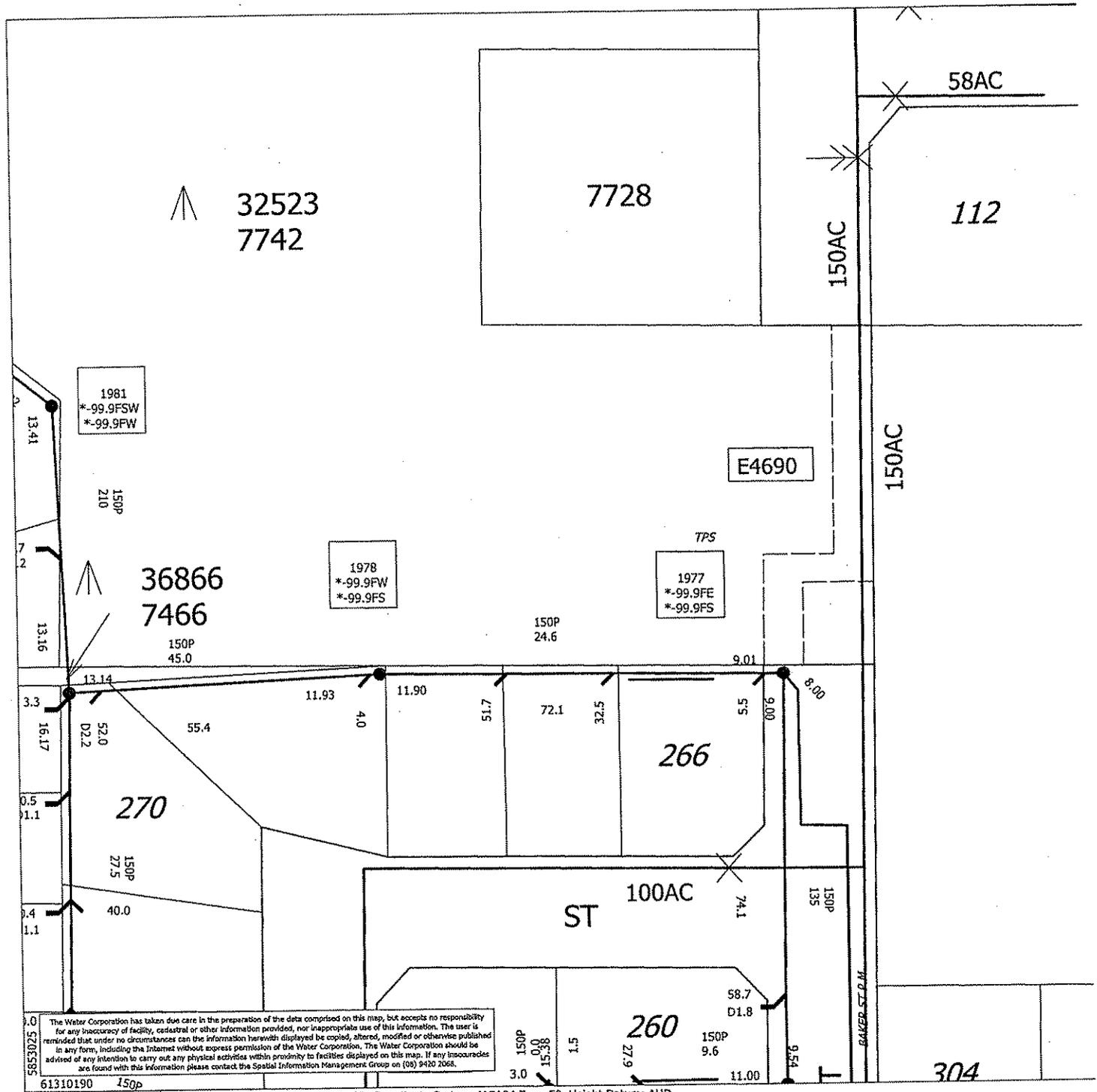
Yours sincerely

A handwritten signature in black ink, appearing to read "Rod Collins".

for Rod Collins
Manager Assets GSR
Asset Management Division

154





Screen bk26/14.11 UNKNOWN Date Printed: 20/09/07 12:44:03 Coordinate System: MGA94 Zone 50 Height Datum: AHD

Facsimile



Alinta

Alinta Asset Management Pty Ltd
ABN 52 104 352 650

Alinta Plaza
12-14 The Esplanade
PERTH WA 6000

Postal Address
P.O. Box 8491
Perth BC 6849

Contact Numbers
Ph (08) 6213 7000
Fx (08) 6213 7400

To: CITY OF ALBANY
ROBERT FENN

Fax No: 98414099

From: FRANK RIZZI
DRAFTSMAN GIS

No. of pages: 1 (including this page)

Date: 19 September 2007

For any queries regarding the transmission of this facsimile please telephone: 6213 7000

Please reply on facsimile number: 6213 7400

Our Ref:13.18.2

Your Ref: A168743 / LT7012375

Dear Sir/Madam,

RE: BAKER STREET ROAD DEDICATION.

Thank you for your letter of the 12 September, 2007 and the enclosed plan concerning the above area.

We wish to advise that we have no AlintaGas Network Assets in the area specified.

The Alinta Asset Management Pty Ltd has no proposed work which will require amendment to your works.

Yours Faithfully


FRANK RIZZI

Mapping Officer GIS

City of Albany Records
Doc No: EF6021581
File: SER088

Date: 21 DEC 2006
Officer: MPR,SP1

Attach:

Facsimile

Alinta Plaza
12-14 The Esplanade
PERTH WA 6000

Postal Address
P.O. Box 8491
Perth BC 6849

Contact Numbers
Ph (08) 6213 7000
Fx (08) 6213 7400



Alinta Asset Management Pty Ltd
ABN 52 104 352 650

To: GRAEME BRIDE
ALBANY

Fax No: 9841 4099

From: LEWIS SEARLE

No. of pages: (including this page)

Date: 21 December, 2006

For any queries regarding the transmission of this facsimile please telephone: 6213 7000
Please reply on facsimile number: 6213 7400

Our Ref:13.18.2.1

Your Ref: SER088/LT606211

Dear Sir/Madam,

RE: PROPOSED ROAD CLOSURE OF PORTION OF LITTLE OXFORD STREET, ALBANY

Thank you for your letter of the 16 November, 2006 and the enclosed plan concerning the above area.

We wish to advise that we have no AlintaGas Network Assets in the area specified.

The Alinta Asset Management Pty Ltd has no proposed work which will require amendment to your works.

Yours Faithfully

A handwritten signature in black ink, appearing to be "L. Searle", written over a circular stamp or mark.

L. SEARLE
DRAFTSPERSON G.I.S.



SER088/LT606211
AL1 2002 00011
Len Wignall
9842 4240

CITY OF ALBANY
PO BOX 484
ALBANY WA 6331

Great Southern Regional Office
215 Lower Stirling Terrace
ALBANY WA 6330

PO Box 915
ALBANY WA 6331

Tel (08) 9842 4211
Fax (08) 9842 4255

www.watercorporation.com.au

24 November 2006

ATT: Graeme Bride

Dear Sir/Madam

PROPOSED ROAD CLOSURE OF PORTION OF LITTLE OXFORD STREET

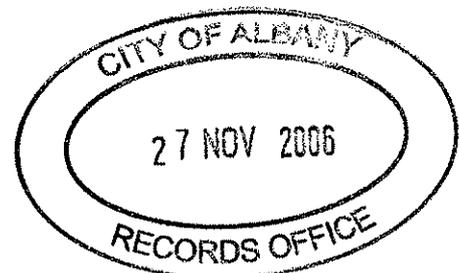
Your correspondence of 16th November 2006 refers.

The Water Corporation has no objections to the above Road Closure.

Should you have any queries do not hesitate to contact us.

Yours truly,

Len Wignall
Land Development Officer
Great Southern Region



EF 7040888 .

Deb Delury

From: karen.hughesmore@westernpower.com.au on behalf of customer.contactcentre@westernpower.com.au
Sent: Wednesday, 24 October 2007 12:45 PM
To: Deb Delury
Subject: NCSW-07-22355 - Deb Delury (City of Albany) - Proposed Road Closure of Portion of Little Oxford Street, Gledhow



Section:	Customer Assist
Division:	Customer Services
Telephone No:	13 10 87
Facsimile No:	+61 8 9225 2660
Email:	customer.contactcentre@westernpower.com.au
Mailing Address:	Locked Bag 2511, Perth WA 6001
To:	Deb Delury
Email or Fax:	debd@albany.wa.gov.au
From:	Karen Hughes-More Network Services Officer
Date:	24/10/07
Our Ref:	NCSW-07-22355
Your Ref:	DER088 / LT606211
Number of pages (including this page)	1

Re: Proposed Road Closure of Portion of Little Oxford Street, Gledhow

Dear Deb,

Western Power, wish to advise that there are no objections to the road closure you propose to carry out for the above-mentioned project.

1. Perth One Call Service (Phone 1100 or 9424 8117) must be contacted and location details (of Western Power's underground cable) obtained prior to any excavation commencing.
2. Work Safe requirements must be observed when excavation work is undertaken in the vicinity of Western Power's assets.

Western Power is obliged to point out that the cost of any changes to the existing (power) system, if required, will be the responsibility of the individual developer.

Yours faithfully,

Karen Hughes-More
Network Services Officer

Please consider the environment before you print this e-mail.

Electricity Networks Corporation, trading as Western Power
ABN: 18 540 492 861

TO THE ADDRESSEE -

this email is for the intended addressee only and may contain information that is confidential.
If you have received this email in error, please notify us immediately by return email or by telephone.
Please also destroy this message and any electronic or hard copies of this message.

Any claim to confidentiality is not waived or lost by reason of mistaken transmission of this email.

Unencrypted email is not secure and may not be authentic. Western Power cannot guarantee the accuracy, reliability, completeness or confidentiality of this email and any attachments.

VIRUSES -

Western Power scans all outgoing emails and attachments for viruses, however it is the recipient's responsibility to ensure this email is free of viruses.



City of Albany Records
 Doc No: ICR6020178
 File: SER088

27 November 2006

Date: 29 NOV 2006
 Officer: MPR

Network Integrity

Your Ref: SER088/LT606211

Attach:

4th Floor Telstra Centre
 80 Stirling St
 PERTH WA 6000

**Graeme Bride
 City of Albany
 PO Box 484
 Albany 6331
 WA**

Postal Address:
 Locked Bag 2522
 PERTH WA 6001

Telephone 9491 6371
 Facsimile 9491 6265

Dear Graeme,

Re: PROPOSED ROAD CLOSURE OF PORTION OF LITTLE OXFORD STREET

Thank you for your communication dated 16th November 2006 in respect to the proposed road closure at the location specified above.

Telstra's plant records indicate that there are no **assets in this vicinity**; and therefore have no objections to your proposal.

However, Telstra would appreciate due confirmation when this road closure proceeds so as to update its cadastre records. Information regarding acquisition of the land would be of benefit to us and should be directed to:

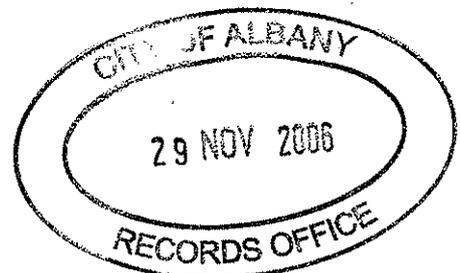
Telstra Corporation Limited
 Attention: Team Leader Graphical Data
 DMC
 PO Box 102
 Toormina
 NSW 2452

Would you please pass all information contained in this communication to all parties involved in this road closure process? If you have any queries regarding the above, or otherwise, please do not hesitate to contact me on the above telephone number.

Yours sincerely,

PP

MARTIN MORRIS
 Manager (Western Region)
 Damage Minimisation & Recoverable Works



ALNY





Doc No: City of Albany Records
ICR7040872
File: A38895

Date: 23 OCT 2007
Officer: MPR

Attach:

Graeme Bride,
Manager Planning & Ranger Services
City of Albany
WA 6330

PO Box 189
Denmark
WA 6333
17th October 2007

Re: 67 Oxford Street, Gledhow. WA 6330 and closure of portion of Little Oxford Street, Gledhow.

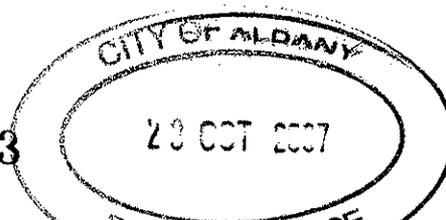
Dear Graeme,

I would be interested in purchasing 100% of the Little Oxford road reserve at the rear of the property situated at 67 Oxford Street. Please keep me informed of any developments in regards to Council decisions relating to this matter.

Yours faithfully,

Simon Coppock.

163



JG (Gerry) Kelly (ABN 52 953 010 694)

Y (Yvonne) W Attwell (ABN 72 499 874 293)

PO Box 1335

ALBANY WA 6331

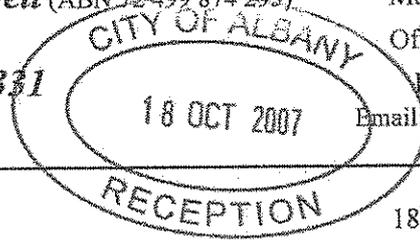
Mobile: 0418 929 165

Mobile: 0419 851 343

Office: +61 8 9842 2464

Fax: +61 8 98422 515

Email: kellatt2000@wn.com.au



18th October 2007



City of Albany
PO Box 484
ALBANY WA 6331

City of Albany Records
Doc No: ICR7040601
File: A25810

Date: 18 OCT 2007
Officer: MPR

Attention: Graeme Bride.

Attach:

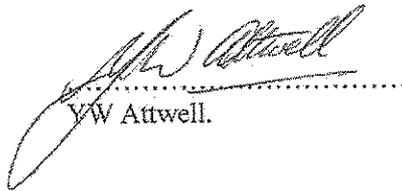
Dear Graeme,

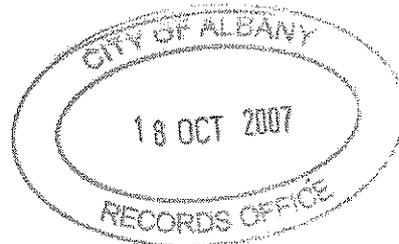
Re: Closure of Portion of Little Oxford Street, Gledhow.
Your Ref: A2581/LT7012841

In reply to your letter dated 10.10.07, we advise that we would be prepared to go along with either item B or C.

Obviously this will depend on the response you get from other land owners and we would prefer it to be one option or the other. The reason being to have the newly created lots with the rear boundary (Little Oxford Street) as a common straight line.

Regards,
YW Attwell and JG Kelly.


Yvonne W Attwell.



71 Oxford St
Gledhow
Albany
WA 6330



City of Albany
102 North Road
Yakamia
WA 6330

City of Albany Records
Doc No: ICR7040326
File: A30524
Date: 16 OCT 2007
Officer: MPR

Dear Mr Bride,

Attach:

Your Ref: A30524/LT7012838

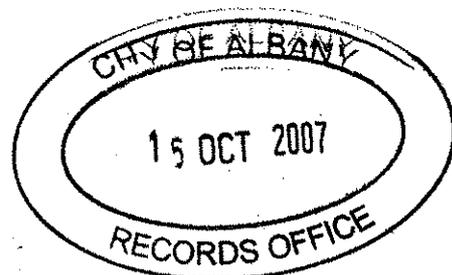
Thank for your letter dated 5th October, regarding Closure of portion of Little Oxford Street, Gledhow.

We would like to confirm our interest in purchasing 100% of the road reserve at the rear of our property.

Our continuing interest will of course depend on the precise valuation from the Valuer General.

Faithfully,

Darren Kay.





City of Albany Records
 Doc No: ICR7040238
 File: SER077
 Date: 15 OCT 2007
 Officer: EDWS2
 Attach:

12-10-07
 Albany
 73 Oxford St

Dear Sir, Madam or ?

I Colin Woods own block 8, freehold at above address. The block is completely cleared & 130 trees, mainly river gum, I have planted in order to dry the block out.

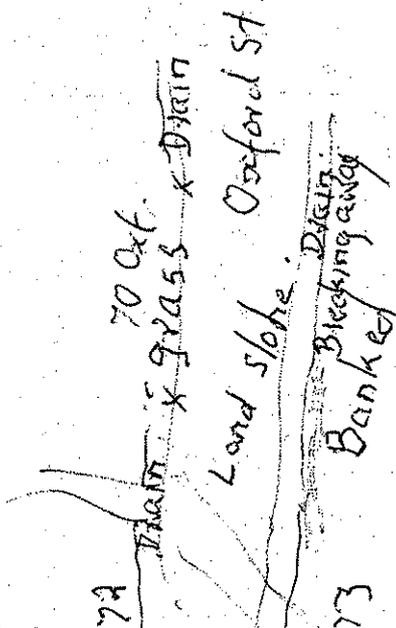
There are also 30 fruit trees. Only 12 trees are on part of the land you are taking on Little Oxford St.

Sincerely,
 C. Woods

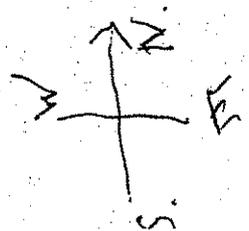
I need to know the price as I'm a 70 y^{old} pensioner.

Bottom end of Oxford St was sold \$1000 land \$2000 survey fee & yet all blocks were fenced. Way to high. It's still there taking the water drainage off Oxford St.

Why hasn't 70 Oxford St had to place underwater drains on his property? as in a heavy rain the run off comes 45° across Oxford St into Eastern^{drain} & is washing out this drain.



Closed Little Oxford St.



Agenda Item Attachments

CORPORATE & COMMUNITY SERVICES SECTION

CHEQUES	DATE	CREDITOR	PARTICULARS	AMOUNT
23533	04/10/2007	AMP FLEXIBLE LIFETIME SUPER PLAN	SUPERANNUATION CONTRIBUTIONS	327.82
23534	04/10/2007	COMMONWEALTH BANK RSA	SUPERANNUATION CONTRIBUTIONS	278.38
23535	04/10/2007	HOSTPLUS PTY LTD	SUPERANNUATION CONTRIBUTIONS	245.02
23536	04/10/2007	IIML ACF LIFETRACK APPLICATION TRUST	SUPERANNUATION CONTRIBUTIONS	538.48
23537	04/10/2007	ALINTAGAS NETWORKS PTY LTD	DAMAGE TO ALINTA GAS PIPES ON 20/09/07 AT 80 MCKAIL ST ALBANY	90.95
23538	04/10/2007	CAROLE BEAUMONT	COORDINATION OF MULTIMEDIA COMPONENT OF JOAN MAY CAMPBELL RETROSPECTIVE	1,500.00
23539	04/10/2007	HAYLEY FLETCHER	ADMIN ASSISTANT - VAC	673.98
23540	04/10/2007	LUSH GARDEN GALLERY	FLOWERS FOR YORK STREET ROUND-A-BOUT	275.00
23541	04/10/2007	MCKAILS GENERAL STORE	ALCOHOL FOR AIRPORT TRAINING	229.98
23542	04/10/2007	NORMAN HOUSE	4 NIGHTS ACCOMMODATION FOR SPRUNG FESTIVAL	320.00
23543	04/10/2007	PETTY CASH - ALBANY REGIONAL DAY CARE CENTRE	PETTY CASH RECOUP	196.50
23544	04/10/2007	TELSTRA CORPORATION LIMITED	TELEPHONE CHARGES	304.79
23545	04/10/2007	WATER CORPORATION	WATER CONSUMPTION	212.05
23546	04/10/2007	ALBANY VOLUNTEER FIRE BRIGADE	DONATION FOR 2007 CLASSIC MOTOR EVENT	500.00
23547	04/10/2007	MUNICIPAL ASSOC. OF VICTORIA	COMMUNITY ASSISTANCE DONATION	550.00
23548	04/10/2007	JACOB CROWE	CONFERENCE FEES FOR PLANNING & BUILDING COMMUNITY	200.00
23550	04/10/2007	MARK JONATHAN BIRD	CROSS-OVER	220.39
23551	04/10/2007	ERIC HAYWARD	ARTIST FEE FOR SPRUNG	2,500.00
23552	04/10/2007	ROD VERVEST	STORY TO SONG PROJECT FEE FOR SPRUNG	285.00
23553	04/10/2007	ALISON LESTER	WRITERS FEES FOR SPRUNG	1,978.59
23554	11/10/2007	ALBANY SENIOR HIGH SCHOOL	TOWN HALL PERFORMANCE: CULTURE US	1,388.96
23555	11/10/2007	ALBANY PUBLIC LIBRARY	STAFF TEA MONEY - 18 STAFF @ \$1 PER PERSON/WEEK	72.00
23556	11/10/2007	ALBANY REGIONAL VOLUNTEER SERVICE	ULTIMATE IDEAS WORKSHOP 17/10/07 - GUY MARTIN	55.00
23557	11/10/2007	BBDC PUBLICATIONS PTY LTD	SUBSCRIPTION TO THE STATION	34.00
23558	11/10/2007	DEPT FOR PLANNING & INFRASTRUCTURE	VEHICLE REGISTRATION	407.40
23559	11/10/2007	KMART ALBANY	Bedding and Extension cords	220.48
23560	11/10/2007	PETTY CASH - DEPOT	PETTY CASH REIMBURSEMENT	348.90
23561	11/10/2007	PETTY CASH - ALBANY PUBLIC LIBRARY	PETTY CASH REIMBURSEMENT	187.25
23562	11/10/2007	PETTY CASH - CITY OF ALBANY	PETTY CASH REIMBURSEMENT	348.15
23563	11/10/2007	PETTY CASH - WORKS & SERVICES	PETTY CASH REIMBURSEMENT	174.80
23564	11/10/2007	PREMIER HOTEL	ALCOHOL FOR TOWN HALL	151.09
23565	11/10/2007	TELSTRA CORPORATION LIMITED	TELEPHONE CHARGES	919.88
23566	11/10/2007	WATER CORPORATION	WATER CONSUMPTION	560.75
23570	11/10/2007	MANDY HARRIS	REFUND OF TICKET PURCHASES	89.80
23571	11/10/2007	NICHOLAS CRUCHANDEU	REFUND OF \$80 FOR ATTENDING INTERVIEW FOR PLANNING POSITION	80.00
23572	11/10/2007	CAROLYN & CRAIG SAUNDERS	CROSS-OVER	211.55
23573	11/10/2007	PAUL & CARRIE BEECK	CROSS-OVER	190.94
23574	11/10/2007	MICHAEL CROWE	CROSS-OVER	158.55
23575	11/10/2007	G SCHERRER	CROSS-OVER	246.89
23576	11/10/2007	TANYA CAMPBELL	REFUND AS OVERCHARGED	20.00
23577	11/10/2007	JOAN MAY CAMPBELL	ARTIST FEE	1,000.00

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23578	12/10/2007	WESTERN AUSTRALIAN PLANNING COMMISSION	APPLICATION FEE FOR AMENDED SUB-DIVISION PLANS FOR LOT 75 & LOT 247 CULL ROAD LOCKYER.	-	2,980.00
23579	16/10/2007	JAZZ MASALA	TOWN HALL PERFORMANCE: RUSSELL HOLMES TRIO	-	1,714.38
23580	18/10/2007	CIRCUITWEST INC	REGISTRATION FEES FOR CIRCUITWEST CONFERENCE	-	220.00
23581	18/10/2007	DSLNET AUSTRALIA	Wireless Network Site Survey	-	3,850.00
23582	18/10/2007	KAY DIANNE EMBLETON	COMMUNITY ARTIST/TEACHER FEE	-	525.00
23583	18/10/2007	PETTY CASH - VISITORS CENTRE	REIMBURSE PETTY CASH	-	70.45
23584	18/10/2007	COMMISSIONER OF STATE REVENUE	STAMP DUTY FEE	-	30.00
23585	18/10/2007	TELSTRA CORPORATION LIMITED	TELEPHONE CHARGES	-	13,459.66
23586	18/10/2007	UWA ALBANY CENTRE	UWA ONLINE TRAINING	-	139.00
23587	18/10/2007	WA LOCAL GOVT SUPERANNUATION	SUPERANNUATION CONTRIBUTIONS	-	716.40
23588	18/10/2007	WATER CORPORATION	WATER CONSUMPTION	-	962.15
23589	18/10/2007	JOY & MIKE LEFROY	FEES ASSOCIATED WITH SPRUNG 2007	-	1,370.00
23590	18/10/2007	G V KLEM	PROFESSIONAL SERVICES ASSOCIATED WITH PEER REVIEW	-	3,150.00
23591	18/10/2007	DEPT FOR PLANNING & INFRASTRUCTURE	9 X AMAZING ALBANY NUMBER PLATES (\$130 EACH)	-	1,170.00
23592	25/10/2007	DENMARK HISTORICAL SOCIETY INC.	COPY OF ELLEKER-DENMARK-NORNALUP: THE RAILWAY EXTENDED WEST BUT NEVER MET..."	-	70.00
23593	25/10/2007	GREEN RANGE COUNTRY CLUB	HALL HIRE & CATERING	-	762.70
23594	25/10/2007	ALAC	SOCCER UMPIRE FEES	-	800.00
23595	25/10/2007	STEVE MARSHALL	COUNCILLOR ALLOWANCE	-	76.63
23596	25/10/2007	PETTY CASH - ALBANY AQUATIC & LEISURE CENTRE	PETTY CASH REIMBURSEMENT	-	192.70
23597	25/10/2007	TELSTRA CORPORATION LIMITED	TELEPHONE CHARGES	-	2,115.76
23598	25/10/2007	DANIEL WISEMAN	COUNCILLOR ALLOWANCE	-	1,839.13
23599	25/10/2007	MEGAN PORTER	DAVE MANN SUPPORT GIG	-	100.00
23600	25/10/2007	WILLA FARMER	FUEL ASSISTANCE FOR EXPENSES ASSOCIATED WITH THE ABORIGINAL ACCORD WORKSHOP	-	33.42
23601	25/10/2007	DEPT OF EDUCATIONAL SERVICES	DEED OF GRANT OF EASEMENT - GREAT SOUTHERN GRAMMAR SCHOOL	-	99.00
23602	25/10/2007	MURRAY & LEANNE SWARBRICK	CROSS-OVER	-	217.44
23603	25/10/2007	JULIE ANN POOLEY	REIMBURSEMENT OF EXPENSES RELATING TO BUSHFIRE BRIGADES	-	377.38
23604	25/10/2007	WORKSAFE WESTERN AUSTRALIA	APPLICATIONS FOR CERTIFICATES FOR COMPETENCY	-	284.00
23605	01/11/2007	AMP FLEXIBLE LIFETIME SUPER PLAN	SUPERANNUATION CONTRIBUTIONS	-	327.82
23606	01/11/2007	ASGARD	PAYROLL DEDUCTIONS	-	612.55
23607	01/11/2007	CBUS	SUPERANNUATION CONTRIBUTIONS	-	227.80
23608	01/11/2007	COMMONWEALTH BANK RSA	SUPERANNUATION CONTRIBUTIONS	-	278.38
23609	01/11/2007	HOSTPLUS PTY LTD	SUPERANNUATION CONTRIBUTIONS	-	245.02
23610	01/11/2007	IIML ACF LIFETRACK APPLICATION TRUST	SUPERANNUATION CONTRIBUTIONS	-	522.72
23611	01/11/2007	SUNCORP LIFE & SUPERANNUATION LTD	SUPERANNUATION CONTRIBUTIONS	-	238.98
23612	01/11/2007	BANKWEST CONVEYANCING	RATES REFUND FOR ASSESSMENT A201270	-	161.39
23613	01/11/2007	BARRY FRANCIS GOMM	COSTS ASSOCIATED WITH REVIEW OF PROPOSED SUB-DIVISION GUIDE PLAN FOR LINK ROAD ALBANY	-	6,154.50
23614	01/11/2007	KMART ALBANY	KETTLE	-	29.99
23615	01/11/2007	SENSIS PTY LTD	YELLOW PAGES ONLINE ADVERT	-	45.20
23616	01/11/2007	PETTY CASH - ALBANY PUBLIC LIBRARY	PETTY CASH REIMBURSEMENT	-	134.05
23617	01/11/2007	RAINBOW COAST WRECKERS	TRANSPORTATION OF WRECK TO AND FROM AIRPORT	-	100.00

23618	01/11/2007	PREMIER HOTEL	ALCOHOL FOR TOWN HALL	-	64.98
23619	01/11/2007	SISTERS OF ST JOSEPH NSW PROVINCE	MUSIC HISTORY & COMPOSERS	-	20.00
23620	01/11/2007	TELSTRA CORPORATION LIMITED	TELEPHONE CHARGES	-	80.15
23621	01/11/2007	I F MOSS	APPLICATION FOR PLANNING SCHEME CONSENT REIMBURSEMENT	-	220.80
23622	01/11/2007	PENELOPE ALLSOPP	APPLICATION FOR PLANNING SCHEME CONSENT REIMBURSEMENT	-	200.00
23623	01/11/2007	P O'DONNELL	APPLICATION FOR PLANNING SCHEME CONSENT REIMBURSEMENT	-	50.00

TOTAL - **66,332.85**

C/CARD	DATE	CREDITOR	PARTICULARS		AMOUNT
	31-Aug-07	Promaco	DS Conference	-	1,019.00
	3-Sep-07	Skywest	Sprung	-	369.00
	4-Sep-07	Skywest	WS Conference	-	905.20
	5-Sep-07	Skywest	Waste Conference	-	498.80
	6-Sep-07	Skywest	AWF Meeting	-	498.80
	11-Sep-07	Shire of Denmark	Coastal Conference	-	520.00
	18-Sep-07	Qantas	Airport Conference	-	1,378.39
	18-Sep-07	Qantas	Airport Conference	-	1,378.39
	18-Sep-07	Southbound Aust	Tourism Conference	-	1,747.62
	19-Sep-07	Skywest	SLWA Visit	-	425.10
	19-Sep-07	Skywest	Airport Conference	-	498.80
	19-Sep-07	Skywest	Airport Conference	-	498.80
	22-Sep-07	Travelodge	CCS Training	-	523.65
	26-Sep-07	Skywest	ALAC Development	-	443.80
	26-Sep-07	Skywest	ALAC Development	-	997.60
			TOTAL	-	11,702.95
			PAYROLL TOTAL	-	632,947.00

EFT	DATE	CREDITOR	PARTICULARS	AMOUNT
EFT40151	03/10/2007	CRANIUM MANAGEMENT	TOWN HALL PRODUCTION: ADAM HARVEY. I'M DOING ALRIGHT	2,555.50
EFT40152	04/10/2007	ALBANY COMMUNITY HOSPICE	EMPLOYEE DEDUCTIONS	32.00
EFT40153	04/10/2007	AMP SUPERLEADER	SUPERANNUATION CONTRIBUTIONS	322.66
EFT40154	04/10/2007	AUSTRALIAN MANUFACTURING WORKERS UNION	Payroll deductions	34.60
EFT40155	04/10/2007	AUSTRALIAN SERVICES UNION WA BRANCH	EMPLOYEE DEDUCTIONS	2,157.90
EFT40156	04/10/2007	AUSTRALIAN PRIMARY SUPERANNUATION FUND	SUPERANNUATION CONTRIBUTIONS	252.94
EFT40157	04/10/2007	AUSTRALIAN SUPER	SUPERANNUATION CONTRIBUTIONS	290.38
EFT40158	04/10/2007	SKANDIA GLOBAL SUPER SOLUTION	Payroll deductions	3,368.31
EFT40159	04/10/2007	BEACON INVESTMENT MANAGEMENT SERVICES	SUPERANNUATION CONTRIBUTIONS	391.90
EFT40160	04/10/2007	CHILD SUPPORT AGENCY	EMPLOYEE DEDUCTIONS	808.50
EFT40161	04/10/2007	COLONIAL FIRST STATE ROLLOVER & SUPER FUND	SUPERANNUATION CONTRIBUTIONS	132.10
EFT40162	04/10/2007	COLONIAL FIRST STATE FIRSTCHOICE PERSONAL SUPER	SUPERANNUATION CONTRIBUTIONS	322.66
EFT40163	04/10/2007	HBF OF WA	EMPLOYEE DEDUCTIONS	1,009.20
EFT40164	04/10/2007	ING LIFE LIMITED	SUPERANNUATION CONTRIBUTIONS	179.10
EFT40165	04/10/2007	ING LIFE LIMITED	SUPERANNUATION CONTRIBUTIONS	148.46
EFT40166	04/10/2007	LIFETIME SUPERANNUATION FUND	SUPERANNUATION CONTRIBUTIONS	313.78
EFT40167	04/10/2007	MLC NOMINEES PTY LTD	SUPERANNUATION CONTRIBUTIONS	245.02
EFT40168	04/10/2007	REST SUPERANNUATION	SUPERANNUATION CONTRIBUTIONS	655.40
EFT40169	04/10/2007	SKANDIA GLOBAL SUPER SOLUTION	SUPERANNUATION CONTRIBUTIONS	120.87
EFT40170	04/10/2007	SKANDIA GLOBAL SUPER SOLUTION	SUPERANNUATION CONTRIBUTIONS	252.94
EFT40171	04/10/2007	SKANDIA GLOBAL SUPER SOLUTION	SUPERANNUATION CONTRIBUTIONS	292.31
EFT40172	04/10/2007	TWU SUPER	SUPERANNUATION CONTRIBUTIONS	343.56
EFT40173	04/10/2007	WA LOCAL GOVT SUPERANNUATION	SUPERANNUATION CONTRIBUTIONS	85,830.97
EFT40174	04/10/2007	WESTSCHEME	SUPERANNUATION CONTRIBUTIONS	1,325.26
EFT40175	04/10/2007	A-Z COMMERCIAL STEEL CONSTRUCTION	STEEL PRODUCTS	370.00
EFT40176	04/10/2007	ACTIV FOUNDATION INC	CLEANING RAGS	110.00
EFT40177	04/10/2007	ADAMS TOTAL TREE SERVICE	Supply of mulching machine and operators	990.00
EFT40178	04/10/2007	ADVERTISER PRINT	TOWN HALL NEWSLETTERS	823.00
EFT40179	04/10/2007	AEC SYSTEMS PTY LTD	Renewal Civil3D Annual Licence	6,435.00
EFT40180	04/10/2007	ALBANY ADVERTISER LTD	ADVERTISING	495.00
EFT40181	04/10/2007	ALBANY STATIONERS	STATIONERY SUPPLIES	770.75
EFT40182	04/10/2007	ALBANY GATEWAY INCORPORATED	SITE BANNER AD FOR 12 MONTHS ON ALBANY GATEWAY AMAZING ALBANY FROM 1 OCTOBER 2007	792.00
EFT40183	04/10/2007	ALBANY HISTORICAL SOCIETY	MANNING & CLEANING OF BRIG AMITY FOR SEPTEMBER	600.00
EFT40184	04/10/2007	ALBANY MOBILE WELDING	WELDING SERVICES	1,251.80
EFT40185	04/10/2007	HOME TIMBER & HARDWARE	HARDWARE SUPPLIES	13.25
EFT40186	04/10/2007	ALINTA	GAS USAGE CHARGES	467.00
EFT40187	04/10/2007	AMITY CRAFTS	2 DAYS IN OFFICE (VANCOUVER ARTS) 17 & 24/09/07	285.00

EFT40188	04/10/2007	KEN AMSON	TRAVEL ALLOWANCE - FORTS	-	57.60
EFT40189	04/10/2007	ATC WORK SMART	CASUAL STAFF FEES	-	3,079.76
EFT40190	04/10/2007	AUSTENITIC STEEL PRODUCTS	STAINLESS STEEL PRODUCTS	-	1,114.61
EFT40191	04/10/2007	AUSTRALIAN AIR EXPRESS PTY LIMITED	FREIGHT CHARGES	-	51.79
EFT40192	04/10/2007	ALBANY AUTOSPARK	VEHICLE REPAIRS/PARTS	-	75.00
EFT40193	04/10/2007	AYTON TAYLOR & BURRELL	CULL ROAD SUBDIVISION - PREPARATION OF DRAFT DESIGN GUIDELINES	-	3,877.50
EFT40194	04/10/2007	BT EQUIPMENT PTY LTD	VEHICLE PARTS	-	615.41
EFT40195	04/10/2007	BARNESBY FORD	VEHICLES/VEHICLE PARTS/REPAIRS	-	25,058.05
EFT40196	04/10/2007	WENDY BINNING	TRAVEL ALLOWANCE - FORTS	-	48.00
EFT40197	04/10/2007	BOC GASES AUSTRALIA LIMITED	CONTAINER SERVICE RENTAL	-	409.62
EFT40198	04/10/2007	P & F BOCCAMAZZO PTY LTD	GRAVEL FOR MARBELLUP NTH RD FROM COCHRANE RD PIT	-	13,582.80
EFT40199	04/10/2007	BREAC CONSULTING	2 x food handling workshops (am, pm)	-	825.00
EFT40200	04/10/2007	BUNNINGS BUILDING SUPPLIES PTY LTD	HARDWARE/TOOL SUPPLIES	-	153.09
EFT40201	04/10/2007	CAMLYN SPRINGS WATER DISTRIBUTORS	WATER CONTAINER REFILLS	-	132.00
EFT40202	04/10/2007	DONELLE CAMERON	REIMBURSEMENT OF TRAVEL EXPENSES - TRAINING IN PERTH	-	183.00
EFT40203	04/10/2007	J & S CASTLEHOW	ELECTRICAL REPAIRS/MAINTENANCE	-	577.50
EFT40204	04/10/2007	CASTROL AUSTRALIA PTY. LIMITED	OIL SUPPLIES	-	1,131.35
EFT40205	04/10/2007	THE ARTISTS CHRONICLE	18 X 4CM DISPLAY AD BLACK & WHITE ALBANY ART PRIZE.	-	286.00
EFT40206	04/10/2007	CITY OF GERALDTON-GREENOUGH	LOCAL STUDIES FORUM AT THE GERALDTON REGIONAL LIBRARY	-	385.00
EFT40207	04/10/2007	BIS CLEANAWAY LIMITED	RUBBISH REMOVAL CONTRACT	-	72.17
EFT40208	04/10/2007	SUE CODEE	COORDINATION OF JOAN MAY CAMPBELL RETROSPECTIVE EXHIBITION	-	2,772.00
EFT40209	04/10/2007	COFFEY ENVIRONMENTS PTY LTD	YAKAMIA ENVIRONMENTAL REVIEW	-	4,343.71
EFT40210	04/10/2007	COLES SUPERMARKETS AUST PTY LTD	GROCERIES	-	472.03
EFT40211	04/10/2007	ANN COPEMAN BVA	DE-INSTALLING ARTWORKS	-	75.00
EFT40212	04/10/2007	CORRIGAN, ERIC	TRAVEL ALLOWANCE - FORTS	-	144.00
EFT40213	04/10/2007	COURIER AUSTRALIA	FREIGHT FEES	-	61.40
EFT40214	04/10/2007	COVENTRYS	VEHICLE PARTS	-	512.67
EFT40215	04/10/2007	RINKER AUSTRALIA PTY LTD	CONSTRUCTION MATERIALS	-	2,608.52
EFT40216	04/10/2007	AL CURNOW HYDRAULICS	VEHICLE PARTS/MAINTENANCE	-	2,812.95
EFT40217	04/10/2007	CYNERGIC COMMUNICATIONS	RACKSPACE RENTAL MANAGED SERVER	-	493.90
EFT40218	04/10/2007	DAZZAK COMPUTER SOLUTIONS	IT SUPPORT	-	1,182.50
EFT40219	04/10/2007	35 DEGREES SOUTH	Drainage pickup - 1 surveyor and equipment	-	3,998.50
EFT40220	04/10/2007	EZY-DRIVE	STEEL FLEX GUIDEPOSTS	-	13,310.00
EFT40221	04/10/2007	MARGARET DICKINSON	TRAVEL ALLOWANCE - FORTS	-	40.00
EFT40222	04/10/2007	DORALANE PASTRIES	CATERING	-	72.02
EFT40223	04/10/2007	JON & GRYTSJE DOUST	EXPENSES FOR SPRUNG WRITERS 2007	-	1,956.90
EFT40224	04/10/2007	EATCHA HEART OUT CAFE	CATERING FOR COUNCIL MEETINGS	-	1,818.00
EFT40225	04/10/2007	EBSCO PUBLISHING	2008 SUBSCRIPTION RENEWAL FOR READERS DIGEST	-	106.28
EFT40226	04/10/2007	P & W ELOY ELECTRICAL SERVICES	ELECTRICAL REPAIRS	-	6,732.66
EFT40227	04/10/2007	ISS WASHROOM SERVICES	MONTHLY SERVICE FOR SANITARY DISPOSAL UNITS	-	229.90
EFT40228	04/10/2007	GEOFABRICS AUSTRALASIA PTY LTD	50 METRE ROLL OF 300 MM MEGAFLOW	-	471.24
EFT40229	04/10/2007	BILL GIBBS EXCAVATIONS	hrs Hire of Tractor Crusher on the 16th, 17th, 20th and 21st August 2007	-	6,798.00
EFT40230	04/10/2007	GLASS SUPPLIERS	REGLAZE WINDOWS/DOORS	-	146.02
EFT40231	04/10/2007	ALISON GOODE	MAYORAL ALLOWANCE	-	960.09

EFT40232	04/10/2007	SOUTHERN BRAKE & SERVICES	VEHICLE PARTS/SERVICE	-	75.00
EFT40233	04/10/2007	GREAT SOUTHERN GROUP TRAINING	APPRENTICES FEES	-	9,886.25
EFT40234	04/10/2007	GREAT SOUTHERN PACKAGING SUPPLIES	CLEANING GOODS	-	1,590.60
EFT40235	04/10/2007	GROCOTT TRANSPORT	CARTAGE OF GRAVEL	-	2,254.00
EFT40236	04/10/2007	GT BEARING & ENGINEERING SUPPLIES	VEHICLE PARTS	-	16.00
EFT40237	04/10/2007	HARVEY NORMAN COMPUTERS ALBANY	SUPPLY AN IN CAR CHARGER FOR GARMIN C510	-	52.00
EFT40238	04/10/2007	HAVOC BUILDERS PTY LTD	LABOUR SUPPLIED	-	356.00
EFT40239	04/10/2007	J & M ELECTRONICS	4 Gig Flash Drive	-	69.95
EFT40240	04/10/2007	JACK THE CHIPPER	TRIM AND REMOVE TREES AS SPECIFIED ON MCKAIL STREET	-	2,007.50
EFT40241	04/10/2007	RAY JONSSON	TRAVEL ALLOWANCE - FORTS	-	220.00
EFT40242	04/10/2007	GILLIAN JONSSON	TRAVEL ALLOWANCE - FORTS	-	300.00
EFT40243	04/10/2007	KANDOO WINDSCREENS	WINDSCREEN REPAIRS	-	253.00
EFT40244	04/10/2007	NOVA KETTLEWELL	ADMIN ASSISTANT - VAC	-	244.18
EFT40245	04/10/2007	KNOTTS PLUMBING PTY LTD	PLUMBING REPAIRS/MAINTENANCE	-	5,992.35
EFT40246	04/10/2007	LAWRENCE & HANSON	SAFETY EQUIPMENT	-	272.16
EFT40247	04/10/2007	LO-GO APPOINTMENTS	LABOUR HIRE OF ENGINEERING TECHNICAL OFFICER	-	1,676.64
EFT40248	04/10/2007	MACDONALD JOHNSTON ENGINEERING	VEHICLE PARTS	-	293.71
EFT40249	04/10/2007	ALBANY PARTY HIRE & TEMPTATIONS	HIRE OF WINE GOBLET	-	105.00
		CATERING			
EFT40250	04/10/2007	ALBANY CITY MOTORS	VEHICLES/VEHICLE PARTS/REPAIRS	-	1,060.44
EFT40251	04/10/2007	METROOF ALBANY	ROOFING PRODUCTS	-	48.80
EFT40252	04/10/2007	MICROELECTRONIC TECHNICAL SERVICES	CARRY OUT ROUTINE MAINTENANCE - GNOWELLEN	-	132.00
EFT40253	04/10/2007	MIDALIA STEEL PTY LTD	STEEL SUPPLIES	-	65.96
EFT40254	04/10/2007	MOTEL LE GRANDE	CATERING FOR AIRPORT TRAINING 29/09/07	-	285.00
EFT40255	04/10/2007	DAVID ALAN NORTHERN	TRAVEL ALLOWANCE - FORTS VOLUNTEER	-	281.60
EFT40256	04/10/2007	O'LOUGHLIN BROTHERS	STOCK ENVELOPE	-	174.35
EFT40257	04/10/2007	OPUS INTERNATIONAL CONSULTANTS LTD	Provide design drawings for construction of the extension of Wellington Street	-	6,504.30
EFT40258	04/10/2007	PALMER & RAYNER EARTHMOVING	Hire of Semi Tipper on the 12th September 2007 (as per docket 8182)	-	822.51
EFT40259	04/10/2007	HANSON CONSTRUCTION MATERIALS	CONSTRUCTION MATERIALS	-	1,038.40
EFT40260	04/10/2007	R & R TAPE AND SAFETY SUPPLIES	SAFETY EQUIPMENT	-	629.20
EFT40261	04/10/2007	RAECO INTERNATIONAL PTY LTD	Small Strong Wire Book Easels	-	60.01
EFT40262	04/10/2007	RALPH BEATTIE BOSWORTH PTY LTD	CONTRACT ADMINISTRATION - MONTHS 4, 5 & 6	-	6,600.00
EFT40263	04/10/2007	DOUGLAS REITZE	TRAVEL ALLOWANCE - FORTS	-	151.20
EFT40264	04/10/2007	SIGNS PLUS	NAME BADGE FOR SONYA SMITH	-	17.60
EFT40265	04/10/2007	SKILL HIRE	CASUAL STAFF FEES	-	11,497.88
EFT40266	04/10/2007	SKYWEST AIRLINES PTY LTD	FLIGHT FOR MICHAEL RICHARDSON ON 14/09/07	-	461.40
EFT40267	04/10/2007	SLACK SM & AM	CROSSOVER SUBSIDY FOR 50-56 SYDNEY STREET YAKAMIA	-	190.94
EFT40268	04/10/2007	SOUTHWAY DISTRIBUTORS (WA) PTY LTD	GOODS DAY CARE CENTRE	-	165.04
EFT40269	04/10/2007	STAR SALES & SERVICE	HARDWARE/VEHICLE PARTS	-	748.00
EFT40270	04/10/2007	STATE LAW PUBLISHER	GOVERNMENT GAZETTE ADVERTISING	-	476.20
EFT40271	04/10/2007	STANDARD COMMUNICATIONS PTY LTD	SUPPLY ONE GARMIN GPS MAP	-	786.50
EFT40272	04/10/2007	STIRLING CONFECTIONERY PLUS	CONFECTIONERY FOR TOWN HALL	-	678.88
EFT40273	04/10/2007	STORM OFFICE NATIONAL	STATIONERY SUPPLIES	-	839.82
EFT40274	04/10/2007	MERVYN STRANGE	TRAVEL ALLOWANCE - FORTS	-	62.40
EFT40275	04/10/2007	SHINNY SIGN COMPANY	SIGN PURCHASES	-	541.96

EFT40276	04/10/2007	ALBANY LOCK SERVICE	LOCKSMITH SERVICES,REPAIRS ETC	-	279.75
EFT40277	04/10/2007	ALBANY IGA	GROCERIES	-	151.47
EFT40278	04/10/2007	SYNERGY	ELECTRICITY SUPPLIES	-	28,093.05
EFT40279	04/10/2007	T & C SUPPLIES	HARDWARE/TOOL SUPPLIES	-	67.19
EFT40280	04/10/2007	TED SNELL	OPENING FEE FOR JOAN MAY CAMPBELL RETROSPECTIVE EXHIBITION	-	400.00
EFT40281	04/10/2007	ISS FACILITY SERVICES AUSTRALIA LTD	MONTHLY CLEANING CHARGE	-	13,705.47
EFT40282	04/10/2007	M J TRAILL & H E MARR	PRESENTATION JAMS & OLIVE OIL FOR SPRUNG WRITERS FESTIVAL	-	84.00
EFT40283	04/10/2007	TRAFFIC PLANS AUSTRALIA	LICENCES FOR RAPID TCP SOFTWARE	-	330.00
EFT40284	04/10/2007	TRU-BLU GROUP PTY LTD	DAILY HIRE OF THREE TONNE STEEL ROLLER	-	335.19
EFT40285	04/10/2007	ALBANY TYREPOWER	TYRE PURCHASES/MAINTENANCE	-	230.00
EFT40286	04/10/2007	RENE VERMEULEN	TRAVEL ALLOWANCE - FORTS	-	128.80
EFT40287	04/10/2007	VILLAGE WELL	VILLAGE WELL INTRODUCTION TO PLACE MAKING - 4/10/07	-	275.00
EFT40288	04/10/2007	WALKER, MICHAEL D	TRAVEL ALLOWANCE - FORTS	-	688.00
EFT40289	04/10/2007	ALBANY & GREAT STHN WEEKENDER	ADVERTISING	-	1,306.00
EFT40290	04/10/2007	WELLSTEAD AUTOMOTIVE SERVICES	FIRE TRUCK SERVICE A48298	-	1,484.73
EFT40291	04/10/2007	WESTCARE INDUSTRIES	LIBRARY LABELS	-	92.40
EFT40292	04/10/2007	LANDMARK LIMITED	FENCE DROPPERS	-	1,169.68
EFT40293	04/10/2007	THE WINDOW WASHER MAN	WINDOW CLEANING - VAC	-	34.00
EFT40294	04/10/2007	YAKKA PTY LTD	UNIFORMS	-	552.06
EFT40295	04/10/2007	ZENITH LAUNDRY	LAUNDRY SERVICES/HIRE	-	43.00
EFT40296	10/10/2007	RETFAR ENTERTAINMENT	TOWN HALL PERFORMANCE: THE RHYTHMS OF IRELAND	-	48,693.21
EFT40297	11/10/2007	ABBOTTS LIQUID SALAVAGE	PUMP PUBLIC TOILETS	-	175.00
EFT40298	11/10/2007	ACTIV FOUNDATION INC	CLEANING RAGS	-	17.60
EFT40299	11/10/2007	AD CONTRACTORS	EARTHMOVING WORKS & EQUIP HIRE	-	14,597.70
EFT40300	11/10/2007	AGCRETE ALBANY	CONCRETE SUPPLIES	-	693.00
EFT40301	11/10/2007	AIRPORT LIGHTING SPECIALISTS PTY LTD	GASKET	-	77.44
EFT40302	11/10/2007	ALBANY TOYOTA	VEHICLE PARTS/MAINTENANCE	-	499.74
EFT40303	11/10/2007	ALBANY HYDRAULICS	VEHICLE REPAIRS/PARTS	-	207.59
EFT40304	11/10/2007	ALBANY INDUSTRIAL SERVICES PTY LTD	HIRE OF TIPPER	-	17,292.00
EFT40305	11/10/2007	ALBANY STATIONERS	STATIONERY SUPPLIES	-	216.50
EFT40306	11/10/2007	ALBANY COMMUNITY HOSPICE	COMMUNITY FINANCIAL ASSISTANCE GRANT	-	2,160.00
EFT40307	11/10/2007	ALBANY QUALITY KERBING	53mtrs kerbing skate park	-	816.20
EFT40308	11/10/2007	ALBANY LANDSCAPE SUPPLIES	Brickies Sand	-	29.00
EFT40309	11/10/2007	ALBANY PLUMBING AND BATHROOM SUPPLIES	PLUMBING SUPPLIES	-	128.92
EFT40310	11/10/2007	ALBANY CITY CLEANERS	WINDOW CLEANING	-	1,192.50
EFT40311	11/10/2007	ALBANY QUALITY LAWNMOWING	LOTTERIES HOUSE - LAWN MOWING	-	96.00
EFT40312	11/10/2007	ALBANY CITY TOURS	DRIVER FOR TOURISM AWARDS	-	264.00
EFT40313	11/10/2007	ALD FUEL INJECTION SERVICES	12 VOLT FUEL SHUT OFF SOLENOID	-	115.39
EFT40315	11/10/2007	ALL EVENTS PROSOUND HIRE	TECHNICIAN ATTENDANCE TO AUDIO ON 7/10/07	-	110.00
EFT40316	11/10/2007	ANNETTE DAVIS	CO-ORDINATION OF 2008 ART PRIZE	-	2,000.00
EFT40317	11/10/2007	ARTHUR JOHNSTON SNOWBALL	PARTIAL VALUATION OF 43 MUELLER STREET ALBANY	-	385.00
EFT40318	11/10/2007	ART ALMANAC	HALF PAGE AD FOR OCTOBER & NOVEMBER ISSUES OF MAGAZINE	-	385.00
EFT40319	11/10/2007	ATC WORK SMART	CASUAL STAFF	-	201.74
EFT40320	11/10/2007	AUSTRALIA POST	POSTAGE/AGENCY FEES	-	16,643.97

EFT40321	11/10/2007	AUSTRALIAN TAXATION OFFICE	Payroll deductions	-	79,193.85
EFT40322	11/10/2007	AUSTRALIAN COMMUNICATIONS	LICENCE RENEWAL	-	628.00
EFT40323	11/10/2007	AUSTSWIM LTD	KINGNAPTUNE CONFERENCE ATTENDED BY KERRY QUINLAN	-	135.00
EFT40324	11/10/2007	MA & ES & GA BAIL	COMPACTION SAND	-	1,210.00
EFT40325	11/10/2007	BALL BODY BUILDERS	VEHICLE PARTS/MAINTENANCE	-	21,049.69
EFT40326	11/10/2007	BANE PP	RATES REFUND FOR ASSESSMENT A18774	-	1,082.00
EFT40327	11/10/2007	BARNESBY FORD	VEHICLES/VEHICLE PARTS/REPAIRS	-	418.33
EFT40328	11/10/2007	BAR CINO	AFTERNOON TEA	-	105.00
EFT40329	11/10/2007	JON BERRY	STAFF TRAVEL EXPENSES REIMBURSEMENT	-	169.90
EFT40330	11/10/2007	BEST OFFICE SYSTEMS	PHOTOCOPIER CHARGES	-	997.69
EFT40331	11/10/2007	BONDIN	Fauna Survey on Bond Road on 2 September 2007	-	550.00
EFT40332	11/10/2007	STIRLING TERRACE BOOKCAFE	Books as selected by Julia for Local Stock Collection	-	467.56
EFT40333	11/10/2007	BORNHOLM VOLUNTEER BUSHFIRE BRIGADE	ESL FUNDING	-	6,215.00
EFT40334	11/10/2007	BRAINSTORM TECHNOLOGY	PCI USB2 IO CARD	-	95.00
EFT40335	11/10/2007	BUILDING AND CONSTRUCTION IND TRAINING FUND	TRAINING LEVY - SEPTEMBER 2007	-	13,585.36
EFT40336	11/10/2007	BUILDERS REGISTRATION BOARD	BRB LEVY - SEPTEMBER 2007	-	3,213.00
EFT40337	11/10/2007	BUNNINGS BUILDING SUPPLIES PTY LTD	HARDWARE/TOOL SUPPLIES	-	1,068.41
EFT40338	11/10/2007	CABCHARGE AUSTRALIA LIMITED	TAXI FARES	-	1,013.60
EFT40339	11/10/2007	CADBURY SCHWEPPE PTY LTD	COOL DRINK FOR KIOSK	-	309.64
EFT40340	11/10/2007	J & S CASTLEHOW	ELECTRICAL REPAIRS/MAINTENANCE	-	2,032.25
EFT40341	11/10/2007	CHESTERPASS IRRIGATION	IRRIGATION MATERIALS	-	30.85
EFT40342	11/10/2007	BIS CLEANAWAY LIMITED	RUBBISH REMOVAL CONTRACT	-	583.79
EFT40343	11/10/2007	COLES SUPERMARKETS AUST PTY LTD	GROCERIES	-	1,172.41
EFT40344	11/10/2007	COMMANDER AUSTRALIA LIMITED	CONTRACT - TOWN HALL	-	150.02
EFT40345	11/10/2007	COVENTRYS	VEHICLE PARTS	-	346.86
EFT40346	11/10/2007	CREATIVE ALBANY INC	SPONSORSHIP OF EVENT AT THE DOME	-	3,000.00
EFT40347	11/10/2007	CRITERION HOTEL PERTH	ACCOMMODATION	-	426.00
EFT40348	11/10/2007	CROKER LACEY GRAPHIC DESIGN	ALAC LOGO CONCEPT DEVELOPMENT, DESIGN & ARTWORK	-	4,590.00
EFT40349	11/10/2007	RINKER AUSTRALIA PTY LTD	CONSTRUCTION MATERIALS	-	190.63
EFT40350	11/10/2007	CULLITY TIMBERS	BUILDING MATERIAL	-	537.13
EFT40351	11/10/2007	DAZZAK COMPUTER SOLUTIONS	IT SUPPORT	-	1,125.30
EFT40352	11/10/2007	35 DEGREES SOUTH	VARIOUS AMENDMENTS TO SURVEYS FOR CULL ROAD SUB-DIVISION	-	495.00
EFT40353	11/10/2007	LANDGATE	TITLE SEARCHES	-	2,828.50
EFT40354	11/10/2007	DEPARTMENT OF HOUSING & WORKS	RATES REFUND FOR ASSESSMENT A199007	-	10,003.18
EFT40355	11/10/2007	DORALANE PASTRIES	CATERING	-	39.38
EFT40356	11/10/2007	DOUST R & PH	RATES REFUND FOR ASSESSMENT A137952	-	20.54
EFT40357	11/10/2007	EATCHA HEART OUT CAFE	CATERING	-	154.00
EFT40358	11/10/2007	EDDIES PEST & WEED CONTROL	ANNUAL TERMITE INSPECTION AND REPORT	-	286.00
EFT40359	11/10/2007	EDUCATIONAL ART SUPPLIES	DRINK HOLDERS FOR DCC	-	35.20
EFT40360	11/10/2007	ELLEKER VOLUNTEER BUSHFIRE BRIGADE	ESL FUNDING	-	1,075.00
EFT40361	11/10/2007	EYERITE SIGNS	SIGN WRITING/SIGN PURCHASES	-	728.70
EFT40362	11/10/2007	FARMERS CENTRE (1978) PTY LTD	VEHICLE PARTS	-	78.50

EFT40363	11/10/2007	FIRE & EMERGENCY SERVICES AUTHORITY (FESA)	ESL INCOME - LOCAL GOVERNMENT 2007/2008	-	16,519.21
EFT40364	11/10/2007	FLIPS ELECTRICS	ELECTRICAL REPAIRS	-	266.00
EFT40365	11/10/2007	JENNIFER FLOTTMANN	REIMBURSEMENT OF STAFF TRAVEL EXPENSES	-	287.70
EFT40366	11/10/2007	WARREN FLYNN	SERVICES PROVIDED FOR SPRUNG FESTIVAL	-	462.00
EFT40367	11/10/2007	FORREST WINDSCREENS	FIT & SUPPLY WINDSCREEN	-	651.03
EFT40368	11/10/2007	GREAT SOUTHERN ALARMS	ALARM MONITORING OCT TO DEC 2007 AT MERCER ROAD	-	156.45
EFT40369	11/10/2007	FREDERICKSTOWN MOTEL	ACCOMMODATION EXPENSES - 21/09/07 TO 22/09/07	-	906.00
EFT40370	11/10/2007	GIARDINIS DELI	CATERING SUPPLIES	-	83.10
EFT40371	11/10/2007	GNOWELLEN VOLUNTEER BUSHFIRE BRIGADE	ESL FUNDING	-	2,180.00
EFT40372	11/10/2007	GREEN RANGE BUSHFIRE BRIGADE	ESL FUNDING	-	730.00
EFT40373	11/10/2007	GREAT SOUTHERN SAND & LANDSCAPING SUPPLIES	GREEN WASTE COLLECTIONS	-	2,475.00
EFT40374	11/10/2007	GREAT SOUTHERN PACKAGING SUPPLIES	CLEANING GOODS	-	1,023.99
EFT40375	11/10/2007	GROCOTT TRANSPORT	CARTAGE OF GRAVEL	-	6,412.50
EFT40376	11/10/2007	GT BEARING AND ENGINEERING SUPPLIES	VEHICLE PARTS	-	40.00
EFT40377	11/10/2007	HAYNES ROBINSON	LEGAL FEES	-	1,767.00
EFT40378	11/10/2007	HIGHWAY FIRE BRIGADE	ESL FUNDING	-	3,020.00
EFT40379	11/10/2007	INTERNATIONAL MOWERS PTY LTD	MOWER PARTS	-	792.66
EFT40380	11/10/2007	JUST SEW EMBROIDERY	UNIFORMS	-	1,265.00
EFT40381	11/10/2007	KALGAN BUSHFIRE BRIGADE	ESL FUNDING	-	5,114.19
EFT40382	11/10/2007	KELYN TRAINING SERVICES	Traffic Management Training	-	2,640.00
EFT40383	11/10/2007	NOVA KETTLEWELL	ADMIN ASSISTANT - VAC	-	293.84
EFT40384	11/10/2007	KINGS PERTH HOTEL	ACCOMMODATION KINGS HOTEL FOR ARRB WORKING & CYCLING WORKSHOP	-	330.00
EFT40385	11/10/2007	KING RIVER BUSHFIRE BRIGADE	ESL FUNDING	-	4,305.00
EFT40386	11/10/2007	KIPLING CUTLER & ASSOCIATES	EAP COUNSELLING	-	104.50
EFT40387	11/10/2007	KLB SYSTEMS	TAR7548 - USB 2.0 EXTERNAL DVD/CD SLIM DRIVE	-	742.50
EFT40388	11/10/2007	KNOTTS PLUMBING PTY LTD	PLUMBING REPAIRS/MAINTENANCE	-	1,378.25
EFT40389	11/10/2007	KOJANEERUP VOLUNTEER BUSHFIRE BRIGADE	ESL FUNDING	-	1,100.00
EFT40390	11/10/2007	KRITIKA PTY LTD	EXPENSES FOR SPRUNG WRITERS FESTIVAL	-	1,601.40
EFT40391	11/10/2007	LA FREEGARD	stump grinding 24 stumps	-	576.00
EFT40392	11/10/2007	JULIA EDITH LEVER	CASUAL WORK - 19/09/07 TO 04/10/07	-	356.10
EFT40393	11/10/2007	STATE LIBRARY OF WA	LOST/DAMAGED BOOKS	-	158.40
EFT40394	11/10/2007	BELLS LIQUOR MERCHANTS	PLEASE SUPPLY 3 BOTTLES OF JIM BEAN & 3 BOTTLES OF SCOTCH	-	183.10
EFT40395	11/10/2007	LO-GO APPOINTMENTS	LABOUR HIRE OF ENGINEERING TECHNICAL OFFICER	-	2,071.15
EFT40396	11/10/2007	MACDONALD JOHNSTON ENGINEERING	VEHICLE PARTS	-	61.60
EFT40397	11/10/2007	ALBANY CITY MOTORS	VEHICLES/VEHICLE PARTS/REPAIRS	-	91.22
EFT40398	11/10/2007	MANYPEAKS BUSHFIRE BRIGADE	ESL FUNDING	-	1,350.00
EFT40399	11/10/2007	MARSHALL MOWERS	MOWER REPAIRS	-	28.05
EFT40400	11/10/2007	MATT GOODWIN PLUMBING & GAS	FINAL CLAIM FOR ROOF/BOX GUTTER REPAIR AT ALAC	-	2,653.20
EFT40401	11/10/2007	DI MCBRIDE	SMS PROGRAM SUPPORT MOBILES TRAINING	-	502.92

EFT40402	11/10/2007	METROOF ALBANY	METAL ROOFING PRODUCTS	-	178.52
EFT40403	11/10/2007	MICROELECTRONIC TECHNICAL SERVICES	RADIO REPAIRS & VHF AERIAL	-	248.95
EFT40404	11/10/2007	MIDALIA STEEL PTY LTD	STEEL SUPPLIES	-	523.31
EFT40405	11/10/2007	MIRA MAR VETERINARY SERVICES	DISPOSAL OF ANIMALS	-	110.95
EFT40406	11/10/2007	ATI-MIRAGE TRAINING SOLUTIONS	MS VISIO TRAINING	-	3,953.80
EFT40407	11/10/2007	MOMAR AUSTRALIA PTY LTD	GRASS CARE PLUS	-	2,180.75
EFT40408	11/10/2007	LGIS PROPERTY	INSURANCES	-	72,426.87
EFT40409	11/10/2007	NAPIER FIRE BRIGADE	ESL FUNDING	-	3,000.00
EFT40410	11/10/2007	NEVILLE'S HARDWARE & BUILDING SUPPLIES	HARDWARE SUPPLIES	-	115.95
EFT40411	11/10/2007	NONNA'S RESTAURANT	FUNCTION HELD AT NONNA'S 14/09/07 - 19 PEOPLE @ \$35.50 EACH	-	674.50
EFT40412	11/10/2007	MICHAEL JAMES O'DOHERTY	WORK ON POETRY PUB CRAWL 2007 - MC ASSISTANT	-	220.00
EFT40413	11/10/2007	OKEEFE'S PAINTS	PAINT & PAINTING SUPPLIES	-	795.11
EFT40414	11/10/2007	PETER GRAHAM AND CO LTD	HARDWARE SUPPLIES	-	2,114.26
EFT40415	11/10/2007	PEVAMIKI PTY LTD	BATTERY PURCHASES	-	414.00
EFT40416	11/10/2007	RAVENHILL DAIRY	MILK SUPPLIES	-	214.80
EFT40417	11/10/2007	REDMOND VOLUNTEER BUSHFIRE BRIGADE	ESL FUNDING	-	2,830.00
EFT40418	11/10/2007	RENTAL MANAGEMENT PTY LTD	PHOTOCOPIER CHARGES	-	465.76
EFT40419	11/10/2007	ROLSH PRODUCTIONS	10 x 2008 Calendars @ \$4.95 ea (GST inclusive) = \$49.50	-	49.50
EFT40420	11/10/2007	ROYAL LIFE SAVING SOCIETY AUSTRALIA	VARIOUS SWIMMING LESSON BADGES & MANUALS	-	485.70
EFT40421	11/10/2007	SESCO SECURITY	QRTLTY SECURITY MONITORING	-	736.45
EFT40422	11/10/2007	SHEILAH RYAN	GARDENING MAINTENANCE - VAC	-	176.00
EFT40423	11/10/2007	SKILL HIRE	CASUAL STAFF FEES	-	10,808.28
EFT40424	11/10/2007	SOUTHERN ELECTRICS	ELECTRICAL REPAIRS/MAINTENANCE	-	102.30
EFT40425	11/10/2007	SOUTHERN TOOL & FASTENER CO	HARDWARE SUPPLIES	-	9,049.62
EFT40426	11/10/2007	SOUTH COAST VOLUNTEER BUSHFIRE BRIGADE	ESL FUNDING	-	7,480.00
EFT40427	11/10/2007	SOUTHWAY DISTRIBUTORS (WA) PTY LTD	VARIOUS SUPPLIES - CLEANING GOODS TO TEA & COFFEE	-	155.56
EFT40428	11/10/2007	SOUTHCOAST SECURITY SERVICE	SECURITY SERVICES	-	604.23
EFT40429	11/10/2007	SOUTHWAY PETROLEUM SERVICES	VEHICLE MAINTENANCE	-	545.60
EFT40430	11/10/2007	SOUTH STIRLINGS BUSHFIRE BRIGADE	ESL FUNDING	-	1,430.00
EFT40431	11/10/2007	STAR SALES & SERVICE	HARDWARE/VEHICLE PARTS	-	5,600.00
EFT40432	11/10/2007	ALBANY VOLUNTEER STATE EMERGENCY SERVICE	ESL FUNDING	-	38,703.50
EFT40433	11/10/2007	STIRLING CONFECTIONERY PLUS	KIOSK CONFECTIONERY	-	383.87
EFT40434	11/10/2007	THE SUNDAY TIMES	amazingalbany advert for wildflower campaign	-	1,320.00
EFT40435	11/10/2007	ALBANY LOCK SERVICE	LOCKSMITH SERVICES, REPAIRS ETC	-	321.85
EFT40436	11/10/2007	ALBANY IGA	GROCERIES	-	627.06
EFT40437	11/10/2007	SYRINX ENVIRONMENTAL PTY LTD	STORMWATER SAMPLING & INTERPRETATION - PART INVOICE 5	-	1,249.60
EFT40438	11/10/2007	T & C SUPPLIES	HARDWARE/TOOL SUPPLIES	-	541.97
EFT40439	11/10/2007	TEMPLAR DISTRIBUTION	MARKETING SUPPLIES	-	472.84
EFT40440	11/10/2007	TOURISM COUNCIL WA	RENEWAL NATIONAL TOURISM ACCREDITATION PROGRAM" 07/08.	-	712.00
EFT40441	11/10/2007	TRAILBLAZERS	SAFETY EQUIPMENT	-	377.05

EFT40442	11/10/2007	THE TROPHY SHOP	Plaque for Stella Maris Sculpture	-	546.00
EFT40443	11/10/2007	TRUCKLINE	VEHICLE PARTS	-	1,287.88
EFT40444	11/10/2007	UPTOWN MUSIC	MUSIC STAND	-	161.86
EFT40445	11/10/2007	IT VISION AUSTRALIA PTY LTD	IT SUPPORT	-	1,177.06
EFT40446	11/10/2007	WELLSTEAD FIRE BRIGADE	ESL FUNDING	-	3,585.00
EFT40447	11/10/2007	WESTERBERG IRRIGATION	IRRIGATION SUPPLIES	-	291.72
EFT40448	11/10/2007	WEST AUSTRALIAN NEWSPAPERS LTD	2 X ADVERTS for Bibbulman Track Special	-	2,000.00
EFT40449	11/10/2007	WESTERN WORK WEAR	UNIFORMS	-	61.82
EFT40450	11/10/2007	DIANNE WOLFER	SPRUNG 2007 - MEET THE AUTHOR	-	285.00
EFT40451	11/10/2007	WURTH AUSTRALIA PTY LTD	PARTS	-	108.87
EFT40452	11/10/2007	YAKKA PTY LTD	UNIFORMS	-	410.15
EFT40453	11/10/2007	YOUNGS BUSHFIRE BRIGADE	ESL FUNDING	-	3,564.00
EFT40454	11/10/2007	ZENITH LAUNDRY	LAUNDRY SERVICES/HIRE	-	36.32
EFT40455	11/10/2007	ZIP HEATERS (AUST) PTY LTD	Change over of 4 x HydroTap Appliances	-	1,129.35
EFT40456	18/10/2007	ADVERTISER PRINT	Flyer printing	-	3,414.00
EFT40457	18/10/2007	AIRPORT LIGHTING SPECIALISTS PTY LTD	LAMP SUIT	-	112.20
EFT40458	18/10/2007	ALBANY ADVERTISER LTD	ADVERTISING	-	165.00
EFT40459	18/10/2007	ALBANY HYDRAULICS	VEHICLE REPAIRS/PARTS	-	60.12
EFT40460	18/10/2007	ALBANY INDUSTRIAL SERVICES PTY LTD	Hire of Semi Tipper	-	1,478.40
EFT40461	18/10/2007	ALBANY TRUCK HIRE	HIRE OF TRUCK FOR WINNER OF ALBANY COMPETITION	-	343.75
EFT40462	18/10/2007	ALBANY V BELT & RUBBER	FILTERS/VEHICLE PARTS	-	574.90
EFT40463	18/10/2007	ALBANY STATIONERS	STATIONERY SUPPLIES	-	25.90
EFT40464	18/10/2007	ALBANY MOTORCYCLES	VEHICLE PARTS	-	55.00
EFT40465	18/10/2007	ALBANY GAS CENTRE PTY LTD	FORKLIFT GAS CYLINDER REFILL	-	70.00
EFT40466	18/10/2007	ALBANY HISTORICAL SOCIETY	50% OF SIGN EXPENSES	-	310.75
EFT40467	18/10/2007	ALBANY OFFICE SUPPLIES	STATIONERY SUPPLIES	-	129.00
EFT40468	18/10/2007	ALBANY CENTRAL CABINETS	ROUND DESK TOPS ONLY	-	1,694.00
EFT40469	18/10/2007	ATRIUM HOTEL & CONVENTION CENTRE MANDURAH	ACCOMMODATION AND MEALS FOR GARRY TURNER ATTENDING THE WA RANGERS CONFERENCE	-	344.00
EFT40470	18/10/2007	ALL EVENTS PROSOUND HIRE	HIRE OF AUDIO AND LIGHTING EQUIPMENT	-	2,539.58
EFT40471	18/10/2007	ALLEASING PTY LTD	PHOTOCOPIER CHARGES	-	1,872.32
EFT40472	18/10/2007	ANGUS AND ROBERTSON BOOKSHOP	NEWSPAPERS/BOOKS/MAGAZINES/STATIONERY	-	139.45
EFT40473	18/10/2007	ARDESS NURSERY	VARIOUS PLANTS	-	26.40
EFT40474	18/10/2007	ARTSOUTHWA INC	SOUTHERN REGIONS WA CRAFT MAP - GENERAL LISTING	-	75.00
EFT40475	18/10/2007	ATC WORK SMART	CASUAL STAFF FEES	-	8,715.06
EFT40476	18/10/2007	AUSTRALIA POST	POSTAGE/AGENCY FEES	-	3,222.87
EFT40477	18/10/2007	AUSTENITIC STEEL PRODUCTS	STAINLESS STEEL FLAT BAR	-	354.25
EFT40478	18/10/2007	AUSTRALIAN TRAVELLER	ADVERTISING IN ISSUE 017	-	1,540.00
EFT40479	18/10/2007	BT EQUIPMENT PTY LTD	VEHICLE PARTS	-	837.19
EFT40480	18/10/2007	BENARA NURSERIES	GARDEN SUPPLIES	-	1,578.50
EFT40481	18/10/2007	BEST OFFICE SYSTEMS	PHOTOCOPIER CHARGES	-	5,009.90
EFT40482	18/10/2007	BLOKTEK PTY LTD	reconstituted Gravel Blocks - for SKATE PARK	-	660.00
EFT40483	18/10/2007	BLOOMIN FLOWERS	FLORAL ARRANGEMENTS	-	225.00
EFT40484	18/10/2007	STIRLING TERRACE BOOKCAFE	Catering SPRUNG Writers' Festival SPRUNGS A BUZZ	-	700.00
EFT40485	18/10/2007	BUNNINGS BUILDING SUPPLIES PTY LTD	HARDWARE/TOOL SUPPLIES	-	311.98

EFT40486	18/10/2007	CAMLIN SPRINGS WATER DISTRIBUTORS	WATER CONTAINER REFILLS	-	77.00
EFT40487	18/10/2007	CAMPBELL CONTRACTORS	CARRY OUT CONCRETE WORK TO FOOTPATH ON DROME RD	-	14,633.75
EFT40488	18/10/2007	CASTROL AUSTRALIA PTY. LIMITED	OIL SUPPLIES	-	346.14
EFT40489	18/10/2007	CJD EQUIPMENT PTY LTD	VEHICLE PARTS	-	1,099.14
EFT40490	18/10/2007	BIS CLEANAWAY LIMITED	RUBBISH REMOVAL CONTRACT	-	1,187.73
EFT40491	18/10/2007	COFFEY PROJECTS (AUSTRALIA) PTY LTD	PROFESSIONAL SERVICES 26/08/07 TO 25/09/07	-	9,900.00
EFT40492	18/10/2007	COLES SUPERMARKETS AUST PTY LTD	GROCERIES	-	535.50
EFT40493	18/10/2007	COMMANDER INTEGRATED NETWORKS	IT SUPPORT	-	952.70
EFT40494	18/10/2007	CONSTRUCTION EQUIPMENT AUSTRALIA	VEHICLE PARTS	-	456.48
EFT40495	18/10/2007	COURIER AUSTRALIA	FREIGHT FEES	-	437.71
EFT40496	18/10/2007	COVENTRYS	VEHICLE PARTS	-	78.80
EFT40497	18/10/2007	DOWNER EDI WORKS PTY LTD	SUPPLY COLDMIX	-	223.19
EFT40498	18/10/2007	CUTTING EDGES REPLACEMENT PARTS	VEHICLE PARTS	-	3,201.00
EFT40499	18/10/2007	CYNERGIC COMMUNICATIONS	RACKSPACE RENTAL MANAGED SERVER - OCTOBER 2007	-	493.90
EFT40500	18/10/2007	LANDGATE	TITLE SEARCHES	-	240.00
EFT40501	18/10/2007	EATCHA HEART OUT CAFE	CATERING	-	3,046.90
EFT40502	18/10/2007	ECO HEALTH HOLDINGS	ENVIRONMENTAL HEALTH SERVICES	-	8,448.00
EFT40503	18/10/2007	ELDERS LIMITED	LTS OF ORGANIC INTERCEPTER HERBICIDE	-	248.72
EFT40504	18/10/2007	ELLEKER VOLUNTEER BUSHFIRE BRIGADE	ESL PAYMENT - ADDITIONAL PAYMENT (GST COMPONENT)	-	107.50
EFT40505	18/10/2007	P & W ELOY ELECTRICAL SERVICES	ELECTRICAL REPAIRS	-	6,337.86
EFT40506	18/10/2007	ALBANY ENGINEERING COMPANY	MAINTENANCE VEHICLES	-	205.95
EFT40507	18/10/2007	EYERITE SIGNS	SIGN WRITING/SIGN PURCHASES	-	33.00
EFT40508	18/10/2007	FOCUS CAPITAL GROUP	RICOH PHOTOCOPIERS	-	2,211.37
EFT40509	18/10/2007	GREAT SOUTHERN ALARMS	CALL OUT SERVICE FEE & SERVICE ON ALARM	-	364.70
EFT40510	18/10/2007	FRANEY & THOMPSON	TIMBER SUPPLIES	-	117.65
EFT40511	18/10/2007	GLASS SUPPLIERS	REGLAZE WINDOWS/DOORS	-	530.64
EFT40512	18/10/2007	GNOWELLEN VOLUNTEER BUSHFIRE BRIGADE	ESL PAYMENT - ADDITIONAL PAYMENT (GST COMPONENT)	-	218.00
EFT40513	18/10/2007	GOAD RESOURCES PTY LTD	FREIGHT CHARGES	-	217.78
EFT40514	18/10/2007	GREAT SOUTHERN GROUP TRAINING	APPRENTICES FEES	-	8,539.99
EFT40515	18/10/2007	GREEN RANGE BUSHFIRE BRIGADE	ESL PAYMENT - ADDITIONAL PAYMENT (GST COMPONENT)	-	73.00
EFT40516	18/10/2007	GREAT SOUTHERN TAFE	VARIOUS COURSE FEES	-	17,097.56
EFT40517	18/10/2007	GREEN SKILLS INC	Preparation of guidelines for rehab of Redmond Hay River Rd gravel pit as well as other pits	-	1,034.00
EFT40518	18/10/2007	GREAT SOUTHERN FUEL SUPPLIES	FUEL SUPPLIES NAPIER B/BRIGADE	-	375.79
EFT40519	18/10/2007	GREAT SOUTHERN PACKAGING SUPPLIES	CLEANING GOODS	-	250.80
EFT40520	18/10/2007	GREAT SOUTHERN SAFETY CONSULTANTS	HAZARD AUDIT ON GYM EQUIPMENT	-	550.00
EFT40521	18/10/2007	GT BEARING AND ENGINEERING SUPPLIES	VEHICLE PARTS	-	131.00
EFT40522	18/10/2007	PROTECTOR FIRE SERVICES PTY LTD	FIRE EQUIPMENT MAINTENANCE	-	450.45
EFT40523	18/10/2007	LES HEWER	REIMBURSEMENT OF EXPENSES - TIRES MEETING & FUEL	-	252.62
EFT40524	18/10/2007	HIGHWAY FIRE BRIGADE	ESL PAYMENT - ADDITIONAL PAYMENT (GST COMPONENT)	-	302.00
EFT40525	18/10/2007	HIMAC INDUSTRIES	4 X SLIMLINE PAPER TOWEL DISPENSERS	-	122.80

EFT40526	18/10/2007	HOFRAD PTY LTD	RATES REFUND FOR ASSESSMENT A201545	-	4,465.54
EFT40527	18/10/2007	HUDSON SEWAGE SERVICES	SEWAGE QUARTERLY MAINTENANCE	-	137.55
EFT40528	18/10/2007	IBM AUSTRALIA LTD	MONTHLY SCHEDULE FOR SERVICES FOR IBM EXPRESS MANAGED SERVICES 7/10/07 TO 6/11/07	-	1,120.35
EFT40529	18/10/2007	JOHN KINNEAR & ASSOCIATES	Survey of Emu Beach Holiday Park as per quote emailed on 16.08.07	-	880.00
EFT40530	18/10/2007	KALGAN BUSHFIRE BRIGADE	ESL PAYMENT - ADDITIONAL PAYMENT (GST COMPONENT)	-	500.00
EFT40531	18/10/2007	NOVA KETTLEWELL	ADMIN ASSISTANT - VAC	-	447.67
EFT40532	18/10/2007	KEY2DESIGN	EMPLOYER OF CHOICE UPDATES - SEPT 07 WEB UPDATES AS PER EMAIL 19/07/07	-	121.00
EFT40533	18/10/2007	KING RIVER BUSHFIRE BRIGADE	ESL PAYMENT - ADDITIONAL PAYMENT (GST COMPONENT)	-	430.50
EFT40534	18/10/2007	KNOTTS PLUMBING PTY LTD	PLUMBING REPAIRS/MAINTENANCE	-	1,271.04
EFT40535	18/10/2007	KOPEC MARIA	RATES REFUND FOR ASSESSMENT A71722 56	-	2,124.32
EFT40536	18/10/2007	LAND LINE ENTERPRISES PTY LTD	install 750mm x 1200mm box culverts and concrete headwalls	-	5,159.00
EFT40537	18/10/2007	LAWRENCE & HANSON	SAFETY EQUIPMENT	-	325.52
EFT40538	18/10/2007	LEADING EDGE HIFI-ALBANY	HEADPHONES	-	129.00
EFT40539	18/10/2007	LINK ENERGY PTY LTD	FUEL PURCHASES	-	69,492.23
EFT40540	18/10/2007	LOCAL GOVERNMENT MANAGERS AUSTRALIA	Les Hewer's place on Executive Management Program taking place at Rendezvous Observation City Hotel 9th - 11th October 2007.	-	1,760.00
EFT40541	18/10/2007	LO-GO APPOINTMENTS	LABOUR HIRE OF ENGINEERING TECHNICAL OFFICER	-	1,232.83
EFT40542	18/10/2007	LORLAINE DISTRIBUTORS PTY LTD	CLEANING GOODS	-	75.80
EFT40543	18/10/2007	ALBANY PARTY HIRE & TEMPTATIONS CATERING	HIRE OF BBQ & GAS BOTTLE	-	137.00
EFT40544	18/10/2007	MALCOLM TRAILL	STAFF TRAVEL REIMBURSEMENT - LOCAL STUDIES REGIONAL FORUM	-	170.00
EFT40545	18/10/2007	ALBANY CITY MOTORS	VEHICLES/VEHICLE PARTS/REPAIRS	-	10,639.31
EFT40546	18/10/2007	MANYPEAKS BUSHFIRE BRIGADE	ESL PAYMENT - ADDITIONAL PAYMENT (GST COMPONENT)	-	135.00
EFT40547	18/10/2007	MARSHALL MOWERS	PURCHASE OF MOWER	-	2,235.00
EFT40548	18/10/2007	MERLE ANNE FLORIST	FLOWERS	-	85.00
EFT40549	18/10/2007	METROOF ALBANY	METAL ROOFING PRODUCTS	-	18.61
EFT40550	18/10/2007	MICROELECTRONIC TECHNICAL SERVICES	FIT VHF RADIO	-	597.50
EFT40551	18/10/2007	MINTER ELLISON LAWYERS	LEGAL COSTS	-	8,804.84
EFT40552	18/10/2007	MJB INDUSTRIES PTY LTD	RUBBER RINGS TO SUIT 300 MM CONCRETE PIPES	-	49.50
EFT40553	18/10/2007	MODERN TEACHING AIDS PTY LTD	VARIOUS TEACHING AIDS	-	173.38
EFT40554	18/10/2007	MR MOO DAIRY DISTRIBUTORS	MILK DELIVERIES	-	191.04
EFT40555	18/10/2007	LGIS LIABILITY	INSURANCES	-	91,179.00
EFT40556	18/10/2007	NAPIER FIRE BRIGADE	ESL PAYMENT - ADDITIONAL PAYMENT (GST COMPONENT)	-	300.00
EFT40557	18/10/2007	BROADCAST AUSTRALIA	POWER RECOVERY - SBS TV	-	59.07
EFT40558	18/10/2007	ALBANY NEAT & TRIM LAWNS	MOW LAWN VANCOUVER ARTS CENTRE	-	120.00
EFT40559	18/10/2007	NEVILLE'S HARDWARE & BUILDING SUPPLIES	HARDWARE SUPPLIES	-	618.35
EFT40560	18/10/2007	MARIANNE NORTON	TRAVEL ALLOWANCE - FORTS	-	182.40
EFT40561	18/10/2007	OKEEFE'S PAINTS	PAINT & PAINTING SUPPLIES	-	55.80
EFT40562	18/10/2007	PICKET RESOURCES	MINOR CHANGES TO MAP SERIES & GENERATE NEW MAPS	-	160.00
EFT40563	18/10/2007	POWELL SECURITY SERVICES	SECURITY SERVICES	-	85.32
EFT40564	18/10/2007	PROTECTOR ALSAFE	SAFETY EQUIPMENT	-	260.40
EFT40565	18/10/2007	PUMA CONCRETE TANKS	PART PAYMENT TO - construct 12,000 gal concrete tank at Eco Park	-	2,000.00

EFT40566	18/10/2007	RADIOWEST BROADCASTERS PTY LTD	4 hour LIVE Broadcast including commercials	-	3,322.00
EFT40567	18/10/2007	REDMOND VOLUNTEER BUSHFIRE BRIGADE	ESL PAYMENT - ADDITIONAL PAYMENT (GST COMPONENT)	-	283.00
EFT40568	18/10/2007	REECE PTY LTD	PLUMBING PRODUCTS	-	946.00
EFT40569	18/10/2007	LUCY SADLER	REIMBURSEMENT OF EXPENSES - AUST POST BAG & TOURISM LUNCH	-	40.30
EFT40570	18/10/2007	G & L SHEETMETAL	MANUFACTURE & SUPPLY OF STAINLESS STEEL WATER TANK & BASIN SURROUND.	-	4,435.20
EFT40571	18/10/2007	SIGNS PLUS	NAME BADGE FOR MAIRE WATKINS	-	8.80
EFT40572	18/10/2007	SKILL HIRE	CASUAL STAFF FEES	-	7,741.22
EFT40573	18/10/2007	SOUTHERN STATIONERY	STATIONERY SUPPLIES	-	7.45
EFT40574	18/10/2007	SOUTHERN TOOL & FASTENER CO	HARDWARE SUPPLIES	-	326.30
EFT40575	18/10/2007	SOUTH COAST DIVING SUPPLIES	AIR FILLS	-	8.00
EFT40576	18/10/2007	SOUTH STIRLINGS BUSHFIRE BRIGADE	ESL PAYMENT - ADDITIONAL PAYMENT (GST COMPONENT)	-	143.00
EFT40577	18/10/2007	STAR SALES & SERVICE	HARDWARE/VEHICLE PARTS	-	23.90
EFT40578	18/10/2007	STATEWIDE BEARINGS	VEHICLE PARTS	-	116.29
EFT40579	18/10/2007	SAI GLOBAL LTD	SUPPLY ONE COPY AS 4187	-	96.39
EFT40580	18/10/2007	PRIMEWEST (STEAD RD ALBANY) PTY LTD	RATES REFUND FOR ASSESSMENT A131108	-	15,518.59
EFT40581	18/10/2007	STORM OFFICE NATIONAL	STATIONERY SUPPLIES	-	538.68
EFT40582	18/10/2007	SUNNY SIGN COMPANY	SIGN PURCHASES	-	1,380.50
EFT40583	18/10/2007	ALBANY LOCK SERVICE	LOCKSMITH SERVICES,REPAIRS ETC	-	104.70
EFT40584	18/10/2007	ALBANY IGA	GROCERIES	-	5.98
EFT40585	18/10/2007	SYRINX ENVIRONMENTAL PTY LTD	ALBANY PEACE PARK - DETAILED SITE INVESTIGATION	-	14,382.50
EFT40586	18/10/2007	T & C SUPPLIES	HARDWARE/TOOL SUPPLIES	-	424.46
EFT40587	18/10/2007	TENTS WEST	Tents west staging	-	3,000.00
EFT40588	18/10/2007	THOMPSON LEGAL PTY LTD	LEGAL FEES - SURRENDER OF EASEMENT LOT 512 NAMBUCCA RISE (STAMP DUTY & TITLE OFFICE REGISTRATION FEE)	-	113.00
EFT40589	18/10/2007	TICKETS.COM	DATABOX SUPPORT	-	97.46
EFT40590	18/10/2007	TRADELINK PLUMBING SUPPLIES	STORMWATER SUPPLIES	-	608.63
EFT40591	18/10/2007	WA TREASURY CORPORATION	LOAN REPAYMENTS	-	89,135.47
EFT40592	18/10/2007	TWU SUPER	SUPERANNUATION CONTRIBUTIONS	-	171.78
EFT40593	18/10/2007	ALBANY TYREPOWER	TYRE PURCHASES/MAINTENANCE	-	1,140.00
EFT40594	18/10/2007	WAUTERS ENTERPRISES	ALAC REDEVELOPMENT PROGRESS CLAIM NO 8	-	938,522.00
EFT40595	18/10/2007	WELLSTEAD FIRE BRIGADE	ESL PAYMENT - ADDITIONAL PAYMENT (GST COMPONENT)	-	358.50
EFT40596	18/10/2007	YAKKA PTY LTD	UNIFORMS	-	158.27
EFT40597	18/10/2007	ZENITH LAUNDRY	LAUNDRY SERVICES/HIRE	-	39.67
EFT40599	25/10/2007	ABA SECURITY	SECURITY SERVICES	-	632.64
EFT40600	25/10/2007	AD CONTRACTORS	EARTHMOVING WORKS & EQUIP HIRE	-	60,419.90
EFT40601	25/10/2007	ALBANY ADVERTISER LTD	ADVERTISING	-	3,446.69
EFT40602	25/10/2007	ALBANY HYDRAULICS	VEHICLE REPAIRS/PARTS	-	47.96
EFT40603	25/10/2007	ALBANY INDUSTRIAL SERVICES PTY LTD	Hire of Semi Tipper	-	7,251.75
EFT40604	25/10/2007	ALBANY PRINTERS	PRINTING OF PURCHASE ORDER BOOKS	-	770.00
EFT40605	25/10/2007	ALBANY SIGNS	SIGN PURCHASES	-	273.40
EFT40606	25/10/2007	ALBANY SPRING WORKS	SPRING STEEL ROUND	-	19.80
EFT40607	25/10/2007	ALBANY SWEEP CLEAN	SWEEP & CLEAN MAIN TERMINAL CAR PARK	-	1,089.00
EFT40608	25/10/2007	ALBANY STATIONERS	STATIONERY SUPPLIES	-	105.45

EFT40609	25/10/2007	ALBANY INDOOR PLANT HIRE & SALES	INDOOR PLANT HIRE	-	1,328.88
EFT40610	25/10/2007	ALBANY RETRAVISION	HARD DRIVE 80GB	-	240.00
EFT40611	25/10/2007	ALBANY STOCK FEEDS	2 bags small dog biscuits	-	76.40
EFT40612	25/10/2007	ALBANY REFRIGERATION	MODIFICATIONS TO AIR CONDITIONING DUCTING AS PER QUOTE	-	363.00
EFT40613	25/10/2007	ALBANY PLUMBING AND BATHROOM SUPPLIES	PLUMBING SUPPLIES	-	59.68
EFT40614	25/10/2007	ALBANY OFFICE SUPPLIES	STATIONERY SUPPLIES	-	331.45
EFT40615	25/10/2007	ALBANY NEWS DELIVERY	NEWSPAPER DELIVERIES	-	124.80
EFT40616	25/10/2007	ALBANY CITY CLEANERS	WINDOW CLEANING	-	480.48
EFT40617	25/10/2007	ALBANY QUALITY LAWNMOWING	LAWN MOWING AT LOTTERIES HOUSE	-	96.00
EFT40618	25/10/2007	ALINTA	GAS USAGE CHARGES	-	5,725.00
EFT40619	25/10/2007	ANGUS AND ROBERTSON BOOKSHOP	NEWSPAPERS/BOOKS/MAGAZINES/STATIONERY	-	436.09
EFT40620	25/10/2007	ASP ALLOY & STAINLESS PRODUCTS	TORO BLADES 2 SETS	-	150.40
EFT40621	25/10/2007	ATC WORK SMART	CASUAL STAFF FEES	-	5,482.86
EFT40622	25/10/2007	AUSTRALIAN TAXATION OFFICE	Payroll deductions	-	81,456.87
EFT40623	25/10/2007	MA & ES & GA BAIL	COMPACTION SAND	-	1,210.00
EFT40624	25/10/2007	BALL BODY BUILDERS	VEHICLE PARTS/MAINTENANCE	-	869.00
EFT40625	25/10/2007	BEECREATIVE MARKETING	graphic design for competition and large poster	-	676.50
EFT40626	25/10/2007	ADVANCED TRAFFIC MANAGEMENT	TRAFFIC CONTROL	-	1,867.11
EFT40627	25/10/2007	WENDY BERGSMA	STAFF TRAVEL EXPENSES CLAIM - ALAC UPGRADE FURNITURE	-	328.80
EFT40628	25/10/2007	BEST OFFICE SYSTEMS	PHOTOCOPIER CHARGES	-	70.00
EFT40629	25/10/2007	BEVANS (WA) PTY LTD	ICE	-	24.00
EFT40630	25/10/2007	BLACKWOODS ATKINS	TAPE, PRIMER, PAINT & CABLE TIES	-	54.13
EFT40631	25/10/2007	BLEAKLEY RM	RATES REFUND FOR ASSESSMENT A51601	-	1,411.88
EFT40632	25/10/2007	MERRYLN BOJCUN	COUNCILLOR ALLOWANCE	-	76.63
EFT40633	25/10/2007	JILL BOSTOCK	COUNCILLOR ALLOWANCE	-	1,762.50
EFT40634	25/10/2007	ROBERT BUEGGE	COUNCILLOR ALLOWANCE	-	1,762.50
EFT40635	25/10/2007	BUNNINGS BUILDING SUPPLIES PTY LTD	HARDWARE/TOOL SUPPLIES	-	146.27
EFT40636	25/10/2007	CAMLIN SPRINGS WATER DISTRIBUTORS	WATER CONTAINER REFILLS	-	535.50
EFT40637	25/10/2007	CAMPBELL CONTRACTORS	supplied & laid and finished concrete footpath	-	2,742.37
EFT40638	25/10/2007	J & S CASTLEHOW	ELECTRICAL REPAIRS/MAINTENANCE	-	88.00
EFT40639	25/10/2007	CASTROL AUSTRALIA PTY. LIMITED	OIL SUPPLIES	-	2,256.40
EFT40640	25/10/2007	CHEYNES BEACH CARAVAN PARK	FUEL	-	193.91
EFT40641	25/10/2007	CJD EQUIPMENT PTY LTD	VEHICLE PARTS	-	1,523.57
EFT40642	25/10/2007	COLES SUPERMARKETS AUST PTY LTD	GROCERIES	-	656.29
EFT40643	25/10/2007	CORPORATE EXPRESS AUSTRALIA LTD	7 x 'Permit to set fire to the bush' Books	-	206.93
EFT40644	25/10/2007	COVENTRYS	VEHICLE PARTS	-	398.85
EFT40645	25/10/2007	CROWTHER-BLAYNE AND ASSOCIATES PTY LTD	ADVERTISING SPACE BOOKING FOR NATIONAL AWARDS FOR LOCAL GOVERNMENT 2007	-	1,567.50
EFT40646	25/10/2007	DOWNER EDI WORKS PTY LTD	SUPPLY COLDMIX	-	847.57
EFT40647	25/10/2007	AL CURNOW HYDRAULICS	VEHICLE PARTS/MAINTENANCE	-	503.06
EFT40648	25/10/2007	DAVID MOSS & CO	LEGAL FEES - ADJUSTMENT OF BOUNDARY WITH ANTONIAK	-	3,422.92
EFT40649	25/10/2007	THE DAVE MANN COLLECTIVE	DAVE MANN COLLECTIVE RECIPE FOR JAM 2007, WORKSHOPS & PERFORMANCE	-	3,388.00

FT40650	25/10/2007	G & M DETERGENTS & HYGIENE SERVICES ALBANY	HYGIENE CONTRACT	-	1,355.83
FT40651	25/10/2007	EDWARD L & PATRICIA M DHU	PENSIONER REBATE REFUND FOR A123961	-	336.66
FT40652	25/10/2007	DISKBANK PTY LTD	SLIMLINE CASE	-	43.73
FT40653	25/10/2007	DORALANE PASTRIES	CATERING	-	34.76
FT40654	25/10/2007	EATCHA HEART OUT CAFE	CATERING	-	495.00
FT40655	25/10/2007	P & W ELOY ELECTRICAL SERVICES	ELECTRICAL REPAIRS	-	7,063.26
FT40656	25/10/2007	BOB EMERY	COUNCILLOR ALLOWANCE	-	76.63
FT40657	25/10/2007	MILTON EVANS	COUNCILLOR ALLOWANCE	-	5,401.63
FT40658	25/10/2007	EVERTRANS MOTOR BODY BUILDERS	VEHICLE REPAIRS	-	1,887.60
FT40659	25/10/2007	EXPRESSIONS AUSTRALIA P/L	TEA TOWELS - 2007 COMMEMORATIVE TEA TOWELS	-	1,470.00
FT40661	25/10/2007	GALLERY 500	SKETCH, VILLAGE & LANDSCAPE FRAMING	-	438.20
FT40662	25/10/2007	ALISON GOODE	MAYORAL ALLOWANCE	-	348.05
FT40663	25/10/2007	GRAY & LEWIS	PLANNING SERVICES - SEPTEMBER 2207	-	783.20
FT40664	25/10/2007	GREAT SOUTHERN PERSONNEL	LIBRARY & HOME DELIVERY ASSISTANT SERVICES - FOR SEPT	-	310.20
FT40665	25/10/2007	GREAT SOUTHERN SAND & LANDSCAPING SUPPLIES	GREEN WASTE COLLECTIONS	-	11,580.00
FT40666	25/10/2007	HARRIS BT	RATES REFUND FOR ASSESSMENT A192152	-	635.02
FT40667	25/10/2007	LES HEWER	TRAVEL REIMBURSEMENT - EXECUTIVE MANAGEMENT PROGRAM	-	225.00
FT40668	25/10/2007	HOUSING INDUSTRY ASSOCIATION	07/08 HIA MEMBERSHIP RENEWAL	-	660.00
FT40669	25/10/2007	HOWARD MACHINERY	VEHICLE PARTS	-	2,428.54
FT40670	25/10/2007	INTERNATIONAL MOWERS PTY LTD.	MOWER PARTS	-	258.28
FT40671	25/10/2007	JOHN JAMIESON	COUNCILLOR ALLOWANCE	-	76.63
FT40672	25/10/2007	JEREMY JONGSMA	CO-ORDINATOR'S FEE FOR RECIPE FOR JAM 2007	-	6,000.00
FT40673	25/10/2007	JESHRANI J/VJ	RATES REFUND FOR ASSESSMENT A201167	-	46.23
FT40674	25/10/2007	JUST A CALL DELIVERIES	INTERNAL MAIL DELIVERIES	-	756.80
FT40675	25/10/2007	LES KARSKI	RECIPE FOR JAM 2007 FACILITATOR FEES	-	1,060.00
FT40676	25/10/2007	NOVA KETTLEWELL	ADMIN ASSISTANT - VAC	-	366.28
FT40677	25/10/2007	GORDON KIDMAN	COUNCILLOR ALLOWANCE	-	1,762.50
FT40678	25/10/2007	KNOTTS PLUMBING PTY LTD	PLUMBING REPAIRS/MAINTENANCE	-	940.41
FT40679	25/10/2007	STATE LIBRARY OF WA	LOST/DAMAGED BOOKS	-	376.65
FT40680	25/10/2007	LINCOLNS ACCOUNTANTS & BUSINESS ADVISERS	SECOND INTERIM AUDIT FEES FOR YEAR ENDED 30/06/07	-	8,661.40
FT40681	25/10/2007	PAUL LIONETTI	COUNCILLOR ALLOWANCE	-	76.63
FT40682	25/10/2007	LOADTEK AUST	VEHICLE/HYDRAULIC PARTS	-	228.51
FT40683	25/10/2007	LO-GO APPOINTMENTS	LABOUR HIRE OF ENGINEERING TECHNICAL OFFICER	-	2,071.15
FT40684	25/10/2007	LORLAINE DISTRIBUTORS PTY LTD	CLEANING GOODS	-	404.80
FT40685	25/10/2007	ALBANY CITY MOTORS	VEHICLES/VEHICLE PARTS/REPAIRS	-	970.87
FT40686	25/10/2007	JOY MATLA	COUNCILLOR ALLOWANCE	-	1,762.50
FT40687	25/10/2007	S & R MCKINVEN	RATES REFUND FOR ASSESSMENT A135089	-	1,026.65
FT40688	25/10/2007	MICROELECTRONIC TECHNICAL SERVICES	FIT VHF FIRE RADIO	-	554.00
FT40689	25/10/2007	MINTER ELLISON LAWYERS	LEGAL COSTS	-	2,043.99
FT40690	25/10/2007	CHRIS MORRIS	COUNCILLOR ALLOWANCE	-	1,762.50
FT40691	25/10/2007	LGIS WORKCARE	INSURANCES	-	130,399.50
FT40692	25/10/2007	NEWBYS AUTOMOTIVE ELECTRICIANS	VEHICLE PARTS/REPAIRS	-	339.71

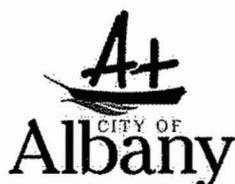
FT40693	25/10/2007	STAR TRACK EXPRESS PTY LTD	COURIER/FREIGHT SERVICE	-	249.83
FT40694	25/10/2007	SANDRA O'DOHERTY	PUT UP EXHIBITION JOAN MAY CAMPBELL	-	375.00
FT40695	25/10/2007	OFFER AC	RATES REFUND FOR ASSESSMENT A202222	-	616.30
FT40696	25/10/2007	ORICA AUSTRALIA P/L	CHLORINE GAS (70KG CYLINDER)	-	889.66
FT40697	25/10/2007	PALMER & RAYNER EARTHMOVING	Hire of Low Loader	-	2,018.74
FT40698	25/10/2007	ROLAND PAVER	COUNCILLOR ALLOWANCE	-	1,839.13
FT40699	25/10/2007	PERTH AMBASSADOR HOTEL	ACCOMMODATION FOR ROBERT FENN	-	105.00
FT40700	25/10/2007	PLASTICS PLUS	IH306\22LTR SOLID	-	22.99
FT40701	25/10/2007	POWELL SECURITY SERVICES	SECURITY SERVICES	-	85.32
FT40702	25/10/2007	DOT PRICE	COUNCILLOR ALLOWANCE	-	1,762.50
FT40703	25/10/2007	REDMOND VOLUNTEER BUSHFIRE BRIGADE	REIMBURSEMENT OF FUEL	-	194.74
FT40704	25/10/2007	MP ROGERS & ASSOCIATES PTY LTD	PROFESSIONAL SERVICES FOR EMU POINT MANAGEMENT STRATEGY	-	928.44
FT40705	25/10/2007	UNITED TOOLS ALBANY	HARDWARE/TOOL SUPPLIES	-	799.50
FT40706	25/10/2007	SERENITY PARK	DISPOSAL OF DOGS	-	330.00
FT40707	25/10/2007	SHIRE OF DENMARK	REIMBURSEMENT OF PERSONAL LEAVE ENTITLEMENTS - STEVEN BROAD	-	9,882.46
FT40708	25/10/2007	SIGNS PLUS	NAME BADGE FOR DENE CUSTOMER SERVICE OFFICER	-	8.80
FT40709	25/10/2007	SKILL HIRE	CASUAL STAFF FEES	-	2,168.72
FT40710	25/10/2007	SKYWEST AIRLINES PTY LTD	AIRFARES FOR STAFF/COUNCILLORS	-	461.40
FT40711	25/10/2007	BARRY R & PATRICA A SLATER	PENSIONER REBATE REFUND FOR A75784	-	447.13
FT40712	25/10/2007	SOUTHERN TOOL & FASTENER CO	HARDWARE SUPPLIES	-	192.80
FT40713	25/10/2007	SOUTHWAY DISTRIBUTORS (WA) PTY LTD	GOODS DAY CARE CENTRE	-	392.66
FT40714	25/10/2007	SOUTHCOAST SECURITY SERVICE	SECURITY SERVICES	-	5,427.69
FT40715	25/10/2007	SOUNDPACK SOLUTIONS	60-CD1	-	132.66
FT40716	25/10/2007	STAR SALES & SERVICE	HARDWARE/VEHICLE PARTS	-	17.75
FT40717	25/10/2007	KIM STANTON	COUNCILLOR ALLOWANCE	-	1,762.50
FT40718	25/10/2007	STORM OFFICE NATIONAL	STATIONERY SUPPLIES	-	25.36
FT40719	25/10/2007	ALBANY IGA	GROCERIES	-	62.92
FT40720	25/10/2007	T & C SUPPLIES	HARDWARE/TOOL SUPPLIES	-	200.05
FT40721	25/10/2007	TEMPLAR DISTRIBUTION	MARKETING SUPPLIES	-	351.98
FT40722	25/10/2007	THOMSON DW/JP	RATES REFUND FOR ASSESSMENT A41735	-	226.08
FT40723	25/10/2007	TOPCON POSITIONING SYSTEMS (AUSTRALIA) PTY LTD	SURVEY VERSION LICENCE	-	2,435.40
FT40724	25/10/2007	TRAILBLAZERS	SAFETY EQUIPMENT	-	137.95
FT40725	25/10/2007	WA TREASURY CORPORATION	LOAN REPAYMENTS	-	49,028.95
FT40726	25/10/2007	TREVOR SMITH NOMINEES PTY LTD	RATES REFUND FOR ASSESSMENT A118964	-	679.54
FT40727	25/10/2007	ALBANY TYREPOWER	TYRE PURCHASES/MAINTENANCE	-	28.00
FT40728	25/10/2007	VANCOUVER WASTE SERVICES	GREEN WASTE SERVICES	-	10,559.75
FT40729	25/10/2007	G.P. WALKER	SITE VISIT TO INSECT CRACKING IN BUILDING	-	190.00
FT40730	25/10/2007	JOHN WALKER	COUNCILLOR ALLOWANCE	-	2,709.58
FT40731	25/10/2007	WALCON MARINE AUSTRALIA PTY LTD	Procurement of two S/S Ladders C/W Mounting Brackets	-	1,170.95
FT40732	25/10/2007	JAN WATERMAN	COUNCILLOR ALLOWANCE	-	76.63
FT40733	25/10/2007	ALBANY & GREAT STHN WEEKENDER	ADVERTISING	-	705.30
FT40734	25/10/2007	WFI I NGTON DFENNIS	DEPUTY MAYOR ALLOWANCE	-	101.09

FT40735	25/10/2007	WESTERBERG IRRIGATION	IRRIGATION SUPPLIES	-	8,770.00
FT40736	25/10/2007	WESTCARE INDUSTRIES	LIBRARY LABELS	-	46.20
FT40737	25/10/2007	LANDMARK LIMITED	1 kg of kikuyu	-	61.96
FT40738	25/10/2007	IAN WEST	COUNCILLOR ALLOWANCE	-	76.63
FT40739	25/10/2007	WESTSHRED DOCUMENT DISPOSAL	SECURITY BIN - SUPPLY, SERVICE & SHRED	-	149.60
FT40740	25/10/2007	JUDITH WILLIAMS	COUNCILLOR ALLOWANCE	-	365.34
FT40741	25/10/2007	NICOLETTE WILLIAMS	COUNCILLOR ALLOWANCE	-	1,762.50
FT40742	25/10/2007	DES WOLFE	COUNCILLOR ALLOWANCE	-	3,533.66
FT40743	25/10/2007	WURTH AUSTRALIA PTY LTD	VEHICLE PARTS	-	200.38
FT40744	25/10/2007	YAKKA PTY LTD	UNIFORMS	-	69.12
FT40745	25/10/2007	ZENITH LAUNDRY	LAUNDRY SERVICES/HIRE	-	39.07
FT40746	25/10/2007	ZIPFORM	POSTAGE CHARGE FOR FINAL NOTICES	-	1,798.13
FT40747	25/10/2007	SYNERGY	ELECTRICITY SUPPLIES	-	97.45
FT40748	26/10/2007	FIDELITY CORPORATION	TOWN HALL PRODUCTION - SARAH BLASKO SHOWSTOPPER TOUR	-	7,115.60
FT40749	30/10/2007	FOGARTY THEATRICAL PRODUCTIONS PTY LIMITED	TOWN HALL PRODUCTION - THE BACHELORS	-	9,359.29
FT40750	01/11/2007	ALBANY COMMUNITY HOSPICE	EMPLOYEE DEDUCTIONS	-	32.00
FT40751	01/11/2007	AMP SUPERLEADER	SUPERANNUATION CONTRIBUTIONS	-	328.07
FT40752	01/11/2007	AUSTRALIAN MANUFACTURING WORKERS UNION	Payroll deductions	-	17.30
FT40753	01/11/2007	AUSTRALIAN SERVICES UNION WA BRANCH	EMPLOYEE DEDUCTIONS	-	2,087.10
FT40754	01/11/2007	AUSTRALIAN PRIMARY SUPERANNUATION FUND	SUPERANNUATION CONTRIBUTIONS	-	252.94
FT40755	01/11/2007	AUSTRALIAN SUPER	SUPERANNUATION CONTRIBUTIONS	-	292.41
FT40756	01/11/2007	SKANDIA GLOBAL SUPER SOLUTION	Payroll deductions	-	3,076.00
FT40757	01/11/2007	BEACON INVESTMENT MANAGEMENT SERVICES	SUPERANNUATION CONTRIBUTIONS	-	391.90
FT40758	01/11/2007	CHILD SUPPORT AGENCY	EMPLOYEE DEDUCTIONS	-	300.16
FT40759	01/11/2007	COLONIAL FIRST STATE ROLLOVER & SUPER FUND	SUPERANNUATION CONTRIBUTIONS	-	190.96
FT40760	01/11/2007	COLONIAL FIRST STATE FIRSTCHOICE PERSONAL SUPER	SUPERANNUATION CONTRIBUTIONS	-	346.69
FT40761	01/11/2007	HBF OF WA	EMPLOYEE DEDUCTIONS	-	1,096.70
FT40762	01/11/2007	ING LIFE LIMITED	SUPERANNUATION CONTRIBUTIONS	-	44.99
FT40763	01/11/2007	ING LIFE LIMITED	SUPERANNUATION CONTRIBUTIONS	-	112.00
FT40764	01/11/2007	ING LIFE LIMITED	SUPERANNUATION CONTRIBUTIONS	-	257.74
FT40765	01/11/2007	LIFETIME SUPERANNUATION FUND	SUPERANNUATION CONTRIBUTIONS	-	313.78
FT40766	01/11/2007	MLC NOMINEES PTY LTD	SUPERANNUATION CONTRIBUTIONS	-	245.02
FT40767	01/11/2007	REST SUPERANNUATION	SUPERANNUATION CONTRIBUTIONS	-	745.18
FT40768	01/11/2007	SKANDIA GLOBAL SUPER SOLUTION	SUPERANNUATION CONTRIBUTIONS	-	252.94
FT40769	01/11/2007	SKANDIA GLOBAL SUPER SOLUTION	SUPERANNUATION CONTRIBUTIONS	-	584.62
FT40770	01/11/2007	TWU SUPER	SUPERANNUATION CONTRIBUTIONS	-	171.78
FT40771	01/11/2007	WA LOCAL GOVT SUPERANNUATION	SUPERANNUATION CONTRIBUTIONS	-	84,742.88
FT40772	01/11/2007	WESTSCHEME	SUPERANNUATION CONTRIBUTIONS	-	1,360.34

FT40773	01/11/2007	A1 SANDBLASTING	SANDBLAST & PAINT RUBBISH BIN	-	209.00
FT40774	01/11/2007	ACTIV FOUNDATION INC	CLEANING RAGS	-	39.60
FT40775	01/11/2007	AD CONTRACTORS	EARTHMOVING WORKS & EQUIP HIRE	-	2,873.00
FT40776	01/11/2007	ADVANCED PERSONNEL MANAGEMENT	WORKSTATION ASSESSMENT ON ALISON BISHOP BY GEORGINA BERGER	-	159.49
FT40777	01/11/2007	EDENBORN PTY LTD	Contract Mowing of Verges for September 2007	-	7,591.20
FT40778	01/11/2007	ALBANY TOYOTA	VEHICLE PARTS/MAINTENANCE	-	837.36
FT40779	01/11/2007	ALBANY HYDRAULICS	VEHICLE REPAIRS/PARTS	-	115.01
FT40780	01/11/2007	ALBANY INDUSTRIAL SERVICES PTY LTD	Hire of Excavator	-	8,343.50
FT40781	01/11/2007	ALBANY STATIONERS	STATIONERY SUPPLIES	-	110.95
FT40782	01/11/2007	ALBANY REFRIGERATION	Maintenance to Hanrahan weighbridge air conditioner	-	556.05
FT40783	01/11/2007	HOME TIMBER & HARDWARE	SMOKE ALARM	-	75.08
FT40784	01/11/2007	ALBANY NEWS DELIVERY	NEWSPAPER DELIVERIES	-	28.80
FT40785	01/11/2007	ALBANY SHOE REPAIRS	VARIOUS ENGRAVING	-	100.35
FT40786	01/11/2007	ALL EVENTS PROSOUND HIRE	UNLOCK & LOCK POWER BOX ON YORK STREET	-	55.00
FT40787	01/11/2007	ATC WORK SMART	CASUAL STAFF FEES	-	4,460.22
FT40788	01/11/2007	AUSTRALIAN TAXATION OFFICE	Payroll deductions	-	3,747.17
FT40789	01/11/2007	AUSTRALIAN INSTITUTE OF MANAGEMENT	Advanced Project Management - Stuart Jamieson, 8 - 10 October 2007	-	6,864.00
FT40790	01/11/2007	AUSTENITIC STEEL PRODUCTS	STAINLESS STEEL SUPPLIES/MANUFACTURING	-	2,769.99
FT40791	01/11/2007	BAILEYS FERTILISERS	Tonnes Of Brilliance Lawn Fertiliser (100 bags x 20kg)	-	1,485.00
FT40792	01/11/2007	ADVANCED TRAFFIC MANAGEMENT	TRAFFIC CONTROL	-	12,104.45
FT40793	01/11/2007	JON BERRY	TRAVEL EXPENSES CLAIM - SEA CHANGE CONFERENCE & MEETINGS	-	118.20
FT40794	01/11/2007	WENDY BERGSMAN	MOBILE REIMBURSEMENT	-	20.00
FT40795	01/11/2007	LAURA BISHOP	2 PERFORMANCES AT SPRUNG 2007	-	500.00
FT40796	01/11/2007	ALLISON BISHOP	REIMBURSEMENT OF STAFF TRAVEL EXPENSES - SOUTH COAST MANAGEMENT GROUP MEETING	-	147.60
FT40797	01/11/2007	ALBANY BITUMEN SPRAYING	ALTERATIONS TO CROSS-OVER AT 250 ALBANY HIGHWAY	-	1,100.00
FT40798	01/11/2007	BLACKWOODS ATKINS	ELECTRICAL PRODUCTS	-	145.62
FT40799	01/11/2007	BOC GASES AUSTRALIA LIMITED	CONTAINER SERVICE RENTAL	-	65.38
FT40800	01/11/2007	MERRYN BOJCUN	COUNCILLOR ALLOWANCE	-	1,729.25
FT40801	01/11/2007	CARDNO BSD PTY LTD	WASTE CONSULTANCY SERVICE	-	5,016.00
FT40802	01/11/2007	BUNNINGS BUILDING SUPPLIES PTY LTD	HARDWARE/TOOL SUPPLIES	-	393.31
FT40803	01/11/2007	BUSBY INVESTMENTS PTY LTD T/AS BUDGET RENT A CAR	VEHICLE HIRE	-	86.92
FT40804	01/11/2007	CAMTRANS ALBANY PTY LTD	FREIGHT CHARGES	-	4,744.31
FT40805	01/11/2007	SYNERGY GRAPHICS	SENIOR WEEK BROCHURE & POSTER X 2000	-	1,632.40
FT40806	01/11/2007	CHRISTMAS ISLAND TOURISM ASSOCIATION INC.	TRAVEL GUIDE	-	34.95
FT40807	01/11/2007	CJD EQUIPMENT PTY LTD	VEHICLE PARTS	-	1,713.07
FT40808	01/11/2007	COFFEY PROJECTS (AUSTRALIA) PTY LTD	PROFESSIONAL SERVICES 23/09/07 TO 25/10/07	-	10,450.00
FT40809	01/11/2007	COLES SUPERMARKETS AUST PTY LTD	GROCERIES	-	714.85
FT40810	01/11/2007	COMMANDER AUSTRALIA LIMITED	CONTRACT - TOWN HALL	-	150.02
FT40811	01/11/2007	CONPLANT PTY LTD	DOOR WINDOW	-	269.50
FT40812	01/11/2007	CORNERSTONE LEGAL PTY LTD	REIMBURSEMENT OF FREEDOM OF INFORMATION APPLICATION FEE	-	30.00
FT40813	01/11/2007	WA COUNTRY BAKERS PTY LTD	CATERING SUPPLIES	-	35.76

FT40814	01/11/2007	COURIER AUSTRALIA	FREIGHT FEES	-	259.71
FT40815	01/11/2007	COUNTRY CARRIERS	FREIGHT CHARGES	-	130.65
FT40816	01/11/2007	COVENTRYS	VEHICLE PARTS	-	83.95
FT40817	01/11/2007	RINKER AUSTRALIA PTY LTD	CONSTRUCTION MATERIALS	-	1,527.68
FT40818	01/11/2007	35 DEGREES SOUTH	EXTREMITY OF PEACE PARK TO BE PEGGED TO ASSIST IN DESIGN AND VISUALISATION OF SITE	-	800.00
FT40819	01/11/2007	(A)POD PTY LTD.	ALAC REDEVELOPMENT - ARCHITECT FEES	-	29,315.25
FT40820	01/11/2007	DOUST JE/G	RATES REFUND FOR ASSESSMENT A81319	-	1,061.69
FT40821	01/11/2007	EATCHA HEART OUT CAFE	CATERING FOR 12 PEOPLE	-	46.00
FT40822	01/11/2007	P & W ELOY ELECTRICAL SERVICES	ELECTRICAL REPAIRS	-	2,236.30
FT40823	01/11/2007	ALBANY ENGINEERING COMPANY	MAINTENANCE VEHICLES	-	193.75
FT40824	01/11/2007	RECLAIM INDUSTRIES LIMITED	3 buckets binder 45kg	-	231.00
FT40825	01/11/2007	MILTON EVANS	COUNCILLOR ALLOWANCE	-	639.35
FT40826	01/11/2007	FICKO W/SJ	RATES REFUND FOR ASSESSMENT A97304	-	148.76
FT40827	01/11/2007	FLEXTOOL (AUST) PTY LTD	SHAFT, WASHER & CUTTER	-	1,016.25
FT40828	01/11/2007	GREAT SOUTHERN GROUP TRAINING	APPRENTICES FEES	-	4,753.85
FT40829	01/11/2007	GREAT SOUTHERN PACKAGING SUPPLIES	CLEANING GOODS	-	256.25
FT40830	01/11/2007	GROCOTT TRANSPORT	CARTAGE OF GRAVEL	-	807.50
FT40831	01/11/2007	HAMMOND SUPERANNUATION FUND	SUPERANNUATION CONTRIBUTIONS	-	1,554.15
FT40832	01/11/2007	HAVOC BUILDERS PTY LTD	LABOUR SUPPLIED	-	1,347.00
FT40833	01/11/2007	ALBANY WORKLINK INC.	CASUAL STAFF FEES	-	125.75
FT40834	01/11/2007	IPWEA NATIONAL	PURCHASE OF DVD - SUSTAINABLE COMMUNITIES - CRITICAL INSIGHTS	-	220.00
FT40835	01/11/2007	JOHN JAMIESON	COUNCILLOR ALLOWANCE	-	3,341.60
FT40836	01/11/2007	MARK JORDAN	REIMBURSEMENT OF TRAVEL EXPENSES FOR DEPARTMENT OF SPORT & REC CONFERENCE	-	213.10
FT40837	01/11/2007	KELYN TRAINING SERVICES	Advanced Traffic Management Training	-	1,280.00
FT40838	01/11/2007	NOVA KETTLEWELL	ADMIN ASSISTANT - VAC	-	417.15
FT40839	01/11/2007	KNOTTS PLUMBING PTY LTD	PLUMBING REPAIRS/MAINTENANCE	-	3,656.83
FT40840	01/11/2007	LAWRENCE & HANSON	SAFETY VESTS D/N SIZE MEDIUM	-	132.00
FT40841	01/11/2007	ALBANY LIGHT OPERA & THEATRE COMPANY	GRANT FOR LIGHTING EQUIPMENT	-	21,239.00
FT40842	01/11/2007	BELLS LIQUOR MERCHANTS	BEER FOR RECIPE FOR JAM	-	71.98
FT40843	01/11/2007	LORLAINE DISTRIBUTORS PTY LTD	CLEANING GOODS	-	151.80
FT40844	01/11/2007	ALBANY PARTY HIRE & TEMPTATIONS	CATERING	-	289.00
FT40845	01/11/2007	ALBANY CITY MOTORS	VEHICLES/VEHICLE PARTS/REPAIRS	-	5,685.63
FT40846	01/11/2007	MATT GOODWIN PLUMBING & GAS	REPLACE POOL HEATER/BOILER AS QUOTED	-	18,880.00
FT40847	01/11/2007	MC LEVITZKE	ALBANY & ANZAC MAPS	-	1,125.00
FT40848	01/11/2007	METROOF ALBANY	ROOFING PRODUCTS	-	383.45
FT40849	01/11/2007	MICROELECTRONIC TECHNICAL SERVICES	ROUTINE MAINTENANCE FIRE TENDER RADIO CHEYNES 3.4R	-	330.00
FT40850	01/11/2007	BEST ELECTRICAL	SERVICE GLASS WASHER	-	970.00
FT40851	01/11/2007	ALBANY NEAT & TRIM LAWNS	MOW LAWN VANCOUVER ARTS CENTRE	-	120.00
FT40852	01/11/2007	NEWBYS AUTOMOTIVE ELECTRICIANS	VEHICLE PARTS/REPAIRS	-	499.40
FT40853	01/11/2007	NIKANA CONTRACTING PTY LTD	REMOVAL OF RUBBISH BOAT HARBOUR SKIP BINS	-	522.50
FT40854	01/11/2007	OKFFFE'S PAINTS	PAINT & PAINTING SUPPLIES	-	64.54

FT40855	01/11/2007	AUSTRALASIAN PERFORMING RIGHT ASSOC. LTD	LICENCE FEES	-	304.45
FT40856	01/11/2007	PETER GRAHAM AND CO LTD	BAGS OF FERTILISER	-	90.75
FT40857	01/11/2007	PEVAMIKI PTY LTD	BATTERY PURCHASES	-	421.00
FT40858	01/11/2007	PIVOT+DESIGN	Provision of photoshop diagrams for identifying paint scheme for Airport	-	540.00
FT40859	01/11/2007	PLAYGROUND SOLUTIONS	Agility play system - AG-002 Colour AG2	-	9,401.70
FT40860	01/11/2007	POWELL SECURITY SERVICES	SECURITY SERVICES	-	455.62
FT40861	01/11/2007	PRINCESS ROYAL SAILING CLUB	COMMUNITY ASSISTANCE FUNDING FOR JETTY REFURBISHMENT	-	55,000.00
FT40862	01/11/2007	REDMOND GENERAL STORE	FUEL	-	22.19
FT40863	01/11/2007	ROYAL LIFE SAVING SOCIETY AUSTRALIA	LIFESAVING MANUALS	-	665.00
FT40864	01/11/2007	LUCY SADLER	TOURISM TEAM LUNCH REIMBURSEMENT	-	45.10
FT40865	01/11/2007	SHERIDANS FOR BADGES	Albany Public Library Name Badges	-	54.99
FT40866	01/11/2007	SHEILAH RYAN	GARDENING MAINTENANCE - VAC	-	176.00
FT40867	01/11/2007	SKILL HIRE	CASUAL STAFF FEES	-	2,393.64
FT40868	01/11/2007	SOUTHERN ELECTRICS	ELECTRICAL REPAIRS/MAINTENANCE	-	7,925.56
FT40869	01/11/2007	SOUTHERN STATIONERY	STATIONERY SUPPLIES	-	189.05
FT40870	01/11/2007	SOUTHWAY DISTRIBUTORS (WA) PTY LTD	GOODS DAY CARE CENTRE	-	125.29
FT40871	01/11/2007	STORM OFFICE NATIONAL	STATIONERY SUPPLIES	-	71.44
FT40872	01/11/2007	SUNNY SIGN COMPANY	SIGN PURCHASES	-	1,672.00
FT40873	01/11/2007	ALBANY LOCK SERVICE	LOCKSMITH SERVICES,REPAIRS ETC	-	183.80
FT40874	01/11/2007	ALBANY IGA	GROCERIES	-	817.86
FT40875	01/11/2007	SYNERGY	ELECTRICITY SUPPLIES	-	24,341.20
FT40876	01/11/2007	SYSTEMS EDGE MANAGEMENT SERVICES PTY LTD	FINAL REPORT FOR TOURISM PLANNING STRATEGY	-	11,004.80
EFT40877	01/11/2007	T & C SUPPLIES	HARDWARE/TOOL SUPPLIES	-	1,046.47
EFT40878	01/11/2007	TELSTRA LICENSED SHOP ALBANY	INSTALL NEW PHONES AT AIRPORT	-	294.00
EFT40879	01/11/2007	TEMCO DISTRIBUTORS	GRACO 415 SWITCHTIP & GUARD.	-	220.00
EFT40880	01/11/2007	ARTSOURCE, THE ARTISTS FOUNDATION OF WA	Art Coordinator for Public Art Commission for ALAC Upgrade - PAYMENT 2 OF THREE	-	4,180.00
EFT40881	01/11/2007	THRIFTY CAR RENTAL	VEHICLE HIRE	-	131.95
EFT40882	01/11/2007	TIMELESS MARKETING	500 x pens (blue plastic) with the wording amazingalbany.com in silver/grey	-	442.20
EFT40883	01/11/2007	ALBANY TYREPOWER	TYRE PURCHASES/MAINTENANCE	-	165.00
EFT40884	01/11/2007	UPTOWN MUSIC	STUDIO HIRE	-	400.00
EFT40885	01/11/2007	IT VISION AUSTRALIA PTY LTD	Overview of Workshop Module and determination of the set up requirements for going live	-	1,155.00
EFT40886	01/11/2007	ALBANY & GREAT STHN WEEKENDER	ADVERTISING	-	2,866.60
EFT40887	01/11/2007	WEST COAST HI-FI	Marantz PMD660 Digital Recorder	-	1,314.00
EFT40888	01/11/2007	WESTRAC EQUIPMENT PTY LTD	VEHICLE PARTS	-	246.97
EFT40889	01/11/2007	WESTERN WORK WEAR	UNIFORMS	-	588.28
EFT40890	01/11/2007	WILSON MACHINERY	VEHICLE PARTS	-	231.44
EFT40891	01/11/2007	WREN OIL	COLLECTION OF OIL	-	1,584.50
EFT40892	01/11/2007	YAKKA PTY LTD	UNIFORMS	-	83.49
EFT40893	01/11/2007	ZENITH LAUNDRY	LAUNDRY SERVICES/HIRE	-	58.92
TOTAL				-	3,005,460.74



AUDIT COMMITTEE

Minutes of the Audit Committee meeting held in the Margaret Coates Boardroom,
City of Albany Administration Building on
Thursday 18th October 2007

1.0 MEETING COMMENCEMENT 0859

Committee: Clr Bob Emery (Chairperson)
Clr Dennis Wellington

Council Staff:

Mr Stan Goodman

External Auditor

Mr Russell Harrison

2.0 APOLOGIES

Clr Paul Lionetti

2.0 DISCLOSURES OF INTEREST

Nil

4.0 MINUTES OF PREVIOUS MEETING

ADOPTED:

That the minutes of the Audit Committee meeting held on the 7th November 2006 be accepted as a true and correct record of that meeting.

5.0 REVIEW OF 2006/07 ANNUAL ACCOUNTS

The Committee reviewed the 2006/07 Annual Accounts, the content of the Audit Management Letter, the Audit Observations, and Officer responses.

The City of Albany external Auditor, Mr Russell Harrison commented on the audit, with particular reference to the disclosure of financial instruments in the accounts. He noted that there are five relevant accounting standards and the issue is very complex. He stated that the valuation of securities by averaging the bid/offer prices is unreliable in an illiquid market and commented that the City was fortunate to be in the position of being able to hold the securities until the market firms. The enormous pools of borrowers behind each security should, in the worst case, provide strength on securities held to maturity. He noted that the challenge was to present consistent disclosure through all Local Governments, and to this end, he liaised with other Local Government auditors.

Item 5.0 continued

With regard to the balance of the audit, he noted that there were only two minor points raised in the Management Letter.

He noted that the new "force of Law" legislation for auditors had created a considerable workload for Lincoln's this year, and will require an increase in future audit scopes, and fees.

Councillor Emery asked if the auditors believed that the current Investment policy was adequate. Mr Harrison confirmed that in normal times, the policy was very adequate and appeared to have been the correct decision at the time. In addition, during the course of the audit, Lincoln's auditors had considerable contact with Grange Securities personnel and had found them to be very competent.

Councillor Wellington queried the level of unpaid rates. Mr Goodman noted that the total unpaid rates (excluding pensioners) as at 30th June 2007 was \$ 366,099, 2.2% of rates. The City will use Austral as debt collectors once again in 2007/08 and the process should be improved by the use of an Austral appointed bailiff from Perth. Mr Harrison noted that benchmark figures are available from ALGA, and he would provide them to the Committee by email.

ADOPTED:

That the Audit Committee note the Audit Reports and Officer responses for the year ending 30th June 2007.

RECOMMENDATION

That in accordance with the requirements of Section 5.54 of the Local Government Act, Council accept the City of Albany Audited Financial Statements for the year ending 30th June 2007.

6.0 GENERAL BUSINESS

Councillor Emery thanked Council for the opportunity to serve on the Committee and wished the Committee well for the future.

7.0 NEXT MEETING

To be advised

8.0 MEETING CLOSED

There being no further business the meeting closed at 9:28 am.

**GREAT SOUTHERN REGIONAL
RECREATION ADVISORY GROUP**

REGIONAL RECREATION STRATEGY

Draft

INTRODUCTION

Background to this report

In 2003, the twelve local governments of the Great Southern Region (GSR) with the Department of Sport and Recreation began to develop a plan to help community sport and recreation.

The local governments (LGs) in conjunction with the Department of Sport and Recreation (DSR), appointed a group to oversee this project, the Great Southern Regional Recreational Advisory Group (GSRRAG).

The report was completed and included twelve individual local government plans and an overall regional plan.

These plans aimed to identify gaps in provision of services and infrastructure and to propose priorities. Because the final report was 250 pages, the GSRRAG appointed a task group to develop a concise version for public inspection.

Purpose of this document

The aim of this document is to provide a version of the report which is suitable for community exposure.

Method used for compiling this document

The original report was used as the basis.

A survey was held for regional organisations involved in delivering sport and recreation.

Three workshops attended by 33 people were held in sub-regional centres: Katanning; Albany; Ongerup.

Three consultation sessions were held with the special sub-committee of the GSRRAG.

Contents

The proposals in this report are grouped under the six key areas used by the Department of Sport and Recreation state-wide for the development of sport and recreation. They are:

Industry Development	High Performance Sport
Participation	People Development
Infrastructure/facilities	Management

Explanation of terms (as used in this report)

Sport and Recreation

The original report and this document deal with organised, competitive sport at various levels and also with what is often termed 'recreation'.

This includes activities which can be 'very active', such as surfing, and 'passive activities' such as reading and some art and craft.

Collocation (3.1.1)

Collocation is understood to mean relocating a facility closer to existing facilities when it is no longer desirable or effective to invest further time and funds into that facility.

It also refers to planning to locate a new facility near other facilities with amenities which can be shared. This can create a higher quality facility and avoid costly duplication.

Succession planning (5.2)

In this document, this term means that committees should have a plan to ensure that volunteers are not burnt out. They will have a replacement plan to ensure that volunteers do not hold down positions to the extent that others will be reluctant to take on these roles, either in the management committee or in sub-committees.

Country Sport Enrichment Scheme; Champions to the Region; Coach in Residence (4.2)

DSR programs to support: special events in country areas, visits of elite players, coaching of coaches by eminent coaches visiting Western Australia.

Basic and guiding principles/values for a regional plan

The Working Group accepted the following principles outlined in the report:

Access and availability	Diversity and choice	Safety
Quality	Ongoing Development	
Efficiency and effectiveness	Equity	

It also adopted the following additional ones:

Community Social Cohesion:

Sport should be structured in such a way as to enhance opportunities for families to play and view sport together.

Sport and recreation should be used, where opportunities exist, to enhance community relationships and cultural understanding.

Sport and recreation can provide unique, significant social benefits, especially in smaller communities. It has been referred to as a 'social glue'. In some instances, providing opportunities may involve an 'opportunity cost' for governments.

De-regionalisation:

Consider de-regionalising major sport and recreation infrastructure where this has the potential to enhance local community development and where there exists the capacity in the community to facilitate such development.

In this document, the term Great Southern Region (GSR) has been used in many recommendations. However, the key recommendation (1.1) assumes that a properly constituted body (GSRRAG) will be delegated to act as an agent for GSR.

RECOMMENDATIONS

1. Industry Development

It is recommended that

1.1 The Great Southern local governments authorise the existing Great Southern Sport and Recreation Advisory Group to create terms of reference for it to become a permanent sport and recreation group for the purpose of implementing, monitoring and revising the regional plan.

1.2 The Great Southern Regional Sport and Recreation Group (GSRRG) be endorsed by DSR and adequately resourced to carry out its terms of reference.

1.3 Because there are issues across sports that should be shared, the GSR, through the proposed GSRRG, encourage and foster the holding of regular summits for sport associations in the region with a structured agenda to avoid 'talkfests'.

1.4 Because the last state-wide report on country sport was in 1984, the GSRRG should request DSR to conduct research into country sport, with special focus on those areas and towns that are experiencing a declining population.

1.5 The GSR lobby relevant state sports associations (SSAs) to improve their input into sport development, if necessary focusing on a limited number of high participation sports in the first instance.

1.6 The GSR request state sports associations and DSR that sports association development officers liaise closely with LGs as part of their normal regional service because this will help to create a more focused industry development.

1.7 The DSR ensure that Sports Association Development Officers have, as far as their resources allow, a genuine regional focus.

1.7.1 The DSR facilitate regular regional and inter-regional meetings of Development Officers because these will help to share best practice ideas.

Notes:

Number 1.2 is important because such groups are ineffective unless there is a follow up. It may be on a modest cost share basis or perhaps by engaging a person competent in identifying and negotiating grants and other sources of funds.

Number 1.5 is usually a major issue. The level of service to country sport is not usually high except with well-funded sports like cricket and football.

The GSR could look at providing support to those SSAs that demonstrate that they have had input into the region.

2. Participation

It is recommended that

2.1 The GSR advocate for an improved input into sport development from the relevant state governing bodies that is planned and well-resourced to ensure continuity.

2.2 The GSR focus on sports and recreation activities that have demonstrated their sustainability because there is evidence that LGs can no longer support every new or existing activity.

2.3 The GSR seek greater support for recreation activities from state organisations.

2.4. There be access to a range of arts and cultural activities and programs advertised across the GSR along the lines of the arts brochure already published.

Note:

Number 2.2 is radical. However, over the years, we have probably tried to help any group wanting to start an activity. But there are examples of equipment wasted and resources wasted because people have started something and then left with no succession planning. i.e. without planning for the future

3. Infrastructure/facilities

It is recommended that

3.1 Built facilities

3.1.1 GSR work towards upgrading and collocating where appropriate - bearing in mind that the timing for such a move is often dependent on the age of the facility, identifying the critical time and especially participation rates.

3.1.2 GSR work towards upgrading facilities by sharing, not duplicating and by identifying re-cycling opportunities, especially across government.

3.1.3 GSR should continue to identify the priority for developing local facilities across the region and recommend them accordingly, priority being given to collocated facilities.

3.1.4 GSR develop and fund the position of a regional turf management adviser to enable local greenkeepers to maintain their surfaces more effectively.

3.1.5 The GSR request the DSR to amend the guidelines for the Community Sport and Recreation Facilities Fund (CSRFF) to allow for:

- (a) More flexibility with smaller projects because the present system is often said to be 'not user friendly'.
- (b) Major refurbishments - because smaller communities cannot afford them.
- (c) Developing a policy identifying and outlining essential infrastructure and amenities.

3.1.6 Regional facilities for both sport and recreation be identified, recognised, developed and sustained by partnerships between local governments, state associations, regional associations and local clubs.

3.1.7 The GSR encourage clubs to use a simple business plan which includes the provision of a reserve fund to help meet maintenance/refurbishment costs.

3.2 *Natural facilities*

3.2.1 The GSR continue to sustain recreation pathways and trails through ongoing maintenance/development programs and using opportunities for partnerships across LG boundaries.

3.2.2 Relevant LGs increase access to natural environments suitable for recreation because there is a growing demand for such facilities - but always within environmental constraints.

Notes:

To highlight the importance of outdoor recreation/walking, this document distinguishes between 'built' facilities and 'natural' facilities. The latter may be used, or adapted, for recreation.

Number 3.1.1.

It appears that relocating facilities together (collocating) is viable when a facility has run down to the level where it is no longer reasonable to inject more time and money.

Number 3.1.5 (b)

This is again a major, radical idea that really requires the input from many regions to bring about change, but it may be worth pursuing.

4. High Performance

It is recommended that

4.1 GSR continue to identify, maintain and develop high quality facilities capable of attracting major events at interstate, state and inter-regional level.

4.2 GSR advertise and encourage groups to use the DSR Country Sport Enrichment Scheme; the Coach in Residence program; the Champions to the Region scheme; as well as scholarships for regional coaches and officials to support major events in the region.

4.2.1 DSR regularly brief GSR and update it about the above programs.

4.3 The GSR and DSR require the organisers of such events to provide some form of junior development activity that has a regional or sub-regional scope in order to qualify for assistance.

4.4 GSR consider using the regional games concept because this can provide another level of competition and also stimulate an improvement program for facilities.

4.5 The GSR request SSAs that sports development officers continue to maintain a high level of coach development in their activities because it has been demonstrated that coach development programs are the basis of higher level performance.

4.6 The GSR request SSAs to create competent regional coaches to run development programs because of the travel costs for talented players to go to Perth.

4.7 The GSR request the governing bodies of relevant sports investigate player welfare programs for young players recruited to play in Perth so that these bodies are conscious of the need to enhance the life skills of young people who frequently return to the country.

4.8 There be a co-ordinated approach, through the DSR, to the conduct of events across the GSR through regular liaison at summit level for relevant organisations.

5. People Development (helping them run their organisations)

It is recommended that

5.1 GSR liaise with DSR to develop a schedule of practical and needs-based sport management workshops that systematically covers the region over a set period.

5.2 DSR ensure that the need for succession planning be dealt with in such workshops because there is a need to ensure that clubs maintain a stream of fresh administrators.

5.3 Because the functioning of committees often depends on interpersonal aspects, and creating committee solidarity, this theme be included in training programs suggested in 5.1.

5.4 The GSR, with DSR, liaise with the Education Department at regional level to advocate for physical education courses continuing to include training for volunteer service, and explore working in collaboration with the Albany Volunteer Centre as a model.

5.5 GSR advocate for SSAs to provide planned, regular services to help clubs and associations in this region in player development and training for umpires and coaches.

Notes:

Numbers 5.1 and 5.4: The key words are 'practical' and 'needs-based'. Club officials want help to solve their problems, not an academic course.

6. Management

It is recommended that

6.1 GSR seek funds to establish club development officers within groups of local governments, along the lines of a Be Active Co-ordinator used in other regions.

6.2 GSR encourage groups of LGs to identify a panel of local people with the expertise to help club administrators.

6.2.1 GSR encourage clubs to use these people on a cost share basis with the participants.

6.3 Because it is becoming difficult to recruit club administrators, the GSR promote the idea of clubs in a town/sub-region using a multi-group secretariat, on a cost-share basis and under precise terms of reference, to deal with purely administrative matters.

6.4 The GSR, with DSR, develop a program to ensure that regional associations are aware of their responsibilities to affiliated clubs.

6.5 The GSR and DSR use regional forums and other opportunities to promote the use of the Department's 'Healthy Clubs' resource as a tool to audit performance.

6.6 DSR continue to advocate and promote recreation activities as an alternative to traditional sports and to cater for the needs of an ageing population.

6.7 Where appropriate, there be a collaborative approach in the GSR to the scheduling of activities, such as sports fixtures, to maximise opportunities for participation, socialisation and shared resources.

6.8 Fine arts, art and craft be fostered as part of the overall recreation continuum, where possible using regional and sub-regional opportunities to promote this aspect.

6.9 All sport, recreation, arts, and community organisations involved in regional recreation provision have a plan, at a level appropriate to their size and development, in order to qualify for assistance, such a plan to include provision of services, club

management needs and amenities and provision for deferred refurbishment of facilities and amenities.

6.9.1 The proposed Regional Sport and Recreation Group develop a practical, one-page business plan pro forma suitable particularly for smaller clubs which will enable councils to update their local plans and budget.

6.10 All LG sport and recreation plans be maintained consistent with their respective budgetary cycles to reflect local, regional, sub-regional initiatives and are submitted annually to DSR.

6.11 Organisations conducting regional programs or events be incorporated bodies.

6.12 The GSR encourage LGs to continue to create memoranda of understanding to develop cooperative resource sharing.

Notes:

Number 6.1 Be Active Co-ordinators worked with a group of LGs to help their clubs in things like management, recruitment and networking with other clubs. They were part funded by Healthway.

Number 6.2 is probably happening to some extent. This idea would formalise it.

Number 6.3 may be radical for some groups. A secretariat deals with purely administrative matters and in no way replaces the constitutional committee. The secretariat is a 'servant' of the clubs, working within strict guidelines.

This role can be useful in ideas-sharing, for example keeping groups abreast of funding opportunities.

Great Southern Recreation Advisory Group

TERMS OF REFERENCE

1 MISSION

The Group is in the business of developing community sport and recreation opportunities for residents of the Great Southern and visitors or potential visitors.

It does this by: -

- Helping to create co-operation across local government municipal boundaries.
- Being a forum for sharing ideas.
- Providing advice and direction.

2 PURPOSE

- Consulting with member local governments via the Regional Plan.
- Co-ordination and planning
- Supporting provision of sound basic facilities to all sporting bodies
- Consulting with the community
- Empowering the community to take ownership
- Being a 'think tank' brains trust – strategic group
- Bringing big issues/basic studies to the group for discussion
- Specific projects would be followed by specific Shires
- Maintaining and extending partnerships

3 ROLES

3.1.1 Policy

- The Group will provide policy direction on sport and recreation issues to Local Government Authorities within the region.

3.1.2 Planning

The group will:

- prioritise recommendations in the regional plan.
- review the comprehensive plan annually and report to member Councils with recommended updates to the plan.
- report on work in progress on the plan twice a year.
- encourage Local Government Authorities to implement, review and update their plans annually.
- review, rank and prioritise CSRFF applications, in line with regional and local Sport and Recreation Plans.

3.1.3 Partnerships

The group will:

- develop and maintain partnerships between funding agencies and providers of technical resources and plant.
- foster alliances for specific projects.
- maintain existing partnerships or alliances either regional or sub-regional.

3.1.4 Advocacy

The Group will:

- lobby on behalf of the region with government agencies, other agencies such as state sports associations, or private enterprise.
- endorse submissions of members Councils as appropriate.
- Advocate for regional needs of sport and recreation as required.

4 OPERATIONAL GUIDELINES

4.1 Responsibility and accountability

Committee members are responsible to their own managers and employers or organisations.

4.2 Meeting Management

An elected member from a local government authority will be appointed chairman for a twelve (12) month period. If the appointed chairman or a proxy is not available on any particular meeting day, then an elected member from the attending members is to be elected as the presiding member,.

4.3 Members

The Group shall be established by consensus of those Councils that make up the Great Southern Region of WA. These councils include:

- Shire of Jerramungup
- Shire of Tambellup
- Shire of Gnowangerup
- Shire of Denmark
- City of Albany
- Shire of Kojoonup
- Shire of Cranbrook
- Shire of Broomehill
- Shire of Katanning
- Shire of Kent
- Shire of Plantagenet
- Shire of Woodnalling
- Department of Sport and Recreation

The Group shall comprise the following:

Two representatives from each participating Council in the region (a staff member and an elected member of Council); Great Southern Regional Manager Department of Sport and Recreation; Other members from time to time as deemed appropriate and accepted by vote of this Group.

4.4 Meetings

Agendas

The chairman will use an agenda at each meeting.

Minutes

The GSRRAG Executive Secretary will take and distribute minutes of meetings.

Frequency and Duration

The RAG will meet quarterly at rotated venues through out the Great Southern.

Quorum

Representation from 7 member local government authorities.

Proxies

Committee members may send a proxy from their agency/organisation in their absence.

5 RESOURCES

5.1 Budget

The Managers of participating agencies will be responsible for meeting any costs associated with attendance of their staff at meetings.

6 RECORDS

The secretary shall issue any supporting material at least seven days in advance and prepare minutes from each meeting. Copies of the minutes will be forwarded to the members within 2 weeks of the meeting being held.

The secretariat shall keep separate files of at least the following:

1. Agendas and papers circulated with them;
2. Correspondence, papers tabled at meetings and papers circulated other than with agendas.

7 EVALUATION

The group will conduct an annual review of its performance after 12 months of implementation.

8 ADOPTION AND AMENDMENT OF TERMS OF REFERENCE

The Terms of reference shall be altered only at the first meeting of each year.

These Terms of Reference were first adopted by _____ on _____.

Subsequent revision dates:

No.	Date	Nature of change(s)

Most recently declared by _____ to be still current on dd/mm/yy.



MINUTES

OF THE MEETING OF THE ALBANY ARTS ADVISORY COMMITTEE HELD AT THE VANCOUVER ARTS CENTRE on Wednesday 10th October 2007, AT 4.00PM

1. ATTENDANCE

Present. J. Campbell
J. Crisp
R. Mordy
G. Waldeck

Council Officers: T. Colby – AD/VAC

APOLOGIES P. Madigan – ED/CCS
A. Copeman
B. J. Waterman

2. APPOINTMENT OF ACTING CHAIRPERSON – if required.

In the absence of the Chairperson, Councillor Jan Waterman, Rachel Mordy was nominated as Chairperson

4. DISCLOSURE OF INTEREST

Nil

5. CONFIRMATION OF PREVIOUS MINUTES

RECOMMENDATION

THAT the minutes of the Albany Arts Advisory Committee meeting held on the Wednesday 12th September 2007 be confirmed as true and accurate.

MOVED: J. Crisp
SECONDED: J. Campbell
CARRIED

6. MATTERS ARISING FROM PREVIOUS MINUTES

Jenny Crisp wanted to know the dates of the hanging rail and lighting system installation, and the pricing structure in the new multi purpose workshop space - Artistic Director to follow up.

Rachel Mordy informed the committee that Arty Farty was re-named to Arty Party.

ALBANY ARTS ADVISORY COMMITTEE MINUTES
Wednesday 10TH October 2007

7. CORRESPONDENCE RECEIVED

Nil

8. BUSINESS ITEMS

Geoff Waldeck expressed an interest in expanding or building on Recipe for Jam, with the view to create a long-term music program. He will meet with the Artistic Director in the near future to further develop his ideas.

9. REPORTS

9.1 Artistic Director's Report – October 07

RECOMMENDATION

THAT the Artistic Director's Report be received.

MOVED: J. Crisp

SECONDED: G. Waldeck

CARRIED

10. OUTSTANDING ITEMS

Paperartzi

J. Crisp notified the committee that Newarts affirmed Paperartzi for 2009 and that they will be seeing financial assistance from the City of Albany in the near future. She advised that the name Paperartzi would be registered, and that the suggested theme for 2009 was 'Trees'. Jenny also indicated that Annette Davis would again coordinate the project, and that Anne Copeman would be taken on as an assistant coordinator and be mentored in that role.

Emerging Artist Fund

The Artistic Director informed the committee that the 9x5 Emerging Artist Fund was not made available to the public in 2007, but would be offered in 2008, with applicants being able to apply for \$1000 instead of the previous \$500.

11. MEETING CLOSED

5pm

12. NEXT MEETING

TBA

**Minutes of Advisory
And Other Committees
Of Council**

**MINUTES
CITY OF ALBANY**

LOCAL EMERGENCY MANAGEMENT COMMITTEE

26 SEPTEMBER 2007

1. MEETING COMMENCED

The Chairperson declared the meeting open at 8.30 am.

2. ATTENDANCE & APOLOGIES

Present: Cllr Des Wolfe
Mr Steve Gray – City of Albany
Sgt Mark Fairclough – WA Police Service
Sgt Bob Scott – WA Police Service
Mr Mark Selby – St John Ambulance Albany Branch
Ms Jo Weekes – Albany State Emergency Service
Mr Charlie Butcher – CBFCO Bush Fire Brigades
Mr Kevin Parsons – FESA
Mr Steve Casey – Alinta Network
Mr Brad Nelson – Telstra
Mr Kerrin Digney – Western Power
Mrs Jo Briggs – Albany Regional Hospital
Mr Peter Siddell – Department for Education
Mr Damian Buswell – FESA Fire & Rescue
Mr Greg Broomhall – Department of Environment and Conservation
Ms Julie MacQueen – Main Roads WA

Apologies: Mr Steve Young – Albany Port Authority
Mr Daniel Highman – Department for Community Development
Mr Tom Marron – Albany Surf Life Saving Club
Mr Tony Fitzpatrick – Department of Planning & Infrastructure

Observers: Mr Graeme Bride – City of Albany

3. CONFIRMATION OF MINUTES

MOVED: K Parsons

SECONDED: J Weekes

That the minutes of the Local Emergency Management Committee Meeting held on 6 June 2007 be confirmed as a true record of proceedings.

CARRIED

4. BUSINESS ARISING

Nil

5. GUESTS OF COMMITTEE

Nil

6. CONFIRMATION OF LEMC CONTACT DETAILS

Change of contact details for Greg Broomhall and Brad Nelson.

7. POST- INCIDENT/EXERCISE REPORTS

Nil

8. PROGRESS OF EMERGENCY RISK MANAGEMENT (ERM) PROCESS

8.1 AWARE Community Risk Analysis Update

Members will be sent a copy of the 'City of Albany Community Consultation Report (AWARE Project) – Stage 1'. If members could go through and provide feedback to the Executive Officer by Wednesday October 10th before the final copy is issued.

To assist with the rest of the emergency risk management process, a copy of the Shire of Esperance ERM project will be sent as a guide.

9. PROGRESS OF TREATMENT STRATEGIES FROM ERM PROCESS

Nothing to report as we are still in the community risk analysis stage.

10. PROGRESS OF DEVELOPMENT OR REVIEW OF LEMC EM ARRANGEMENTS

10.1 Update of the Albany Emergency Management Arrangements

The updated plan and recovery management plan on CD will be sent out with the minutes.

11. TRAINING

11.1 AIIMS Training

During the past 3 months two AIIMS courses have been conducted. They being the half day AIIMS Awareness and 2 day Introduction to AIIMS. The following agencies participated: Bureau of meteorology, Volunteer Bush Fire Brigades, City of Albany, Albany Regional Hospital, FESA, SES, St John Ambulance, and Western Power.

The WA Police have also conducted an AIIMS Introduction course for their officers in this time.

11.2 Vector Command Desktop Exercises

To be discussed at the meeting.

12. MATTERS FOR CONSIDERATION:

12.1 New Policy for LEMC

MOVED: K Digney

SECONDED: M Fairclough

That a 'Terms of Reference be developed so as to make the Albany Local Emergency Management Committee and formal committee of Council in accordance with Section 38 of The Emergency management Act 2005.

CARRIED

12.2 Incident Control Van

MOVED: J Briggs

SECONDED: K Parsons

THAT the Albany LEMC fully supports the concept of an 'all hazards' incident control van; and that when the vehicle is supplied an incident support unit consisting of all agencies be formed around the ICV.

CARRIED

NOTE: A report on the Incident Control Van and the formation of an incident support unit will be circulated for comment.

12.3 Western Power Call Out Procedures

MOVED: J MacQueen

SECONDED: K Digney

THAT the call out procedure be noted and passed around the respective agencies of the LEMC.

CARRIED

12.4 Albany Nuclear Powered Warship Plan

MOVED: M Fairclough

SECONDED: K Parsons

THAT the Albany Local Emergency Management Committee endorses the Albany Nuclear Powered Warship Plan.

CARRIED

12.5 Annual Report 2006/07

MOVED: M Fairclough

SECONDED: K Parsons

THAT the Albany Local Emergency Management Committee 2006/07 be accepted and forwarded to the Great Southern District Emergency Management Committee in accordance with Section 40(1) of the Emergency Management Act 2005.

CARRIED

13. GENERAL BUSINESS

13.1 Future of Alinta

Steve Casey informed the meeting of the sale of Alinta and it will now be called Westnet Energy. He will advise LEMC of the next annual exercise for the gas facility, which is required every year.

13.2 Western Power green domes for power connection to properties

Following an agenda item put forward in the City of Albany Bush Fire Advisory Committee, and subsequent investigation, Kerrin Digney advised the meeting that Western Power were looking at better ways of indicating the location of green domes in the rural area. When further information becomes available he will report back.

The only time one of the green domes had been burnt in the great Southern since they were introduced was at the recent Porongurups fire.

13.3 New Main Roads WA representative

Julie MacQueen introduced herself to the LEMC and advised that she was Main Roads WA representative on LEMCs in the Great Southern and the Great Southern DEMC. She has previously been involved with LEMCs and incident management.

13.4 Albany Regional Airport Exercise

Exercise HOT WHEELS will be conducted at the Airport, Albany Highway, Albany. The exercise will start at 1030 hrs on Saturday, 29 September 2007. Role players to attend the Airport at 1000 hrs to be briefed and placed accordingly. The exercise should be completed by 1230 hrs. The exercise will involve FESA Fire and Rescue, St Joh Ambulance Australia, WA police and City of Albany Airport staff.

13.5 Resignation of the City of Albany Emergency Management Coordinator

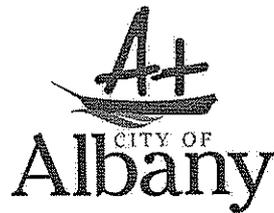
The Chairman thanked Steve Gray for his work with the LEMC over the past 4 years and wished him well in his new career with Emergency Management Australia in Canberra.

14. NEXT MEETING

Wednesday 5th December 2007 at 8.30am at the City of Albany Administration Centre.

15. CLOSURE

The Chairperson declared the meeting closed at 9.45 am



**Mt Martin Botanic Park Committee
- MINUTES -**

**Meeting held at the City of Albany Office, North Road
Wednesday, 10th October 2007**

Meeting opened at 10:35 AM.

1.0 PRESENT

Hazel Mitchell, Pat Johns, Ray Garstone, Joan Garstone, Merryn Bojcun and Alli Bishop.

2.0 APOLOGIES

Dennis & Teresa Greeve.

3.0 GENERAL BUSINESS

3.1 Adoption of last minutes

Merryn informed that the minutes from August were presented at the normal council meeting in September and were formally received and accepted by council at the meeting.

3.2 Commemorative Seat

Merryn and Hazel attended the Mt Martin Community Working Group's last meeting at the Department of Environment and Conservation (DEC). The meeting confirmed the Committees earlier thoughts that if a seat is to be built in Mt Martin, DEC need to be informed as the new land managers of the reserve.

Merryn also discussed the seat at the council meeting in September and suggestion was made that the seat be located at Emu Point, that it should be made out of rocks and there should be a bronze plaque listing active members along with an information board about Mt. Martin. The reasoning for the seat to be made out of rocks is because it weathers better than other materials and is less likely to be damaged or vandalised. Council was in agreement on this matter and added that Emu Point was the best location, as Mt Martin itself has limited access to the public.

3.3 '205 Years of History' – Dennis Greeve's book on Mt Martin.

Alli explained to the committee that after attempts by Ray and herself to obtain a copy of Dennis's book they still didn't have one in their possession. Dennis also expressed to Alli and Ray that he felt he should receive the proceeds of the sale of the book, which conflicted with the motion, passed in the last meeting where proceeds were going to be donated to the flora fund committee. In addition several quotes were received to print the book '205 years of history'. Quotes included the cost to carry out the editing and layout and were much higher than initially expected.

3.4 Rescind the Minutes of the August meeting, which Council adopted in September.

Due to the difficulty in obtaining a copy of Dennis Greeve's book, and the *dispute of the Motion at 4.0* in the August minutes by Mr Greeve, the Committee has no choice but to rescind the motions in the minute's council accepted in September. In doing so the Committee decided to reallocate the \$3500, which was to be used to print Dennis's book.

MOTION

That the Committee rescinds Motion 3.2 detailing where the money is to be distributed and the two Motions at 4.0 in the August minutes due to reasons detailed above.

UNANAMOUS CARRIED BY ALL

MOTION

That the money be distribute in these two ways:

1. Allocation of \$8500 towards the Wildflower Society's flora fund committee to assist with the publishing of the "Wildflowers of Albany" book. The committee requests that the flora fund committee formally acknowledges our donation in the book.
2. Remaining funds \$2900 be allocated to the City of Albany to install and unveil a commemorative seat made from rock, a cast bronze plaque listing all active committee members who have contributed to Mt Martin and an informative sign about Mt Martin.

MOVED MERRYN

SECONDED RAY

MOTION CARRIED BY ALL

4.0 CONCLUSION

Ray and Pat agreed that as signatories of the account they would follow up with the bank to get a statement and find out the exact amount in the account and inform Alli prior to withdrawing the money in two cheques and closing the account.

Alli agreed that she would try and arrange a meeting with Les Hewer the Executive Director of Works and Services so various committee members could discuss the installation of the rock seat, commemorative plaque and sign in more detail.

Alli would write two letters on the Committees behalf, which detail the donations to the two recipients. This will be done before Monday the 29th when Merryn finishes her official capacity as Councillor, so she can sign the letters.

Merryn added that there is opportunity for the committee members to attend the new Mt Martin Community Group through DEC if they were interested.

Whilst this is not how the group originally intended to wind up the committee they have worked through various issues to achieve this positive outcome.

This is the final meeting of the Mt Martin Committee; this group is now a defunct committee of the City of Albany.

MEETING CLOSED 11.10am

General Report Items

DEVELOPMENT SERVICES SECTION

CITY OF ALBANY
REPORT

To : Her Worship the Mayor and Councillors
From : Administration Officer - Development
Subject : Building Activity – October 2007
Date : 5 November 2007

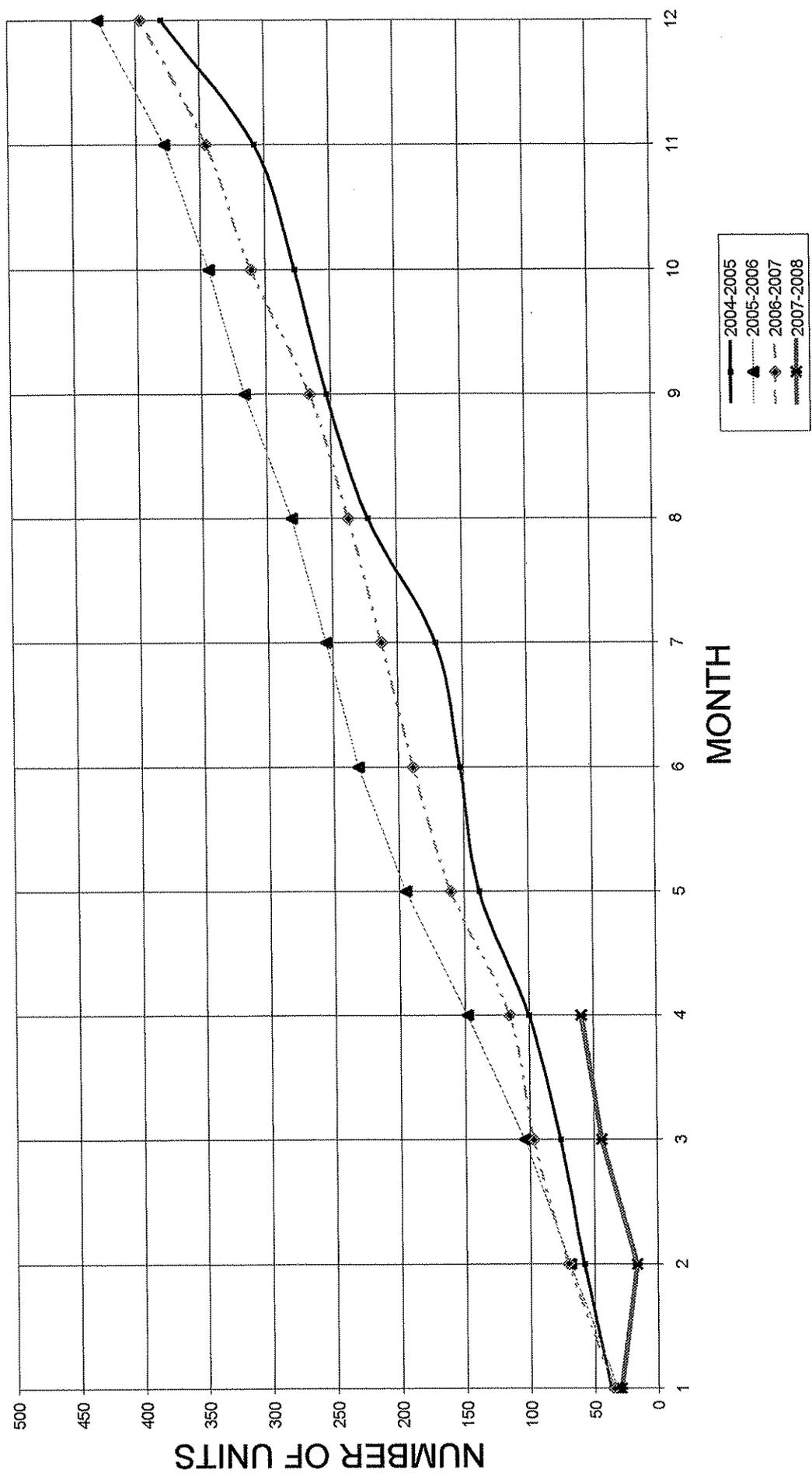
1. In October 2007, eighty five (85) building licences were issued for building activity worth \$5,565,610 and two (2) sign licences.
2. The two (2) attached graphs compare the current City activity with the past three (3) fiscal years. One compares the value of activity, while the other compares the number of dwelling units.
3. A breakdown of building activity into various categories is provided in the Building Construction Statistics form.
4. Attached are the details of the licences issued for October 2007, the 4th month of activity in the City of Albany for the financial year 2007/2008.



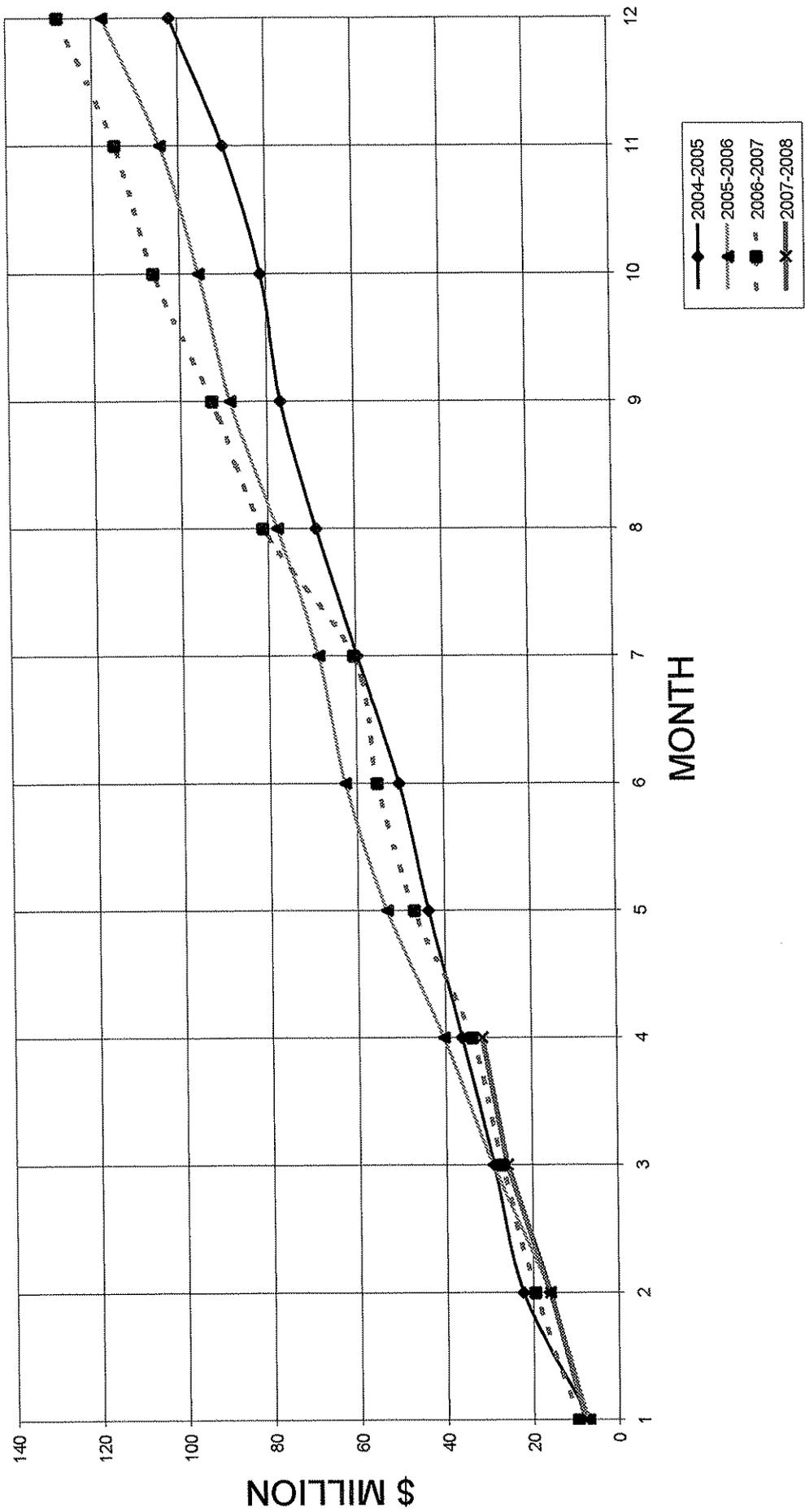
Olia Hewer
Administration Officer – Development

N:\DEVEL.SERVICE\DEVELOPMENT\Admin\Statistics-Registers\End of Month\Building\With_Bld_Reports\07-08\Bulletin\bulletin__october2007.doc

DWELLING UNITS



BUILDING ACTIVITY \$M Value



CITY OF ALBANY

BUILDING CONSTRUCTION STATISTICS FOR 2007-2008

2007/2008	SINGLE DWELLING		GROUP DWELLING		TOTAL	DOMESTIC/ OUTBUILDINGS		ADDITIONS/ DWELLINGS		HOTEL/ MOTEL		NEW COMMERCIAL		ADDITIONS/ COMMERCIAL		OTHER		TOTAL \$ VALUE	
	No	\$ Value	No	\$ Value		No	\$ Value	No	\$ Value	No	\$ Value	No	\$ Value	No	\$ Value	No	\$ Value		No
JULY	17	3,477,674	12	1,885,008	29	199,307	31	844,672	0	0	0	0	10	1,140,000	10	217,968			7,764,629
AUGUST	15	4,602,681	1	180,000	16	401,258	35	690,443	1	30,000	19	220,000		1,948,500	12	110,675			8,183,557
SEPTEMBER	21	4,926,774	7	1,389,956	28	284,293	41	1,269,384	0	0	2	1,300,000	3	347,400	9	354,660			9,872,467
OCTOBER	14	3,513,640	1	19,000	15	323,501	35	1,071,560	0	0	2	320,000	6	146,250	8	171,659			5,565,610
NOVEMBER					0														
DECEMBER					0														
2008					0														
JANUARY					0														
FEBRUARY					0														
MARCH					0														
APRIL					0														
MAY					0														
JUNE					0														0
TOTALS TO DATE	67	16,520,769	21	3,473,964	88	1,208,359	142	3,876,059	0	30,000	23	1,840,000	19	3,582,150	39	854,962			31,386,263

BUILDING, SIGN & DEMOLITION LICENCES ISSUED UNDER DELEGATED AUTHORITY

Applications determined for October 2007

Application Number	Builder	Owner	Description of Application	Street #	Property Description	Street Address	Suburb
270945	RYDE BUILDING COMPANY PTY LTD	M R TOMPKINS & S M BUXTON	DWELLING AND GARAGE	138	Location AT459 Lot 21	BURGOYNE ROAD	ALBANY
270979	IRONMONGER BUILDING COMPANY	Owners Name & Address not shown at their request	DWELLING ADDITIONS PATIO SHED AND RETAININGWALL	76	Location ALBAN T Lot 248	VANCOUVER STREET	ALBANY
271022	OWNER BUILDER	Owners Name & Address not shown at their request	RAISED DECK	10	Location SL122 Lot 35	MASKILL PLACE	ALBANY
271003	OWNER BUILDER	S M & S M SCANLON	GARAGE WORKSHOP VERANDAH AND RETAINING WALLS	76	Location AT 344 Lot 900	SPENCER STREET	ALBANY
271085	DA FREEMAN	Owners Name & Address not shown at their request	CONVERT GARAGE TO GAMESROOM	65	Location ASL 131 Lot 13	HILL STREET	ALBANY
260802	JR GOMM	Owners Name & Address not shown at their request	COOL ROOM FREEZER RUSTLERS STEAKHOUSE	71-75	Location TS2/1/22 Lot 44	FREDERICK STREET	ALBANY
270974	PULS PATIOS	Owners Name & Address not shown at their request	SEMI ENCLOSED PATIO	32	Location 1196 Lot 156	KURANNUP ROAD	BAYONET HEAD
271007	OWNER BUILDER	MIR C M TROY	RETAINING WALL	43	Location 1196 Lot 215	WARRANGOO ROAD	BAYONET HEAD
271018	KOSTERS STEEL CONSTRUCTIONS PTY LTD	C A & S A MILLS	PATIO	82	Location 359 Lot 3	ELIZABETH STREET	BAYONET HEAD
271005	WA COUNTRY BUILDERS PTY LTD	Owners Name & Address not shown at their request	DWELLING ROYAL FLYING DOCTOR CHARITY HOME	Location 4790 Lot 623		FLYNN WAY	BAYONET HEAD
271032	OWNER BUILDER	K & L E RICHARDSON	PATIO AND DECK	33	Location 3470 Lot 425	RANGE COURT CRESCENT	BAYONET HEAD
271045	OUTDOOR WORLD	Owners Name & Address not shown at their request	PATIO	19	Location 281 Lot 37	MEANANGER CRESCENT	BAYONET HEAD
271060	OUTDOOR WORLD	Owners Name & Address not shown at their request	PATIOS X 2	4	Location 1196 Lot 144	WESTALL STREET	BAYONET HEAD
271075	IL MCFARLANE	Owners Name & Address not shown at their request	RETAINING WALLS AND FENCE TO LOT	Location 4790 Lot 663		FLYNN WAY	BAYONET HEAD

Application Number	Builder	Owner	Description of Application	Street #	Property Description	Street Address	Suburb
271037	KOSTERS STEEL CONSTRUCTIONS PTY LTD	MR D J ENGLEADOW	PATIO CARPORT AND FACILITY ROOM	47	Location 374 Lot 409	SHOAL BAY RETREAT	BIG GROVE
270869	OUTDOOR WORLD	Owners Name & Address <i>not shown at their request</i>	SHED	9	Location SL25 Lot 13	MONCK WAY	CENTENNIAL PARK
270744	RG GLIOSCA	Owners Name & Address <i>not shown at their request</i>	STORAGE FACTORETTE	12	Location SL26 & SL27 Lot 10	SANFORD ROAD	CENTENNIAL PARK
271021	J REEKIE	H J GILCHRIST & J H REEKIE	DWELLING	278	Location ASL P7 Lot 4	ALBANY HIGHWAY	CENTENNIAL PARK
270895	JR GOMM	MR J R GOMM	COMMERCIAL UNITS X 2	9-11	Location ASL 08 Lot 64	NAKINA STREET	CENTENNIAL PARK
271025	OWNER BUILDER	K J & B THOMAS	PATIO	49	Location 371 Lot 31	PARKES STREET	COLLINGWOOD HEIGHTS
271050	OWNER BUILDER	K M DAYMAN & J S HANNA	GARDEN SHED	49	Location 43 Lot 218	BORONIA AVENUE	COLLINGWOOD HEIGHTS
271006	OUTDOOR WORLD	Owners Name & Address <i>not shown at their request</i>	SHED	231-37	Location ALB SUB Lot 347	EMU POINT DRIVE	COLLINGWOOD PARK
270925	JR GOMM	FOREST COMPANY OF AUST	CONVERT CARPORT INTO OFFICES	35353	Location 5762	ALBANY HIGHWAY	DROME
271009	CHESTERS CONSTRUCTIONS	J K PEARSE & M A VERNON	SHED ADDITION	212	Location 472 Lot 21	MUTTON BIRD ROAD	ELLEKER
271039	METROOF ALBANY	Owners Name & Address <i>not shown at their request</i>	SHED	Location RES 6983		LOWER DENMARK ROAD	ELLEKER
270952	G HASTIE	G & G HASTIE	CONVERSION OF DAIRY TO ANCILLARY ACCOMMODATION	93	Location GLEDHOW Lot 62	LOWANNA DRIVE	GLEDHOW
270774	OWNER BUILDER	IS & W M & B W & T M PHILLIPS	SHED	53-59	Location 288 Lot 17	SYDNEY STREET	GLEDHOW
270265	WA COUNTRY BUILDERS PTY LTD	Owners Name & Address <i>not shown at their request</i>	DWELLING GARGE AND VERANDAH	26	Location 2104/2471 Lot 227	LA PEROUSE COURT	GOODE BEACH
270994	CHESTERS CONSTRUCTIONS	J M & G E TOMLINSON	FARM BUILDING SHED	115	Location 5 880 Lot 76.10	RIVERSIDE ROAD	KALGAN
270810	SOUTH COAST MAINTENANCE	Owners Name & Address <i>not shown at their request</i>	WHEEL CHAIR RAMP	1520	Location RES6869 Lot 7698	MILLBROOK ROAD	KING RIVER

Application Number	Builder	Owner	Description of Application	Street #	Property Description	Street Address	Suburb
271062	METROOF ALBANY	Owners Name & Address <i>not shown at their request</i>	CARPORT SITE 19	1584	Location 401/A18 Lot 21	MILLBROOK ROAD	KING RIVER
271000	CPT CUSTODIAN PTY LTD	CPT CUSTODIAN PTY LTD	FASCIA SIGNS X 4	160	Location 293	CHESTER PASS ROAD	LANGE
270943	WF SIZER	Owners Name & Address <i>not shown at their request</i>	SHOP FIT OUT MITRE 10	160	Location 293 Lot 1007	CHESTER PASS ROAD	LANGE
271061	SILENT VECTOR PTY LTD	Owners Name & Address <i>not shown at their request</i>	SHOP FITOUT RED DOT TENANCY 8 AND 9	160	Location 293 Lot 1007	CHESTER PASS ROAD	LANGE
271065	OUTDOOR WORLD	Owners Name & Address <i>not shown at their request</i>	PATIO	1	Location 103 Lot 300	WILLIAM STREET	LITTLE GROVE
270576	D & K LANDSCAPE CONSTRUCTION	Owners Name & Address <i>not shown at their request</i>	RETAINING WALL	10	Location 24 Lot 26	SHORE TERRACE	LITTLE GROVE
270835	R WIGNALL	R J & W N & P M WIGNALL	DWELLING AND GARAGE	448	Location 5384 5496 Lot 1	CHESTER PASS ROAD	WALMSLEY
270941	RYDE BUILDING COMPANY PTY LTD	D R & R A BAKER	DWELLING GARAGE	10	Location 236 Lot 6	SIMS STREET	LOCKYER
271044	WISHART HOMES PTY LTD	Owners Name & Address <i>not shown at their request</i>	DWELLING GARAGE AND VERANDAH	29	Location PL226 Lot 294	PARKER STREET	LOCKYER
271042	CHESTERS CONSTRUCTIONS	J L & R J PARRE	SHED	34	Location 520 Lot 295	SLATER STREET	LOWER KING
271043	CHESTERS CONSTRUCTIONS	R M & H M FRY	SHED	1	Location 50 Lot 52	SHELL BAY ROAD	LOWER KING
271046	K NIELSEN	B J & E COOKE	SEMI ENCLOSE EXISTING ALFRESCO AREA	47	Location 28 Lot 16	MORILLA ROAD	LOWER KING
271056	OUTDOOR WORLD	Owners Name & Address <i>not shown at their request</i>	SHED	48	Location 28 Lot 104	NANARUP ROAD	LOWER KING
270955	G & F FRY	G D & F A FRY	DWELLING GARAGE AND VERANDAH		Location 520 Lot 29	KING RIVER DRIVE	LOWER KING
270868	MT BARKER BUILDING COMPANY	Owners Name & Address <i>not shown at their request</i>	DWELLING ADDITIONS AND RETAINING WALL	5	Location 520 Lot 58	MCKENZIE DRIVE	LOWER KING
271016	PULS PATIOS	Owners Name & Address <i>not shown at their request</i>	PATIO	9	Location 80 Lot 532	TODD ROAD	MCKAIL

Application Number	Builder	Owner	Description of Application	Street #	Property Description	Street Address	Suburb
270964	RYDE BUILDING COMPANY PTY LTD	RYDE BUILDING COMPANY PTY LTD	DWELLING GARAGE AND VERANDAH	14	Location 492 Lot 179	MOON PARADE	MCKAIL
271013	KOSTERS STEEL CONSTRUCTIONS PTY LTD	N S & M L LEE	SHED AND PATIO	4	Location 492 Lot 86	LEO LANE	MCKAIL
271034	OWNER BUILDER	Owners Name & Address <i>not shown at their request</i>	PATIO	34	Location 399 Lot 151	COSTIGAN STREET	MCKAIL
271038	OUTDOOR WORLD	Owners Name & Address <i>not shown at their request</i>	PATIO	55	Location 492 Lot 162	CENTAURUS TERRACE	MCKAIL
270912	OUTDOOR WORLD	Owners Name & Address <i>not shown at their request</i>	PATIO	45	Location 492 Lot 181	PEGASUS BOULEVARD	MCKAIL
270940	RYDE BUILDING COMPANY PTY LTD	T A & A H BAIN	DWELLING GARAGE AND ALFRESCO	67	Location 492 Lot 314	PEGASUS BOULEVARD	MCKAIL
271072	OWNER BUILDER	P J HANLON	PATIO	8	Location 80 Lot 591	O'KEEFE PARADE	MCKAIL
271087	FORMATION HOMES PTY LTD	Owners Name & Address <i>not shown at their request</i>	DWELLING GARAGE AND VERANDAH	56	Location 492 Lot 265	PEGASUS BOULEVARD	MCKAIL
270946	ARDEANA NOMINEES PTY LTD	Owners Name & Address <i>not shown at their request</i>	DWELLING ADDITIONS AND DECKING	29	Location SA04 Lot 47	WYLIE CRESCENT	MIDDLETON BEACH
271063	OWNER BUILDER	Owners Name & Address <i>not shown at their request</i>	1 X ACCOMMODATION SIGN	56	Location SA06 Lot 45	WYLIE CRESCENT	MIDDLETON BEACH
271012	KOSTERS STEEL CONSTRUCTIONS PTY LTD	H A & H B BOSCH	SHED	60	Location 240 Lot 8	RUFUS STREET	MILPARA
271015	OUTDOOR WORLD	Owners Name & Address <i>not shown at their request</i>	SHED	7	Location 240 Lot 19	BONDI STREET	MILPARA
270902	J BOWEY	Owners Name & Address <i>not shown at their request</i>	DWELLING ADDITIONS ALFRESCO AND DECK	25-27	Location PL44 Lot 130	BEAUCHAMP STREET	MIRA MAR
271051	OWNER BUILDER	N M & D W WEEEDEN	UNAPPROVED STRUCTURE SHED	18B	Location 44 Lot 301	BEAUCHAMP STREET	MIRA MAR
270837	OWNER BUILDER	A N & R M ST JACK	RETAINING WALL / SHED	41B	Location PL44 Lot 102	NELSON STREET	MIRA MAR
271004	OWNER BUILDER	MR P R LUMMIS	CONCRETE FLOOR ONLY TO PART OF UNDERCROFT	26	Location SL358 & 372 Lot 20	MIRA MAR ROAD	MIRA MAR

Application Number	Builder	Owner	Description of Application	Street #	Property Description	Street Address	Suburb
270836	A & R ST JACK	A N & R M ST JACK	DWELLING GARAGE AND VERANDAH	41B	Location PL44 Lot 102	NELSON STREET	MIRA MAR
271002	R & E SCHLAGER	Owners Name & Address not shown at their request	DWELLING ADDITIONS	4	Location ALBANT Lot 706	BORONIA STREET	MT CLARENCE
270246	OWNER BUILDER	Owners Name & Address not shown at their request	CARPORT AND DECKING	54	Location ASL 127 Lot 7	ROBINSON STREET	MT MELVILLE
271026	T & W BRADE	J L & M J MUSTEY	DWELLING ADDITIONS	171	Location ASL 51 Lot 2	ALBANY HIGHWAY	MT MELVILLE
270934	A WARNER	MR A WARNER	DWELLING ADDITION BEDROOM AND GAMES ROOM	8	Location 1004 Lot 288	MAWSON STREET	MT MELVILLE
271076	OWNER BUILDER	Owners Name & Address not shown at their request	RETAINING WALL	20	Location SL113 Lot 74	LION STREET	MT MELVILLE
270993	METROOF ALBANY	Owners Name & Address not shown at their request	PATIO	31	Location 355 Lot 1	CARBINE STREET	ORANA
270743	KOSTERS STEEL CONSTRUCTIONS PTY LTD	Owners Name & Address not shown at their request	SHED EXTENSION AND VERANDAH		Location RES38950 RES5210 Lot	ALLERTON STREET	ROBINSON
271001	OWNER BUILDER	Owners Name & Address not shown at their request	DECK AREA	413	Location 33 Lot 11	ROBINSON ROAD	ROBINSON
271014	OWNER BUILDER	Owners Name & Address not shown at their request	DWELLING ADDITION	318	Location 387 Lot 28	FRENCHMAN BAY ROAD	ROBINSON
270997	KOSTERS STEEL CONSTRUCTIONS PTY LTD	Owners Name & Address not shown at their request	GARAGE	82	Location 5493 Lot 51	KOORYONG AVENUE	WARRENUP
271010	KOSTERS STEEL CONSTRUCTIONS PTY LTD	A & T J BETTI	GARAGE	15	Location 4929 Lot 215	KENDELL COURT	WARRENUP
271011	KOSTERS STEEL CONSTRUCTIONS PTY LTD	B S & J J ABBOTT	SHED EXTENSION	95-105	Location 385 Lot 300	KOORYONG AVENUE	WARRENUP
271064	OUTDOOR WORLD	Owners Name & Address not shown at their request	SEMI ENCLOSED PATIO	59	Location 4419/418 Lot 152	RANDELL CRESCENT	WARRENUP
270991	M & J WAUTERS NOMINEES PTY LTD	Owners Name & Address not shown at their request	EXTENSION TO EXISTING SHOPPING CENTRE	3-7	Location 42 Lot 50	HARDIE ROAD	SPENCER PARK

Application Number	Builder	Owner	Description of Application	Street #	Property Description	Street Address	Suburb
270907	OUTDOOR WORLD	Owners Name & Address <i>not shown at their request</i>	RETAINING WALL	88	Location 42 Lot 680	ANGOVE ROAD	SPENCER PARK
270990	FORMATION HOMES PTY LTD	Owners Name & Address <i>not shown at their request</i>	DWELLING GARAGE AND VERANDAH	88	Location 42 Lot 680	ANGOVE ROAD	SPENCER PARK
271071	OWNER BUILDER	Owners Name & Address <i>not shown at their request</i>	SEMI ENCLOSED PATIO	9	Location PL42 Lot 124	HUGEL PLACE	SPENCER PARK
270838	WARREN BENNETT HOMES PTY LTD	YATE PTY LTD & A H & C L SMITH	DWELLING GARAGE AND VERANDAH	231	Location 2394	RUTHERWOOD ROAD	TORBAY
271080	OUTDOOR WORLD	Owners Name & Address <i>not shown at their request</i>	PATIO	49455	Location 2446/2447 Lot 1	SOUTH COAST HIGHWAY	TORBAY
271088	OWNER BUILDER	Owners Name & Address <i>not shown at their request</i>	FARM SHED	37743	Location 6849 Lot 200.20	SOUTH COAST HIGHWAY	WELLSTEAD
270883	OWNER BUILDER	Owners Name & Address <i>not shown at their request</i>	PARKHOME ANNEXE	795	Location 245 Lot 4	CHESTER PASS ROAD	WILLYYUNG
271019	OWNER BUILDER	S A & J L CARMAN	CARPORT		Location 618 Lot 421	KELTY VIEW	WILLYYUNG
271049	OWNER BUILDER	MR K J MAYFIELD	SHED		Location 474 Lot 202	NEILSON ROAD	WILLYYUNG
271073	OWNER BUILDER	S A BRETT & L A KEBBELL	SHED	46	Location 356 Lot 103	BUTTS ROAD	YAKAMIA

CITY OF ALBANY

REPORT

To : His Worship the Mayor and Councillors
From : Administration Officer - Planning
Subject : Planning Scheme Consents – October
Date : 2 November 2007

1. The attached report shows what Planning Scheme Consents have been issued under delegation by a planning officer for the month of October.
2. Within the period there was a total of twenty five (25) decisions made on active Planning Scheme Consents these being:
 - Fifteen (15) Planning Scheme Consents were approved under delegated authority;
 - Two (2) Planning Scheme Consents were approved by Council
 - One (1) Planning Scheme Consent was refused under delegated authority;
 - Seven (7) Planning Scheme Consents were cancelled.



Gayle Sargeant
Administration Officer – Planning

PLANNING SCHEME CONSENTS ISSUED UNDER DELEGATED AUTHORITY

Applications determined for October 2007

Application Number	Applicant	Street Address	Locality	Description of Application	Decision	Decision Date	Assessing Officer
275119	Powerhouse Architects	Festing St	Albany	Grouped Dwelling (x2)	Approved	12/10/2007	Kevin Hughes
275303	Outdoor World	Monck Way	Centennial	Warehouse	Delegate Approved	2/10/2007	Ian Humphrey
275257	T Phillips	Sydney St	Gleadow	Single House - Outbuilding (Oversize)	Delegate Approved	18/10/2007	Ian Humphrey
275284	City of Albany	Gnowellen Rd	Gnowellen	Industry - Extractive (Gravel)	Delegate Approved	23/10/2007	Ian Humphrey
255308	City of Albany	Old Boundary Rd	Gnowellen	Extractive Industry (Gravel) - Class 1	Cancelled	31/10/2007	
275332	G Eaton	Henty Rd	Kalgan	Single house - special rural area # 6	Delegate Approved	10/10/2007	Kevin Hughes
275354	R & P Allsopp	O'Connell St	Little Grove	Tourist Accommodation - Lower Ground Floor	Cancelled	31/10/2007	Ian Humphrey
275323	G & F Fry	King River Dr	Lower King	Single House - setback relaxation (Special Residential Area 18)	Delegate Approved	11/10/2007	Ian Humphrey
275282	Baill Sand & Gravel Supplies	South Coast Hwy	Marbelup	Industry - Extractive (Gravel)	Approved	12/10/2007	Ian Humphrey
275252	C Knight	Webb St	McKail	Single House - Outbuilding - Oversize	Delegate Approved	19/10/2007	Ian Humphrey
275327	M & G O'Keefe	Newbey St	Milpata	Service Industry	Delegate Approved	19/10/2007	Ian Humphrey
275192	Gutteridge Haskins & Davey Pty Ltd	Seymour St	Mira Mar	House of Worship (Additions)	Delegate Approved	23/10/2007	Ian Humphrey
275334	P & B De Jonge	Cockburn Rd	Mira Mar	Light Industry (Extensions)	Delegate Approved	30/10/2007	Ian Humphrey
275321	M & A Steel Fabrication	Lower Denmark Rd	Mt Elphinstone	Warehouse	Delegate Approved	15/10/2007	Ian Humphrey
275190	R Douglas	Lower Denmark Rd	Mt Elphinstone	Warehouse	Delegate Approved	31/10/2007	Ian Humphrey
275175	Kingspath Pty Ltd	Albany Hwy	Mt Melville	Professional Office	Delegate Approved	11/10/2007	Ian Humphrey
275326	M & B Bergsma	Eleanor St	Mt Melville	Grouped Dwellings (x2)	Delegate Approved	19/10/2007	Ian Humphrey
245460	City of Albany	Palmdale Rd	Palmdale	Extractive Industry - Gravel	Cancelled	24/10/2007	
245475	L Wright	Redhen Rd	Redmond West	Extractive Industry (Gravel)	Cancelled	31/10/2007	Ian Humphrey
275212	T Kala	Frenchman Bay Rd	Robinson	Single House (Outbuilding- Addition - Oversize)	Refused	8/10/2007	Ian Humphrey
275358	P O'Donnell	Drew St	Seppings	Single House - Design Code Relaxation Front Setback (Carport)	Cancelled	31/10/2007	Ian Humphrey

Application Number	Application Date	Applicant	Street Address	Locality	Description of Application	Decision	Decision Date	Assessing Officer
275318	26/09/2007	Lamy Boston Design	Hardie Rd	Spencer Park	Shop - Additions (Extension to Hairdressing Salon)	Delegate Approved	5/10/2007	Ian Humphrey
275328	8/10/2007	Kosters Steel Construction	Kooyong Ave	Warrenup	Oversized Outbuilding	Delegate Approved	17/10/2007	Ian Humphrey
225173	29/10/2002	City of Albany	Dawson Rd	Youngs Siding	Industry - Extractive - Gravel	Cancelled	31/10/2007	
275364	25/10/2007	Moss			Sales Office at Oyster Harbour	Cancelled	30/10/2007	

General Report Items

GENERAL MANAGEMENT SERVICES SECTION



AUSTRALIAN ARMY
51st Battalion, The Far North Queensland Regim Attach:
Porton Barracks
EDMONTON QLD 4869

City of Albany Records
Doc No: ICR7041266
File: GOV090
Date: 30 OCT 2007
Officer: MAYOR1

Mayor Alison Goode
The Mayor of the City of Albany
Albany City Council
PO Box 484
ALBANY WA 6331

I would like to thank you and the staff at the Albany City Council for your letter and the provision of the symbolic water to the 51st Battalion, The Far North Queensland Regiment's recent contribution to the reinterment of the five World War I soldiers in Belgium.

The provision of the water was a significant contributor to the reinterment's overall success. During the ceremony, it was sprinkled onto each of the five coffins as they were lowered into the ground. The reinterment was able to provide some level of closure for two Australian families, which ultimately was the principal purpose for all support provided by the Australian Army.

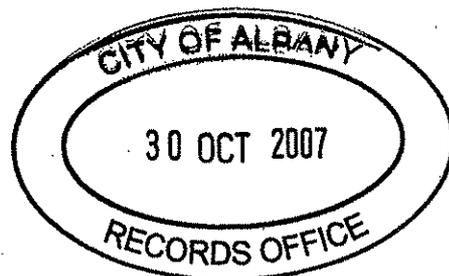
The Army Media Team provided to the contingent are currently processing all still photos and video footage taken during the reinterment. Once the Battalion receives these photos and video, I will happily have them sent to your office.

Please accept my gratitude for providing the assistance in such a short time-frame. If you have any queries pertaining to the activity, please do not hesitate in contacting the Acting Adjutant, Lieutenant Grant Joy, on (07) 4045 9303.

P.J. EVANS
Lieutenant Colonel
Commanding Officer

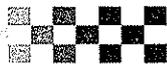
Tel: (07) 4045 9301

23 October 2007





WA POLICE

Legacy 

ABN 46 758 934 581
Charitable Collections Act 1946 Lic No. 20357
639 Murray Street, West Perth WA 6005
Telephone: 08 - 9322 8099
Facsimile: 08 - 9321 2177
Email: wapl@policelegacywa.org.au
Website: www.policelegacywa.org.au

RECEIVED WITH THANKS

With Compliments



WA POLICE

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Established 1992

639 Murray Street
West Perth WA 6005
Tel.: 08 - 9322 8099

Official Receipt

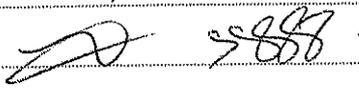
Charitable Collections Licence No.: 20357

Nº.: 0917

24/10/07

Received from CITY OF ALBANY

EVENT BIG RAINBOW
BIKE RIDE
DONATION

 Secretary

CASH/CHEQUE

200.00