



INFORMATION BULLETIN

ORDINARY COUNCIL MEETING

Tuesday 18th May 2010

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		Nil	
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Bulletin **Agenda**
No **Item No**
3.4.2

Attachment

Common Seals

NCSR1011591 138318

COPY OF COMMON SEAL

ITEM: N/A

PARTIES: CITY OF ALBANY AND ITC TIMBERLANDS PTY LTD

REF: SECTION 70A-LOT 6507 WARRIUP ROAD, GREEN RANGE. NOTIFICATION THAT LOT 6507 IS IN CLOSE PROXIMITY TO RESERVE NO 26234 AND AMENITY MAY BE AFFECTED ON OCCASION BY THE FOLLOWING:

1. PRESCRIBED BURNING FOR CONSERVATION OR FIRE HAZARD REDUCTION
2. BAITING WITH POISON TO CONTROL PREDATORS OF NATIVE FAUNA OR SHOOTING AND TRAPPING TO CONTROL DECLARED ANIMAL SPECIES
3. WEED CONTROL USING HERBICIDES
4. FIREBREAK CONSTRUCTION OR MAINTENANCE

MAYOR AND ACTING CEO WP MADIGAN, 1 COPY

NCSR1011631 PRO159

COPY OF COMMON SEAL

ITEM: OCM 20/10/2009 ITEM 14.11.1

PARTIES: CITY OF ALBANY AND BUREAU OF METEOROLOGY

REF: DEED JOF SURRENDER OF LEASE, ACCESS AGREEMENT AND DEED OF LEASE-BUREAU OF METEOROLOGY-35615 ALBANY HIGHWAY-ALBANY REGIONAL AIRPORT

MAYOR AND ACTING CEO WP MADIGAN 10 COPIES

NCSR1011687 AMD284

COPY OF COMMON SEAL

ITEM: OCM 21/10/08 ITEM 11.3.4

OCM 18/08/09 ITEM 13.2.3

PARTIES: CITY OF ALBANY

REF: AMENDMENT 284-VARIOUS LOTS, BIG GROVE

MAYOR AND ACTING CEO WP MADIGAN, 3 COPIES

NCSR1011689 AMD251

COPY OF COMMON SEAL

ITEM: N/A

PARTIES: CITY OF ALBANY AND STATE OF WA

REF: DRAINAGE EASEMENT LOT 301 DP44629. AMD 251 – IDENTIFIED FOR FUTURE DRAINAGE AREA

MAYOR AND ACTING CEO WP MADIGAN, 1 COPY

NCSR1011793 STR004

COPY OF COMMON SEAL

ITEM: OCM 21/04/2009 ITEM 14.4.1

PARTIES: CITY OF ALBANY AND DEPARTMENT OF REGIONAL DEVELOPMENT AND LANDS

REF: FUNDING AGREEMENT APPLICATION-BUILDING ASSET MANAGEMENT PLAN-ROYALTIES FOR REGIONS

MAYOR AND ACTING CEO WP MADIGAN, 1 COPY

NCSR1011812 139344

COPY OF COMMON SEAL

ITEM: N/A

PARTIES: CITY OF ALBANY AND MTMJ PTY LTD

REF: SECTION 70A LOTS 75 & 76 CROSSMAN STREET. WAPC 139344

SIGNED BY MAYOR AND ACTING CEO WP MADIGAN, 1 COPY

NCSR1011813 MAN071

COPY OF COMMON SEAL

ITEM: OCM 21/04/2010 ITEM 14.4.1

PARTIES: CITY OF ALBANY AND ALBANY HALFWAY HOUSE ASSOCIATION INC

REF: MAN071-EXTENSION OF LEASE-ALBANY HALFWAY HOUSE ASSOCIATION INC-
LOTTERIES HOUSE

SIGNED BY MAYOR AND ACTING CEO WP MADIGAN, 2 COPIES

NCSR1011930 C10001

COPY OF COMMON SEAL

ITEM: OCM 20/04/2010 ITEM 15.2.4

PARTIES: CITY OF ALBANY AND OPUS INTERNATIONAL CONSULTANTS (PCA) LTD

REF: CONTRACT C10003-ENGAGEMENT OF CONSULTANT-ASSET MANAGEMENT
PLAN – DRAINAGE

MAYOR AND ACTING CEO WP MADIGAN 2 COPIES

NCSR1011935 135439

COPY OF COMMON SEAL

ITEM: N/A

PARTIES: CITY OF ALBANY AND MR AND MRS LIDDIARD

REFERENCE: SECTION 70A-LOT 1 MELVILLE STREET

MAYOR AND ACTING CEO WP MADIGAN ONE COPY

NCSR1011937 137539

COPY OF COMMON SEAL

ITEM: N/A

PARTIES: CITY OF ALBANY AND K&D SMITH, D TOOVEY, W&L CALDWELL

REF: SECTION 70A-LOT 90 BAY VIEW DRIVE

MAYOR AND ACTING CEO WP MADIGAN ONE COPY

NCSR1011938 137539

COPY OF COMMON SEAL

ITEM: N/A

PARTIES: CITY OF ALBANY, K&D SMITH, D TOOVEY, W&L CALDWELL

REF: WAPC 137539, SECTION 70A-LOT 90 BAYVIEW DRIVE-THE LAND IS LOCATED
IN AN AREA SUSCEPTIBLE TO Q100 (1 IN 100 YEAR) FLOOD AND STORM EVENTS.
ANY STRUCTURES PLACED ON THE LOTS THAT REQUIRE APPROVAL FROM LOCAL
GOV. SHALL DEMONSTRATE A MINIMUM FINISHED FLOOR LEVEL OF 2.64 M AHD.

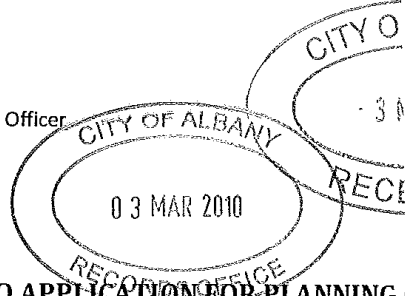
MAYOR AND ACTING CEO WP MADIGAN ONE COPY

Bulletin No	Agenda Item No	Attachment
4.0	STAFF MEMBERS	
4.1	Disclosure to Engage in Private Works Nil	
4.2	Staff Movements	
	Arrivals Darren Godbolt-Civil Construction	
	Departures Glenda Klaver-Library Officer	



1201973
1

The Chief Executive Officer
 City of Albany
 PO Box 484
 ALBANY WA 6331



City of Albany Records
 Doc No: ICR8099069
 File: A201973
 Date: 03 MAR 2010
 Officer: PLANA1
 Attach:

OBJECTION TO APPLICATION FOR PLANNING CONSENT FOR HOLIDAY ACCOMMODATION AT 49A MCLEOD STREET, MIRA MAR

We, the undersigned, strongly object to the application for holiday accommodation at the above address.

This area of Mira Mar is a quiet residential area, with a majority of elderly retirees who live a quiet life. We believe that such accommodation is more commercial than residential, is unsuitable for Mira Mar, and should be limited to Middleton Beach or more appropriate areas.

We also believe that consenting to such an application will negatively affect the quality of life for residents living in the area, and could result in the problems already evident in Dunsborough and Busselton, with increasing levels of antisocial behaviour linked to holiday accommodation.

Date	Name	Address	Signature
27 February 2010	MARY GILBERT	45 MCLEOD ST, MIRA MAR	M. Gilbert
27 Feb 2010	SILVIA BANT	31 Wakefield Cres Mira-Mar	SB Bant
27 Feb 2010	BARRY BANT	11 Wakefield Cres Mira-Mar	BC Bant
27 Feb 2010	MARGARET SMITH	28 WAKEFIELD CRESCENT	M. Smith
27 FEB 2010	S.J. A.H. OLD	26 WAKEFIELD, CRESENT.	S. Old
27 Feb 2010	A.H. OLD	26 WAKEFIELD CRES, MIRA MAR	A. Old
1 March 2010	C Swarbrick	30 Hanson Street, Mira Mar	C Swarbrick
1 March 2010	J. Dechief	30 Hanson Street Mira Mar	J. Dechief
1 March 2010	Leta Boston	38 McLeod St. Mira Mar	Leta Boston
1 March 2010	Sue Herbert	32 Wakefield Cres	Sue Herbert
1 MARCH 2010	WENDY STONER WENDY STONER	10 WAKEFIELD CRESCENT	Wendy Stoner
1/3/2010	Beth Trevenen	8 Wakefield Cres.	Beth Trevenen
1/3/2010	Mike Trevenen	8 Wakefield Cres	Mike Trevenen
2.3 2010	RON STONER	10 Wakefield Cres	Ron Stoner



Mr Keith Snowball
22 Wakefield Crescent
ALBANY 6330

City of Albany Records
Doc No: ICR8098832
File: A201973
Date: 26 FEB 2010
Officer: PLANA1

25 February 2010

Attach:

Chief Executive Officer
City of Albany
PO Box 484
ALBANY 6331

Dear Sir

**NOTICE OF APPLICATION FOR PLANNING CONSENT FOR HOLIDAY
ACCOMMODATION AT 49a McLEOD STREET, ALBANY**

My home is directly opposite 49a McLeod Street, Albany and I wish to lodge an objection to the granting of permission for 49a McLeod Street, Albany to be used for holiday accommodation.

Some 3 years ago I lodged an objection against a similar planning consent for a property at 20 Wakefield Crescent – adjoining my own property – and council saw fit to reject that proposal.

This locality has been resided in by myself some 50 years and many of my neighbours have been there for a similar lengthy time. We value the fact that our neighbourhood is secure and peaceful and believe that the rates that we pay are high enough to recognise that.

There are many areas in Albany, notably Barry Court and Middleton Beach which are zoned for tourist accommodation use and we believe that holiday accommodation should be restricted to those areas, not leading residential areas such as Wylie Crescent, Hare Street and Miramar.

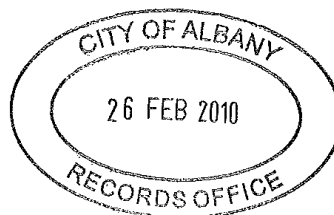
One questions the wisdom of Council's decision to allow the demolition of the Esplanade Hotel and the adjoining Flinders Mews holiday complex as I believe such a decision has resulted in a shortage of holiday accommodation units.

Why should we residents of Miramar be forced to endure anti-social behaviour as a consequence of holiday accommodation consent simply to make up for the mistakes made by the City of Albany.

I strongly urge the Council reject the application in the interests of the long term residents of McLeod Street/Wakefield Crescent.

Yours faithfully

KEITH SNOWBALL



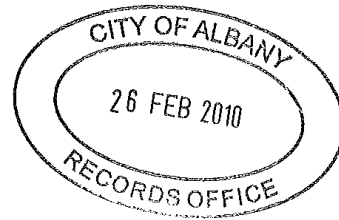


R & W Snowball
10 Wakefield Crescent
ALBANY 6330

City of Albany Records
Doc No: ICR8098831
File: A201973
Date: 26 FEB 2010
Officer: PLANA1
Attach:

25 February 2010

Chief Executive Officer
City of Albany
PO Box 484
ALBANY 6331



Dear Sir

NOTICE OF APPLICATION FOR PLANNING CONSENT FOR HOLIDAY
ACCOMMODATION AT 49a McLEOD STREET, ALBANY

As concerned nearby residents we wish to state our objection to the above planning consent.

There are other areas in Albany which are better located and some zoned for tourist accommodation needs – notably Middleton Beach.

There are problems of anti-social behaviour being experienced in other regional centres such as Busselton and Dunsborough where “holiday accommodation” consent has been granted. The City of Albany should learn from the experience of poor decision making by other shires and not proceed down the same track.

This part of Miramar and the Hare Street/Wylie Crescent areas are recognized by many as one of Albany’s best residential locations where owners have purchased in the full knowledge that only permanent residential use is permitted, thus ensuring peace and quiet and a degree of privacy. All residents know what is expected of them in maintaining proper standards of noise control and behaviour as there is an unwritten but clear understanding of each owner’s responsibilities. The same cannot be said of some casual holiday makers who will be less inclined to observe neighbourly behaviour.

If consent is granted who will ensure that anti-social behaviour is controlled.

We urge that council reject this application as approval will open the floodgates to others.

Yours faithfully

R & W SNOWBALL

A201973
Plan A1



45 McLeod Street
Mira Mar WA 6330
28 February, 2010

Chief Executive Officer
City of Albany
PO Box 484
Albany WA 6331

Dear Sir,

OBJECTION TO APPLICATION FOR HOLIDAY ACCOMMODATION AT 49A MCLEOD STREET, MIRA MAR

I wish to lodge my strong objection to the above application on the following grounds.

The application is for the use of the address as a semi-commercial venture, rather than residential. This type of business would therefore be more suited to the Middleton Beach or town area.

The design and location of the residence is unsuitable for use as a holiday home. Despite the street number being "49A" McLeod Street, the residence has an adjoining fence, and is directly next to the residence at 45 McLeod Street, which is only metres away. It is therefore located within metres of long-term residents, in a very quiet residential area housing mainly elderly retirees, and actually overlooks the entry and driveway of the nearest neighbour, leaving this property owner in a vulnerable position. It may be of interest to note that in a recent advertisement for the property, the sales agent has promoted "an integrated Bose sound system that features throughout the home". (See Attachment 1)

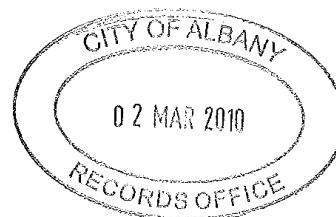
The safety and security of residents will be placed in jeopardy. The shifting populations using holiday accommodation usually provide only minimal tenancy bonds, if any, and often display less than desirable behavior. Attachment 2 indicates the problems being experienced in other tourist towns caused by anti-social behavior associated with holiday accommodation, with even 24-hour on-call management being considered.

49A McLeod Street and the adjoining blocks are already being advertised for sale. (See Attachment 3) Once an application such as this is granted, a precedent is set for all time. The application is therefore an exploration for possible further financial gain from an owner who does not live in the area, and shows little concern for its residents.

I urge Council to take a strong stand on this matter, support its long-term residents and ratepayers, and limit such accommodation to more appropriate areas.

Yours faithfully,


MARY A.J. GILBERT (MS)



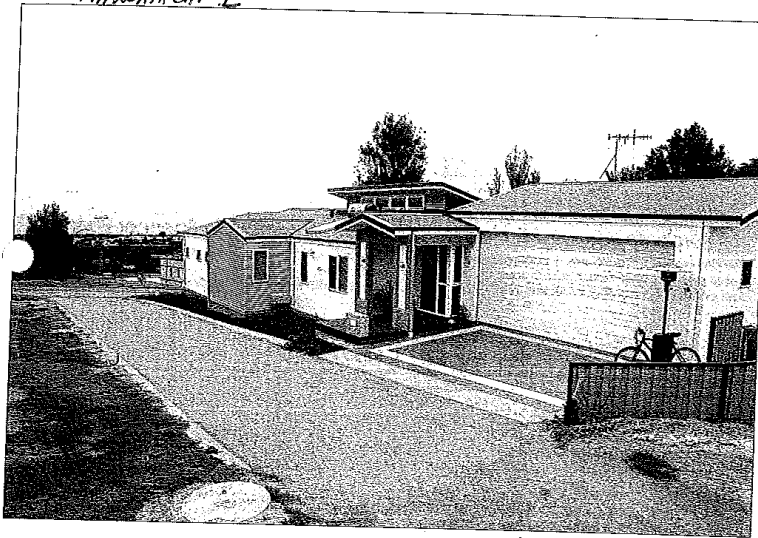
3 attachments

Albany Advertiser/Extra February 25/March 3, 2010

Real Estate

Online at www.albanyadvertiser.com

Attachment 1



New, with views

THIS property is so new it is still receiving its final touches.

So, if ever a buyer wanted a house with a view - this is the one.

Its positioning means the new owners can see the water almost as soon as they walk through the foyer.

The living area looks out on to King George Sound and beyond.

The balcony gets even closer to the views, making indoor and outdoor entertaining a dream.

This executive-style home has three bedrooms and two bathrooms.

The home is filled with quality fixtures and fittings throughout.

When occupants stop looking out at the ocean they will notice the Tasmanian blackbutt flooring and gorgeous, extra high ceilings.


This all makes the house feel spacious and airy and almost like owners are permanently on holidays.


The kitchen has granite bench tops.


New owners can sing along while slicing away over the stove with the integrated Bose sound system that features throughout the house.


Outside has low-maintenance gardens and reticulation.

This magnificent home is worthy of




3


2


1

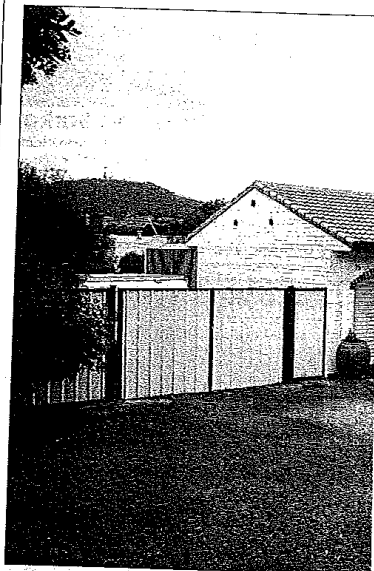
Address: 49a McLeod Street
 Price: \$899,000
 Agent: Connection Realty
 Contact: Steve Walker
 0400 993 879



the quality features of this magnificent property.

Call Steve today on 0400 993 879 for further information and to arrange a personal

Immaculat



THIS property is immaculate both inside and out and is just waiting for you to move in.

It has three double-sized bedrooms plus a semi-ensuite and an additional shower and toilet.

The house and fences have recently been painted, making the property feel very fresh and clean.

It has new tiles in the kitchen, a dining room, sunrooms and hallways and a new gas heater and gas storage hot water system.

The kitchen features new stainless steel appliances and also has new bench tops.

Not much of this house is old.

There are many areas in the home to entertain guests, including on the rear enclosed deck and undercover patio.

The 777sqm block means there is plenty of space, with secure side access, with a spot to leave your caravan or boat.

The single garage has a workshop but could easily be removed for car space if needed because there is another single shed for all your storage needs.

Call Kerrie Green of Harcourts on mobile number 0405 748 227 today to arrange a viewing.

Attachment 2

THE WEST AUSTRALIAN

News

FRIDAY, FEBRUARY 12, 2010

By CHEWERS

5

Holiday home rental law plan

GERTRIA LONEY

Holiday-home owners looking to rent out their properties in the South-West town of Busselton and Dunsborough would have to pay annual fees, register with the local council and be on 24-hour call for tenants or face prosecution under a shire proposal released yesterday.

The proposal comes after Planning Minister John Day's instruction last year for increased regulation of holiday homes in Busselton because of concerns of antisocial behaviour.

The Shire of Busselton, in a planning report, recommended the town laws be introduced to govern the commercial use of holiday homes.

Holiday-home owners would have to apply for planning approval, pay an annual registration fee on a "cost recovery basis", be subject to annual inspections and ensure an owner or manager was on call 24 hours a day.

Busselton lifestyle development director Nigel Bancroft said using holiday homes as commercial short-term accommodation in Busselton

was technically illegal under local planning schemes.

He estimated there were up to 2000 holiday homes in the area.

Mr Bancroft said holiday homes would be discouraged in quiet residential areas. "It would provide a preference that commercial home holiday accommodation be approved in areas where they happen now — beachfront areas, Eagle Bay, central Dunsborough and Yallingup," he said.

Margaret River has long required commercial holiday homes to have

specific planning approval, but has no local laws governing their use.

The Busselton proposal has created concern among holiday-home owners and real estate agents.

Dunsborough real estate agent Danielle Beckwith, who manages 140 holiday properties, said onerous fees would discourage people from investing in the sector, which was often more affordable than local hotels or resorts.

"I'd like to see the fee structure... owners are already paying pretty heavy management costs," she said.

Holiday Homes Association WA president Ian Wiese disputed claims owners were acting illegally, but said he generally supported the shire's move for local laws.

"A shortcoming of this report is the failure to address proper transitional arrangements for those owners who in future will be outside the preferred areas," he said.

Planning Minister John Day said he would consider the issues raised by the shire.

The Busselton council will vote on the issue on February 24.

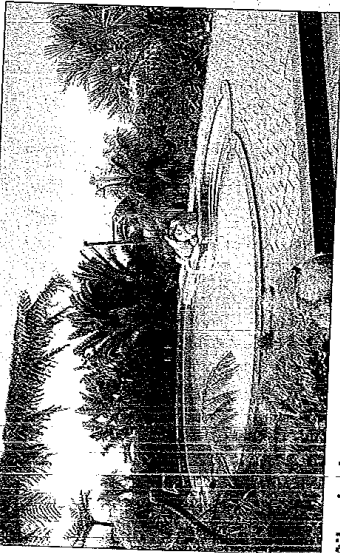
CALL 98 456 789

GO TO: www.connectionrealty.com.au

ConnectionREALTY - CONNECTIONS SELECTIONS
CONNECTING PEOPLE TO PROPERTY

Attachment 3

Lovely Setting, Lovely Home



Steve Walker
 0400 993 879

\$670,000

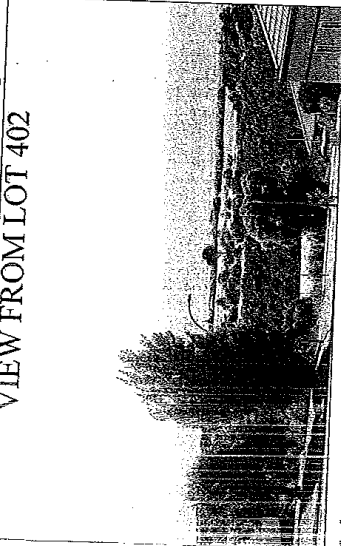


Situated only minutes to town
 53 Robinson Road, Robinson

ucked away on the way to the racecourse this renovated home has character with 3 living areas, massive 6x20m shed & two paddocks. Private viewings only.

3 Fantastic Blocks Being Offered

VIEW FROM LOT 402

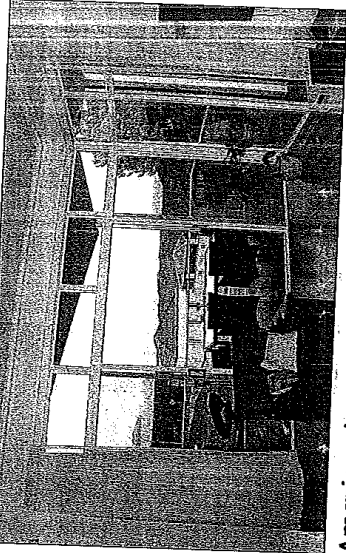


Steve Walker
 0400 993 879

\$300,000 -
 \$490,000

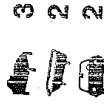
Take your pick high up the hill
 Lot 401, 402 & 404 McLeod Street, Mira Mar
 Lot 401 (\$370,000), Lot 402 (\$490,000), Lot 404 (\$300,000). Location, Location, Location & views to build your dream home!

Brand New Executive Home



Steve Walker
 0400 993 879

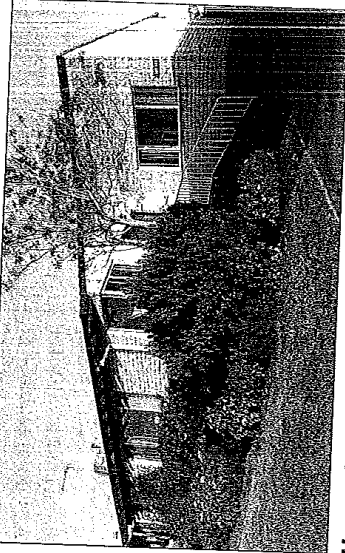
\$1,100,000



Amazing views of King George Sound
 49 McLeod Street, Mira Mar

New Greg Leader build with great views, high ceilings, Blackbutt floors, modern living and plenty of parking. Quality and Location. Private viewings only.

Great Street, Great Outlook



Simon Thomas
 0407 390 245

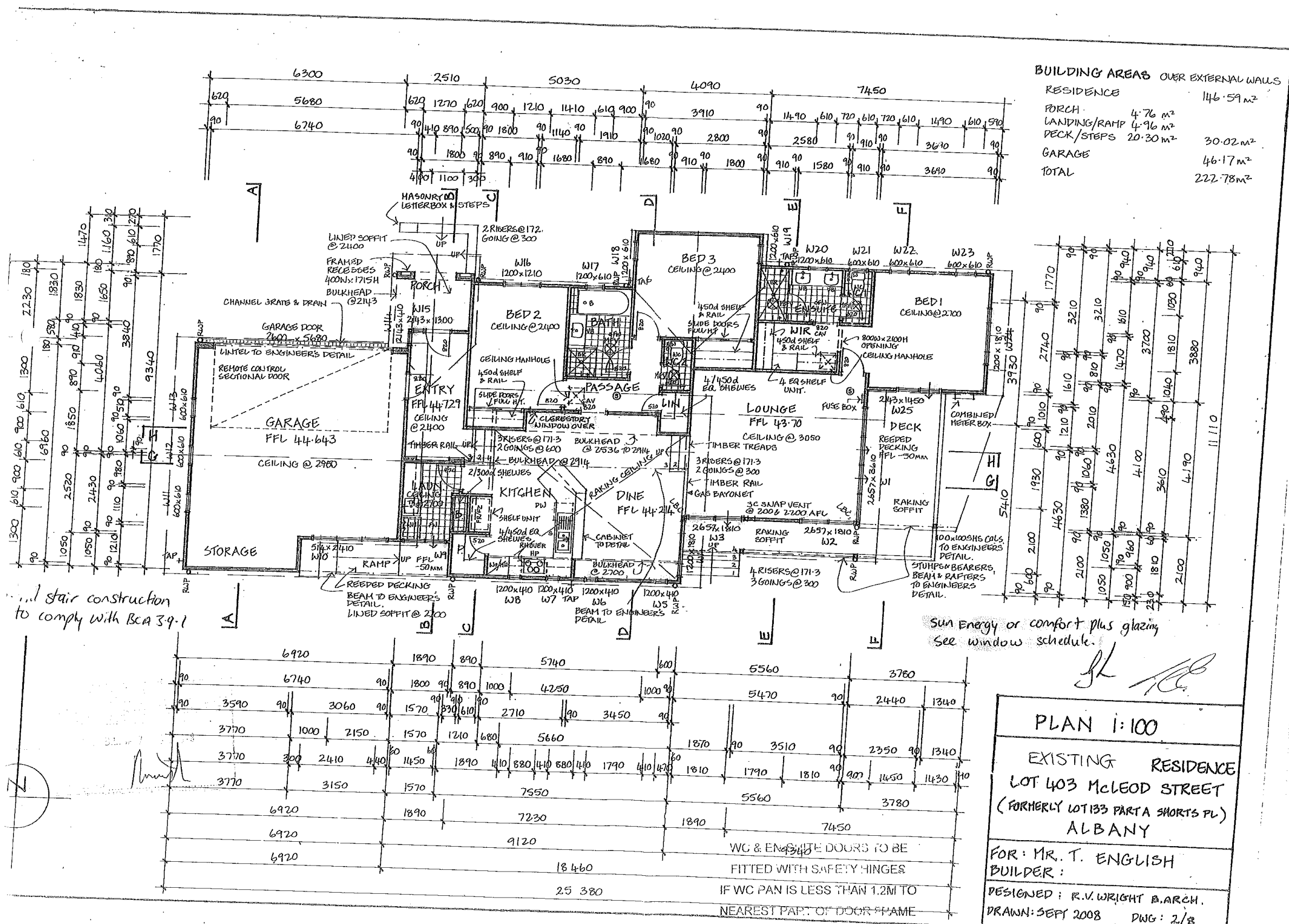
\$570,000



Home Open Saturday 11.00-11.30am
 30 Shorts Place, Mira Mar

Well Presented and Ready to move into, elevated position that allows maximum views.

Mirny Advertiser/Extra February 18-24, 2010



6920	1890	890	5740	600	5560	3760																
90	6740	90	1800	90	890	1000	4250	1000	90	5470	90	2440	1340									
90	3590	90	3060	90	1570	90	830	610	90	2710	90	3450	90									
3770	1000	2150	1570	1240	680	5660	1870	90	3510	90	2350	90	1340									
3770	300	2410	440	1450	1890	410	820	410	880	410	1790	410	470	60	1810	1790	1810	90	90	14450	1430	110
3770	3150	1570	7550	5560	3780																	
6920	1890	7230	1890	7450	3780																	
6920	9120	7450																				
6920	18460	5560	3780																			
6920	25380	5560	3780																			

WC & EN SUITE DOORS TO BE FITTED WITH SAFETY HINGES IF WC PAN IS LESS THAN 1.2M TO NEAREST PART OF DOOR FRAME

PLAN 1:100

EXISTING RESIDENCE
 LOT 403 McLEOD STREET
 (FORMERLY LOT 133 PART A SHORTS PL)
 ALBANY

FOR: MR. T. ENGLISH
 BUILDER:

DESIGNED: R.V. WRIGHT B.A.R.C.H.
 DRAWN: SEPT 2008 DWG: 2/3



[Bulletin Item 1.1.2] City of Albany Records
[Agenda Item: 13.1] [redacted] pages

File: A152320

Date: 31 MAR 2010

Officer: SPLAN

Attach:

Tom Wenbourne
Senior Planning Officer – Development Control
City Of Albany
102 North Road
Yakamia WA 6330

30th March 2010

Ref: A152320/PA30847/P295374

Dear Sir,

In response to a letter sent to us concerning the application to change the Town Planning Scheme for 155 Ulster Road. As a resident on Ulster Road I am not happy that the council is considering the change to allow a business in this rural residential area.

We have been in residence here for nearly sixty years this is a residential area peaceful and tranquil, my objection is such we already have a difficult time exiting our drive way as the traffic flow at times is just incredible both in the early morning, school times, after school times and just in general.

My fellow residents we have spoken to are concerned but do not wish to rock the boat as it were, but being [redacted] we believe the impact on us is greater.

Businesses belong in the CBD not in a residential area.

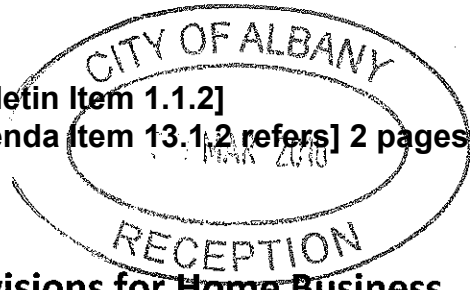
Please consider this information such as names and address not be open to public scrutiny.

Respectfully

[redacted signature block]



[Bulletin Item 1.1.2]
[Agenda Item 13.1.2 refers] 2 pages



Dear Planners and Councillors,

RE: P295374 – Relaxation of Scheme provisions for Home Business at 155 Ulster Road, Yakamia.

A152320
splan

I am writing to query the above referenced application recently advertised in the Albany Advertiser and with a sign onsite.

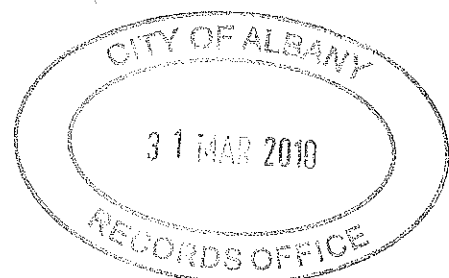
The application is for a home business, but the house in question does not look like it is lived in or to a decent standard to be lived in. Does the person live at the property or will they be required to live there, otherwise it cannot be a home business.

Also, a friend of mine made enquiries about hiring equipment from their house and were advised that hiring could only be undertaken from a shop and a shop is not a permitted use from a house. Having checked your Town Planning Scheme 1A, my understanding is that the home business definition specifically precludes hiring of any nature. How can you relax such a definition in a document that goes through such extensive checks and consultation before being formally adopted?

I do not understand how Council can even contemplate approving something that contravenes something that is explicit in its Town Planning Scheme.

Please refer this matter back to Council for explanation and reconsideration.

A concerned Ratepayer and Resident.





Your Ref:



City of Albany
PO Box 484
ALBANY WA 6331

Doc No: City of Albany Records
ICR1010272
File: A208963
Date: 01 APR 2010
Officer: SPLAN

Attach:

NOTICE OF MEDIATION

Woodhams & Anor v City of Albany

MATTER NO: DR 56 of 2010

**An Application under the Planning and Development Act 2005 -
Section 250(1)**

Dear Sir or Madam

Please find enclosed orders made on 29 March 2010. This matter has been listed for:

Mediation

Place : Hearing Room 8.05 State Administrative Tribunal
12 St Georges Terrace

Date : 28 May 2010

Time : 10:00AM

If you require any of the following services or have questions relating to these services please call and ask for the Tribunal's Listings Officer on 9219 3111 (toll free on 1300 306 017):

Interpreting Services.

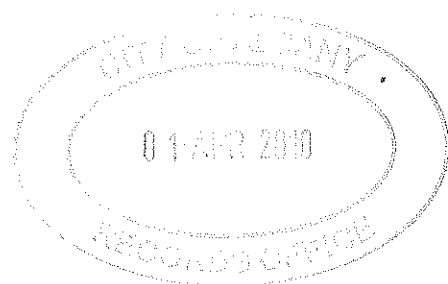
Special accessibility requirements (eg: wheelchair access, hearing loop,).

If you have any further queries please do not hesitate to contact the Tribunal on 9219 3111.

Yours Sincerely

for Executive Officer
30 March 2010

c.c Elton Woodhams
c.c Katie Wignall
c.c D Caddy





IN THE MATTER OF:

Elton Woodhams and Katie Wignall
-and-
City of Albany

Applicant

Respondent

Matter Number: DR 56 2010
Application Lodged: 3 March 2010

ORDER

Upon the matter being referred for mediation on 29 March 2010 before Member Jennifer Hawkins and as a result of the agreement reached by the parties at that mediation it is hereby ordered;

By consent;

1. In contemplation of the respondent reviewing the size of sheds allowable in its outbuilding policy in the near future, the matter is referred to the respondent for reconsideration pursuant to s 31 of the *State Administrative Tribunal Act 2004* on the basis of following agreement between the parties;
 - (a) that the applicants will immediately take steps to remove one bay of the shed the subject of these proceedings that is positioned closest to Henty Road, Kalgan, via Albany by no later than the May 2010 ordinary meeting of the Council of the respondent.
 - (b) that the applicants are agreeable to the respondent in any reconsideration imposing a time limit upon the use of the shed for habitation being linked to the applicants principal place of residence becoming habitable and at that time the respondent requiring the applicant to inhabit their principal place of residence and for the use of the shed being converted to a Class 10 building only, with liberty to apply to the respondent to later convert the use of part of the shed to ancilliary accommodation building to the extent permitted under any Town Planning Scheme or policies of the respondent that may be in force at that time.
2. The matter is otherwise adjourned to a further mediation on 28 May 2010 to enable final orders to be made or to enable the matter to be programmed to final hearing should the respondent not have reconsidered the matter.


Member Jennifer Hawkins



I certify the foregoing to be a true
and correct copy of the original

 D.S.O

State Administrative Tribunal
Date: 30/3/10

Application for Grant of Planning Scheme Consent

Applicant: Kingspath Pty Ltd (Landlord)
In conjunction with Connection Realty
Professionals in administering real-estate
Post Graduate Qualifications – Diploma of Property
Licence Holder – Simon Thomas – Licence No. 52352

Property : 101-103 Albany Hwy, Albany 6330

Consent Sought:

The Applicant is seeking Planning Approval to use the property for Professional Office purposes to administer the use of real-estate.

Supporting Reasons:

1. The site (101-103 Albany Hwy) is identified in Town Planning Scheme 1A as a Special Site (No. 39), which supports the use 'Professional Office'. The definition in scheme 1A for 'Professional Office' is as follows:

- a. *means a building used for the purposes of his profession by an accountant, architect, artist, author, barrister, chiropractor, consular official, dentist, doctor, engineer, masseur, nurse, physiotherapist, quantity surveyor, solicitor, surveyor, teacher (other than a dancing teacher or music teacher), town planner, or valuer, or a person having an occupation of a similar nature; and Professional Person has a corresponding interpretation.*

Having undertaken post graduate education in order to hold a licence to administer real estate, we are not dissimilar to quantity surveyors or valuer generals and therefore we qualify as professionals.

The definition for 'Office' in Town Planning Scheme 1A is as follows:

- a. *means premises used for the administration, clerical, technical, professional or other like business activities;*

Our prime occupation is the administering of real-estate and therefore (as the definition states) we qualify as an office.

2. The new Local Planning Scheme and Activity Centres Planning Strategy have disbanded the definition 'Professional Office' and instead use the definition 'Office', which include the terms 'administration' and 'professional'. The Activity Centres Planning Strategy supports Mixed Business activities in the locality of question. The definition in the strategy for Mixed Business supports offices. **We therefore qualify with the forward planning for the locality.**

The new Local Planning Scheme defines office as:

- a. *means premises used for administration, clerical, technical, professional or other like business activity.*

**Bulletin Item 1.1.4-
Agenda Item 13.1.4 refers 8 pages**

The new Activity Centres Planning Strategy defines office as:

b. includes administrative, clerical, professional and medical office activities which do not necessarily require the land area/ floorspace or exposure of other land uses.

3. The salvage and redevelopment of this derelict building was undertaken to provide good quality, centrally located office facilities of which we felt, there was insufficient supply. This belief has been justified by the expressions of interest we have received and as such, we now make this application on behalf of the proposed tenant who wishes to develop a more 'up-market' profile and enjoy a suitably sized professional office. They have indicated to us that there is no acceptable quality office space available of around the 340 sq.mtr size.

In summary, our use (administering real-estate) qualifies with the definitions for 'Professional Office' and 'Office' in the current scheme and with the definition and planning for 'Office' in the Activity Centres Planning Strategy and Local Planning Scheme 1, which are initiated for endorsement.

Please refer to the attached site plan, which illustrates appropriate (as required by scheme 1A) access, car-parking, signage and landscaping.

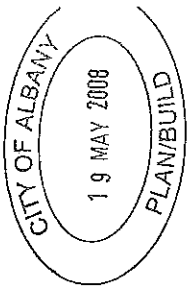
Kingspath Pty Ltd.





Connection REALTY
CONNECTING PEOPLE TO PROPERTY

↑
Approximate
size.

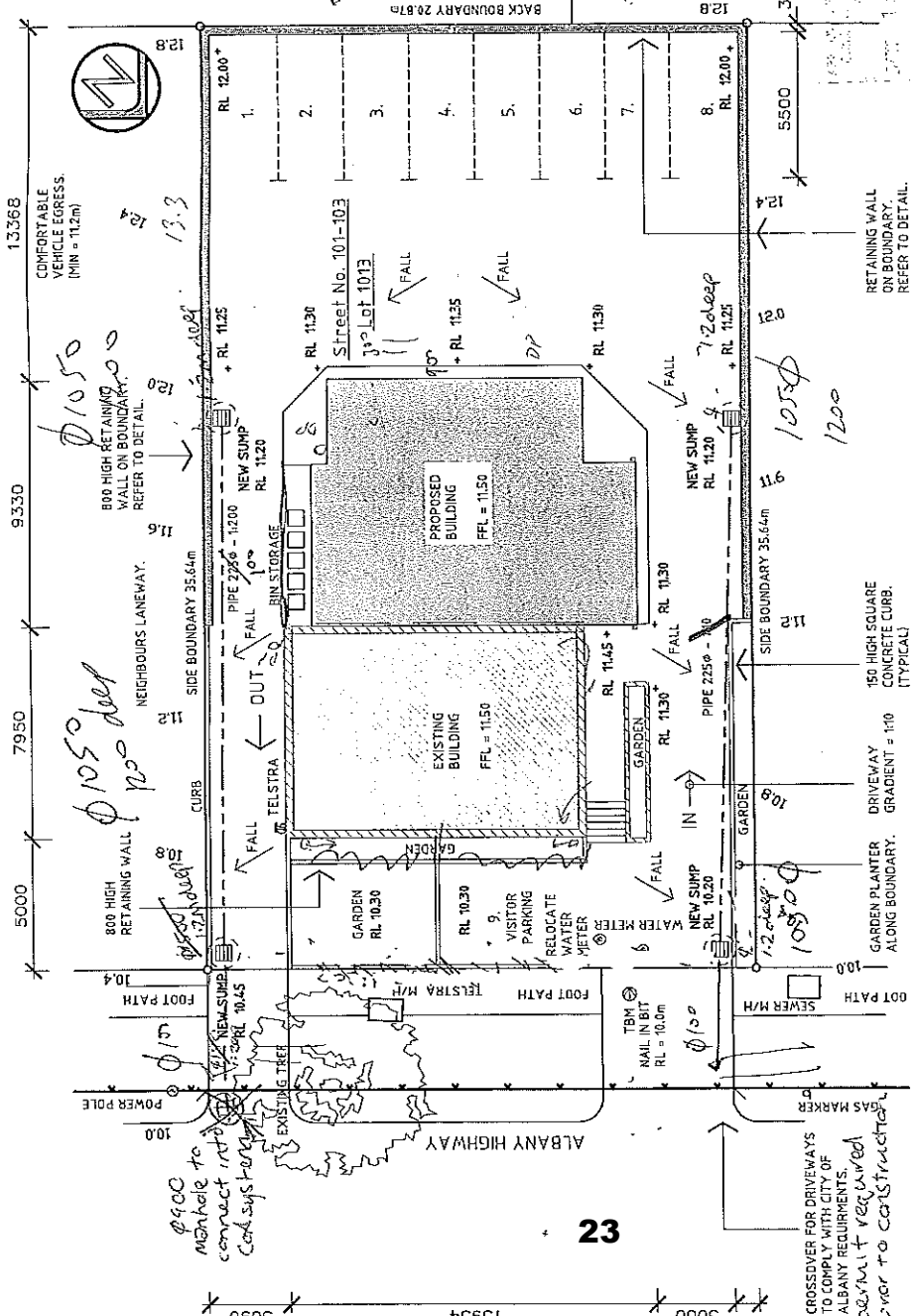


LEVELS

DATUM	10.00
GND FLOOR	11.50
1ST FLOOR	14.86

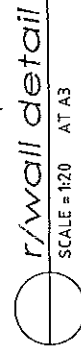
STORM WATER COLLECTION NOTE:

DRIVEWAY PARKING SURFACE TO HAVE GRADIENTS INSTALLED SO STORMWATER WILL RUN TO SIDE BOUNDARY CONCRETE CURBS AND INTO DRAINS AS SHOWN. ROOF WATER TO BE TRANSFERRED TO DRAINAGE SUMPS.



**Bulletin Item 1.1.4
Agenda Item 13.1.4 refers 8 pages**

TOP REINF. - Y12 @ 500 C/C
BOTTOM REINF. - 3Y12 @ 200 C/C
REINFORCEMENT CENTRAL IN FOOTING.
50 COVER MINIMUM.



SCALE = 1:20 AT A3

WORKS & SERVICES
Drainage and vehicular access design approved for construction.
Officer: [Signature]
Date: 3/16/08

new site plan

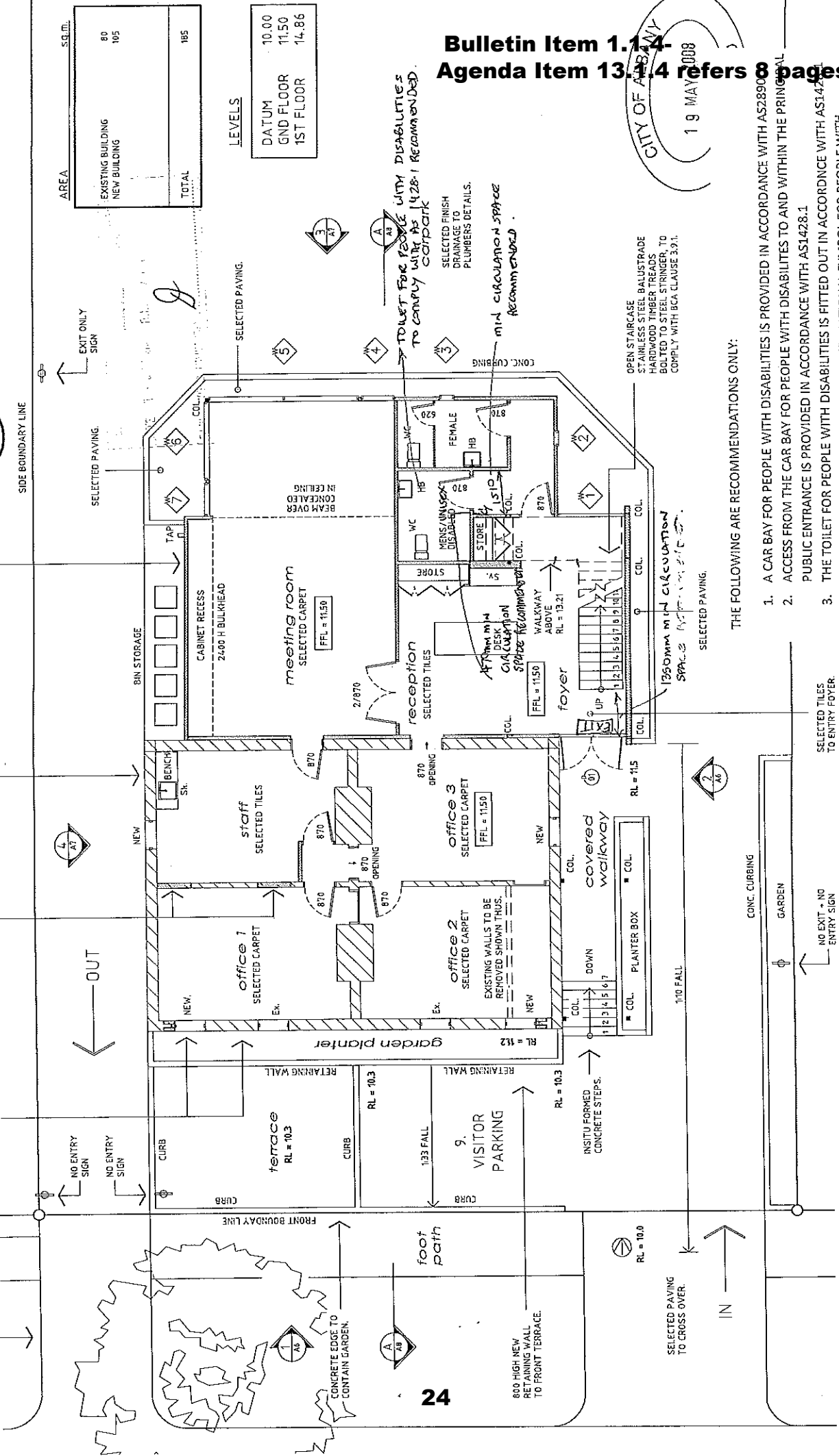
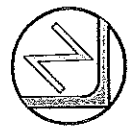
project no. 309 - WD-2
A3 of 13
new site plan

notes
15-05-08
WD-2 = council requested alterations
24-10-07
WD-1 = Marking Drawings for Approval

project
proposed office renovations
No. 101 / 103 albany hwy.
albany W.A.

client
Kingspath Pty Ltd
phone : 08 9842 4777 / 08 9842 4788
mobile : 04 28 424 777 / [number]
email : [email]

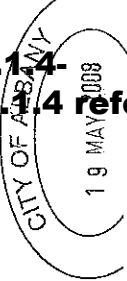
design 61 8 9842 8508
www.bensondesign.com.au



AREA	S.Q.M.
EXISTING BUILDING	80
NEW BUILDING	105
TOTAL	185

LEVELS	
DATUM	10.00
GND FLOOR	11.50
1ST FLOOR	14.86

Bulletin Item 1.14
Agenda Item 13.14 refers 8 pages



THE FOLLOWING ARE RECOMMENDATIONS ONLY:

1. A CAR BAY FOR PEOPLE WITH DISABILITIES IS PROVIDED IN ACCORDANCE WITH AS2890
2. ACCESS FROM THE CAR BAY FOR PEOPLE WITH DISABILITIES TO AND WITHIN THE PRINCIPAL PUBLIC ENTRANCE IS PROVIDED IN ACCORDANCE WITH AS1428.1
3. THE TOILET FOR PEOPLE WITH DISABILITIES IS FITTED OUT IN ACCORDANCE WITH AS1428.1
4. A BRAILLE TACTILE SIGN WITH THE INTERNATIONAL SYMBOL FOR PEOPLE WITH DISABILITIES IS PROVIDED TO THE WALL ADJACENT TO THE DISABLED TOILET.

project no. **309 - WD-2** issue **ground floor plan**

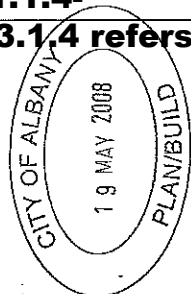
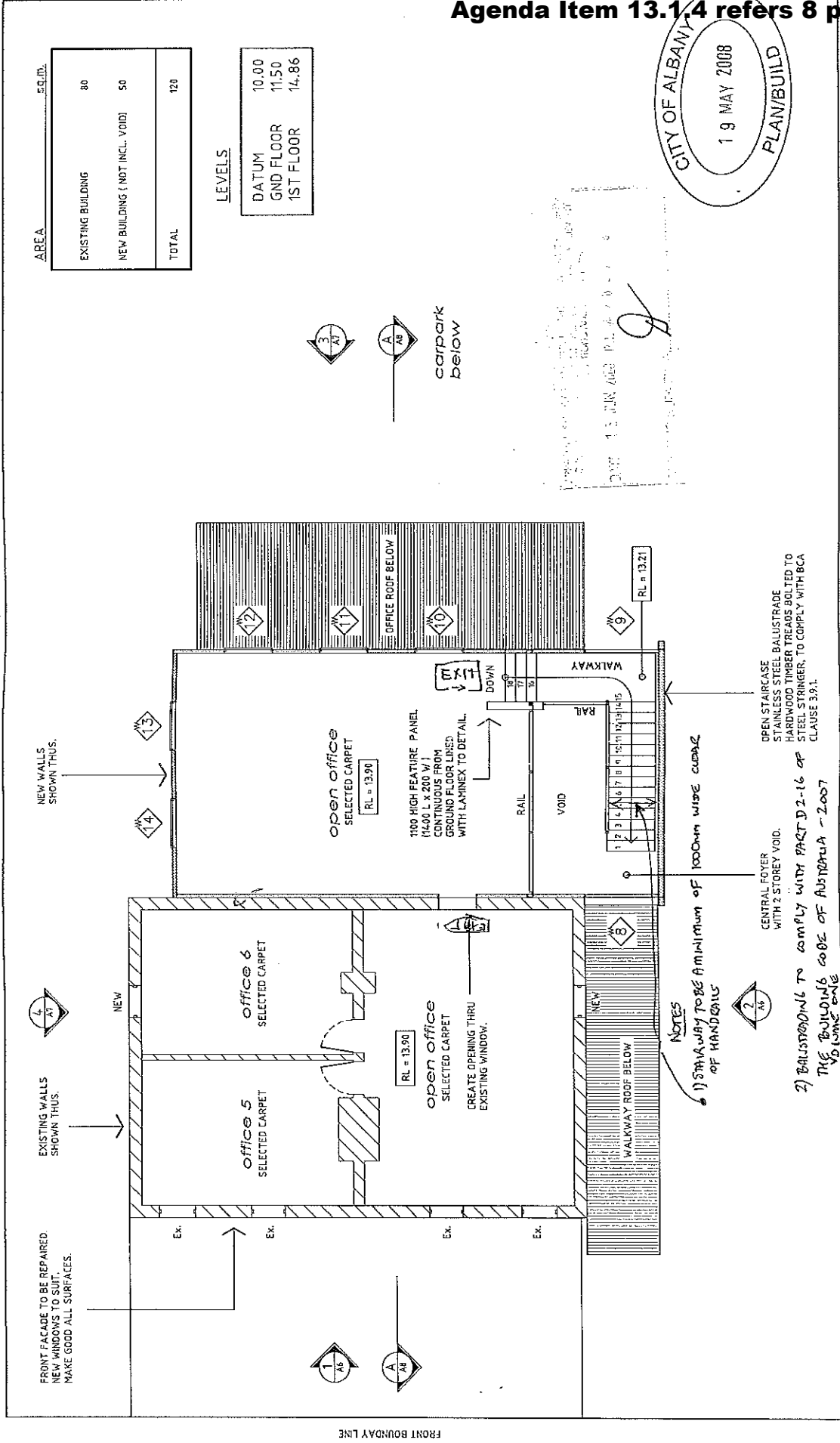
notes **15-05-08** drawing **A4 of 13**

proposed office renovations No. 101 / 103 albany hwy. **WD-2 = council requested alterations**

client **Kingspath Pty Ltd** phone **08 9842 4777 / 08 9842 4788** mobile **0428 424 777 /**

scale **1:100 @A3**

www.bensondesign.com.au



THIS BUILDING LICENCE IS CONDITIONAL UPON THE FOLLOWING BEING PROVIDED AND APPROVED BY THE CITY'S BUILDING SERVICES PRIOR TO THE ERECTION OF THE WALLS:

- TWO COPIES OF AN INK SIGNED REPORT FROM A PRACTISING MECHANICAL ENGINEER ADDRESSING EACH APPLICABLE CLAUSE OF PART 15 OF THE BUILDING CODE OF AUSTRALIA 2007 VOLUME ONE.

project no. 15-05-08
 drawing A5 of 13
 notes WD-2 = council requested alterations
 24-10-07
 15-05-08
 309 - WD-2
 first floor plan

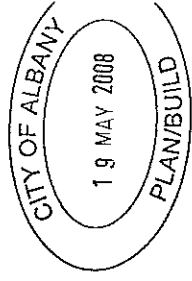
first floor plan
 SCALE 1:100 @A3

client Kingspath Pty Ltd
 phone 08 9842 4777 / 08 9842 4788
 mobile 0478 424 777

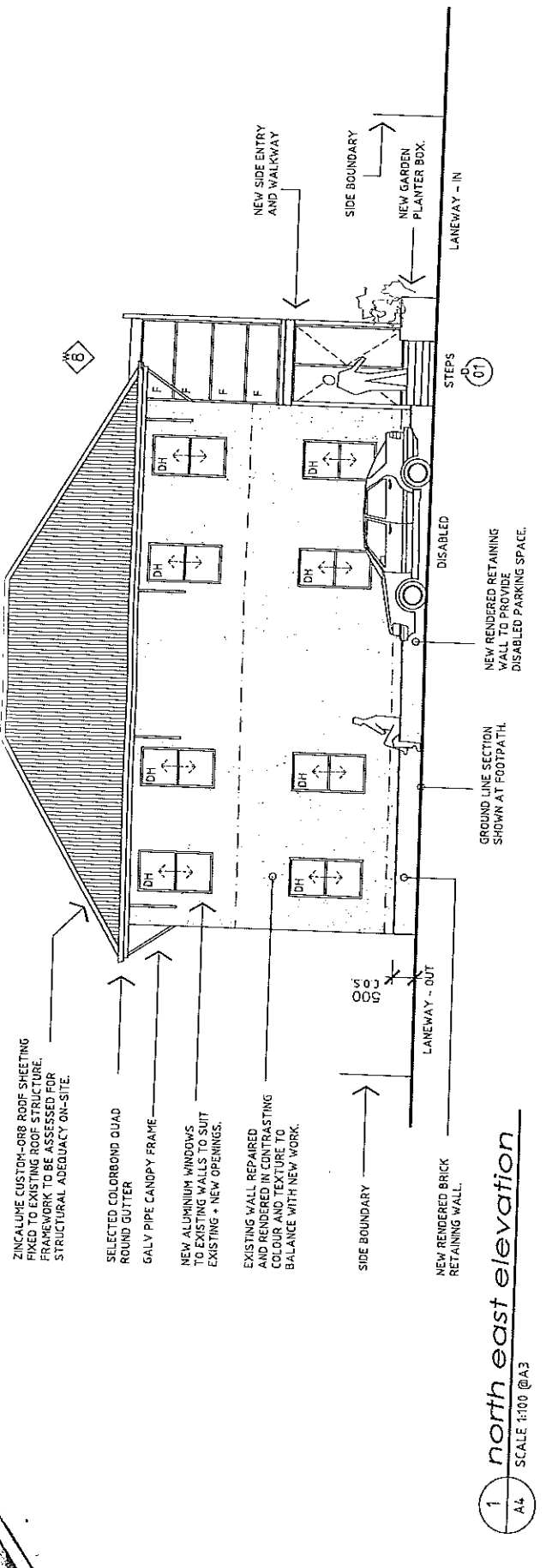
building design 61 8 9842 8508
 www.bensondesign.com.au

LEVELS

DATUM	10.00
GND FLOOR	11.50
1ST FLOOR	14.86



Bulletin Item 1.1.4- Agenda Item 13.1.4 refers 8 pages



1 north east elevation
A4 SCALE 1:100 @A3

EXTEND ROOF OVERHANGS AND INSTALL DECORATIVE GALV PIPE BRACES AS SHOWN.

EXISTING WALL REPAIRED AND RENDERED IN CONTRASTING COLOUR AND TEXTURE TO BALANCE WITH NEW WORK.

CHIMNEY'S REMOVED TO CLEAN UP ROOF LINE AND TO PROVIDE IMPROVED WATERPROOFING.

NEW 1ST FLOOR + ROOF CONCEALED BEHIND NEW PANEL WALL.

HARNIES 'EXOTEC' CLADDING (1200x1800) SHEETS INSTALLED TO MATCH FACTURERS SPECIFICATION. INSTALL WITH A CUT SHEET ON THE REAR BOUNDARY END OF THE GRID AND A CUT SHEET AT THE TOP OF THE GRID. SEAL EDGES WITH STAINLESS STEEL FLASHING (NOT PAINTED)

0273175

Car 11

PITCH HEIGHT APPROX 2730

FLOOR RL = 14.86

CEILING HEIGHT 3080

FLOOR RL = 11.50

REAR BOUNDARY 3.60

REAR BOUNDARY

CARPARK

RETAINING WALL ON BOUNDARY REFER TO SITE PLAN.

REFER TO STRUCTURAL DRAWINGS FOR MEMBER SIZES + CONNECTION DETAILS

notes

15-05-08

WD-2 = council requested alterations

24-10-07

WD-1 = Working Drawings Fee

project no. 309 - WD-2

drawing

issue

project no. 309 - WD-2

issue

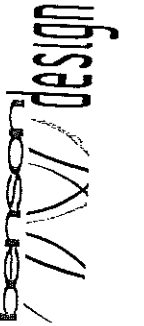
project no. 309 - WD-2

proposed office renovations
No. 101 / 103 albany hwy.
albany W.A.

client
Kingspath pty ltd
phone: 08 9842 4771 / 08 9842 4788
mobile: 0428 424 777 /
email:

building design
assoc. member

61 8 9842 8508
www.bensondesign.com.au

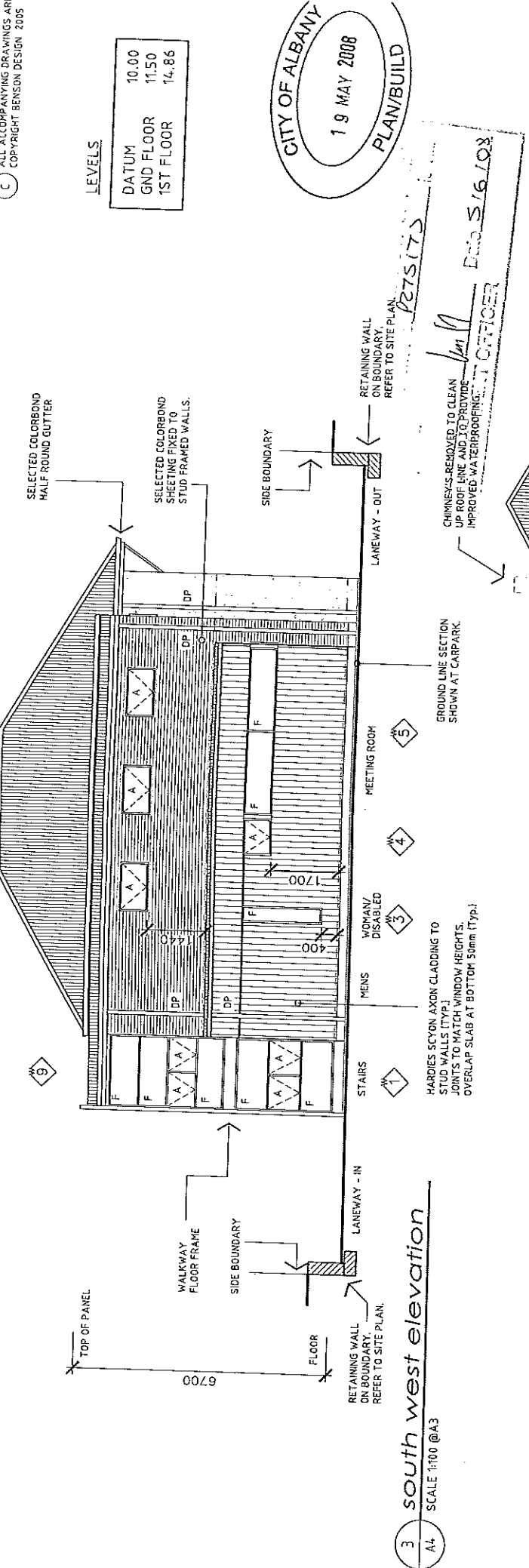


north west elevation
A4 SCALE 1:100 @A3

LEVELS

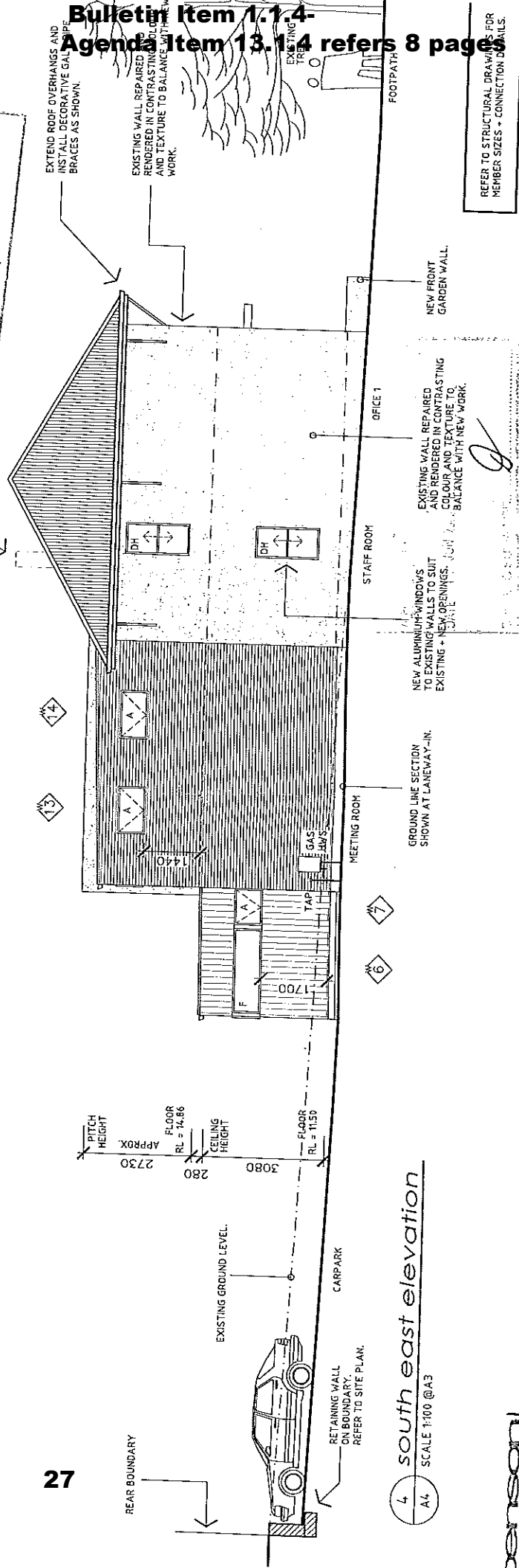
DATUM	10.00
GND FLOOR	11.50
1ST FLOOR	14.86

CITY OF ALBANY
19 MAY 2008
PLAN/BUILD



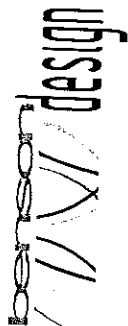
3 south west elevation
A4 SCALE 1:100 @A3

Bulletin Item 1.1.4
Agenda Item 13.14 refers 8 pages

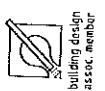


4 south east elevation
A4 SCALE 1:100 @A3

REFER TO STRUCTURAL DRAWINGS FOR MEMBER SIZES + CONNECTION DETAILS.



design 61 8 9842 8508
www.bensondesign.com.au



Kingspath pty ltd
phone : 08 9842 4777 / 08 9842 4788
mobile : 0428 424 777 /
email :

project proposed office renovations
No. 101 / 103 albany hwy.
albany W.A.

notes 15-05-08
WD-2 = council requested alterations
24-10-07
WD-1 = Working Drawings for Approval

drawing A7 of 13
project no. 309 - WD-2
issue elevations 3 + 4

Photo's of proposed ^{Site} **Bulletin Item 1.1.5-
Agenda Item 13.1.5 refers 53 pages**

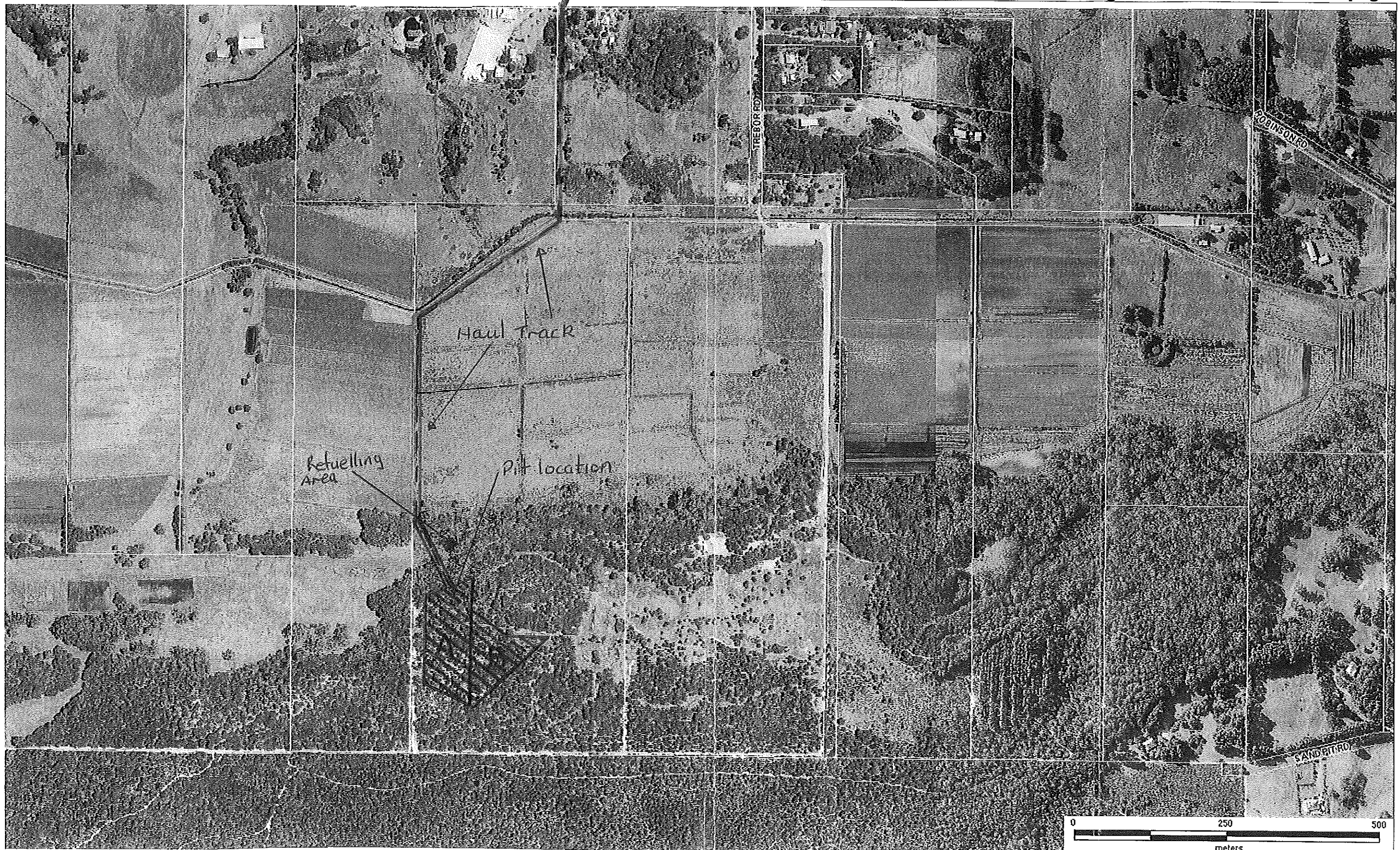


**Bulletin Item 1.1.5-
Agenda Item 13.1.5 refers 53 pages**

Photo's of proposed site



ATTWELL RD



Thursday, 22 October 2009

1:6000



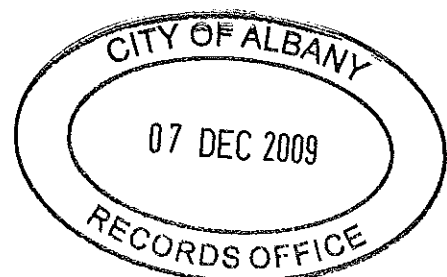
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Pit Management Plan

Assessment No. A159441
Property Owner GM & CM Attwell
Property Location: Attwell Rd Cuthbert
Location No. Lot 50

Works and Excavation Program

1. The area of disturbance at the site will be approximately 2ha (*see attached sketch*).
2. The area will be striped of overburden to a depth of approximately 300mm the overburden is to stock piled on each side of the extraction and used in progression to rehabilitate the area once extraction is completed.
3. The site is to be excavated to a depth of between 6 and 15 metres. Depending on insitu materials No more than 1ha of the pit area will be open at any time.
4. A clearing permit application will be submitted to DEC to clear approximately 1.5ha of native vegetation within the pit site and rehabilitation of the pit is dependent on this approval.
5. The licensee will construct and maintain all haul tracks within the property, with the initial construction of a 800m x 4m of haulage track to the pit directly off (Attwell road) as indicated on attached plan.
6. Accesses to/from the pit will be directly onto (South coast hwy). The number of trucks using the site per day will be between 4 and 6.
7. The Pit area will be fenced, signed and left in a safe condition and there will be no unauthorized access to the site permitted.
8. The pit face will be left no steeper the 1:10 vertical
9. The topsoil and overburden is to be stockpiled onsite for the rehabilitation of this site.
10. Overburden from the pit will be placed so as to assist in the visual screening of the extraction area.
11. No refuelling or maintenance of plant permitted within the extraction area, Refuelling is only to be undertaken inside the refuelling area with the use of drip trays. (Refuelling area marked on attached plan)

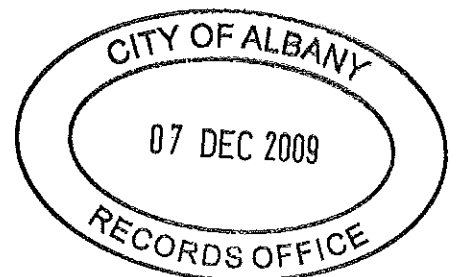


Rehabilitation and Decommissioning Program

1. The proposed end use of the excavation site will be dependent on clearing application approvals. However an area of the site will be used for stockyards and holding pen.
2. Restoration and reinstatement of the excavation site is to be undertaken on completion of the excavation works at each stage extraction.
3. The side slopes shall be incorporated into the shaping operation and upon completion of this stage shall be no steeper than 1 vertical to 10 horizontal.
4. The replacement of topsoil requires its distribution to a minimum depth of 200mm over the entire pit area and shall include haulage tracks if required. Steps to minimise compaction of topsoil are to be incorporated. The final surface of the disturbed area shall be within the tolerance of 0.3m vertical to 10m horizontal.
5. The rehabilitate area is to be maintained and managed by the property owners on completion of the site operations for a period of no less than two to five years from completion date.
6. All waste is to be removed at the end of each day during the excavation and rehabilitation process. Leakage of oil and fuel will be checked for during each day's operation.

We, *Am + cm Attwell* agree to the above Pit Management and Rehabilitation plan/program of a Ag lime sand / lime stone pit at (Attwell road Cuthbert), Location No (Lot 50 Attwell road).

Signed: *Matthew Deu* on this day *26th November 2009*
Attwell



Planning Application Information

(To form part of Planning Application)

Bulletin Item 1.1.5
Agenda Item 13.1.5 refers 53 pages

1.	Assessment Number:	A159441
2.	Property Owner:	Gerard and Catherine Attwell
3.	Property Location:	Attwell road Cuthbert
4.	Lot Number:	Lot 50
5.	House Number:	-
6.	Location Number:	3131
7.	Nature of extraction (eg. Gravel, Sand, Topsoil, Clay etc):	Agricultural lime, limestone and sand

Works and Excavation Program

8.	Hours of operation/extraction:	7.00am – 6.00pm Monday to Friday 7.00am – 5.00pm Saturday No operations Sunday/Public Holidays
9.	Duration of extraction:	Ongoing
10.	<p><i>Is extraction site greater than 1 hectares?</i></p> <p><input type="checkbox"/> - No – Go to 11 Advise pit area and volume only</p> <p><input checked="" type="checkbox"/> - Yes – Advise the following:-</p> <p>The pit area, gravel volumes, sections and the timing of each stage, proposed to be carried out within the extraction</p>	<p>Pit area will be approximately 2ha with around 100000m³ being extracted over the life of the site.</p> <p>The work to be undertaken in two stages. Stage 1(Area A) to be carried first followed by stage 2(Area B) to commence once area A has been completed.</p>
11.	<p>Details of the methods to be employed in the proposed excavation and a description of any on-site processing works.</p> <p>Eg: crushing or screening plant</p>	<p>The material will be extracted as required with the use of a wheel loader any Screening that may be required will be undertaken by mobile plant.</p> <p>Any material larger than 80mm shall be crushed and evenly spread on the pit floor to fill low lying areas. Material that is unable to be crushed shall be removed from the site or buried with 300mm of topsoil.</p>
12.	<p>Details on depth and extent of the existing and proposed excavation of the site.</p>	<p>Site to be excavated to a standard depth of between 6 – 15m. No more than 1 ha to be open at any one time.</p>
13.	<p>An estimation of the depth and</p>	<p>The area will be cleared of topsoil to a depth of no</p>

Bulletin Item 1.1.5
Agenda Item 13.1.5 refers 53 pages

	description of the quantity and nature of overburden to be stockpiled	less than 0.3m and the material will be stockpiled onsite and used to rehabilitate the site. The material to be stockpile consists of black topsoil with a good seed bank.
14.	A description and means of access to the excavation site and description of haul routes to be constructed.	See attached map for access points and haul route to excavation site. Existing haul tracks to be used and maintained by applicant. A rubble strip to be implemented to prevent mud from leaving property.
15.	Details of the proposed number and size of trucks entering and leaving the site each day, and the route or routes to be taken by those vehicles.	No of trucks per day 4-6 Entry and Exit to site will be directly onto Attwell Rd. They will then travel along Sth coast highway. Traffic management in line with Main Roads Traffic Management for Work on Roads Code of Conduct and AS1742.3 - 2002.
16.	Details of drainage conditions applicable to the land and methods by which the excavation site is to be kept drained.	Is water accumulation on site greater then 300mm? <input type="checkbox"/> - Yes, see attached drainage plan <input checked="" type="checkbox"/> - No, see below The pit area has been selected so no water accumulates within the site.
17.	Are any of the following applicable to the site <input checked="" type="checkbox"/> - Dust Nuisance <input type="checkbox"/> - Erosion <input type="checkbox"/> - Watercourse Siltation <input checked="" type="checkbox"/> - Danger to general public <i>If none place strike out next column.</i> If yes to any of above:- Select or provide additional description of measures taken to minimise and prevent.	<u>Dust Nuisance</u> – Refer to Extractive Industry Procedures AQ07-1 for Air Quality Management. <u>Danger to General Public</u> 1. Pit to be signed and left in a safe state. 2. Gate shut when not in use. 3. No unauthorized entry permitted to extraction area. 4. The pit area will be fenced to prevent unauthorized entry.
18.	Are there residences within 300m of extraction site? <input checked="" type="checkbox"/> - No – Go to 19 <input type="checkbox"/> - Yes – Advise the following:- Description of measures to be taken to comply with Environmental Protection Noise Regulations 1997.	Refer to Environmental Management procedures Attached EMP003 In addition the pit is surrounded by a 10 meter high earth bank.

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Bulletin Item 4.1.5
Agenda Item 13.1.5 refers 53 pages

19.	<p>Is there remnant vegetation and watercourses found on the property?</p> <p><input type="checkbox"/> - No – Go to 21</p> <p><input type="checkbox"/> - Yes – Advise the following:-</p> <p>A description of the existing site environment and a report on the anticipated effect that the proposed excavation will have on the environment in the vicinity of the land.</p>	<p>Property consists of grazing land and remnant vegetation, mainly pepper mint trees and native undergrowth is very sparse.</p> <p>Total vegetation coverage within the pit area is approximately 70%</p>
20.	<p>Is there existing vegetation shrubs and trees within the extraction site</p> <p><input type="checkbox"/> - No – Go to 22</p> <p><input checked="" type="checkbox"/> - Yes – Advise the following:-</p> <p><i>Details and nature of existing vegetation, or shrubs and trees. And a description of measures to be taken to minimise the destruction of existing vegetation.</i></p>	<p>See attached photos.</p> <p>Over burden and cleared vegetation will not be pushed outside pit area and left in such a way that during rehabilitation machinery won't have to leave proposed pit area. Sufficient room will be provided for truck turn around and haul track created along existing tracks.</p>
21.	<p>Description of methods by which existing remnant vegetation is to be cleared and topsoil/over burden removed for stockpiled.</p>	<p>The pit area will be cleared in slow progression as the pit develops through the site.</p>
22.	<p>Is the pit to be open for longer than 3 months?</p> <p><input type="checkbox"/> - No - little or no screening will take place for this length of time. <i>(strike out next box)</i></p> <p><input checked="" type="checkbox"/> - Yes – Advise the following:-</p> <p>A description of the measures to be taken in screening the excavation site, or otherwise minimising adverse visual impacts, from nearby roads or other areas.</p>	<p>Site will be screened by vegetation around the site preventing any adverse visual impact.</p>
23.	<p>Buffer exemption</p> <p>NO</p>	

Note: Points 8 – 22 to form Works and Excavation Programme

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**Rehabilitation and Decommissioning Program
Bulletin Item 1.1.5-**

Agenda Item 13.1.5 refers 53 pages

1.	Indicate the objectives of the programme, having due regard to the nature of the surrounding area and the proposed end-use of the excavation site.	Select from following:- <input type="checkbox"/> - Cropping - <input checked="" type="checkbox"/> - Grazing Land <input checked="" type="checkbox"/> - Revegetation Go to 5
2.	Indicate whether restoration and reinstatement of the excavation site is to be undertaken progressively or upon completion of excavation operations.	Restoration and reinstatement of the excavation site is to be undertaken progressively as the pit develops.
3.	Indicate how each face is to be made safe and batters sloped.	The side slopes shall be incorporated into the shaping operation and upon completion of this stage shall be no steeper than 1 vertical to 10 horizontal
4.	Indicate the method by which topsoil is to be replaced and revegetated.	The replacement of topsoil requires its distribution to a minimum depth of 100mm over the entire pit area and shall include haulage tracks. Steps to minimise compaction of topsoil are to be incorporated. The final surface of the disturbed area shall be within the tolerance of ± 0.1 vertical to 10m horizontal. The site will be re-contoured to reflect the surface condition of the pit prior to excavation.
5.	Are there trees and shrubs to be planted and other landscaping features to be developed? <input type="checkbox"/> - No – go to No. 6. <input checked="" type="checkbox"/> - Yes – complete next box:-	Peppermint Trees to be planted (7000) Native Shrubs to be planted (10000) Indicated landscaping features if any to be developed: - The site is to be remoulded to reflect the surrounding area.
6.	Indicate how rehabilitated areas are to be maintained.	To be maintained and managed by <input checked="" type="checkbox"/> - Owner for a period of 5 years <input type="checkbox"/> - Council <input type="checkbox"/> - Other, please specify (eg community group)
7.	Is a Weed Management Plan to be implemented?	<input type="checkbox"/> - Yes, Weed within the site will be controlled as required to prevent any weed growth.
8.	Indicate the programme for the removal of buildings; plant, waste and final site clean up.	All waste to be removed at the end of each day during the excavation and rehabilitation process. Leakage of oil and fuel will be checked for during each day's operation e.g. start-up, lunch and shutdown times. No refuelling on maintenance permitted within the pit area.

SAFETY AND NOISE

The Contractor shall at all times be equipped with safety boots, appropriately coloured safety vests, signs, barricades in accordance with the Occupational Health, Safety and Welfare Act - 1984 and associated Regulations - 1988. The Contractor shall ensure that all noise levels shall comply with the above act.

DIEBACK

The contractor is required to ensure all machinery is clean i.e. free of dirt prior to entry into the pit site. If machinery is to be removed to another pit site it must be cleaned of all dirt, weeds and seeds prior to leaving the site. The contractor is to comply with any additional regulations pertaining to dieback quarantine.

WEED MANAGEMENT MEASURES

The contractor is required to ensure all machinery is clean, free of dirt, weeds and seeds prior to entry into the pit site. If the machinery is to be moved to another pit site, said machinery must be cleaned of all dirt, weeds and seeds prior to leaving the original site.

ENVIRONMENTAL CONTROL MEASURES

The Contractor is to ensure all machinery used in the pit site is in good serviced condition, free of oil and fuel leaks and that hoses are inspected and maintained regularly. In the event of an environmental incident or spill occurring (of fuel, oil or hydraulic fluid or any substance that poses a significant risk to the environment) the Contractor is required to cease operations, and follow the environmental control procedures detailed below:

Controlling the Spill

If a spill occurs, as soon as practicable identify the source and assess whether it can be controlled (stopped) in a safe manner. If the leak can be controlled, do so then implement the following control procedures in containing the spill

Containing the Spill

Stop the spill from spreading by placing earth, sand or absorbent material on or around the spill. This will minimise the area affected. The contractor is also required to inform the Catchment Manager of the Water Corporation or representatives. Once advised, the representative will give instruction on the spill and take measures for the control, reporting and removal of affected soil/material to a prescribed waste facility.

LICENCES/REGISTRATION

It is a Department of Environment requirement that all mobile processing plant used on site must have a current Department of Environment Licence/Registration. Category 70 license or registration (5,000 – 50,000 tonnes) as listed on Schedule 1 Part 2 or a Category 12 license or registration (50,000 tonnes or more) as listed on Schedule 1 Part 1. DEC contact in Albany – 9842 4567.

Refer to 'A Guide to the Licensing System - February 2004 - Department of Environment' Website.

AIR QUALITY MANAGEMENT

Dust control measures are to be employed on site as required using the air quality management procedures (AQM-1) or if directed by relevant authority's i.e. (City of Albany Department of environment) This includes ceasing of operations during high winds or where preventative measures are unable to control the problem.

FIRE CONTROL MEASURES

The Contractor is to cease machinery operations on designated "Extreme" fire weather days. A fire unit is to be placed on site on designated "Very High" fire weather days.

AIR QUALITY MANAGEMENT
DUST PREVENTION AND CONTROL PROCEDURES

DUST EMISSION RISK

The potential for dust emissions to be generated from gravel extraction areas is medium to high. It is largely dependent on the pit management pre-planning, production activities and prevention control measures in place.

OBJECTIVES

Prevent and control dust generation during high-risk operations pertaining to gravel production and extraction.

GOAL

Reduce dust generation potential through quality Pit management and sound pit operation procedures.

Zero complaints from neighbouring landowners, Local Government Authorities or other regulatory bodies.

PIT MANAGEMENT PROCEDURES¹ (for work within pit area)

PREVENTION MEASURES

Dust generation within the extraction area is to be prevented through the following management procedures.

a. Pit management (Timing)

- a) The pit establishment, ideally to be conducted during the months May to October or during favourable weather conditions i.e. when sufficient moisture is available to ensure;
 - Reduction of dust generation during topsoil and gravel pushed operations.
 - Topsoil/overburden is windrowed before rainfall has ceased to promote good grass cover and dust suppression
 - The gravel stockpile has been wet allowing a crust to form over the row
- b) The placement of topsoil windrows and gravel stockpiles perpendicular to summer prevailing winds to create wind barriers. These help to decrease wind velocity and minimise dust generation.
- c) Minimisation of open, bare areas exposed to wind.

b. Pit operations

- a) Crushing of gravel to be conducted during low wind days.

CONTROL MEASURES

Dust generation is to be controlled through the following measures

a. Water use

- a) Employ a water truck to wet trafficked areas while removing material as soon as dust becomes visible
- b) Water stockpiles being loaded as required


b. Truck covers

- a) Employing truck covers when dust is visible during transport

¹ APPLICABLE GUIDELINES

Department of Environmental Protection, 1996, *Land development sites and impacts on air quality: A guideline for the prevention of dust and smoke pollution from land development sites in Western Australia*, Department of Environmental Protection, Perth, Western Australia

ad


Bulletin Item 1.1.5
Agenda Item 13.1.5 refers 53 pages

51 Trebor road
Cuthbert WA 6330

21st December 2009

Chief Executive Officer
PO Box 484
Albany WA 6331

Doc No: ICR8095445
File: A159441
Date: 24 DEC 2009
Officer: SPLAN,CPLAN1

Attach:



Dear Chief Executive Officer,

We would like to express our concern regarding the non provision of notice to residents, non provision of public notification via newsprint, the provision of miss leading information when enquiries were made, and the inadequate time frame for a submission to be lodged with regard to the Town Planning Notification for Industry Extractive (sand/lime) P295368 under planning application A159441.

A public notice was placed at the end of Trebor Road on the 14th of December 2009 and states the 6th of January is the deadline for any submissions to be in. This is 23 days from when the sign was erected and includes the Christmas / New Year holiday shut down period and gives us no possible chance or very little of gaining any appropriate information.

Many are already on or about to go on annual leave as was the case with the Planning officer in charge of this particular application when enquiries were made, he was not available to clarify information until he returns from annual leave which as it happens is after the closing date the 6th for submissions.

Explanation of events

On Monday the 14th of December at some time during the day a Town Planning Notice sign was placed at the top of Trebor Road in Cuthbert near our letter boxes. It is the notification of an application for a proposed Extraction Industry (san/lime) and that further information could be sort from the City of Albany Planning Department, this was the first and only indication we have had of any proposal for an Extraction Industry.

There has been

- No known public notification via the local newspapers.
- No known written notice sent to the residences of the adjoining properties or those very close to the proposed Extraction Industry being the residents on Trebor Road and including ourselves, the residents of 51 Trebor Road which according to the aerial photo provided is the closest residential property to the proposed Industry. Approx 400 to 500 meters away from the proposed pit site and closest to the haul roads.
- No known written or public notice of rezoning of the area has been received or notified.

I work out of town and neither my husband nor I were able to get to the city offices on Tuesday the 15th of December.

On Wednesday the 16th of December, my husband went early into the city offices to gain the available information regarding the proposed Industry and was directed to speak to Mr Craig McMurtrie.

Mr McMurtrie was helpful and provided him with Planning Application information of 4 pages, the Air Quality Management Procedures for the proposed pit, an aerial photograph of the proposed extraction site including the haul route as well Mr McMurtrie's contact details for further enquiry.

My husband is a plumber and was in between jobs, had a quick examination of the aerial photo and info, it outlined the proposed pit area and the haul truck route entering and exiting from Attwell Road.

He then asked why was the notice placed on Trebor Road and Mr McMurtrie's replied the planned route has changed to Trebor road however was not sure why and was un able to give further information due to his colleague being on annual leave.

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Agenda Item 13.1.5 refers 53 pages**

My husband who is hearing impaired had meet with me latter that morning, we talked of the proposed industry and he mentioned that from what he was told the application had actually changed however this was not reflected in the information he was earlier provided. The written information and the aerial photo plan both stated haul route entry and exit to and from the pit would be from Attwell road.

As my husband was given Mr McMurtrie's contact info I then contacted him via an email sent latter that morning at 11.50am asking for clarification of what my husband had heard as there was only 2 days left now before most including us were to go on there Christmas breaks. My email was read at 12.16pm on that same Wednesday but no reply came.

I waited for a reply all Thursday the 17th however no reply to my email came again. I in the mean time sort further advise regarding this proposed Extraction Industry but were advised to get the exacting information of the proposed Industry and application before we should proceed any further.

Finally on Friday morning the 18th of December I took time off work to come into the city offices by 9am sharp to again try and clarify what my husband had heard about the application and the conflicting written and verbal information provided. All city personnel applicable where at a meeting and I was unable to talk to anyone other than the helpful ladies at the front desk whom had no idea about the application however took my contact details and suggested someone would contact me later that day. I had explained to them we were to be going away on a camping holiday on Monday for the Christmas New/year break and we would have minimal phone etc opportunities.

Mr McMurtrie then contacted me by phone later that afternoon and we discussed verbally the application. He confirmed what my husband had heard and that there had been changes to the application but couldn't find out any other details regarding changes or the application etc as the applicable planning officer in charge had gone on leave.

I questioned the small time frame and was it possible to get the submission date delayed due to Christmas holiday break to enable us get the correct info from the City of Albany and as well make enquiries with other government planning and environmental departments and possible legal advice whom in initial enquiries needed the correct information as did we.

Mr McMurtrie suggested the application submission had already been extended and we would need to get a submission in by the due date regardless. If he could find any further information in the mean time he would email through to me as I would make myself email contactable when possible even though we were going away on leave from Monday the 21st.

It is now the 24th of December and no further information has come forth from the planning or development department at the City Offices.

We have always considered City of Albany planning requirements and its planning Officers with the highest regard when dealing with or submitting a planning application and still do however we are now ask ourselves why are we being forced to put together a hasty miss informed submission by the 6th of Jan at a particularly difficult time of year if we haven't been provided the appropriate notification or initial information and cant get it.

We await your reply on this matter.

Kind Regards

K & T SEWARD

Karen & Tim Seward



Bulletin Item 1.1.5-



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Chair
Deputy Chair
Secretary
Catchment Project Officer
Membership Officer

: Des Wolfe – 9842 9717
: Phil Mellon - 9844 6371
: Pauline Irving – 9844 6006
: Lesley Hart – 9841 0119
: Kylie Riches - 9841 6386

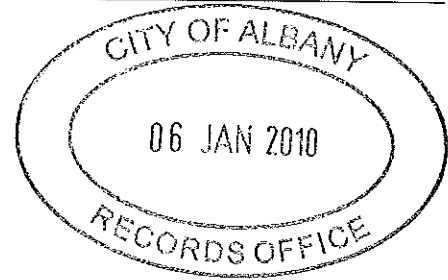
Torbay C
PO Box 1
ALBANY
www.tor

Doc No: ICR8095843
File: A159441
Date: 06 JAN 2010
Officer: APLAN

City of Albany Records

5 January 2010

Chief Executive Officer
City of Albany
PO Box 484
ALBANY WA 6331



Dear Sir

Re: Application for planning consent – Extractive Industry, Lot 50 Attwell Rd, Cuthbert

I am writing on behalf of the Executive Committee of the Torbay Catchment Group to express our concerns and issues with regards to the above extractive industry application.

Our concerns and objections to providing planning consent in this instance include the following:

In general, the level of detail provided by the applicants (GM & CM Attwell) in the Planning Application Information Form and the two page Pit Management Plan is minimal especially with respect to the plans for rehabilitation, the description of existing vegetation at the site and the likely impacts on the environment of it's removal and the length of the pit operation.

There also appears to be misleading errors and discrepancies of some concern between proposals for the 'Works and Excavation Program' and 'Rehabilitation and Decommissioning Program' outlined in the two page Pit Management Plan as opposed to equivalent details provided in the Planning Application Information Form as follows:

1. Both Point 6 in the 'Works and Excavation Program' and Point 15 in the Planning Application Information Form state that access to/from the pit will be directly onto South Coast Highway.

As far as we are aware the applicant proposes that all haulage trucks will access the pit via Attwell Rd which runs off Lower Denmark Rd. The width and condition of Lower Denmark Rd is considerably narrower and in a much poorer state of repair (in some sections) than South Coast Highway and we believe it is undesirable and unsuitable to have 4-6 heavy haulage trucks operating in this area on a daily basis.

Apart from local traffic, the Lower Denmark Road is a major tourist scenic route to numerous attractions along this section of the coast and the regular addition of large haulage trucks along this relatively narrow road presents significant traffic safety risks.

2. With respect to the 'Rehabilitation and Decommissioning Program', Point 4 states that 'the replacement of top soil requires its' distribution to a minimum depth of 200mm over the entire pit area'. Whereas in Point 4 of the Application Form, the applicant states that a minimum of only 100mm will be applied over the entire pit.

3. Under Point 5 in the 'Rehabilitation and Decommissioning Program' of the Application Form the applicant indicates an intention to maintain and manage the site for 5 years. However, in their separate two page Pit Management Plan, under Point 5, the applicants state 'The

The Torbay Catchment Group's Vision

"An environmentally clean, balanced ecology supporting a prosperous community in which people respect each other's use of the catchment and waterways"

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rehabilitate area is to be maintained and managed by the property owners on completion of the site operations for a period of no less than two to five years from completion date'.

These inconsistencies and the lack of detailed information in the applicants' operational, management and rehabilitation plans suggest to us a likelihood that the applicant may not conform to the minimum standards and requirements of operation and maintenance for a sand/lime pit.

Of especially great concern to us is that the applicant is suggesting in Point 9 of the Application Form under 'Duration of Extraction' that the operation of the pit would be 'ongoing'. This is entirely unsatisfactory and suspect, since in effect it could readily negate any obligation on the part of the applicants to ever actually 'complete' the works and therefore follow through on any Rehabilitation and Decommissioning Program i.e. it would just become forever 'open'.

Were the excavation pit ever to close up and cease operation it is unclear from the plans submitted as to how the operators propose to backfill and re-contour the extensive hole that would remain. The stored overburden and topsoil would obviously be grossly inadequate for this purpose.

4. Site Closure and Rehabilitation – Water Quality Protection Note 15 – Extractive Industries near sensitive water resources. Department of Water, June 2009

As you would be aware the proposed site of the excavation pit is within a Priority 2 Drinking Water Source protection area and therefore subject to its limitations and conditions.

Within the Water Quality Protection Note cited above under 'Site Closure and Rehabilitation', the following is required:

'The site operator should have a rehabilitation plan available, update it as needed and implement it on pit closure.'

'The plan should (in addition to standard rehabilitation details required by other government agencies) include:'

- Details of proposed post-closure rehabilitation land use
- A plan detailing the finished land surface profile
- Detailed information on the types, sources and quantities of materials to be used for any backfilling
- An assessment of the potential groundwater contamination threats posed by the materials used for backfilling, including leach test analysis for any imported materials used on-site that may pose a threat to water quality
- Proposals for any pesticide and fertiliser application at the site
- Methods of site remediation and clean-up after the end of extractive operations

This level of detailed information has not been supplied with the application.

5. Waste Management

Also within the same Water Quality Protection Note cited above under 'Waste Management' it states that **'Within Public Drinking Water Source Areas P1 and P2 areas, routine servicing and wash down of operating equipment is unacceptable.'** Yet in the operation of such an extractive industry, the environmental management procedures require very stringent controls to ensure that all machinery is clean, free of dirt, weeds and seeds prior to entry to the pit site. Should the haulage trucks then be moving to another pit site (which they may well be for storage of materials), they must also be suitably cleaned prior to leaving the site.

Therefore, the necessary environmental management procedures for such an operation appear to be incompatible with the P2 land classification.

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Since the proposed excavation site is so close to the Priority 1 PDWSA of Crown Reserve 13773, (the southern boundary of the proposed pit is approximately 60 metres from the landowners boundary fence with Crown Reserve), it also presents a serious risk for the introduction and spread of dieback into the currently healthy coastal vegetation community.

6. Weed Management Plan

The clearing of the operations and pit area will make it readily susceptible to weed invasion. Two highly problematic herbaceous weeds, Scotch Thistle and Senecio are already known to be present in the area and their seed is readily spread by wind. Any invasion by these weeds or others to the pit site could ultimately lead to their establishment in the adjacent healthy and diverse coastal vegetation community within the Crown Reserve.

Whilst the applicant states on the form 'Weed within the site will be controlled as required to prevent any weed growth', our observations of the landowners capacity and willingness to manage existing weeds close by in the adjacent open pasture areas of Lot 50, casts doubt on a true commitment or ability to manage weeds. These areas currently have extensive areas of Blackberry (a Weed of National Significance) and Arum Lily (a State Declared Weed) invading the area. These weeds have been establishing themselves for some time on this same property and there is no evidence of any attempts to eliminate or manage them.

In summary, in this predominantly rural zone with a booming tourist population that uses the Lower Denmark Road, the application to operate a sand/lime pit at this site requiring heavy truck haulage is deemed by this group to be unsuitable and too greater risk to the environment.

The Torbay Catchment Group understands that a neighbouring brickworks operation has already been deemed unsuitable to continue operations in its' current location and is to be re-located in the near future. It would hardly seem advisable therefore to turn around and approve an extractive industry operation right next door.

We thank you for consideration of our concerns with regards to this application within our catchment.

Yours sincerely



Lesley Hart
Torbay Catchment Project Officer
On behalf of the Executive Committee of the Torbay Catchment Group
Phone: 9841 0119 (Mon-Wed)



**Bulletin Item 1.1.5-
Agenda Item 13.1.5 refers 53 pages**

City of Albany Records
Doc No. ICR8095847

File: A159441

Date: 06 JAN 2010

Officer: APLAN

Attach:

51 Trebor Road
Albany WA 6330

5th January 2010

Dear Chief Executive Officer,

Re proposed Extractive Business P295368 - Assessment Number A159441

We would like to voice our strong objection to the planning application for a proposed Industry Extractive sand/Lime as stated on the public notice placed on Trebor Road on the 14th of December 2009.

I have previously hand delivered to the City offices on the 23rd of December 2009 a letter regarding the time frame given for submissions, lack of information regarding application, hear say miss leading information etc however due to those issues we do not have time to wait for a reply as submissions close tomorrow the 6th of January 2010. We will however reiterate the following points from the previous letter,

How can the residents of Cuthbert be informed if the information being provided by the City is false and miss leading. Written confirmation of verbal route changes was requested however no one from the City of Albany planning was willing to provide those written changes when enquiries were made. Please see previous letter as mentioned, Explanation of events.

No residents on Trebor Road or the residences on adjoining properties to Attwell Road (Lower Denmark Road frontage) were notified in writing as was suggested by the officer providing verbal information of any proposed Extractive Business.

No public notice in newsprint, no rezoning notifications etc.

We, the residents of Trebor Road and those in the Cuthbert township are hoping the City's Planning Department integrity and planning scheme consent requirements for notification are not being bypassed to suit a speedy approval for the planning applicant.

1. The Route – Trebor Road

As we are not sure and cannot get written clarification of routes in time it is very difficult to put in an appropriate submission however we will base our points submission on were the City Planning Notice has been placed, on Trebor Road and on the proposed pit area..

Trebor Road is an **unsealed, No through Road.**

It is prone to flooding every winter and often turns into one lane road due to water holding on one side as there is no drainage. It is very dusty in the dryer months and vegetation grows up to the roads edge on both sides.

Trebor Road gets it's scheduled road grade approximately 3 times per year and no other maintenance that we are aware of.

All of the residences along Trebor Road are aware of the above issues and we whom live in the road undertake regular weed control on the verges, clean the drain lines when they are blocked thus assisting with flooding and maintenance needs, we mow the verges were possible, brush cut the area around the letter boxes and bus stop and slow right down etc to assist vision and conditions for our local traffic and children as good neighbours do when taking ownership in their community.

There are eight school aged children in the street and we mothers & prams and other siblings must walk up the road to the school bus stop and our letter boxes daily.

Some below questions/queries regarding Trebor Road as a route as the information provided only states pit requirements and haul road maintenance requirements for Attwell Road which does not have multiple residences involved.

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Trebor Road has 7 residences along it and the following should be considered.

- Will the City or applicant provide and undertake additional widening of the road as would be needed.
- Will the City or applicant undertake additional road maintenance, drainage and grading needs from trucks and heavy vehicles that will constantly be using Trebor Road 7am to 7pm - 6 days per week as stated in the application information business hrs.
- Will the City or applicant provide a water truck to wet the road those six days a week during the dryer months.
- Will the City or applicant notify of how many times a day can we expect the road to be wetted, ie 1 per day or
- Will the City or applicant seal the road before more works commence to stop the dust that continually engulfs our homes from the additional heavy truck and vehicle traffic.
- Will the City or applicant put in designated walkways or paths on Trebor Road to allow mothers, children and other residents and the many walkers whom use this road daily to safely walk/ride past those heavy vehicles to and from their bus and letter boxes everyday.
- Will the City or applicant put in dust buffer screens/plantings in prior to assist residents with dust and noise from the heavy traffic.
- Will the City regularly monitor the road use to assess heavy vehicle and assure vehicle movement is as stated, 4-6 trucks per day only.
- Will the City regularly monitor for heavy vehicle road use on public holidays and weekends is abided by.
- Will the City or applicant adequately contain livestock from straying when vehicles are entering and exiting the proposed business via Trebor Road as current livestock fencing is inadequate for industry entry & exit.
- All the above are also relevant to Attwell road as a route if the planning signage notification has been placed incorrectly.

2. Proposed Extractive Business location

The proposed Extractive business would be located in the Watershed Torbay project Catchment Wetland & Waterways in the area of Five Mile Creek, which forms part of the Marbellup Water Reserve being ear marked as a future potential public drinking water supply. The Cuthbert drain ways are part of the above and run directly through the Extractive business applicants property as they do along side our property.

It is our understanding the wetland area contains Acid sulfate soils (ie sediment that formed since the ice age with in the last 10000 years). These sediments contain significant amounts of iron sulphide mineral pyrite and they are highly reactive **when exposed to air**. – this can be verified by Appendix 3 in WA Planning Commission location of acid sulfate soils pg 15 and other extracts from Watershed Torbay Restoration Plan – ie Albany land plain Zone.

In this document under appendix 3, we would like to point out the heading “Why acid sulfate soils are a planning issue”

- There is a huge risk the proposed extractive industry due to it’s nature will release acid and heavy metals that can cause significant harm to the environment and local infrastructure and risk to the future drinking water supply of the Albany area. – please see appendix 1 attached - an extract from the WA Planning Commission guidelines to Management of Acid sulfate soils.

There are many other dust, noise, weed, water, nature reserve issues associated with the proposed Extractive Industry location however these pail to compare to the potential damage associated from the above acid sulfate soil disturbance, this issue **must be considered of the highest priority.**

3. Proposed Extractive Industry Applicant

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This applicant has previously for years and on too many numerous occasions to mention ignored many City, State, environment requirements and many local neighbour hood requests.

The applicant has previously shown a blatant disregard for any previous planning requirements, building applications and planning scheme consents, livestock containment requirements, toxic waste dumping, burning in restricted periods and much more, and all should be considered along side the proposed industry and route.

Please consider the following.

The applicant has

- Undertaken and cleared huge amounts of remnant vegetation both on and of the property on verges with out the applicable planning scheme consent or permission.
- Undertaken previous significant ground works with out planning scheme consent.
- Under taken construction of out buildings with out planning scheme consent.
- Dust minimisation has never been undertaken and is ignored as is noise generated from above works or any works undertaken previously on the property.
- Never notified residents, never given consideration to residents, never given consideration to public holidays or Sundays Ranger contacted Easter Weekend 09 multiple times and on many other occasions by multiple residents.
- All neighbour hood requests regarding dust particularly from trucks on Trebor Road at times are 8 to 10 trucks an hour have been ignored and ranger again must be called to intervene.
- Dangerous waste disposal – asbestos dumped uncovered on property as fill near residences – letter sent to City
- Livestock straying from the property constantly, on to Trebor Road, Lower Denmark Road and adjoining properties and residences and rural businesses. All neighbouring properties have for years contacted the applicant and been ignored consequently the rangers then must be contacted wasting valuable City resources continually.
- Never has the applicant attempted any weed control on the property. 70% of the cleared vegetation now consists of weeds, Arum lily, Blackberry and scotch thistle and many more all of which pose a huge threat to the adjoining reserves vegetation and adjoining properties, rural businesses and bordering remnant vegetation.
- Burning is undertaken in restricted burning periods with out permits or to do so or supervision or the buns regardless of temperature, wind and smoke thus putting neighbouring properties, businesses and the reserve at huge risk as has previously been the case.

We have always considered the WA Planning requirements, City of Albany planning requirements, the state & local environmental laws and recommendations, the State & local water reserves and their regulations and guidelines and the local laws on burning and firebreaks to be of the highest priority when planning is undertaken and always will.

We now ask does the City of Albany Planning have those same priorities when it considers approving this proposed Extractive Industry.

We await your reply on this matter.

Karen & Tim Seward



**Bulletin Item 1.1.5-
Agenda Item 13.1.5 refers 53 pages**

City of Albany Records
Doc No: ICR8095844

File: A159441

Date: 06 JAN 2010

Officer: APLAN

Attach:

Chief Executive Officer
Shire of Albany
North Road, Albany WA 6330

RE: Comment on proposal for extractive industries on Attwell Road Cuthbert
(Extractive Business P295368 –Assessment number A159441)

Dear Sir/Madam,

I refer to the application to extract lime sand from Lot 3 on Attwell Road Cuthbert.

I strongly object to the proposal.

The grounds for objection are four fold:

1. Potential reduction in the amenity value of properties on Trebor Road, and safety concerns for children and families residing on Trebor Road,
2. Proximity of groundwater to the sand pit and the potential impact on water quality
3. Potential environmental damage through spread of noxious weeds
4. Potential adverse impact on residences neighbouring the pit, from dust.

1. There is a potential for increased use of Trebor Road by heavy vehicles. Whilst the plan indicates that Atwell Road is the proposed point of access to the site, Trebor Road provides ready access to the property. Children from five residences walk and cycle to and from the bus stop on the Lower Denmark Road, along Trebor Road. Trebor Road is effectively a residential street which provides a relatively safe means for children to commute to the bus stop and other residences. Increased use by heavy vehicle would drastically reduce the ability of children to use the road safely, given the much greater stopping distance of loaded trucks, and the limited capacity of children for judging speed and distance. Dust and gravel raised by truck wheels provides an additional hazard.
2. The close proximity of the water table to the pit has the potential to adversely affect water quality
3. Increased heavy traffic and reduced groundcover on the property will lead to an increased spread of noxious weeds, which are presently poorly managed on the property. The property is presently a major source for the spread of weeds on neighbouring properties and leads to increased production costs on these properties. In addition the noxious weed, *Senecio glastifolius* has been found in the sand ridges and is presently the focus of eradication by Greenskills. There is an increased risk of spread of this weed with increased soil disturbance.
4. The increase in dust from the movement of heavy vehicle and sand blown from the site by prevailing winds has the potential adversely affect neighbours.

It is my view that management conditions outlined in the proposal do not adequately address the concerns raised above. In addition it is my strong opinion that the imposition of more stringent conditions would not alleviate these concerns. That is because the property owner has previously

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shown an inability to respond to reasonable requests in a timely manner to adopt management practices that limit the adverse impacts on neighbouring residents. Straying cattle have frequently caused damage to crops, provided a driving hazard to vehicles, and caused damage to gardens. Requests to improve fencing to prevent cattle straying are heeded belatedly and often only after several requests and made. Local and State authorities have been unable to enforce compliance of by-laws, so residents continue to be adversely affected by the property owner's inaction. I therefore have no confidence that the imposition of more stringent conditions will alleviate the potential problems outlined in points 1 to 4. Hence I am strongly opposed to the proposal.

Yours Sincerely,



Andrew Bathgate
41 Trebor Rd
Cuthbert WA 6330

'Bindaree Downs

**Bulletin Item 1.15-
Agenda Item 13.1.5 refers 53 pages**
Seed Potato Growers

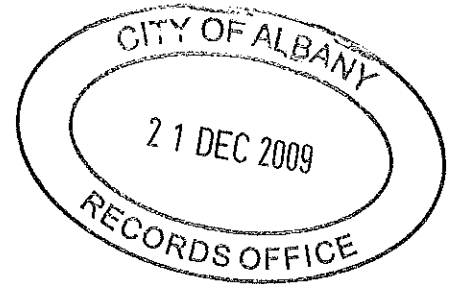
A159441
CPLAN1

L.S. & J.L. Eldridge
100 Bindaree Road
Cuthbert 6330
Western Australia



Phone: (08) 9844 6269
Fax: (08) 9844 6169
Mobile: 0417 904 277
Email: eldbnddowns@iinet.net.au

16TH December 16, 2009
The City of Albany
The Chief Executive Officer,
Post office Box 484,
ALBANY WA 6331



Dear Sir,

In answer to your correspondence of the 9th December 16, 2009

Reference: A159441/PA30232/P295368
Re the application for industry extractive at lot 50 Attwell Road Cuthbert
Adjacent to our property Lot No. 2419

We have no objection to the establishment of the sand pit, but would like to have a couple of concerns resolved.

This may involve discussion with you to alleviate our concerns, which are as follows:

There is the possibility of gravel dust blowing onto the seed potato crop, during the growing period of the crop.

Will need to indicate on Permit for dust to be kept to minimum, may need to water road where potatoes are adjacent.

Dust will affect health of seed crop, and as a considerable amount of this seed crop is exported to South Australia, the health status of the seed crop must not be affected.

The other concern is what the legal requirements are where sand cannot be taken within a distance from the boundary and what angle is butting to be from the boundary into the sand pit

Would need to have these resolved before granting of permit for sand pit operation commenced.

Looking forward to a reply from you.

Regards,

L.S. Eldridge
per JLE.

**Bulletin Item 1.1.5-
Agenda Item 13.1.5 refers 53 pages**

Taylor Gunn

From: MCKEOUGH Karen [Karen.MCKEOUGH@water.wa.gov.au]
Sent: Thursday, 25 February 2010 11:26 AM
To: Taylor Gunn
Subject: Atwell Rd Sand pit
Attachments: PSC88_Use_of_Herbicides_in_Water_Catchment_Areas_2007.pdf

Taylor,

I had a visit from Gerad Atwell yesterday seeking more information on the DoW's requirements. He has a copy of Water quality protection note #15 Extractive industries near sensitive water resources, and will use it to address our concerns - in particular: refuelling, washdown, stormwater management, accident and emergency response, site closure and rehabilitation.

As mentioned in my letter, The DoW's preference is that no refueling and washdown should occur on the site, however, if this is not possible, then these activities should take place within a bunded, impervious compound. Washdown water should be collected and taken off-site and disposed of appropriately. DoW would like to see a plan of this compound.

We would also like the preparation of a more detailed emergency response plan. The environmental management procedures included with the application, makes only brief comments about what to do when there is a spill. the emergency response plan should detail, regular maintenance that will be undertaken to prevent spills, what training staff will/have undertake in readiness for a spill, materials to be kept on site in response to spill, the procedures to be undertaken in the event of a spill, communication plan - who will be notified, contact numbers

acid sulphate soils are not a risk in the proposed pit site. I prepared a map for Gerard yesterday

Also attached is the guidelines for herbicide use in PDWSA.

is that enough information for you?

Regards,

Karen McKeough
Environmental Officer
Department of Water
South Coast Region

Ph: (08) 9841 0128
Fax: (08) 9842 1204

5 Bevan St (PO Box 525)
ALBANY WA

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CIRCULAR NO: PSC 88

SUBJECT: USE OF HERBICIDES IN WATER CATCHMENT AREAS

Purpose

PSC 88 is for the purpose of protecting surface and ground water sources that are used as sources of water for human consumption from contamination by herbicides. The document is a best practice policy statement that applies to all government departments and their contractors.

Definitions

The term "Water Catchment Area" refers to:

- (a) proclaimed public drinking water source areas (i.e. water reserves, catchment areas and underground water pollution control areas proclaimed under the *Country Areas Water Supply Act 1947* or *Metropolitan Water Supply, Sewerage and Drainage Act 1909*), and
- (b) reserves vested for the purpose of water supply; and
- (c) any other area that is designated by licensed water service providers and the Department of Water and confirmed by the Executive Director, Public Health

"Blanket Area Spraying" means the application of herbicide by boom sprayer, aircraft, misting machines, and like apparatus capable of treating a wide swath at one pass and these swaths being matched by continuous passes.

- 1. Other than with the expressed written approval of the Executive Director, Public Health, the only herbicides that may be used in water catchment areas are:

2,4-D	amitrole
fluazifop-p-butyl	glyphosate
hexazinone*	triclopyr

metsulfuron methyl - **only** when used for hand/spot spraying of weeds (eg blackberry and cape tulip)

*(hexazinone can affect native vegetation and therefore should be used with care or advice sought from the Department of Environment and Conservation where sensitive native plants are present.)

- 2. These herbicides may only be used when no other means are suitable for the control of weeds.
- 3. 2,4-D may only be used when the weeds are resistant to the other specified herbicides or when other chemicals are not sufficiently selective.
- 4. The specified herbicides may be used against declared plants and other undesired weeds on water catchments and water channels or in the vicinity of reservoirs provided timings, techniques and precautions ensure there is no spray drift or early run off from treated areas likely to contaminate reservoirs, rivers or streams. All applications must be under the supervision of a person experienced in the use of herbicides.



5. Application is to be limited to injection techniques or direct spraying of individual weeds or clumps of weeds by apparatus producing a coarse or large droplet spray. Other than with the expressed written approval of the Executive Director, Public Health, blanket area spraying is not acceptable.
6. No mixing of the herbicide is to occur within 50 metres of reservoirs, rivers or streams. Except with the written permission of the Executive Director, Public Health, no application is to be made within 20 metres of reservoirs or rivers and streams when flowing. Application may be made within 20 metres of dry river and stream beds during the summer months.
7. Empty containers and all equipment to be removed from the catchment area before washing and disposal.
8. Other than with the expressed written approval of the Executive Director, Public Health, any unused herbicide is to be removed from the catchment area and no other herbicide except for immediate requirements is to be stored there.
9. Rates of application, safety directions and precautions on labels of the original container of the herbicide shall be strictly adhered to.
10. Records of the amounts and dates of use of herbicides on catchments are to be retained. They maybe required for investigation of incidents or complaints.

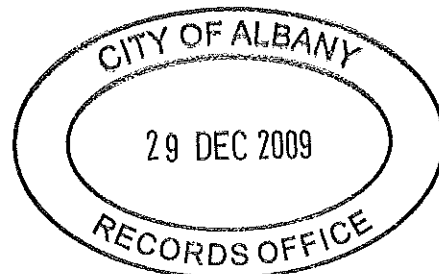
Dr M Stevens
Delegate of the
EXECUTIVE DIRECTOR, PUBLIC HEALTH
28 February 2007



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Government of Western Australia **Agenda Item 13.1.5 refers 53 pages**
Department of Environment and Conservation

Your ref: A159441/PA30233/P295368
Our ref: 27.3.1A
Enquiries: John Watson
Phone: (08) 9842 4500
Fax: (08) 9841 7105
Email: John.Watson@dec.wa.gov.au

Taylor Gunn,
Cadet- Planning Technician
City of Albany
PO Box 484
ALBANY WA 6331



Dear Sir/Madam

**NOTICE OF APPLICATION FOR PLANNING CONSENT: LOT 50 ATTWELL ROAD,
CUTHBERT**

Thank you for the opportunity to comment on this proposal.

The Albany Office of the Department of Environment and Conservation (DEC) has considered this proposal on the basis of the information supplied and desk top analysis using additional information as available.

- There is concern that the photographs included in the proposal appear to demonstrate some recent site disturbance including removal of under storey native vegetation. The proponent has not indicated that a permit to clear native vegetation is held for the subject area but does indicate awareness of the need to apply for a permit to clear in the event that the proposal is supported. Council should advise the proponent that any further clearing of native vegetation (however 'sparse') should cease forthwith until a DEC permit to clear is obtained.
- In this regard it is noted that the area proposed for extraction activities lies within 50-100m of the adjacent Reserve 13773. Within that reserve and approximately 500m to the east there is a recorded location for Main's Assassin spider, *Austrarchaea mainae*, (Declared Threatened Fauna, Vulnerable). It is also noted that some excellent coastal unit native vegetation appears to be present within the southern half of the subject land.
- The proposed access/haulage road from the South Coast Highway will require to be constructed to maintain a clean and freely drained running surface so as to minimize the risk of either import or export of *Phytophthora cinnamomi* dieback or other disease to or from the site. This is particularly important due to the low lying country between the proposed pit and the sealed public road system, together with the fact that the trucks will be traveling to and from the site around the City and possibly beyond into other shires. Hygiene requirements have been noted by the proponent for plant and trucks *per se* however a freely drained running surface for the haulage route is also critical.

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- Site licencing issues are generally a matter for the City to administer. However the operation may require DEC registration of a licence depending on the annual throughput. The only reference to throughput in the proposal is ~ 100,000 cubic metres 'over the life of the site'.
- If (as appears likely) a mobile crushing and screening plant are to be used separate licences will be required for each. DEC will require notification forms for re-location of any mobile plant.

In summary:

- Clearing of native vegetation can only be undertaken if an approved exemption or a permit to clear is held
- Clean and freely drained access for haulage is essential
- DEC site and plant licencing issues will need to be further clarified.

Yours sincerely



Bruce Bone
Regional Manager

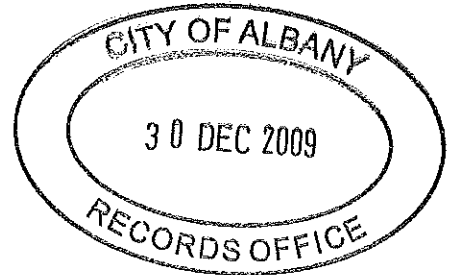
21 December 2009



Your ref: A159441/PA30297/P295368
Our ref: RF1553-02 / SRS 25991
Enquiries: Karen McKeough, Ph: 9841 0128

Chief Executive Officer
City of Albany
PO Box 484
ALBANY WA 6331

Attn: Craig McMurtrie



Dear Sir

Application for planning consent – Extractive Industry, Lot 50 Attwell Rd, Cuthbert

Thank you for the opportunity to comment on the above proposal. The Department of Water (DoW) provides the following comments:

Public Drinking Water Source Area

The subject site is located within a Priority 2 (P2) Area of the South Coast Water Reserve (see attached map). Extractive industries are permitted within these areas with conditions. The DoW has prepared guidelines to manage extractive industries within public drinking water source areas, *Water Quality Protection Note # 15 – Extractive industries near sensitive water resources*. A copy of this guideline is included for your information.

The pit management plan indicates that the pit depth will extend to 15m below the current surface. From bores located in the vicinity of the pit location, the depth to groundwater is expected to be approximately 20m below the surface. As such, it is not expected that the pit operations should not intercept groundwater. However, should groundwater be intercepted, all operations are to cease immediately and the DoW contacted for further advice.

The refueling area nominated on the site map is located within the P2 area. It would be the DoW's preference that refueling takes place outside of the drinking water source area. However, if this is not possible, the DoW recommends that the refueling area is to be located within a bunded, impervious compound designed to allow effective recovery of any fuel/chemical spill without loss to the environment. Additionally, the DoW recommends the preparation of an environmental response plan. The plan will detail the measures to be taken in response to accidental fuel/chemical spills, including provision of support equipment, communication systems and personnel training. In the event of a chemical spill the Department of Environment and Conservation, the Water Corporation and the Department of Water should be notified.

Recommended conditions:

1. A minimum of 2m of undisturbed soil profile between the base level of the excavated area and the maximum anticipated water table. Should groundwater be intercepted, all operations are to cease immediately and the DoW contacted for further advice.
2. All refueling activities take place outside of the public drinking water source area. If this is not possible, the refueling area to be located within a bunded, impervious

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compound designed to allow effective recovery of any fuel/chemical spill without loss to the environment. The proponents are also required to prepare an environmental response plan detailing the measures to be taken in the event of a fuel/chemical spill.

Advice:

1. The proponents should be made aware of *Water Quality Protection Note # 15 – Extractive industries near sensitive water resources.*

Should you wish to discuss this matter further please contact Karen McKeough of this office.

Yours sincerely



**MICK OWENS
ACTING REGIONAL MANAGER
SOUTH COAST REGION**

29 December 2009



WQPN 15, June 2009

Extractive industries near sensitive water resources

Purpose

Extractive industries provide vital basic raw materials for the housing and construction industry in Western Australia. These basic raw materials include limestone, sand, rock, gravel, shale and clay that may be extracted from crown or private land. For operating an extractive industry, additional structures such as offices, roads, hardstand areas, equipment stores, workshops and ablution facilities may be required. If these industries are mismanaged near sensitive water resources, they have the potential to diminish the quality of the resource. Risks of contamination may arise from effluent disposal systems and loss of chemicals stored or used on-site (e.g. fuels and mechanical servicing fluids). Loss of native vegetation (this is considered to be an effective barrier for water source protection and also supports aquatic ecology) could lead to soil erosion and turbid runoff from disturbed soils in surface catchments. The effectiveness of water treatment processes (such as disinfection) can be reduced by increased turbidity. Pit dewatering can also affect the natural biota and change the water quality, the natural watertable or flow regime of a water source.

The Department of Water is responsible for managing and protecting the state's water resources. It is also a lead agency for water conservation and reuse. This note offers:

- our current views on extractive (quarrying) activities near sensitive water resources
- guidance on acceptable practices employed to protect the quality of water resources
- a basis for the development of a multi-agency environmental code or guidelines that considers the views of industry, government and the community, while sustaining a healthy environment.

This note provides a general guide on issues of environmental concern and offers potential solutions based on professional judgement and precedent. Recommendations made in this note do not override any statutory obligation or government policy statement. Alternative practical environmental solutions suited to local conditions may be considered. This note shall not be used as this department's policy position on a specific matter, unless confirmed in writing. The note may be amended at our discretion, as new data becomes available.

Regulatory agencies should not use this note's recommendations in place of site-specific conditions based on a project's environmental risks. Any regulatory conditions should consider the values of the surrounding environment, the safeguards in place and take a precautionary approach.

Where a conflict arises between our recommendations and any proposed activity that may affect a sensitive water resource, this note may be used to assist negotiations with stakeholders. The negotiated outcome should not result in a greater risk to water quality than that which would apply if our recommended protection measures were used.

Scope

This note covers the extraction of basic raw materials from the natural environment i.e. sand, clay, peat, gravel, hard rock, limestone (including metallurgical limestone) and shale quarries as defined in the *Western Australian State planning policy 2.4 Basic raw material 2004*. It applies to the establishment, operation and rehabilitation of extractive industries and their associated facilities such as fuelling, material stockpiling (including overburden), screening, site drainage, equipment storage, workshops and employee amenities when located near sensitive water resources.

For extractive industry operations outside public drinking water source areas, the Department of Water endorses the Department of Mines and Petroleum's (formerly Department of Industry and Resources) *Environmental management of quarries - Development, operation and rehabilitation guidelines 1991* (Reference 3a). Those guidelines may also offer some useful guidance on best practices for water source management.

The raw materials: mineral ores such as iron, nickel, gold, bauxite, coal, lead, oil shale, mineral sand, silica sand, garnet sand, kaolin, bentonite, attapulgite or montmorillonite are covered under the *Mining Act 1978*, and are not covered by this note.

Planning approvals and processes

Under the Town Planning Regulations 1967 (Schedule 1 (2)) an extractive industry was defined as "... an industry that involves the extraction, quarrying or removal of sand, gravel, clay, hard rock, stone or similar material from the land and includes the treatment and storage of those materials, or the manufacture of products from those materials on, or adjacent to, the land from which the materials are extracted, but does not include industry – mining."

The state's planning approvals and processes, licences and clearing applications that may be required for the extractive industry of basic raw materials are outlined in the Western Australian Planning Commission's *Basic raw materials applicants' manual: A step-by-step guide for establishing extractive industries in Western Australia, 2009* (Reference 9a).

The planning approval procedure requirements for establishing extractive industry operations vary with the different types of land tenures. The type of land tenures and approval authorities are summarised in Table 1.

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Table 1 Planning approval procedures for extractive industries on freehold, crown controlled and reserved land*

Type	Definition	Approval authority
Freehold land	Privately owned land.	Local government and/or Western Australian Planning Commission
Crown land	Vacant (unallocated) Crown-controlled land; reserves for public utilities; timber, pastoral and grazing leases; leases for Aboriginal communities.	Department of Mines and Petroleum (formerly Department of Industry and Resources)
Reserved land	National parks; water and nature reserves; conservation parks; state forests; commons, utility etc.	Department of Mines and Petroleum (formerly Department of Industry and Resources)

* (Adopted from Western Australian Planning Commission and Department for Planning and Infrastructure, 2009)

A checklist for site selection considerations are also provided in the above mentioned Western Australian Planning Commission's *Basic raw materials applicants' manual*.

Other publications of importance to the planning process of extractive industries are (Reference 9c):

- *State planning policy 2.2 Gnangara groundwater protection policy*
- *State planning policy 2.3 Jandakot groundwater protection policy*
- *State planning policy 2.4 Basic raw materials*
- *State planning policy 2.7 Public drinking water source areas*
- *State planning policy 2.8 draft Bushland policy for the Perth Metropolitan Region*
- *State planning policy 2.9 Water resources*
- *State planning policy 4.1 draft State industrial buffer policy.*

Other considerations for establishing an extractive industry project

Sand mining activities

Specific requirements for the operation and management of sand mining activities within public drinking water catchments are defined within the department's *Policy and guidelines on construction and silica sand mining in public drinking water source areas* (Reference 4b), and are therefore not detailed in this note.

Sensitive water resources

Sensitive water resources require a range of management techniques to ensure their adequate protection, e.g. definition and community awareness, separation buffers from intensive land usage, effective containment of potential mobile contaminants, regulation of land use activities, appropriate waste management decisions by land use operators, catchment surveillance/monitoring and in some cases remedial action to address historical problems. More details relating to sensitive water resources and their values are provided in Appendix A.

Public drinking water source areas

Extractive industries may be located in public drinking water source areas (PDWSA). PDWSA is the collective description for catchment areas, water reserves or underground water pollution control areas defined and regulated under the *Metropolitan Water Supply, Sewerage and Drainage Act 1909* or the *Country Areas Water Supply Act 1947*. This department administers these statutes, and uses policy, guidance and community interaction to help protect proclaimed drinking water sources from contamination. The protection strategy for a PDWSA is determined using a system of land use compatibility linked to protection classification areas and zones described in drinking water source protection plans or land use and water management strategies.

For land planning and development purposes, three protection classification areas (P1, P2 and P3) have been defined based on strategic importance of the land or water source, local planning scheme zoning, approved land uses/activities and tenure. Reservoir and wellhead protection zones are also defined around areas within the immediate surrounds of reservoirs and water production wells where special by-laws can be applied. These priority areas and protection zones are defined in consultation with state government agencies, landowners, local government, industry and community stakeholders. The objectives of the protection classification areas (P1, P2 or P3) and protection zones are outlined in the Department of Water's water quality protection note 25 *Land use compatibility in public drinking water source areas* (Reference 4d).

For information on the location of PDWSA, protection classification areas and reservoir or wellhead protection zones, see our internet site <www.water.wa.gov.au> select Tools & data > *Maps and atlases* > *Geographic data atlas*, in the atlas under the theme environment, select public drinking water source areas or contact our nearest regional office.

Advice and recommendations

Location of extractive industries

- 1 Extractive industries are an accepted land use adjacent to sensitive water resources (including public drinking water source areas) subject to operators adhering to regulatory conditions designed to meet both local planning, environmental and water source protection objectives.

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Within proclaimed public drinking water source areas

- 2 Extractive industry operations are considered to be compatible land uses with conditions in P1, P2 and P3 public drinking water source areas (PDWSA). Special conditions may apply within wellhead and reservoir protection zones.
- 3 Proponents or the approval authority (see table 1) should refer a detailed development proposal to operate or expand an extractive industry in a PDWSA to this department for advice, with details of all measures proposed to protect water resources. Special attention should be given in the proposal to: the safe storage of chemicals; any proposed dewatering; suitability of effluent disposal system; a stormwater management system including contingency planning (e.g. chemical spills); and landscape rehabilitation.

Near conservation-category and other wetlands

The Department of Environment and Conservation (DEC) is the lead agency for the management and conservation of wetlands (for example lakes, sump-lands, damp-lands and palusplain). Certain wetlands have been given a conservation status or identified as a sensitive water resource (Appendix A).

- 4 Wetlands require an adequate buffer from extractive industry operational areas to protect them from the potential harm associated with pollutants (including high nutrient levels) and to maintain ecological processes and functions within the wetland. Buffer distances should be negotiated based on wetland values, local biophysical factors and protective management techniques used to maintain or restore the values of the wetland. Recommended buffer distances for the Swan coastal plain are provided in the *Position statement wetlands* WRC 2001 (Reference 2a). For more information on this topic contact the local regional office of the Department of Environment and Conservation.

Additional information on identifying wetland buffers is contained in Chapter 4 of the Environmental Protection Authority's guidance statement 33 *Environmental guidance for planning and development* (Reference 5c).

- 5 Any development proposed within 200 metres of a wetland should be forwarded to the nearest DEC regional office for assessment, with supporting information addressing the environmental risks. For online information see <www.dec.wa.gov.au> select management and protection > wetlands or contact us.
- 6 Extractive industries should not affect the hydrology or ecology of natural lakes, swamps, or wetlands with recognised conservation values or their fringing vegetation.
- 7 Development proposals may be subject to an environmental impact assessment in accordance with Part IV of the *Environmental Protection Act 1986*.

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Near environmental protection policy lakes

- 8 The EPA has published legally binding environmental protection policies that prohibit the unauthorised filling, mining, drainage, and effluent discharge into specific wetlands in accordance with Part III of the *Environmental Protection Act 1986* (Reference 5a).
- 9 Extractive industry must not affect these defined wetlands, unless approved by the Minister for the Environment on the advice of the Environmental Protection Authority.

Near natural waterways or waterways management areas

- 10 An adequate separation distance should be maintained between extractive industry operational areas and natural waterways and their foreshore areas to minimise the risk of degradation of water quality. Foreshore areas are determined on the basis of the waterway values, vulnerability and biophysical criteria as described in the Foreshore Policy 1 *Identifying the foreshore area* (Reference 4b) and Water note 23 *Determining foreshore reserves* (Reference 4e). Water note 23 *Determining foreshore reserves* and River restoration report No. 16 *Determining foreshore reserves* (Reference 4f) provide supporting information about how to determine foreshore areas.
- 11 Five waterways management areas have been declared in Western Australia under the *Waterways Conservation Act 1976* to provide special protection to estuaries and their associated waterways that are considered especially vulnerable to degradation. These areas are the Albany waterways, Avon River, Leschenault Inlet, Peel–Harvey Estuary, and Wilson Inlet. If a development is proposed within a waterways management area, written approval from this department is required. Information on regulatory processes and approvals can be obtained by contacting the nearest regional Department of Water office.
- 12 Under the *Rights in Water and Irrigation Act 1914*, a licence may be required to take water in proclaimed areas. Licences, if granted, may contain conditions on the sustainable use of water. Under the Act, a permit is also required to undertake any works that may alter the bed or banks of a waterway in a proclaimed river, surface water management area or irrigation district. The permit, if granted, may contain conditions such as stabilisation of waterway banks and restoration of waterway vegetation. Further information is available from the nearest regional office of the Department of Water.

Protection of native vegetation

- 13 Extractive industries should avoid harm to native vegetation including vegetation fringing wetlands and riparian zones. These vegetated areas provide significant benefits to the natural ecology and water quality through their ability to sustain aquatic ecosystems and filter pollutants and sediment from surface runoff. Water quality note 10 *Protecting riparian vegetation* and water note 12 *The values of riparian vegetation* provide further information (Reference 4e). The *Environmental Protection Act 1986* (Appendix B) provides significant penalties for anyone who clears or damages native vegetation. For more information, contact the Department of Environment and Conservation.

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- 14 Extractive industries should therefore be placed sufficiently high in the landscape to permit retention of vegetation associated with wetlands and waterways.

Clearing of native vegetation under the Country Areas Water Supply Act 1947

- 15 The *Country Areas Water Supply Act 1947* (Appendix B) established special clearing controls within six public drinking water source areas to protect native vegetation and to limit the effects of salinity in proclaimed public drinking water source areas. These areas are:

- Warren River water reserve
- Kent River water reserve
- Mundaring Weir catchment area
- Wellington Dam catchment area
- Harris River Dam catchment area
- Denmark catchment area.

- 16 The proponent should complete and forward an application for a clearing permit (if required under the *Environmental Protection Act 1986* or *Country Areas Water Supply Act 1947*) to the relevant regional office for assessment and approval. The permit for clearing native vegetation should be received before commencing clearing.

Separation distances to sensitive water resources

- 17 Perennial natural vegetation buffers should be retained or be re-established between excavated land and water supply sources, surface drainage channels, rivers, streams, and wetlands. These buffers will lower the immediate risk of water contamination, act as contaminant filters and should allow time for effective remedial action in the event of a chemical spill incident. Information on establishing separation distances is provided in our water quality protection note 06 *Vegetated buffers to sensitive water resources* (Reference 4d).
- 18 These buffers normally need to be supported by other protective barriers, e.g. stormwater sedimentation basins and effective containment of potential pollutants. The department's water quality protection note 27 *Liners for containing pollutants, using engineered soils* provides best management practices on containing substances (including turbid, soil-laden waters) that present a low hazard to waters in the environment due to their nature, mobility or concentration (Reference 4d).
- 19 Within PDWSA P1 areas, a minimum of three metres of undisturbed soil/rock strata is required as a buffer between the base of the excavated area and the maximum water table level. This buffer may be reduced to a minimum of two metres during extractive activity, provided the operator uses effective water contamination risk management measures.

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20 Within PDWSA P2 and P3 areas, a minimum of two metres of undisturbed soil profile is required as a buffer between the base level of the excavated area and the maximum water table level.

Areas containing acid sulfate soils

21 A scientific assessment should be conducted of areas such as coal measures and present and former peat swamps to detect and avoid disturbance of soils likely to generate acids when given access to air after dewatering. These areas are prone to the release of toxic metals likely to damage water resource values. Information relating to the management of soils and water in areas containing acid sulfate soils is provided in the Department of Environment and Conservation's draft document *Treatment and management of soils and water in acid sulfate soil landscapes, January 2009* (Reference 2b). For additional information on managing acid sulfate soils contact the Department of Environment and Conservation.

22 Western Australian Planning Commission's *Planning bulletin 64/2009* (Reference 9b) addresses the requirements for the development of land containing acid sulfate soils to avoid any potential adverse impacts on the natural and built environment.

23 Near wetlands and waterways, extractive industries should not disturb peat land, land situated in floodways or intersect the groundwater table, unless the development proposal has been subject to an Environmental Impact Assessment and the Minister for the Environment has approved the proposal. The Department of Water or local government agency can provide information on flood-prone land.

24 The *Perth groundwater atlas* (Reference 4a) provides information on indicative water table depths in the Perth metropolitan region. In all areas, a qualified and experienced hydro-geologist should determine the probable maximum water table for the site, in liaison with this department. The groundwater atlas can be accessed by visiting the department's webpage at <www.water.wa.gov.au> select tools & data < maps & atlases < Perth groundwater atlas.

Design, construction and management

Dewatering of pits

25 Pit dewatering can affect the natural biota and change the water quality (particularly in areas containing acid sulfate soils), the natural watertable or flow regime of a water source. Information on best management practices on dewatering of soils is provided in our water quality protection note 13 *Dewatering of soils* (Reference 4d).

Access roads

26 The proponent should use existing roads and tracks wherever practical. Additional direct access to major roads should not be created. Roads and car parks pose an increased risk to water resources in sensitive areas as drainage from unpaved surfaces or associated open drains may contribute to soil erosion, transport of litter, sedimentation and access of other contaminants (accidental fuel or oil spills) into surface waters that may eventually contaminate the water source. Details on road

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design, road construction and best management practices are provided in the department's water quality protection note 44 *Roads near sensitive water resources* (Reference 4d).

Security fencing

- 27 Excavated areas should have security fencing and locked gates to prevent access outside operating hours. All barriers should be maintained in serviceable condition to guard against illegal waste dumping and site intruders.

Site water supply

- 28 Where it is necessary to provide a site water supply drawn from a water bore, waterway or wetland, a water abstraction licence is required in most locations.
- 29 Licensing is conducted under the provisions of Part III of the *Rights in Water and Irrigation Act 1914*. Proponents should contact this department's local regional office for information on licensing allocations and procedures.

On-site wastewater treatment systems

- 30 Best management practice for the disposal of sewage is discharge to a reticulated sewerage system where wastewater drains to a central wastewater management plant for treatment and disposal. However, reticulated sewerage is rarely available in rural and remote areas due to the technical and financial feasibility of providing this service to larger lots.
- 31 Small scale extractive industry sites may not have toilet facilities and wastewater treatment system on site. For these sites, a chemical toilet should be provided for staff. The toilet facility should be maintained and kept in good working order.
- 32 Some extractive industry operation may have the toilet facilities and other staff amenities connected to an on-site wastewater treatment system. The *Government sewerage policy – Perth Metropolitan Region 1996* and the *Draft country sewerage policy 1999* have been prepared to facilitate the provision of sewerage services and define the minimum requirements for non-sewered land development. Where land cannot be connected to a reticulated sewerage system, wastewater should be treated and disposed of on-site in accordance with these policies.
- 33 The most common types of systems for on-site wastewater treatment installed in WA are listed below.
- a. conventional septic tank with leach drains or soak-wells
 - b. aerobic treatment units (ATU) /packaged wastewater treatment plants
 - c. septic tank system incorporating amended soil in the effluent disposal field
 - d. waste stabilisation lagoon systems (aerobic or facultative wastewater treatment ponds) – refer to this department's water quality protection note *Ponds for stabilising organic mater* (Reference 4d).

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Further information on these systems and the minimum buffer distances and lot size for all on-site wastewater treatment systems is available via the department's water quality protection note 70 *Wastewater treatment – onsite domestic systems* (Reference 4d), the Department of Health's Environmental Health Branch, or your local government authority.

- 34 An application form including all the relevant details for any proposed wastewater treatment system (e.g. type and size) should be supplied to the local government authority for approval prior to construction and operation. Advice from this department should be sought for the construction of wastewater treatment systems servicing extractive industries near sensitive water resources.
- 35 All wastewater should undergo effective treatment before release to the environment, and should comply with the national water quality criteria on entry to water resources (Reference 1a). This includes operating the systems as recommended by the supplier and maintaining them to achieve optimum treatment performance.
- 36 This department recommends a two-metre minimum clearance between the base of the soakage systems, e.g. leach drains and the highest known groundwater table for sites near sensitive water resources. The aim is to decrease any contaminant loadings to surface catchments or groundwater sources. This recommendation applies to all soil types.
- 37 Septic tanks require regular desludging (pumping out) by licensed waste contractors. Annual checks of tank capacity should be undertaken.
- 38 Aerobic treatment units generally require a three-monthly maintenance service by the supplier or a contractor approved by the Department of Health WA.

Chemical storage

- 39 All vehicle and plant fuelling facilities (including mobile power generators) should be placed and operated within low permeability (less than 10^{-9} metres/second) banded compounds designed to allow effective recovery of any chemical spill without loss to the environment. Our water quality protection note 56 *Tanks for above ground chemical storage* provides information on this issue. Mobile fuel tanks should follow the guidance given in our note 58 *Tanks for temporary above ground fuel storage* (Reference 4d).
- 40 Any underground tank systems permitted near sensitive water resources should have double-wall containment and be adequately protected against corrosion.
- 41 Bulk chemical storage (above ground and more than 250 litres capacity) requires this department's prior written approval. The storage should be in accordance with our water quality protection note 65 *Toxic and hazardous substances – storage and use* (Reference 4d).
- 42 Source protection by-laws prohibit the installation of underground chemical storage tank systems (UST) within designated P1 or P2 areas in underground water pollution control areas (UWPCA). UST may be installed with protective conditions in P3 areas if outside the recommended separation buffers to waterways.

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43 Elevated chemical storage tank systems are prohibited by water source protection by-laws within wellhead protection zones. Elevated chemical tank systems (including fuels) within UWPCA should have a maximum capacity of 5000 litres, unless this department is satisfied that there are special circumstances warranting low risk additional storage.

Pesticide use and storage

44 Pesticides may be used for controlling weeds surrounding the pits. Some pesticides have the characteristics to remain mobile and toxic in the environment, and sometimes their carrier solvents do not degrade or are toxic, and have the potential to be transported into surface water and groundwater.

45 The use, application, storage, mixing and disposal of pesticides within PDWSA should be in accordance with the department's *Statewide policy No 2 Pesticide use in public drinking water source areas 2000* (Reference 4b), the WA Department of Health's *Public Service Circular No. 88 (PSC 88)* (Reference 10a), and in accordance with the manufacturer's label and safety instructions.

Licences and storage of explosives

46 Licences are required for the possession and storage of explosives in Western Australia in accordance with the Dangerous Goods Safety (Explosives) Regulations 2007 (Appendix B).

47 The *Dangerous goods safety guidance note X03/08* (December 2008) (Reference 3b) provides guidance on the storage of explosives. Further information should be obtained from the Western Australian Department of Mines and Petroleum.

Stormwater and surface water management

48 All stormwater runoff from disturbed land should be contained on site initially to achieve effective removal of sediment and turbidity. Overland stormwater flows from outside the project area should be diverted via bypass drains/earthen bunds around disturbed surfaces and stockpiled matter.

49 Any surface waters flowing from areas disturbed by the project or site dewatering, should pass through effective settling pits designed to minimise turbidity. The pits should be designed and maintained to provide a minimum of two hours runoff storage resulting from a 10-year average return interval storm event, when calculated using the current version of the Institution of Engineers' *Australian rainfall and runoff* (Reference 6). The settling pits should be operated with a surface scum trapping system which prevents discharge of floating matter.

50 Guidance on stormwater system design, management, treatment and disposal are given in this department's *Stormwater management manual for Western Australia* (Reference 4c), and further guidance is provided in the department's water quality protection note 52 *Stormwater management at industrial sites* (Reference 4d).

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51 Stormwater runoff during high rainfall events should be minimised by using vegetated drainage paths and buffers. Vegetated buffers trap sediments and remove a portion of nutrients that may otherwise discharge in waterways or wetlands.

Stockpiled materials

52 All stockpiled materials (including top soil overburden) awaiting transport off-site or held for rehabilitation should be located upstream of turbidity control facilities.

Waste management

Extractive industry operations are likely to generate waste from employee amenities, mechanical servicing and wash-down of mechanical equipment.

53 Within PDWSA P1 and P2 areas, routine servicing and wash-down of operating equipment is unacceptable. Running repairs may be conducted if effective measures are in place to prevent fuel, lubricants, coolant and hydraulic fluid losses to the environment.

54 Within PDWSA P3 areas, routine servicing and wash-down are accepted provided they occur outside the recommended buffers to water resources and the operator demonstrates effective procedures for the capture and transport of waste liquids to an authorised disposal site.

55 The management and disposal of wastes from on-site employee amenities should meet the requirements of the *Health Act 1911* and the local government authority. The wastewater system (i.e. septic tanks or other approved treatment and effluent disposal units) should be installed on site in accordance with the Health regulations and guidelines (see also under heading *On-site wastewater treatment systems*).

Staff training and responsibilities

56 Employees should be trained, assigned specific roles associated with environmental management, and reminded via signs or symbols of the risks to water resource ecology or water supplies posed by chemicals released to the local environment.

Accidents and emergency response

57 An environmental response program should be in place for accidental chemical spills. The program should include adequate warning and communications systems, provision of support equipment, designated employee responsibility and training of response personnel. The Department of Environment and Conservation's response and audit branch should be advised immediately after any significant chemical spills near a sensitive water resource (phone: 1300 784 782) and the Water Corporation (phone: 13 13 75) should be advised of any chemical spill that occurred in a PDWSA – providing details and proposed corrective actions.

58 A fuel management plan should be in place that meets the requirements of the dangerous goods safety branch of the Department of Mines and Petroleum (formerly

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the Department of Consumer and Employment Protection) and addresses the following criteria:

- a details of fuel transport and refuelling facilities
- b spill prevention at on-site fuel storage areas
- c contingency plan for dealing with fuel spillage
- d monitoring program for assessing any liquid fuels lost to the environment
- e as specified by the Department of Mines and Petroleum.

Site closure and rehabilitation

- 59 The site operator should have a rehabilitation plan available, update it as needed and implement it on pit closure. Where extractive industry operations are undertaken over a long period (e.g. hard rock quarries), progressive rehabilitation should have already occurred prior to pit closure. The plan should include measures to prevent adverse environmental impacts such as dust, erosion, silt deposition and turbidity in nearby waters. The rehabilitation plan should satisfy relevant state and local government regulatory agencies.
- 60 The plan should (in addition to standard rehabilitation details required by other regulatory agencies) include:
- a details of proposed post-closure rehabilitated land use
 - b a plan detailing the finished land surface profile
 - c detailed information on the types, sources and quantities of materials to be used for any backfilling
 - d an assessment of the potential groundwater contamination threats posed by the materials used for backfilling, including leach test analysis for any imported materials used on-site that may pose a threat to water quality (Reference 8)
 - e proposals for any pesticide and fertiliser application at the site
 - f methods of site remediation and clean-up after the end of extractive operations.
- 61 On closure of mined-out pits in PDWSA P1 areas, the land surface should be restored to achieve a final three-metre soil buffer above the maximum water table level, and then be revegetated with native vegetation.
- 62 The site should be rehabilitated to a condition that ensures the retention of the local water resource values and is compatible with the next intended land use. A qualified and experienced consultant should prepare the plan for the operator to submit to this department for approval. Additional information is provided in the department's water quality protection note 84 *Revegetation of disturbed land* (Reference 4d).

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More information

We welcome your views on this note. All feedback is retained on our file number **WT 0442**.

To comment on this note or for more information, please contact our water source protection branch as shown below, citing the note topic and version.

Department of Water
168 St Georges Terrace
PERTH WESTERN AUSTRALIA 6000

PO Box K822
PERTH WESTERN AUSTRALIA 6842

Telephone +61 8 6364 7600
Facsimile +61 8 6364 7601
Email <waterquality@water.wa.gov.au>

This note will be updated periodically as new information is received or industry/activity standards change. Updated versions are placed online at <www.water.wa.gov.au> select *Publications > Find a publication > Series browse > Water quality protection note*.

References and further reading

- 1 Australian government – national water quality management strategy available at <www.environment.gov.au> Select *water* > *water quality* > *national water quality management strategy* > *NWQMS guidelines*
 - a *Australian and New Zealand guidelines for fresh and marine water quality 4*, 2000
 - b *Australian guidelines for water quality monitoring and reporting 7*, 2000.

- 2 Department of Environment and Conservation (WA)
 - a *Position statement wetlands*, WRC 2001
available online at <www.dec.wa.gov.au> Select *management and protection* > *wetlands* > *publications* > *wetlands position statement*

 - b *Treatment and management of soils and water in acid sulfate soil landscapes, Acid sulfate soils guideline series (draft)*, January 2009 available online at <www.dec.wa.gov.au> Select *management and protection* > *acid sulfate soils* > *guidelines*.

- 3 Department of Mines and Petroleum (WA) (formerly the Department of Industry and Resources)
 - a *Environmental management of quarries: Development, operation and rehabilitation guidelines*, Department of Mines, March 1991 (available as printed version only)
see internet site <www.dmp.wa.gov.au> Select *Contact us*

 - b *Dangerous goods safety guidance note X03/08*, December 2008 available online at <www.dmp.wa.gov.au> Select *resource safety* > *dangerous goods* > *guidance materials* > *guidance notes* > *storage of explosives*.

- 4 Department of Water (WA)
 - a *Perth groundwater atlas*
see <www.water.wa.gov.au> Select *tools & data* > *maps & atlases* > *Perth groundwater atlas*

 - b Policies available online at <www.water.wa.gov.au> Select *Publications* > *find publication* > and search for document
 - *Foreshore policy 1 Identifying the foreshore area*, WRC 2002
 - *Policy and guidelines on construction and silica sand mining in public drinking water source areas*, 1999
 - *Statewide policy No. 2 Pesticide use in public drinking water source areas*, 2000

 - c Guidelines available online at <www.water.wa.gov.au> select *Stormwater and drainage* > Select *Stormwater management manual*
 - *Stormwater management manual for Western Australia*

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- d Water quality protection notes available online at <www.water.wa.gov.au> Select *Publications > Find a publication > Series browse > Water quality protection note*
- WQPN 06 *Vegetated buffers to sensitive water resources*
 - WQPN 11 *Contamination investigations near sensitive water resources*
 - WQPN 13 *Dewatering of soils*
 - WQPN 25 *Land use compatibility within public drinking water source areas*
 - WQPN 27 *Liners for containing pollutants, using engineered soils*
 - WQPN 39 *Ponds for stabilising organic matter*
 - WQPN 44 *Roads near sensitive water resources*
 - WQPN 52 *Stormwater management at industrial sites*
 - WQPN 56 *Tanks for above ground chemical storage*
 - WQPN 58 *Tanks for temporary above ground fuel storage*
 - WQPN 65 *Toxic and hazardous substances - storage and use*
 - WQPN 70 *Wastewater treatment – onsite domestic systems*
 - WQPN 84 *Revegetation of disturbed land*
- e Water notes available online at
<www.water.wa.gov.au> Select *Waterways health > Looking after our waterways > Protecting > Water notes series*
- Water note 10 *Protecting riparian vegetation*
 - Water note 12 *The values of the riparian zone*
 - Water note 23 *Determining foreshore reserves*
- f Part of the *River restoration manual* available online at <www.water.wa.gov.au>
Select *Waterways health > Looking after our waterways > Restoring > River restoration manual*
- Water and Rivers Commission, *Determining foreshore reserves, River Restoration Report No. 16, 2001.*
- 5 Environmental Protection Authority (WA) available online at
<www.epa.wa.gov.au> Select *policies, position statements or guidance statements*
- a Environmental protection policies
- *South west agricultural wetlands*

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- *Swan coastal plain lakes*
- b Position statements
 - *Environmental offsets 2006*
- c Guidance statements
 - *Separation distances between industrial and sensitive land uses*
 - *33 Environmental guidance for planning and development.*
- 6 Institution of Engineers Australia publications available for purchase at www.engaustr.com.au/bookshop/eabookspub.html
Australian rainfall and runoff, a guide to flood estimation
- 7 Natural Resource Management Ministerial Council (Australia) publications available at www.iah.org.au/pdfs/mcrwba.pdf
Minimum construction requirements for water bores in Australia, September 2003
- 8 Standards Australia publications available for purchase at:
www.standards.com.au/catalogue/script/search.asp
 - *AS 4439 Wastes, sediments and contaminated soils*
 - *AS 5667 Water quality – sampling.*
- 9 Western Australian Planning Commission publications available online at www.dpi.com.au
 - a *Basic raw materials applicants' manual: A step-by-step guide for establishing extractive industries in Western Australia, February 2009*
 - b *Planning bulletin 64/2009*
 - c State planning policies
 - *State planning policy 2.4 Basic raw materials*
 - *State planning policy 4.1 draft State industrial buffer policy.*
 - *State planning policy 2.8 draft Bushland policy for the Perth Metropolitan Region*
 - *State planning policy 2.7 Public drinking water source areas*
 - *State planning policy 2.2 Gnamagara groundwater protection policy*
 - *State planning policy 2.3 Jandakot groundwater protection policy*
 - *State planning policy 2.9 Water resources.*
- 10 Department of Health publication available online at www.health.wa.gov.au Select *health topics > pesticides > Herbicide use in water catchment areas*
 - *Public Service Circular No. 88 (PSC88), 2007.*

Appendices

Appendix A – Sensitive water resources

Clean water resources used for drinking, sustaining aquatic and terrestrial ecology, industry, and aesthetic values, along with breathable air, rank as the most fundamental and important needs for viable communities. Water resources should remain within specific quality limits to retain their values and therefore require stringent and conservative protection measures. Guidance on water quality parameters that are necessary to maintain water values are published in the Australian Government's *National water quality management strategy guidelines*, available online at <www.environment.gov.au> select *water > water quality > national water quality management strategy*.

The Department of Water strives to improve community awareness of catchment protection measures, for both surface water and groundwater, as part of a multi-barrier protection approach to water resource quality.

Human activity and many land uses pose a risk to water quality if contaminants are washed or leached into sensitive water resources in discernible quantities. These waters include estuaries, waterways, wetlands and unconfined groundwater accessed by water supply wells.

Sensitive water resources support one or more of the environmental values described below:

- 1 Public drinking water sources (i.e. water reserves, catchment areas or underground water pollution control areas) proclaimed or assigned under the *Metropolitan Water Supply, Sewerage and Drainage Act 1909*, the *Country Areas Water Supply Act 1947* or the *Health Act 1911*. For online location information see <www.water.wa.gov.au> Select *Tools & data > Maps and atlases > Geographic data atlas > Environment > PDWSA*.
- 2 Private sources, used for the following water supplies:
 - a human or stock (animal) drinking water
 - b commercial or industrial water (requiring specific qualities that support activities such as aquaculture, cooling, food or mineral processing or crop irrigation)
 - c urban irrigation (that could affect people's health or wellbeing).
- 3 Recognised ecological functions in groundwater aquifers, such as soil or cave fauna.
- 4 Social values in natural waterways including aesthetic appeal, boating, fishing, tourism and swimming.
- 5 Ecological functions of waterways including:
 - a those of high conservation significance described in the Environmental Protection Authority's guidance statement 33 *Environmental guidance for planning and development* (section B5.2.2), available online at <www.epa.wa.gov.au> select *EIA > guidance statements*
 - b waterways managed by the Department of Water under the *Waterways Conservation Act 1976*, including the Avon River, Peel-Harvey Estuary, Leschenault

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Inlet, Wilson Inlet and Albany waterways. For online location information see <www.water.wa.gov.au> Select *Tools & data* > *Maps and atlases* > *Geographic data atlas* > *Environment* > *Waterway management areas*

- c waterways managed by the Swan River Trust under the *Swan and Canning Rivers Management Act 2006*. For online advice see <www.swanrivertrust.wa.gov.au>

Engineered drains or constructed water features are excluded because functional and operational factors may outweigh their water quality values.

- 6 Conservation values in wetlands (assigned or recognised, excluding those highly disturbed unless actively managed to restore specified environmental values), including:
 - a Ramsar wetlands, described online at <www.ramsar.org>.
 - b High conservation significance wetlands as described in the Environmental Protection Authority's guidance statement 33 *Environmental guidance for planning and development* (section B4.2.2), available online at <www.epa.wa.gov.au> Select *Environmental impact assessment* > *guidance statements*.
 - c Wetlands defined by the Australian government in *A directory of important wetlands in Australia*, available online at <www.environment.gov.au> Select *water* > *water for the environment* > *wetlands* > *wetlands publications, resources and links* > *books, reports directories*.
 - d Conservation valued and resource enhancement category wetlands identified in the *Geomorphic wetlands of the Swan coastal plain* dataset; all wetlands identified in the *South coast significant wetlands* dataset, and high value wetlands identified in the *Geomorphic wetlands Augusta to Walpole* dataset. The Augusta to Walpole wetland dataset awaits a detailed evaluation process. The Department of Environment and Conservation (DEC) is the custodian of wetland datasets and is responsible for maintaining and updating the information. The datasets can be viewed online at <www.dec.wa.gov.au> search *maps wetlands* or select *management and protection* > *wetlands* > *wetlands data*. Guidance on viewing the wetlands is provided on the same website at *water* > *wetlands* > *data* or by phoning DEC's nature conservation division for assistance on 08 9334 0333.

Many aquifers, waterways and wetlands in this state still need a detailed scientific evaluation and their value has not been classified. Unless proven otherwise, any natural waters that are largely undisturbed by human activity, should be considered to have sensitive values.

Community support for water values, the setting of practical management objectives, providing sustainable protection strategies and effective implementation are vital to protecting or restoring water resources for current needs and those of future generations.

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Appendix B – Statutory requirements and approvals relevant to this note include:

What's regulated?	Statute	Regulatory office
Subdivision of land Land zoning and development approval	<i>Planning and Development Act 2005</i>	Western Australian Planning Commission < www.wapc.wa.gov.au > Department for Planning and Infrastructure < www.dpi.wa.gov.au > Local governments (councils)
Statutory policies covering wetlands, drinking water catchments and estuaries	<i>Environmental Protection Act 1986, Part III Environmental protection policies</i>	Minister for the Environment advised by the Environmental Protection Authority < www.epa.wa.gov.au >
Impact of significant development proposals on the values and ecology of land or natural waters	<i>Environmental Protection Act 1986, Part IV Environmental impact assessment</i>	
Regulation of prescribed premises that could pollute	<i>Environmental Protection Act 1986, Part V Environmental regulation</i>	Department of Environment and Conservation - regional office < www.dec.wa.gov.au >
Prohibited discharge of specified contaminants	Environmental Protection (unauthorised discharges) Regulations 2004	
Licence to take surface water, groundwater or disturb waterways	<i>Rights in Water and Irrigation Act 1914</i>	Department of Water - regional office < www.water.wa.gov.au >
Discharge of waters to managed waterways	<i>Waterways Conservation Act 1976</i>	
Industrial sites in proclaimed public drinking water source areas	<i>Metropolitan Water Supply, Sewerage and Drainage Act 1909</i> <i>Country Areas Water Supply Act 1947</i>	
Discharges into the Swan–Canning Estuary	<i>Swan and Canning Rivers Management Act 2006</i>	Swan River Trust < www.swanrivertrust.wa.gov.au >
Storage of fuels, solvent, explosive and dangerous goods	<i>Dangerous Goods Safety Act 2004</i> Dangerous goods safety regulations 2007	Department of Mines and Petroleum < www.dmp.wa.gov.au >
Management of human wastes Community health issues	<i>Health Act 1911</i>	Local Government Department of Health < www.health.wa.gov.au >
Emergency response planning	<i>Fire and Emergency Services Authority of WA Act 1998</i>	Fire and Emergency Services Authority < www.fesa.wa.gov.au >
Discharge to sewer (industrial waste permit) or to main drain	<i>Metropolitan Water Supply, Sewerage and Drainage Act 1909</i> <i>Country Towns Sewerage Act 1948</i>	Water Corporation < www.watercorporation.com.au > Designated water services provider

Relevant statutes are available from the State Law Publisher at <www.slp.wa.gov.au>.

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Appendix C – Key information needed to assess development proposals

Where facilities are to be constructed or upgraded near sensitive waters, proponents should supply a notice of intent to this department, including the following details:

- 1 Site owner or operating tenant's contact name and address.
- 2 A site plan showing the location of the project relative to surrounding lots, roads and vegetation cover and water features.
- 3 The present land use zoning and land use history. Include data on any site contamination history and its remediation.
- 4 Description and scale of the activities planned for the project site.
- 5 Description of all materials/chemicals stored or handled in commercial quantities on site.
- 6 Description of the types and quantities of waste that will be generated at the facility.
- 7 Proposals for chemical containment, waste management and disposal (with design sketches).
- 8 Details of any contingency measures proposed to minimise the impacts of chemical spills, and disposal of contaminated waters that may result from fire, flood or other emergency.

Taylor Gunn

Subject: FW: Extractive Industry (sand/lime) at lot 50 Attwell Road (P295368)

Thanks Taylor, I've responded is the list below to the best of my knowledge. Regards Gerard

From: Taylor Gunn
Sent: Wednesday, 24 February 2010 7:58 AM
To: Gerard Attwell
Subject: Extractive Industry (sand/lime) at lot 50 Attwell Road (P295368)

Hi Gerard,

I refer to your application for Extractive Industry (sand/lime) at lot 50 Attwell Road (P295368).

After the closing of the advertising period, in total 7 submissions were received from the public.

A summary of the concerns received are below;

- *Concerns regarding the possibility of dust blowing into adjacent potato crop, during growing season. Please refer to the Air Quality management plan*
- *Concerns if the access is from Attwell Rd, advising that Attwell Rd is not suitable for the volume of trucks proposed and increased heavy traffic would have a substantial negative impact on the amenity of the area. Road not safe through visibility, width or dust. Attwell road is the road that fronts this property, Attwell road was the proffered option because of its short length, given the length the trucks will be travelling at a low speed of 40km/hr. A water truck is to be employed when dust becomes visible as per the dust management plan and regarding the width and visibility and amenity the road supports a 6 metre pavement width and if the road requires any additional works this can be carried out ourselves under the supervision of the city of Albany. Also Attwell road only has one resident part from myself living at the end compared to that of Trebor road that has about six.*
- *The possible location of acid sulphate soils on the site. The pit area doesn't fall within the mapped acid sulphate risk area as per the Department of water Mapping info.*
- *Issues regarding unapproved works such as clearing, earthworks dumping of asbestos etc on the site, will the extractive industry adhere to the conditions of approval if approval were given? In regard to unapproved works "Clearing" a small amount of vegetation was cleared for the purpose of fire control and a access track to the back of the property and a quantity of material has been removed and used to provide an access to the rear of the lot. With reference to the dumping of asbestos waste on the site. Can you please provide some information in regard to this practise as I'm not aware of any asbestos been dumped within the boundaries of this property.*
- *Potential reduction in the amenity value of properties on Trebor Rd, and safety concerns for children and families residing on Trebor Rd. The site will only operate for about 20 Days per year largely dependent on demands. Concerns over children and families living on Trebor road, we had proposed to use Attwell road.*
- *Proximity of groundwater to the sand pit and the potential impact on water quality. A environmental Management plan can be prepared to address these concerns. If required(please let me know)*

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- Potential environmental damage through spread of existing weeds. **A weed plan has been prepared**
- Potential adverse impact on residences neighbouring the pit from dust and noise. **No adverse noise of dust will be generated from the site due to the extraction of material.**
- Lack of information in regards to rehab plans and existing vegetation on the site. **A rehabilitation plan has been prepared for the DOE as it relates to clearing, there is a small mention to revegetation in the application documents you received.**
- Discrepancies between "Works and Excavation Program" and "Rehabilitation and Decommissioning Program" **Typo, All the topsoil to be spread over the complete site is to read no less than 200mm**
- The site is within a Priority 2 Drinking Water Source protection area and subject to its limitations and conditions as per the Department of Water. **A management plan has been prepared for the Department of Water.**
- Concerns regarding the spreading of weeds from the site to neighbouring properties and the Reserve located directly behind the subject site.
- Issues with fuel/chemical spills from the refuelling area into the drinking water source area. **All machinery to be refuelled prior to arriving onsite the extraction area.**
- Concerns raised regarding previous clearing of the site without the correct approvals (clearing permits) from the Department of Environment and Conservation. **Clearing permits were not required as the clearing was carried out under a clearing exemption.(exempt purpose)**

Given the submissions received I have also discussed the application with Robert Fenn, who has stated that the application will be required to be sent to an ordinary Council meeting.

In addition to the above could you also please provide the following information/clarification for further consideration of this application.

1. It appears there are some discrepancies and areas between the "Works and Excavation Program (WEP)" and "Rehabilitation and Decommissioning Program (RDP)".

In both documents it states that access to /from the pit will be directly onto South Coast Highway, however I presume this is incorrect and should say Lower Denmark Road?

Access to and from the pit will be directly off Attwell Road. All traffic exiting the site will exit on to Attwell road and then travel along Lower Denmark Road.

- In the RDP (2 page document) of the application form it states the pit is to be maintained and managed by the owner for a period of 5 years however on the RDP (1 page document) it states the area is to be maintained and managed by the property owners for a period of no less than 2-5 years? **The pit rehabilitation program will be managed and maintained for a period of no less than 5 years on completion of works. As the pit will be rehabilitated progressively some of the area would have been rehabilitated for several years prior. However on completion, the total area will remain fenced and managed for a much longer period of time, total rehab requirements will depend on the Department of Water and Department of Environment and Conservation's involvement in this process.**
- Could you also identify on a site plan, the setback the pit is from the boundaries. **The set back from the Western Boundary will be twenty meters. On completion of site works forty meters set back will be achieved once re-battering and rehab works are completed.**
- In the RDP (2 page document) it states that 'the replacement of top soil requires its distribution to a minimum depth of 200mm over the entire pit area', however in point 4 of the RDP (1 page document) application it states that a minimum of only 100mm will be applied over the entire pit?

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*Please be advised that the standard condition for extractive industries regarding topsoil (if approval is given) is; **All topsoil removed to 200mm and to be replaced at 200mm over the complete site.***

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- *Top soil to a depth of 150mm (unless otherwise approved by the Director Works and Services) is to be removed from the extraction area and is to be stored on-site for use in later rehabilitation.*

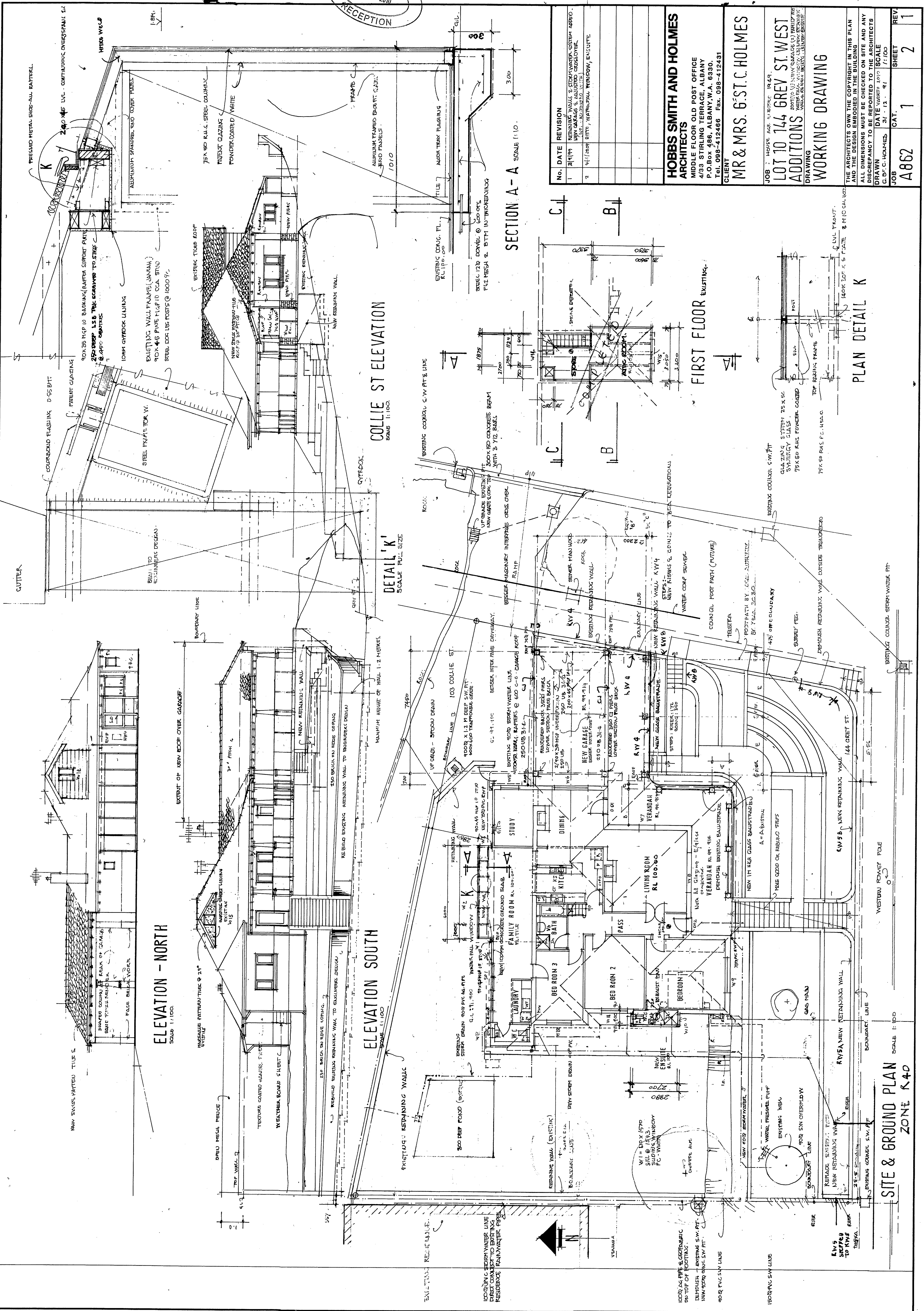
Please be advised that the application will not be further progressed until the above information is submitted to the satisfaction of Council.

Regards

Taylor Gunn
Assistant Planning Officer
City of Albany
Tel 98419381
Fax 98414099
www.albany.wa.gov.au

CITY OF ALBANY
- 7 JAN 2010
RECEPTION

CITY OF ALBANY
07 JAN 2010
RECORDS OFFICE



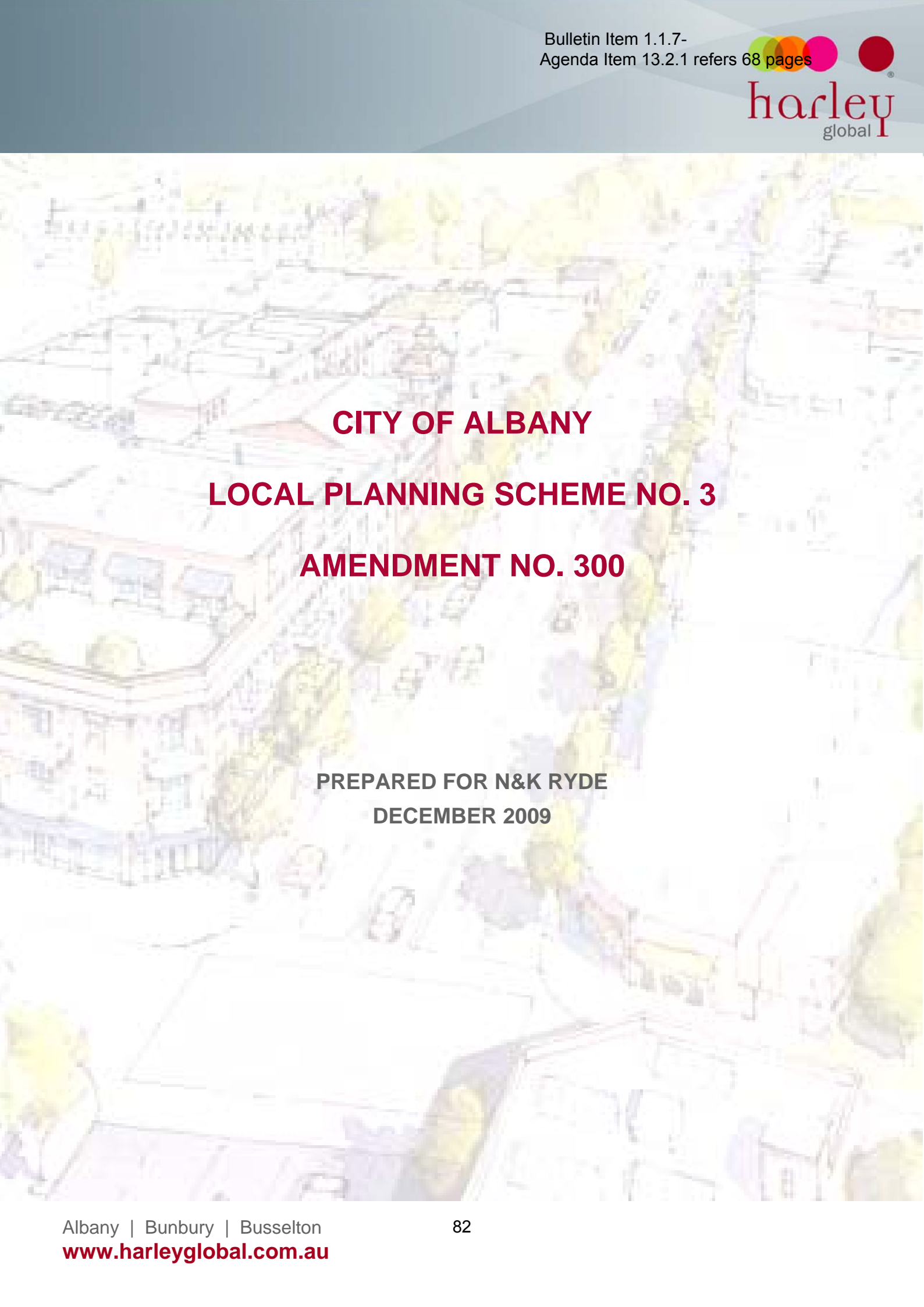
NO.	DATE	REVISION
1	21/1/07	REINFORCING WALLS & STRUCTURAL SYSTEMS APPROVED
2	24/1/08	UPPER GARAGE & ASSOCIATED CROSSOVERS

HOBBS SMITH AND HOLMES ARCHITECTS
MIDDLE FLOOR OLD POST OFFICE
4/33 STIRLING TERRACE, ALBANY
P.O. BOX 486, ALBANY, W.A. 6330.
Tel. 098-412486 Fax. 098-412431

CLIENT
MR & MRS. G. ST. C. HOLMES

JOB: HOUSE RE-CONSTRUCTION
LOT 10 144 GREY ST WEST
ADDITIONS
DRAWING
WORKING DRAWING

THE ARCHITECTS OWN THE COPYRIGHT IN THIS PLAN AND THE DESIGN EMBODIED IN THE BUILDING. ALL DIMENSIONS MUST BE CHECKED ON SITE AND ANY DISCREPANCY TO BE REPORTED TO THE ARCHITECTS.
DRAWN: C. ST. C. HOLMES DATE: 21/12/07 SCALE: 1:100
JOB: A862 CAT: 1 SHEET: 2 REV: 1



CITY OF ALBANY
LOCAL PLANNING SCHEME NO. 3
AMENDMENT NO. 300

PREPARED FOR N&K RYDE
DECEMBER 2009

PLANNING AND DEVELOPMENT ACT 2005
RESOLUTION DECIDING TO AMEND A LOCAL PLANNING SCHEME
CITY OF ALBANY

TOWN PLANNING SCHEME NO. 3

AMENDMENT NO. 300 (3)

RESOLVED that the Council, in pursuance of Section 75 of the Planning and Development Act 2005, amends the above local planning scheme by:

1. Rezoning Lots 36-38, Lots 41-45 and Lots 47-52 Federal Street and Lots 39, 40 and 46 Gladville Road, McKail from the *Rural* zone to *Special Residential* zone and amending the Scheme Maps accordingly;
2. Including Lots 36-38, Lots 41-45 and Lots 47-52 Federal Street and Lots 39, 40 and 46 Gladville Road, McKail in Special Residential Area No.9, Schedule 1 – Special Rural Zones – Provisions Relating to Specified Areas; and
3. Modifying Schedule IV – Special Residential Zones – *Provisions Relating to Specified Areas*, Special Residential Area No.9.

Dated this _____ day of _____ 20____ .

CHIEF EXECUTIVE OFFICER

MINISTER FOR PLANNING
PROPOSAL TO AMEND A TOWN PLANNING SCHEME

LOCAL AUTHORITY:	City of Albany
DESCRIPTION OF TOWN PLANNING SCHEME:	Town Planning Scheme No.3
TYPE OF SCHEME:	Town Planning Scheme
SERIAL NO. OF AMENDMENT:	Amendment No. 300 (3)
PROPOSAL:	Rezone Lots 36-38, 41-45 and 47-52 Federal Street and Lots 39, 40 and 46 Gladville Road, McKail from <i>Rural</i> to <i>Special Residential</i> .

SCHEME AMENDMENT REPORT

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1.0 INTRODUCTION

1.1 Purpose of Amendment

The purpose of this Amendment to City of Albany Town Planning Scheme No. 3 is to rezone Lots 36-38, 41-45 and 47-52 Federal Street and Lots 39, 40 and 46 Gladville Road, McKail (the Amendment Site) from *Rural* to *Special Residential*. The Amendment will incorporate these lots into Special Residential Area No.9, so that provisions set out in Schedule IV relating to this zone can appropriately control subdivision, development and use of the new zone. Additional provisions will be implemented by the Amendment to specifically address the issues relating to the Amendment Site.

1.2 Objectives of Amendment

The key objective of the Amendment is to facilitate the establishment of suitably located large residential lots within easy access to local services and the Albany CBD.

The Amendment includes a Subdivision Guide Plan (SGP) that takes into account the opportunities and constraints of the Amendment Site and identifies the appropriate form of subdivision to protect the amenity of the locality.

1.3 Relationship with ALPS

The Amendment Site has been identified as 'Existing Urban' by the draft Albany Local Planning Strategy (ALPS). In setting this designation ALPS has acknowledged the potential of the site for more intensive uses. However, there are also a number of constraints surrounding the land including the Attwell Park Speedway and Western Power Albany Sub-Station. The Amendment Site acts as a suitable buffer to these land uses and the 'Rural Residential' land further north, from existing urban areas to the east and south.

Taking into account the site constraints and the need for suitable buffers to surrounding facilities, this Amendment can be considered to be consistent with the objectives and recommendations of ALPS.

1.4 Previous Scheme Amendment Request

Council resolved to entertain initiation of the Scheme Amendment to rezone the property to *Special Residential* at its Ordinary Meeting held on 15 September 2009. It outlined the following requirements for the Amendment, should it be presented to Council:

- A detailed Land Capability Report;
- The capacity of the land to be connected to reticulated sewer being resolved;
- The preparation of a Local Water Management Strategy;
- The preparation of a Traffic Management Assessment; and
- A comprehensive Opportunities and Constraints Plan being included in the Amendment.

To address the above concerns, the following information has been included in this Amendment:

- Land Capability at section 5.1;
- Servicing (Reticulated Sewer) at section 5.2;
- Drainage and Water Management at section 5.3;
- Traffic Management at section 5.4; and
- Opportunities and Constraints Plan being incorporated with the SGP.

All of Council's issues and requirements for the Amendment have been addressed in this document.



2.0 AMENDMENT SITE DETAILS

2.1 Lot, Title and Ownership Details

The Amendment Site comprises a total area of 16.3ha and has frontage to Federal Street and Gladville Road in McKail. The following table shows land ownership and legal land details for the Amendment Site.

Lot	Plan	Land Owners	Lot Area
Lot 36 Federal Street	267	Savage, R & C	8251m ²
Lot 37 Federal Street	267	Crabtree, G & S	8253m ²
Lot 38 Federal Street	267	Hills, A & L	8254m ²
Lot 41 Federal Street	267	Smith, B	10935m ²
Lot 42 Federal Street	267	Harrop K & J	10939m ²
Lot 43 Federal Street	267	Crichton, L & M	10934m ²
Lot 44 Federal Street	267	Crichton, L & M	10937m ²
Lot45 Federal Street	267	Evans, W	10931m ²
Lot 47 Federal Street	267	Solly, L, M & R	8743m ²
Lot 48 Federal Street	267	Collins, S & W	8742m ²
Lot 49 Federal Street	267	Hazel, I & G	8742m ²
Lot 50 Federal Street	267	Powell, B & K	8741m ²
Lot 51 Federal Street	267	Ryde, N & K	8746m ²
Lot 52 Federal Street	267	Burton A & S	6558m ²
Lot 39 Gladville Road	267	Tupluk, F	10935m ²
Lot 40 Gladville Road	267	Tupluk, F & Kolanek, S	10939m ²
Lot 46 Gladville Road	267	Gleghorn, B & L	10927m ²

Table 1: Ownership of Lots included in Amendment 300.

A **Location Plan** and **Site Plan** showing the Amendment Site can be found at **Appendix B** and in **Figure 2.1** and **3.1** following.

2.2 Existing / Previous Development

The Amendment Site currently has 15 dwellings, as well as a number of associated outbuildings. The Amendment Site has been mostly cleared of remnant vegetation and is used for lifestyle lots.

2.3 Topography and Remnant Vegetation

The Amendment Site is located in a valley, which slopes down to the east and is located in the Willyung Creek catchment. The site has a high point of 65m AHD and a low point of 56m AHD. The west of the Amendment Site is flat, whilst the east is more gently sloping.

Figure 2.1 shows the topography overlaid on the 2007 aerial photography for the site.

The majority of the site is cleared of remnant vegetation. There are a number of properties with screening vegetation which has been implemented at the owners' own accord. These trees will be retained to contribute to the character of the area.



2.4 Drainage

A small drainage line is located at the bottom of the valley and runs through the Public Open Space on the corner of Albert Street and Gladville Road. This is an intermittent drainage line that only flows in heavy rainfall events. The top of the catchment for the drainage line is located southwest of the Amendment Site.



Figure 2.1: Topography of Amendment Site and 2007 aerial photograph.



3.0 SITE CONTEXT

3.1 Location

The land the subject of this request is located approximately 7 kilometres northwest from the Albany CBD, via Albany Highway (Figure 3.1).

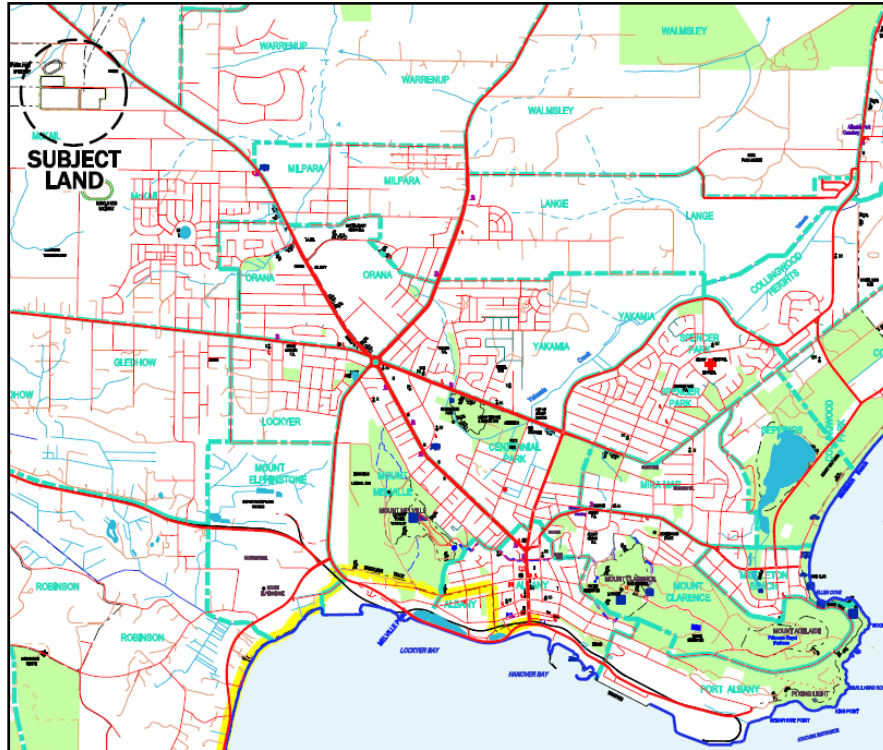


Figure 3.1: Amendment Site Location

3.2 Servicing

The Amendment Site is currently serviced by standard aerial electricity, reticulated water and telecommunications.

The impact the future development of the site will have on existing and additional services is considered in Section 5.2.

3.3 Access

Access to the Amendment Site is attained from Federal Street and Gladville Road. Both of these roads are sealed. All but one of the existing lots is developed with a crossover.

The impact the future development of the site will have on access is considered in Section 5.4.

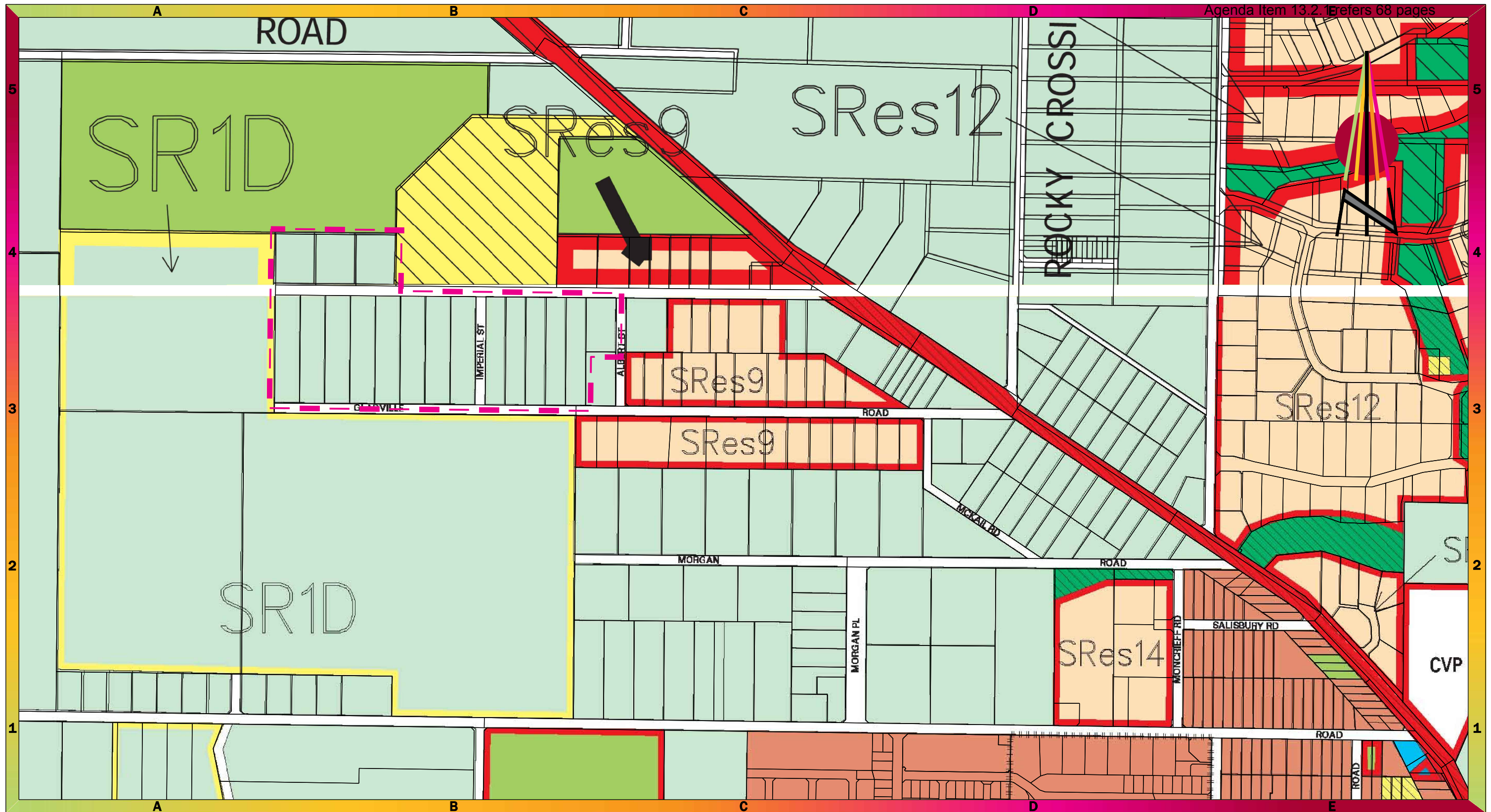
3.4 Surrounding Zoning and Land Uses

The property is surrounded by a variety of zones and uses as shown on the Existing Zoning Plan overleaf.

To the east is the current Special Residential Area No.9, with lot sizes down to approximately 4000m². This land is used for lifestyle residential purposes.

To the south and west is Special Rural Area No.1D. This land is currently in the process of being rezoned, to reflect the future development of the land for full urban purposes (predominantly residential). It is likely that development on this land will be standard residential density (average lot sizes of 500m²-600m²).





EXISTING ZONING PLAN

REV	DESCRIPTION	DATE
A	Original Drawing	19-03-09

--- Subject Land
 drawing no
 14515-03A.dgn
 drawn
 ABS 19-03-09
 checked

LOTS 36 - 52 ON PLAN 267
 FEDERAL STREET
 McKAIL

FOR:- RYDE

SCALE AT A3 1:7500
 90 0 100 200 300 400
 ALL DISTANCES ARE IN METRES



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 note:
 This plan has been prepared for planning purposes. Areas, Contours and Dimensions shown are subject to survey

To the north are the *Public Purposes* and *Clubs and Institutions* reservations, which contain the Western Power Albany Sub-Station and Attwell Park Speedway respectively.

3.5 Local Employment, Education, Recreation and Shopping Opportunities

The Amendment Site is well located for access to local shopping and employment opportunities. Indicative distances to these locations are shown below:

McKail General Store ("Touristville")	1.8km	Mount Lockyer Primary School	4.6km
Harold Reid Paceway	2.2km	Future Orana Shopping Centre	2.5km
Great Southern TAFE (Albany Campus)	2.6km	Albany Airport	5.2km
North Albany Senior High School	3.3km	Albany CBD	7km
Milpara Industrial Area	4.3km	Mirambeena Industrial Estate	7.7km

The site is well located in terms of access to shopping and employment opportunities. A primary school will likely be included in the residential development area to the south and west, approximately 300m from the Amendment Site.



4.0 STRATEGIC AND STATUTORY JUSTIFICATION OF AMENDMENT

4.1 WAPC State Planning Policies

There are a number of State Planning Policies that relate to this Amendment. The objectives and relevant provisions of these policies have been incorporated into the Amendment, proposed Scheme Provisions and SGP as appropriate.

4.1.1 State Planning Policy No. 1 State Planning Framework (SPP1)

The purpose of SPP1 is to bring together the state and regional policies that apply to land use and development in Western Australia and to establish the general principles for land use planning and development in WA.

SPP1 acts as an umbrella policy to ensure a context for decision making on land use planning issues in Western Australia. It is based on the five key principles identified by the State Planning Strategy for the sustainable use and development of land:

Environment:

To protect and enhance the key natural and cultural assets of the State and deliver to all West Australians a high quality of life which is based on environmentally sustainable principles.

Community:

To respond to social changes and facilitate the creation of vibrant, safe and self reliant communities.

Economy:

To actively assist in the creation of regional wealth, support the development of new industries and encourage economic activity in accordance with sustainable development principles.

Infrastructure:

To facilitate strategic development by making provision for efficient and equitable transport and public utilities.

Regional Development:

To assist the development of regional Western Australia by taking account of the special assets and accommodating the individual requirements of each region.

The Amendment and resultant subdivision and development complies with these principles in the following ways:

- The site is appropriately located in relation to community facilities and employment;
- The site is not located in an area that will adversely affect the orderly and proper planning of the urban growth of Albany;
- The development utilises an area that has already been subdivided for special residential-style land uses and seeks to consolidate these land uses;
- The development is able to utilise existing utilities (water, power and telecommunications); and
- The development will complement already existing special residential land uses.

4.1.2 State Planning Policy No. 3 Urban Growth and Settlement (SPP3)

SPP3 is designed to facilitate the sustainable growth and development of urban and settlement areas throughout WA. The objectives of SPP3 are:



- *To promote a sustainable and well planned pattern of settlement across the State, with sufficient and suitable land to provide for a wide variety of housing, employment, recreation facilities and open space.*
- *To build on existing communities with established local and regional economies, concentrate investment in the improvement of services and infrastructure and enhance the quality of life in those communities.*
- *To manage the growth and development of urban areas in response to the social and economic needs of the community and in recognition of relevant climatic, environmental, heritage and community values and constraints.*
- *To promote the development of a sustainable and liveable neighbourhood form which reduces energy, water and travel demand whilst ensuring safe and convenient access to employment and services by all modes, provides choice and affordability of housing and creates an identifiable sense of place for each community.*
- *To coordinate new development with the efficient, economic and timely provision of infrastructure and services.*

The Lower Great Southern and Albany Local Planning Strategies discussed elsewhere in this Amendment are designed to meet these objectives. However, the Amendment proposal is also consistent with these principles in the following ways:

- The Amendment will facilitate the provision of special residential lots with a minimum lot size of 4000m²;
- The site is close to existing community facilities and employment nodes;
- The environmental characteristics of the site have been identified and incorporated into the SGP;
- Much of the employment growth in the region is associated with agroforestry, mining, and agriculture. The strategic location of the Amendment Site allows residents to live closer to these employment areas, whilst allowing for ease of access to the goods and services available in Albany;
- The Amendment Site is capable of connecting to existing services without placing undue stress on the need to extend or augment these services.

4.1.3 State Planning Policy No. 2.5 Agriculture and Rural Land Use Planning

SPP2.5 is based on the following four fundamental principles:

- *The State's priority agricultural land resource should be protected.*
- *Rural settlement opportunities should be provided if sustainable and of benefit to the community.*
- *The potential for land use conflict should be minimised.*
- *The State's natural resources should be carefully managed.*

The priority agricultural land in the City of Albany has been identified by the Albany Local Planning Strategy (ALPS). The Amendment Site is not located within a priority agriculture area and has already been subdivided to a lot size that precludes efficient and viable rural land use.

This proposal constitutes a special residential settlement opportunity that is well located in relation to access to community facilities and employment. It is a logical consolidation of the McKail locality.

The Amendment seeks to consolidate land uses, by locking-in the future development of the locality to 4000m² lot sizes, which take into account the proximity of the neighbouring Speedway and Western Power Sub-Station and provide an appropriate land use transition to urban areas south and west of the Amendment Site. This form of development will reduce the potential for land use conflict when compared to a development containing smaller lot sizes.



The land does not contain any natural resources and is already highly fragmented, making any extraction of resources difficult.

4.1.1 State Planning Policy No. 2.9 Water Resources

SPP2.9 has the following objectives:

1. Protect, conserve and enhance water resources that are identified as having significant economic, social, cultural and/or environmental values;
2. Assist in ensuring the availability of suitable water resources to maintain essential requirements for human and all other biological life with attention to maintaining or improving the quality and quantity of water resources; and
3. Promote and assisting in the management and sustainable use of water resources.

SPP2.9 outlines a number of general measures to be addressed when dealing with water resources as part of the planning application process. Key measures include:

- Maintaining the quality and quantity of water resources;
- Take into account total water cycle management and water sensitive urban design principles; and
- Promoting improved outcomes for the water resources.

The Amendment does not seek to impact on the health, quality or quantity of water resources on the Amendment Site and surrounding lots. This is outlined in **Section 4.7**, which addresses the Better Urban Water Management Guidelines.

4.2 WAPC Development Control Policies

4.2.1 DC1.1 Subdivision of Land – General Principles

The intent of this Amendment is to facilitate the creation of new special residential lots that are provided with constructed road frontage and access to appropriate utilities. This is consistent with the objectives of DC1.1.

4.2.2 DC2.5 Special Residential Zones

The intent of the Amendment is to provide lot sizes for special residential use. In considering the allocation of Special Residential zones, the Policy outlines that the WAPC and Council must appropriately consider the following:

- The location of the zone near existing or planned residential areas and the accessibility of infrastructure, facilities and services;
- The avoidance of these zones on important agricultural land, State Forests, water catchment or land identified as suitable for mineralisation;
- Landscape;
- Topography; and
- Lot layout and suitability for future subdivision; and
- Comments of Main Roads Western Australia where the land is adjacent to a significant road.

Other Policy statements applicable to the Amendment include:

- Lot sizes between 2000m² and 1ha being adopted;
- Lot sizes being suited to landscape;



- Connection to all services except reticulated sewer being required and only where it can be proven that land capability is suitable for on-site effluent disposal; and
- Generally no contribution to Public Open Space being required, unless it is seen as desirable by the WAPC.

The Amendment addresses the concerns of the Policy, as evidenced by the following comments:

- The Amendment Site is located on the fringe of the urban area of Albany. Subdivision to a minimum lot size of 4000m² has already occurred in the vicinity of the Amendment Site. The Amendment Site is located immediately adjacent to a planned future residential area and will be appropriately serviced and close to local facilities and infrastructure;
- The Amendment Site does not seek to subdivide prime agricultural land, land located in a water catchment or land to be used for mineralisation in the future. The lots are used for lifestyle purposes and are already of a size that precludes these types of uses;
- The Amendment Site is located in a landscape of Special Residential uses. These uses provide a buffer to the Speedway and Western Power Albany Sub-Station;
- The land is located in a gently sloping valley which has already been partly developed for special residential land uses of the size specified by the Amendment;
- The lot layout is suitable for future subdivision, as all lots proposed for future subdivision will be able to give full road frontage to an additional lot. The current dual road frontage of the lots is an advantage in this circumstance; and
- The comments of Main Roads Western Australia have been taken into account by this Amendment, with its comments being addressed in **Section 5.4** of this document.

The Amendment seeks to include the land in Special Residential Area No.9, an existing special residential area, with similar characteristics to the Amendment Site. The Amendment is consistent with the objectives of DC2.5 relating to *Special Residential* zones.

4.2.3 DC3.4 Subdivision of Rural Land

This Amendment seeks to rezone the land from its current *Rural* zoning to a zoning that will allow consolidation to occur. This is consistent with the measure of orderly and proper planning promoted by DC3.4 *Subdivision of Rural Land*.

Although the Amendment Site is considered *Rural* land by the technicality of zoning, the Amendment Site is not used for rural purposes. This is a large lot lifestyle area that has been historically zoned *Rural*.

4.2.4 DC3.7 Fire Planning

The purpose of DC3.7 is to:

...ensure adequate fire protection for new subdivisions and related developments by proper strategic land use planning, good subdivisional layout, and development criteria which ensure the least possible exposure to damage by fire and the best possible response should fire occur.

The issue of fire management is dealt with in detail in **Section 5.5**.

4.3 Lower Great Southern Strategy (2007)

This Strategy aims to set the broad strategic direction for planning in the Lower Great Southern region for the next 20 to 30 years. Its purpose is to guide regional land use and infrastructure planning and development, especially on matters of regional significance. The Strategy is designed to provide the region - wide context and ensure consistency when local governments are setting priorities for their respective areas through local planning strategies and schemes.



Of particular relevance to the subject site is that it makes general recommendations regarding sustainable settlements and community development and makes reference to consolidating settlements and using infrastructure in a sustainable manner.

The Regional Land Use Plan incorporated into the Strategy shows the Amendment Site as predominantly *Rural*. Albany Highway is shown as a *Primary Road*.

The purpose of the *Rural* land is for broad acre agriculture use, zoning, subdivision and development in these areas in accordance with State Planning Policy 2.5 *Agricultural and Rural Land Use Planning*. However, it is noted that the Amendment Site is already developed for semi urban uses; hence it would not be appropriate for these types of land uses.

4.4 Draft Albany Local Planning Strategy (2007)

The Albany Local Planning Strategy (ALPS) sets out the long term planning direction for the City of Albany and has regard to all relevant State and regional planning policies.

ALPS was adopted by the City of Albany for final approval on the 21 August 2007. The draft was considered by the Western Australian Planning Commission in mid 2008, after which the Commission requested certain changes to the document prior to finalisation.

ALPS identifies the strategic planning direction for the City of Albany over the next 20 years. It draws on the key elements from the City of Albany's strategic planning document, *3D Vision*, and notes that the City of Albany should become a *Learning, Healthy and Thriving City*.

4.4.1 ALPS Strategic Land Use Classification

The subject land is currently classified by ALPS as *Special Residential* as shown in **Figure 4.1**.

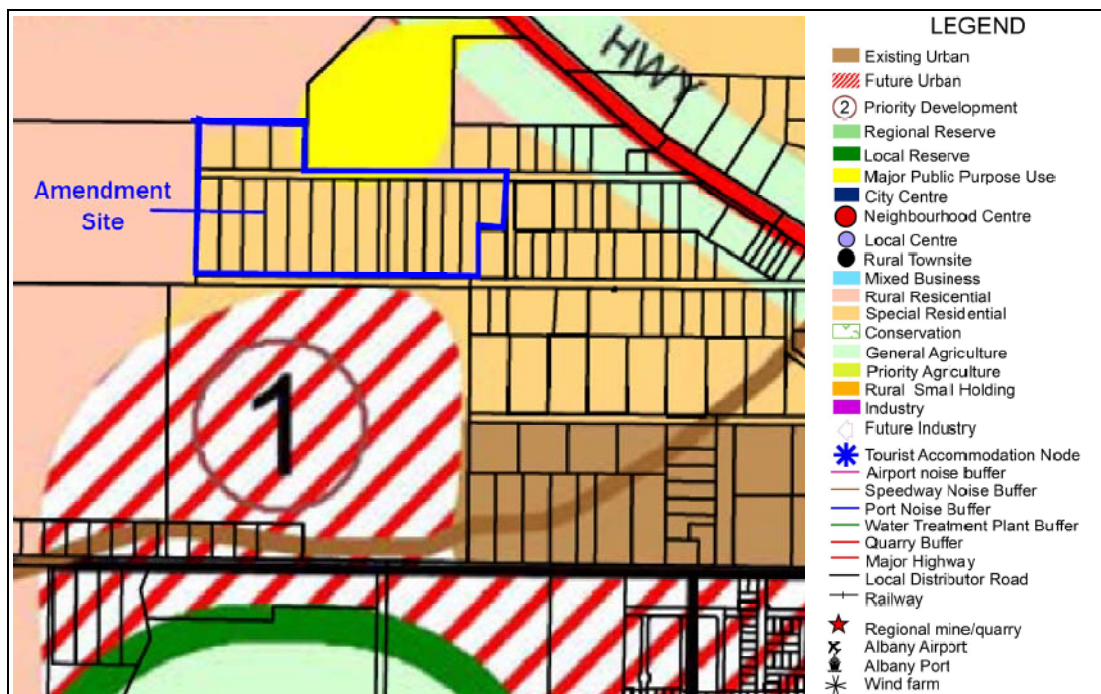


Figure 4.1: Extract of draft Albany Local Planning Strategy (November 2009 version).

Rezoning of the Amendment Site to *Special Residential* under Town Planning Scheme No.3 is consistent with the strategic land use classification of *Special Residential*.



4.4.2 ALPS Objectives

The following objectives relate to *Special Residential*:

- “Support urban infill development based on compatibility of land uses and infrastructure capacity;
- Encourage the efficient use of existing rural living areas, based on land capability to maximise their development potential;
- Facilitate and manage sustainable settlement growth for the urban area in the City of Albany; and
- Innovative development complementing Albany’s unique character, natural environment and heritage.”

The Amendment meets these objectives in the following manner:

- Providing infill potential on a number of already fragmented special residential sized lots in a simple, legible manner;
- Utilising an existing rural living area (although it is not classified by ALPS in this manner) to provide an additional special residential land supply, thus rationalising rural living uses and reducing the impact on establishing these areas on productive agricultural land;
- It will provide for sustainable growth of Albany by utilising land which is poorly utilised and allowing for lot rationalisation/infill; and
- It will allow housing choice that complements the rural setting and natural environment.

The consolidation of this land use in the McKail locality will enable a greater number of people to experience semi-urban living. The location of the land is such that it is unlikely to compromise the growth of the Albany urban area, due to the surrounding limitations, including the Speedway and Western Power Sub-Station.

4.5 City of Albany Speedway Noise Buffer Area Policy

This policy deals with land impacted upon by the Attwell Park Speedway. The policy outlines a broad area of land within which development has to comply with ‘Quiet House’ design principles. This includes establishing maximum internal noise levels for habitable dwellings, including:

- Common Areas 50dB(A);
- Living Areas 45dB(A); and
- Sleeping Areas 40dB(A).

To support the information of the Speedway Noise Buffer Area policy, Herring Storer Acoustics was engaged to undertake a detailed assessment of noise levels on the Amendment Site. Their report found that the 71dB(A) contour shown on the Subdivision Guide Plan should define the boundary of a buffer area. Inside this buffer, further habitable dwellings cannot be developed.

The Amendment does not seek to replace the Policy for the Amendment Site, rather clarify the subdivision exclusion area and enforce ‘Quiet House’ design principles on the remainder of the land.

4.6 City of Albany Town Planning Scheme No.3 (TPS3)

The subject land is currently zoned *Rural* in the City of Albany Town Planning Scheme No.3. The broad objective of the *Rural* zone in TPS3 is:

“To ensure that high quality agricultural land is retained for primary production. To regulate uses which might conflict with farming interests, and foster uses which are complimentary to such interest. To preserve rural land within easy reach of urban areas.”



Given the high fragmentation of the subject land, it is believed that the land is not appropriate to be zoned *Rural*. It is not of a size conducive to viable agricultural uses and is not in a location where it could be used for rural land uses unhindered (i.e. it neighbours residential land use).

The broad objective of the *Special Residential* zone is:

“To permit the creation of lots of between 2000m² and 1 hectare in suitable locations so as to provide a range of residential opportunities and lots sizes within the Albany Shire.

To ensure that development proposals are appropriate to the physical and landscape conditions of the zone and subject to applicable standards and controls.”

The proposed rezoning of the subject land will enable development of Special Residential lots of 4000m² and above, in a location that is easily accessible and neighbours existing Special Residential Area No.9. This will provide housing choice for the City of Albany.

4.7 Draft City of Albany Local Planning Scheme No.1

Draft Local Planning Scheme No.1 was initiated by the City of Albany for the purposes of advertising and environmental assessment on 17 February 2009. Although draft LPS1 is yet to gain approval to advertise from the WAPC and obtain EPA support, it is noted that the draft LPS1 will zone the land ‘General Agriculture’, reflecting the land’s current ‘Rural’ zoning.

It is likely that rezoning of the subject land could occur prior to draft LPS1 being gazetted given it is at such an early stage of the approval process. Given this, LPS1 will need to be modified to reflect the change to the zoning of the land under the currently-operating Town Planning Scheme No.3. This is normal practice given the length of time it takes for a new local planning scheme to be produced and approved.

4.8 Better Urban Water Management

Better Urban Water Management (BUWM) seeks to implement a ‘whole of water cycle’ approach when planning for urban development. It has the following objectives when planning to implement water sensitive design (WSD):

1. *“To manage a water regime;*
2. *To maintain and, where possible, enhance water quality;*
3. *To encourage water conservation;*
4. *To maintain and, where possible, enhance water-related environmental values; and*
5. *To enhance water-related recreational and cultural values.”*

BUWM forms the link between planning for water resources and urban development. It also makes reference to the Stormwater Management Manual for Western Australia, produced by Department of Water, for the use, treatment and dispersal of stormwater. Planning Bulletin 92 *Urban Water Management* has been produced to achieve the same principal.

BUWM recommends at which point in the planning process different stages of planning for water resources occur. It recommends that at the stage of a local planning scheme amendment, that a Local Water Management Strategy is provided. How the Amendment addresses this requirement is contained in **Section 5.3**.

Although the Amendment does not seek to implement full urban development, it will result in an increased amount of development in the landscape and contribute to increased run-off from the increasing proportion of impermeable surfaces that will result from the Amendment.



4.9 Visual Landscape Planning in Western Australia

The landscape that the Amendment Site is located in has been identified as an enclosed semi-urban landscape. Consequently, we have assessed the proposal against the principles and objectives of the manual.

The principles and guidelines identified for this type of landscape are:

- *Retain remnant vegetation throughout the landscape.*
- *Ensure that structures are not located on the skyline as seen from important viewing locations.*
- *Revegetate cleared ridgelines, to maintain the sense of elevation of these features that becomes diminished when vegetation is lost.*
- *Develop a set of performance criteria in relation to building density, as outlined in the section on rural residential development in the rural issues chapter. These criteria should relate to the number of buildings visible in a landscape before its character is perceived to have changed from rural to urban in character.*
- *Valued views should be maintained by not siting buildings in locations that are prominent in views, for example, at focal points or from panoramic lookout points.*
- *View corridors should be maintained to important elements in views, such as a vista to a scarp, and not inadvertently screened by buildings, dense roadside planting or plantations.*

The Amendment Site is well concealed from major transport corridors and view points as it is located in a valley and only viewable from immediately adjacent lots. However, the increasing intensity of development does lend itself to increasing the visual prominence of the land when viewed from the surrounding locality. To ensure that this does not detrimentally impact the amenity of the locality, revegetation, as well as retention of existing screening vegetation is proposed by the Amendment through the Special Provisions relating to Special Residential Area No.9.

4.10 Liveable Neighbourhoods (2008)

Given the size of the proposed lots and the nature of future development, it is not expected that this rezoning requires assessment against Liveable Neighbourhoods. However, the following Liveable Neighbourhood aims are relevant to this proposed change of zoning:

- *To ensure cost-effective and resource efficient development to promote affordable housing;*
- *To maximise land efficiency wherever possible; and*
- *To provide a variety of lot sizes and housing types to cater for the diverse housing needs of the community at a density that can ultimately support the provision of local services. Higher density housing should be concentrated in areas closer to town and neighbourhood centres, near public transport stops and in areas with high amenity such as next to parks.*

Liveable Neighbourhoods advocates a mix of densities and housing types as elements of sustainable development. Given the land is not suitable for future urban development and is well located, it is appropriate to consolidate it into an existing special residential area.

4.11 City of Albany Housing Position Paper (2005)

The Housing Position paper makes recommendations regarding the residential areas throughout the City of Albany. The Vision of this document is to “*facilitate and encourage the provision and development of a significant variety of housing choice, types, styles, and opportunities through the City of Albany and provide a high standard of residential amenity and facilities for the benefit of the residents of the City.*”



The position paper makes general recommendations applicable to the entire Local Government area and specific recommendations based on a precinct basis.

The subject site falls within Precinct 4A, McKail. Precinct 4A recommends

“The current rural zoned areas to be progressively zoned for special rural and special residential purposes.”

The Amendment seeks to rezone *Rural* zoned land that has already been developed for special residential uses. It also offers the ability for owners to subdivide, providing for consolidation and land supply. The Amendment is consistent with the City of Albany Housing Position Paper.

4.12 Draft Country Sewerage Policy

The purpose of the draft Country Sewerage Policy is to outline the minimum requirements for the use of on-site effluent disposal in areas where a reticulated sewer service is not available.

Section 5.2 of the Policy relates to the proposed Amendment. It states:

“Proposals for large lot subdivision or density development can be considered if they do not involve the creation of lots less than 2000m², or density development at a density greater than R5, provided the statutory authority, after considering the advice of consultative authorities, is satisfied that there is not opportunity within the area covered by the proposal for further subdivision without sewerage.”

The Amendment meets the requirements of the Policy, as justified by the following:

- A minimum lot size of 4000m² is proposed by the Amendment, which exceeds the minimum required by the Policy;
- Section 5.1 of this report investigates the possibility for connection to sewer and shows that it is not possible in the short to medium term; and
- Section 5.3 of this Amendment investigates the capability of the land for the support of on-site effluent disposal and finds that the Amendment Site is capable of on-site effluent disposal.

The Amendment complies with the requirements of the Draft Country Sewerage Policy.



5.0 FACTORS AFFECTING DEVELOPMENT OF THE AMENDMENT SITE

The key site factors that affect the development of the site have been identified and are discussed in the section below. These factors are:

- Land Capability;
- Services (Reticulated Sewer);
- Drainage and Water Management;
- Access and Traffic Management;
- Fire Management
- Appropriate Buffering
- Visual Impact

The key site factors have been incorporated into the SGP and Scheme Provisions that are outlined in **Section 6.0**.

5.1 Land Capability

The subject land is located wholly within the Dempster (Dc) soil land unit of the City of Albany Local Rural Strategy. **Table 5.1** below outlines the land capability ratings for the Dc land capability unit.

LAND QUALITIES	Dempster Land Capability Unit
Water Erosion Risk	Very Low
Wind Erosion Risk	Moderate
Microbial Purification Ability	Low
Water Pollution Risk – Overland Flow	Moderate
Water Pollution Risk – Subsurface Drainage	Low
Ease of Excavation	Low
Inundation	Medium/High
Flood Risk	Nil
Foundation Soundness	Fair
Slope Instability	Nil
Soil Absorption Ability	Very Low
Subsoil Water Retention	High
Soil Workability	Poor
Nutrient Availability	Low
Nutrient-Retention Ability	Medium/High
Topsoil Nutrient Retention	Moderate
Moisture Availability	Moderate
Rooting Condition	Moderate
Salinity Risk	Not susceptible



LAND QUALITIES	Dempster Land Capability Unit
Exposure Factor	Low
Wind Erodibility	High
Water Erodibility	Moderate
Soil Resistance	Moderate
Rain Acceptance	Moderate

Table 5.1: AGC Woodward Clyde 1992

As depicted above, the Amendment Site has a *Fair* foundation soundness and *Moderate* nutrient retention ability. However, this mapping is broad scale and does not necessarily depict specific site characteristics.

It has been identified that the major concern of the Amendment is the ability to support additional effluent disposal systems and dwellings. The Amendment Site is capable of supporting additional on-site effluent disposal units being implemented, as justified by the following:

- Traditional on-site effluent disposal methods have and will continue to be used for existing development on the Amendment Site. This is an existing situation, which has been approved by City of Albany in the past;
- Alternative Treatment Units (ATU's) or aerobic effluent disposal systems are required by the existing provisions of Special Residential Area No.9. All future development on the Amendment Site will require utilisation of Phosphorous Retaining ATU's, which can operate with a 500mm clearance to groundwater;
- Effluent disposal does not currently cause problems on the Amendment Site. Neither is it an issue in existing Special Residential Area No.9, which is located lower in the landscape and in the low point of the valley;
- Suitable measures exist in the Scheme Provisions relating to Special Residential Area No.9 specifying that no effluent disposal system will be permitted to be less than 50m from the identified water course in POS and the southern end of Lot 51; and
- The Amendment provides for lot sizes which exceed the minimum requirements of the draft Country Sewerage Policy.

The Amendment Site is capable of supporting additional effluent disposal units and development resultant from the Amendment.

5.2 Services

5.2.1 Water

A 100AC water main is located in the northern verge of Federal Street, connecting to all lots on the subject land. This service will be required to be extended to service new lots in Gladville Road, which does not currently have a reticulated water service available.

Consultation will be required with the Water Corporation at the subdivision stage to determine if an upgrade will be required to the water main servicing the area, or if it will be of sufficient capacity to service the proposed subdivision and development of the Amendment Site.

As the proposed lot sizes will be below 1ha in area, all lots will be required to connect to reticulated water as a result of the Amendment.



5.2.2 On-site Water Capture

Additional housing development on the Amendment Site will be required to install a rainwater tank of 50,000L minimum capacity. The purpose of the tank will be to provide water for both domestic and non-domestic purposes. It will also contribute to a reduction in drainage run-off as well as reflect contemporary water efficiency objectives.

5.2.3 Sewer

Reticulated sewer is not connected to the subject land. It is likely that a connection to sewer will be established when the development of land to the south and west occurs, as the McKail urban front expands.

During the preparation of the Amendment, liaison has occurred with the Water Corporation. Its officers have indicated that future planning currently proposes for a pump station to be located to the east of the Amendment Site, on Albany Highway. This pump station would primarily service the proposed full residential development of land to the south and west and would be funded by the developer at the time of subdivision. **Figure 5.1** below shows the location of the future pump station and future sewer planning.

It is not desirable to connect the Amendment Site to sewer at this point in time for the following reasons:

- The fragmented nature of land ownership would mean that contribution to the provision of the sewer pump station would be uneconomical and a burden to the few landowners who wish to progress subdivision;
- The minimum lot sizes proposed by the Amendment are well in excess of 2000m², the minimum requirement for on-site effluent disposal by the Country Sewerage Policy;
- All future effluent disposal units on the land will be required to be Phosphorous Retaining Alternative Treatment Units (ATUs). These systems have minimal impact on soil and water conditions and are able to be used where only 500mm clearance to groundwater is present; and
- Water Corporation have not yet determined if this is the **final** desired location for a pump station. Planning for reticulated sewer in this locality is still in its early stages.

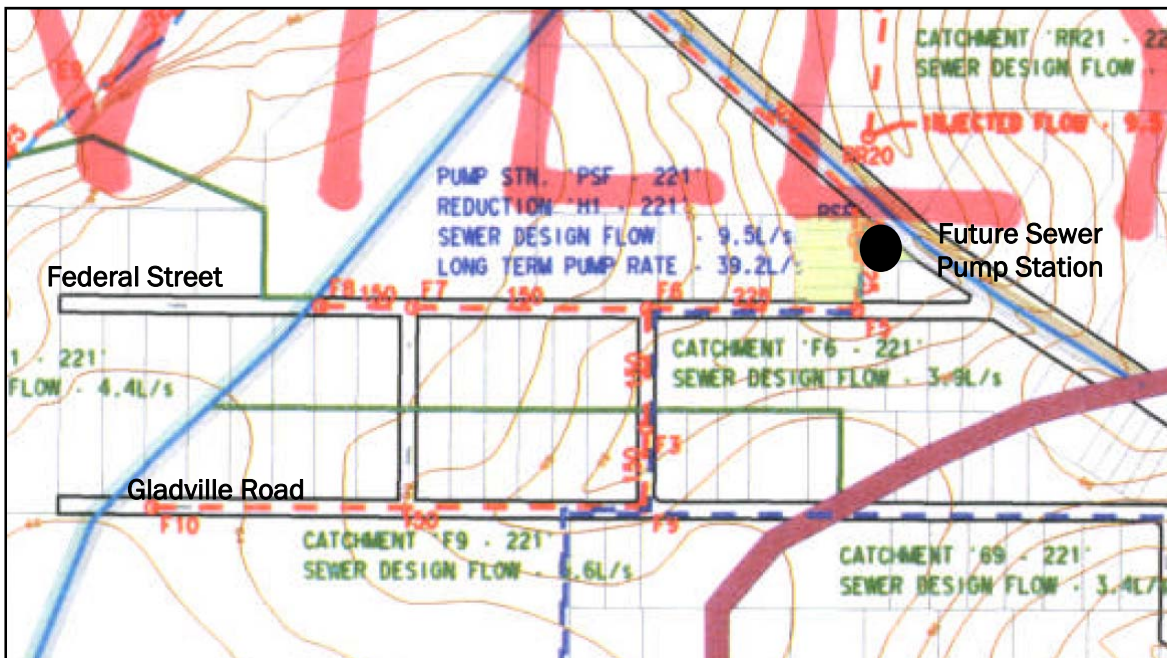


Figure 5.1: Water Corporation draft sewer planning.



The Amendment Site does not require connection to reticulated sewer, given that the lot sizes proposed are greater than 2000m². This Amendment has also established that on-site effluent disposal is also suitable for the Amendment Site.

Future connection to sewer for the Amendment Site is possible, should residential development occur to the south and west of the Amendment Site. However, given the context of the Amendment Site and its surrounding land use context, it would not be desirable currently for it to be developed for full urban land uses, which would require a connection to a reticulated sewer service.

5.2.4 On-Site Effluent Disposal

Land capability for on-site effluent disposal is primarily addressed in **Section 5.1**. The Amendment Site will be required to utilise on-site effluent disposal to dispose of sewerage collected on individual lots. This is suitable for the Amendment Site based on the following factors:

- On-site effluent disposal has proven suitable on the land in its current state in excess of 20 years, utilising traditional septic effluent disposal systems;
- Lots in adjacent Special Residential Area No.9 have a minimum lot size of 4000m² and are able to support on-site effluent disposal;
- All new dwellings on the Amendment Site will be required to utilise Phosphorous Retaining Alternative Treatment Units (ATU'S), as approved by the City of Albany and Health Department of Western Australia. These units are able to operate where there is only 500mm separation from surface to groundwater; and
- There are no evident issues with the use of on-site effluent disposal on the Amendment Site or neighbouring development.

The Amendment Site has the ability to support additional effluent disposal units, as outlined in more detail in **Section 5.1**. The future location of effluent disposal units will require approval of City of Albany prior to development being deemed fit for human habitation.

5.2.5 Electricity

The subject land is serviced by aerial electricity connections from Federal and Imperial Streets and Gladville Road. The upgrading requirements of this service will be discussed with Western Power at the time of subdivision and development.

5.2.6 Telecommunications

Telecommunications lines are located in Federal Street and Gladville Road. The upgrading and extension requirements of this service will be discussed at the time of subdivision and development.

5.2.7 Reticulated Gas

No reticulated gas is available in the area. Any housing using gas appliances will require bottled gas.

5.2.8 Conclusion

This Amendment has demonstrated that subdivision resulting from the Amendment will be able to be appropriately serviced in a manner that the Amendment Site is capable of sustaining.

5.3 Drainage and Water Management

Planning Bulletin No.92 outlines the requirements for *Urban Water Management* to be addressed at various stages of the planning process.

In the case of a local planning scheme amendment, Planning Bulletin No.92 requires that a Local Water Management Strategy is prepared. The Amendment will address the requirements of a Local Water Management Strategy throughout this section.



5.3.1 Current Conditions on the Amendment Site

Drainage of the Amendment Site can be summarised by the following comments:

- On-site drainage capture and dispersal occurs from existing development. These are large lots, with the ability to easily dispose of on-site drainage;
- Minimal run-off from lots on the Amendment Site occurs into surrounding road reserves;
- There are open drains on Federal and Imperial Streets and Gladville Road. These drains address drainage captured from existing roads;
- Drainage on Gladville Road drains toward and through the Public Open Space on the corner of Albert Street and Gladville Road;
- Drainage on Federal Street drains to the northeast and northwest of the Amendment Site, as it crosses over a ridge. However, the majority of drainage from Federal Street is directed toward Albany Highway.

As previously mentioned, the drainage of the Amendment Site occurs through open drains and overland flow. Shown below in **Figure 5.2** are the drains and drainage lines located on and surrounding the Amendment Site.

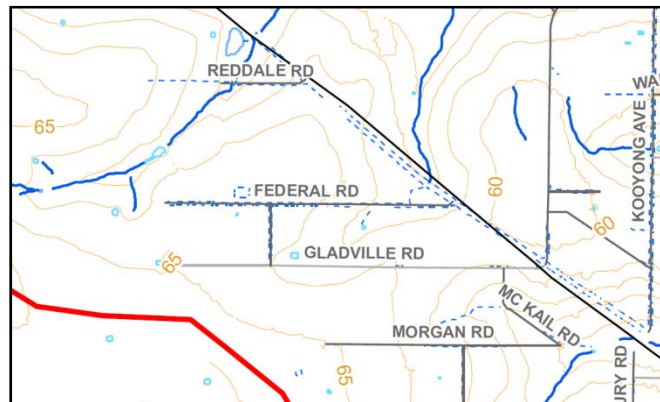


Figure 5.2: Drains and creek lines located on and surrounding the Amendment Site (GHD).

The Amendment Site is identified as being within the Willyung Creek Catchment. The Willyung Creek Flood Management Plan was prepared in 2007 by GHD, following the identification of City of Albany for the need to better plan for severe rainfall situations, such as that which occurred in April 2005. **Figure 5.3** overleaf shows the Amendment Site and the depicted 1:100 ARI flood levels of the Willyung Creek Catchment. As depicted, the Amendment Site will not be impacted by flood waters resulting from a 1:100 ARI event.



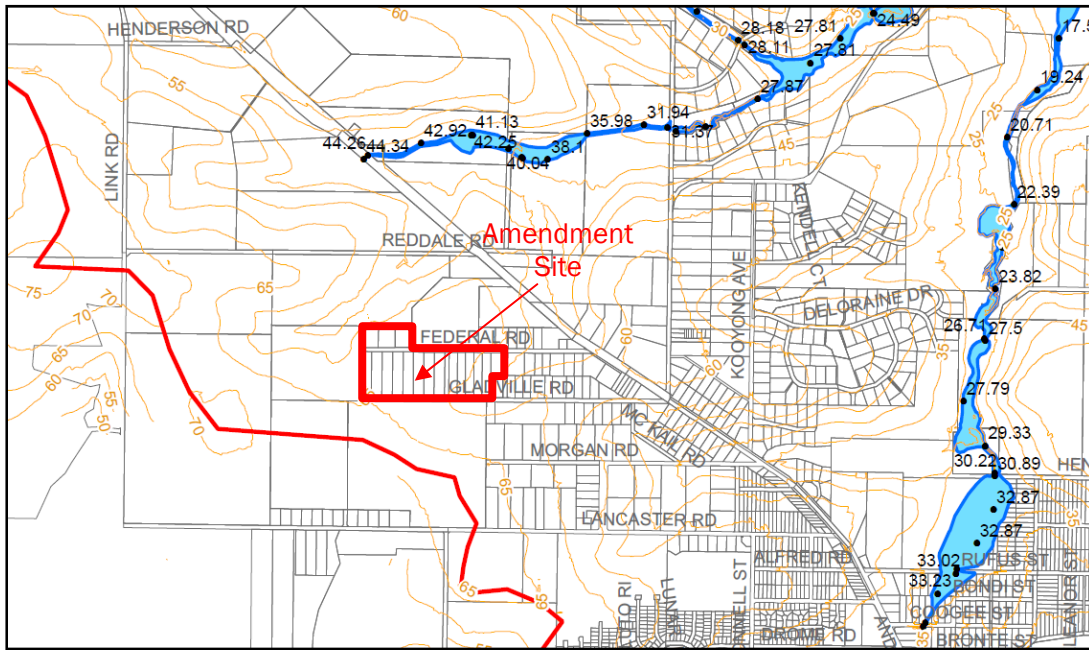


Figure 5.3: Predicted 1:100 ARI levels for the Willyung Creek Catchment (GHD).

As demonstrated by the above, a 1:100 ARI event is an extreme weather event. Therefore, it is not likely that planning or mapping will need to occur for 1:1 and 1:5 ARI events, as these events are of lesser intensity and will not result in flooding or the need for overland flood management on the Amendment Site or in the immediate locality.

5.3.2 Design Objectives for Water Sensitive Urban Design

Interim Guidelines for Developing a Local Water Management Strategy have been released by the Department of Water to provide information on the requirements that need to be fulfilled for a Local Water Management Strategy. Appendix 1 of the Interim Guidelines outlines objectives for water sensitive urban design, some of which include:

- Potable water should only be used for domestic purposes;
- Post development discharge to be at a similar level to pre-development standards;
- Surface water and ground water quality to be maintained at pre-development levels and if possible, improved;

The Amendment seeks to meet these interim guidelines by implementing the following:

- The requirements for all households to have a rainwater tank for gardening and non-domestic water use; and
- All development to treat and discharge stormwater on-site.

The Amendment proposes residential lifestyle blocks from 4000m² to 5000m². The nature of the land will remain predominantly open and there will not be a significant increase in impermeable surfaces. The above proposed measures will result in drainage being retained on-site to an adequate standard and alternate water supplies being made available for non-domestic requirements. Furthermore, existing provisions of Special Residential Area No.9 require a full outline of stormwater management requirements as part of Subdivision and Development Applications.



5.3.3 Future Development on the Amendment Site

The Amendment will result in approximately 16 additional lots being created, assuming all landowners progress subdivision and the Speedway is relocated (enabling subdivision of Lots 36-38). The associated impermeable surfaces that will result from this development will lead to increased drainage run-off from the Amendment Site.

It is proposed that all drainage be required to be retained and dispersed on-site. Soil conditions are favourable and will enable the use of on-site soak wells. Drainage conditions from existing development will remain unchanged.

5.4 Vehicular Access

Access to the Amendment Site is from both Federal Street and Gladville Road. Both of these streets are built to outer residential standards with bitumen seal and table drainage and are of a good quality.

The Amendment will result in an increased amount of traffic utilising both Federal Street and Gladville Road, but the biggest impact is likely to be on the latter. In its submission to City of Albany commenting on the Scheme Amendment Request relating to this Amendment, Main Roads Western Australia has raised a number of concerns with the appropriateness of the intersections of both Federal Street and Gladville Road with Albany Highway and the amount of traffic to be generated by the Amendment, as summarised in the following.

5.4.1 Federal Street

Future subdivision of the Amendment Site resultant from the Amendment will likely result in an additional 6 lots utilising Federal Street for access to Albany Highway. Main Roads Western Australia commented that the intersection of Federal Street with Albany Highway does not have sufficient sightlines for vehicles exiting south. This is due to a hill crest that is located to the south of the intersection, reducing sight lines significantly.

Table 5.1 below shows the increase in traffic volume that may be expected as a result of the Amendment. It is anticipated that an increase in overall traffic flows from Federal Street exiting on Albany Highway will be 20%.

	No.	Traffic Flow Generated
Current Houses	27	270
Existing Lots	29	290
Existing Lots and New Lots Proposed by Amendment.	35	350
Percentage Increase in Total Traffic Flow	20%	60

Table 5.1: Predicted Traffic Flows on Federal Street.

5.4.2 Gladville Road

Future subdivision of the Amendment Site will likely result in an additional 10 lots utilising Gladville Road for access to Albany Highway. Main Roads Western Australia commented that the intersection of Gladville Road with Albany Highway does not have sufficient sightlines for vehicles exiting south and does not have adequate separation distance from the intersection of Rocky Crossing Road. This is due to a hill crest that is located to the north of the intersection, reducing sight lines significantly.

Table 5.2 below shows the increase in traffic volume that may be expected as a result of future subdivision. It is anticipated that an increase in overall traffic flows from Gladville Road exiting on Albany Highway will be 37%.



	No.	Traffic Flow Generated
Current Houses	21	210
Existing Lots	27	270
Existing Lots and New Lots Proposed by Amendment.	37	370
Percentage Increase in Total Traffic Flow	37%	100

Table 5.2: Predicted Traffic Flows on Federal Street.

5.4.3 Traffic

Future subdivision potential generated by the Amendment will result in approximately 160 additional vehicles movements from the Amendment Site per day, than is currently the case. This figure has been derived using an average of 10 vehicle movements per additional lot per day. An overall increase in traffic flows from Federal Street and Gladville Road exiting on Albany Highway may increase by approximately 29%. This is not a significant volume as it still falls below the threshold of 1000 vehicles movements per day listed as an 'Access Street D' in Liveable Neighbourhoods.

5.4.4 Outcome

The City of Albany has been in consultation with a number of landowners in the McKail locality regarding access to Gladville Road and Federal Streets for future development. These landowners have recognised that this is a significant problem in the locality, due to a number of inappropriate access points onto Albany Highway resultant from historical development. As the road gets busier, traffic conflict is likely to increase, as this is a major transport corridor.

Therefore, City of Albany has proposed for Gladville Road and Federal Street to gain access to Albany Highway through McKail and Lancaster Roads. Access to Federal Street and Gladville Road from Albany Highway will be rationalised. A new connecting road will be constructed by future urban development to the south, resulting in a road link directly from McKail Road to Lancaster Road.

A plan of access is shown in **Figure 5.4** below. It is likely that in the future, the City of Albany will construct cul-de-sacs at the termination of Federal Street and Gladville Road with Albany Highway, redirecting traffic to use this more acceptable access option.





Figure 5.4: Access Plan for the Amendment Site

The access outcomes of the Amendment and future residential development meet the requirements of City of Albany and Main Roads Western Australia by providing an alternate means of access to the Amendment Site.

5.5 Fire Management

The Amendment Site is located in a rural setting, with some surrounding lots containing remnant vegetation. Fire management has been considered by this Amendment, but is not considered to be a major factor impacting the development of the Amendment Site.

Planning for Bush Fire Protection is the key planning document that affects the planning of the Amendment Site. The Amendment Site is predominantly cleared of remnant vegetation. Most of the vegetation on the land has been implemented by landowners to provide visual and screening separation of their lot from surrounding lots. This usually consists of plantings of windbreaks on the property boundary. This is not deemed to be a fire threat, as it can be adequately maintained by landowners.

An area of vegetation is located adjacent to the Amendment Site on the Western Power Albany Sub-Station site. However, due to the presence of high voltage lines, as well as the need to protect the sub-station from fire, this site is kept in a fuel reduced state through slashing at regular intervals, as shown in **Figure 5.5** overleaf. The deemed Fire Risk from this vegetation is 'Low', therefore no fire setback is required.





Figure 5.5: View of Western Power Sub-Station site from Federal Street. Vegetation is either cleared or kept in a fuel reduced state across the entire site.

5.6 Noise Impact – Albany Speedway

The Albany Speedway neighbours the Amendment Site. The Speedway produces noise pollution beyond what would be considered ‘normal’ in a residential area. Thirteen (13) race meetings are held at the Speedway over seven (7) months of the year. Also, there is an occasional practice session held, with a total of nineteen (19) meetings over the whole year.

As previously explained, the Amendment Site is included within the City of Albany Speedway Noise Buffer Area policy. This policy ensures that development within the buffer area complies with ‘Quiet House’ principles.

To clarify the Speedway Noise Buffer Policy and establish a suitable buffer area, an Acoustic Assessment was conducted by Herring Storer Acoustics, a copy of which can be found attached at **Appendix C** of this report. This Assessment meets the requirements of City of Albany and Department of Environment and Conservation (DEC), as it has been previously accepted as part of Amendment 267 (3), justifying the future residential development potential of Lot 124 to the west of the Amendment Site.

A Noise Contour Plan has been provided with the Assessment and is included in **Figure 5.6** **overleaf**.



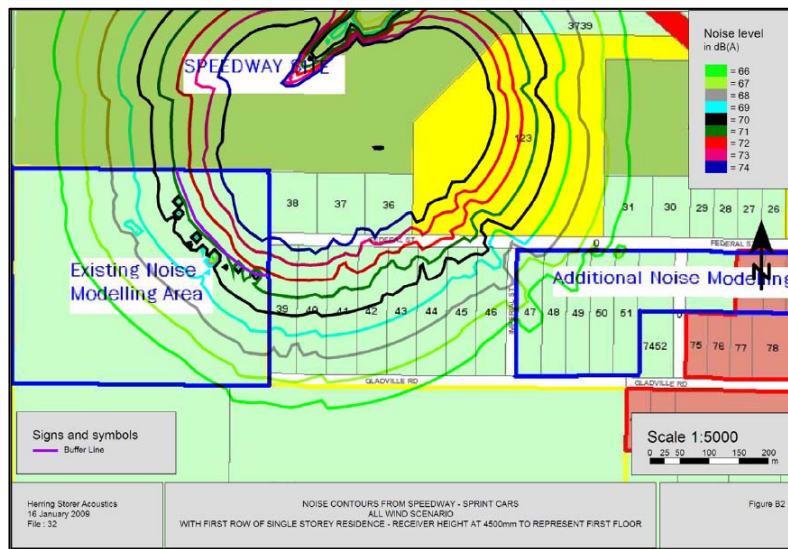


Figure 5.6: Noise Contour Plan produced by Herring Storer Acoustic Engineers.

The Acoustic Assessment found that:

- The 71dB(A) contour should be used as an exclusion zone, as this is the point at which sound reduction techniques would not reduce noise levels inside a dwelling to desirable levels; and
- Construction outside of the 71dB(A) to be in accordance with the Speedway Noise Buffer Area policy of City of Albany.

The Speedway may relocate at some time in the future. Therefore, this Amendment seeks to implement development controls relating to the Speedway in a temporary manner (**Provision 15.1 and 15.2**). Therefore, should the Speedway relocate, it will be possible for subdivision of land previously located in development exclusion areas to occur.

Appropriate buffering can be achieved to the Speedway by the Amendment. Lots on the north side of Federal Street (36-38 Federal Street), will not have further subdivision potential due to their close proximity to the Speedway (**Provision 1.3**) unless the Speedway is closed or relocated. The 71dB contour is the point at which sound reduction techniques would not reduce the noise in these households below acceptable standards during Speedway events.

‘Quiet House’ design and simple construction techniques can be used appropriately for buffering to the Speedway. The future construction of additional dwellings in this special residential area will be to a standard appropriate to ensure the Speedway does not have to move location to continue its use. The Amendment has appropriately addressed the noise concerns of the adjoining Speedway and further development in this location.

5.7 Character and Amenity

The land is currently developed for special residential uses. The Amendment allows limited intensification of these uses. In relation to character and amenity of the Amendment Site, the following comments are offered:

- The lots in the Amendment Site with subdivision potential are those with dual frontage to Federal Street and Gladville Road. All of these lots will have the possibility to subdivide an additional lot on their vacant half. This is likely to impact more on Gladville Road, as most current dwellings front Federal Street;
- The change to streetscape is likely to only be the construction of additional dwellings;



- The character of the area will should improve, as this Amendment allows consolidation of lots with dual road frontage and smaller, more easily manageable land parcels;
- Surrounding land uses are either typical rural or special residential; and
- Additional screening vegetation is required by the Amendment, emphasising the rural character of the Amendment Site and improving the visual separation of development.

The Amendment will not have a significant impact on the character and amenity of the Amendment Site and surrounding development, but will complement it by providing lots of similar sizes and providing for infill and screening to be implemented.



6.0 SUBDIVISION GUIDE PLAN & SCHEME PROVISIONS

The SGP has been provided at such a scale to identify the Opportunities and Constraints of the development of the Amendment Site. This SGP will not guide the whole of Special Residential Area No.9, rather be in addition to the existing SGP, a copy of which can be obtained from Council.

6.1 Opportunities and Constraints

The Opportunities and Constraints identified by the SGP are:

- Land Capability;
- Drainage;
- Access;
- Speedway Noise Buffering;
- Topography;
- Remnant Vegetation; and
- Existing Special Residential Area No.9.

6.2 Land Capability

The Amendment Site has been identified as capable of supporting the additional development that will result from the Amendment. However, to address issues such as on-site effluent disposal capability, the following measures will be utilised:

- The use of amended soil type on site effluent disposal units or ATU's for all lots included in the Amendment (**Provision 9.2**); and
- A 50m setback of effluent disposal units to the drainage line identified on the SGP (**Provision 9.5**).

The Amendment Site is capable and suitable for the development of additional housing, as outlined by this Amendment. The measures used in this Amendment are the same as those identified in Amendment 251 (3), which included Lots 26-31 and 301 Federal Street in Special Residential Area No.9.

6.3 Drainage

As previously explored, the Amendment will result in a maximum additional 16 houses being developed on the Amendment Site. To address drainage, the following measures are to be implemented:

- On-site capture and dispersal of drainage, through the use of on-site soak wells. This requirement is to be installed through **Provisions 12.1** and **12.3**, which require all Applications for Subdivision to adequately address stormwater management; and
- Use of a rainwater tank to provide an alternate water supply for non-domestic purposes (**Provision 8.3**).

The Amendment has adequately addressed the drainage issues associated with the Amendment Site. Although there is an intermittent drainage line located through the Public Open Space on the corner of Albert Street and Gladville Road, the majority of the time the land is dry, with minimal surface run-off.

6.4 Access

Section 11.0 of the scheme provisions addresses road and access requirements; in particular **provision 11.2** allows the local government to impose a monetary contribution to the upgrade of Gladville and McKail Roads. As the subject site is being extended to lots facing Federal Street as well, this provision has been modified to acknowledge this change. It is anticipated that this contribution may be used to help fund the intersection treatments anticipated at Albany Highway.



6.5 Speedway Noise Buffering

The noise levels generated by the Speedway are outside those that would be considered acceptable for residential dwellings. Therefore, the Amendment seeks to control development adjacent to the Speedway with suitable development techniques and exclusion areas.

The SGP identifies noise buffers as outlined by the Herring Storer Acoustic Assessment, including:

- 71dB(A) and above Development Exclusion Area; and
- 'Quiet House' construction techniques for all habitable buildings constructed within the Albany Speedway Buffer Area policy.

The findings of the acoustic assessment have been incorporated through **Provisions 15.1-15.3**. Houses within identified buffer areas will be required to implement development standards and comply with 'Quiet House' design principles, as outlined in the Acoustic Assessment.

This Amendment has addressed the noise buffering requirements for the Speedway on the Amendment Site through the SGP and Scheme Provisions relating to Special Residential Area No.9.

6.6 Western Power Albany Substation

Although there is no identifiable buffer requirement required for the sub-station, this Amendment does seek to improve the visual amenity of the locality by providing visual screening, as specified in **Provisions 7.2** and **7.4** and shown on the SGP.

6.7 Remnant Vegetation

There is no remnant vegetation located on the Amendment Site. However, introduced vegetation does have some use, particularly for screening and visual character. This Amendment requires that vegetation is retained along the subdivision boundary of the lots, or revegetation implemented, to provide some visual screening and separation of lots fronting Federal Street and Gladville Road.

Existing **Provisions 7.1-7.4** require that vegetation is retained or revegetation is implemented on the Amendment Site, as shown on the SGP.

6.8 Existing Special Residential Area No.9

The predominant opportunity for the future subdivision and development of the Amendment Site is the existence of Special Residential Area No.9. The Amendment seeks to be consistent with this zone by:

- Requiring a minimum lot size of 4000m² for any future subdivision, as has been proven to be suitable for land within Special Residential Area No.9;
- Requiring vegetation to be retained and for revegetation to be implemented;
- Not allowing inconsistent subdivision and development; and
- Providing lifestyle lots as an appropriate buffer to inappropriate land uses.

The Amendment is consistent with existing development and will comply with the existing provisions of Special Residential Area No.9, providing for cohesive development and a continuation of the intended character developed for this *Special Residential* zone.



7.0 CONCLUSION

Amendment 300 (3) to City of Albany Town Planning Scheme No.3 seeks to rezone Lots 36-38, 41-45 and 47-52 Federal Street and Lots 39, 40 and 46 Gladville Road, McKail from the *Rural* zone to the *Special Residential* zone and include the Amendment Site in existing Special Residential Area No.9.

The Amendment will achieve the following objectives:

- Rationalising valuable semi-urban land on the fringe of the Albany urban area;
- Providing for an alternative lifestyle choice;
- Rezoning land which is not deemed appropriate to continue to be identified within the *Rural* zone;
- Providing a valuable land use buffer to the existing Attwell Park Speedway; and
- Providing for suitable land uses which complement their surrounding context.



PLANNING AND DEVELOPMENT ACT 2005
RESOLUTION DECIDING TO AMEND A LOCAL PLANNING SCHEME
CITY OF ALBANY

TOWN PLANNING SCHEME NO. 3

AMENDMENT NO. 300 (3)

RESOLVED that the Council, in pursuance of Section 75 of the Planning and Development Act 2005, amends the above local planning scheme by:

1. Rezoning Lots 36-38, Lots 41-45 and Lots 47-52 Federal Street and Lots 39, 40 and 46 Gladville Road, McKail from the *Rural* zone to *Special Residential* zone and amending the Scheme Maps accordingly;
2. Including Lots 36-38, Lots 41-45 and Lots 47-52 Federal Street and Lots 39, 40 and 46 Gladville Road, McKail in Special Residential Area No.9, Schedule IV – Special Residential Zones – Provisions Relating to Specified Areas;
3. Amending Schedule IV – Special Residential Zones – Provisions Relating to Specified Areas, Special Residential Area No.9 by removing Provisions 1.1, 1.3, 11.2 and replacing them with the following:

AREA	LOCALITY	LOT(S)	LOCATION	SPECIAL PROVISIONS
SRes 9	Gladville Road and Federal Street, McKail	36-51		<p>1.1 Subdivision of Special Residential Zone Area 9 shall generally be in accordance with the Subdivision Guide Plans endorsed by the CEO or Manager for Planning;</p> <p>1.3 Although the Subdivision Guide Plans do not depict any subdivision for Lots 26-31, 36-52, 121 and 122 Federal Street and Gladville Road, Council may recommend subdivision approval to the Commission provided that:</p> <ol style="list-style-type: none"> i. The design of any proposed subdivision complies with a minimum lot size of 4000m² as well as the objectives, intent and requirements of the zone. ii. The proposed subdivision is suitable having regard to the physical characteristics of the site, capability and suitability considerations, adjoining development, onsite effluent disposal, proximity to the speedway and Western Power Substation and the need to preclude direct lot access to Albany Highway. iii. The proposed subdivision can be adequately serviced. iv. For Lots 36-38, Council shall only recommend subdivision approval until such a time that it is satisfied that the Speedway has been closed or relocated. <p>11.2 Council may request the Commission to impose a condition at the time of subdivision for a monetary contribution to the upgrading of Gladville Road, or Federal Street and/or McKail Road.</p>



4. Inserting the following Provisions in Schedule IV – Special Residential Zones – Provisions Relating to Specified Areas, Special Residential Area No.9:

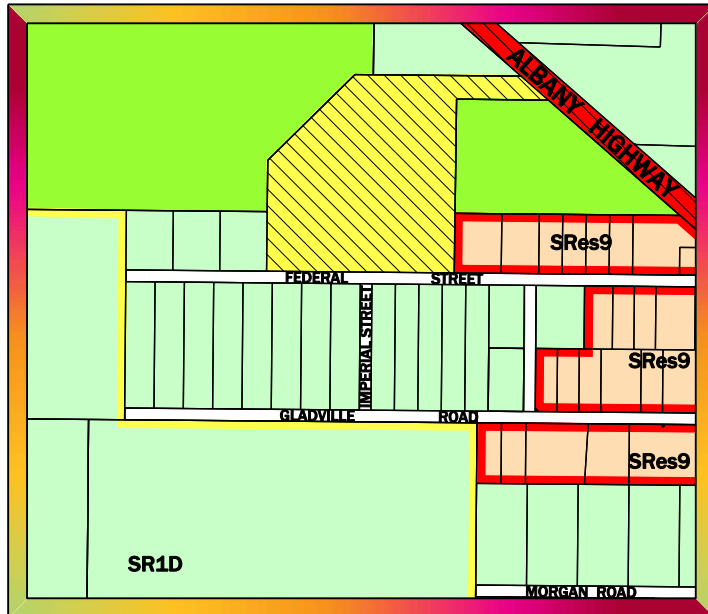
AREA	LOCALITY	LOT(S)	LOCATION	SPECIAL PROVISIONS
SRes 9	Gladville Road and Federal Street, McKail	36-51		<p>8.3 Lots 36-52 shall be required to provide a water tank of not less than 50,000L capacity to harvest rainwater for household and garden use.</p> <p>9.5 For Lots 36-52 as shown on the Subdivision Guide Plan, effluent disposal shall be undertaken with an approved Phosphorous Retaining Alternative Treatment Unit (ATU) to the satisfaction of Council and the Health Department of WA.</p> <p>9.6 New effluent disposal units to be implemented on Lots 50-52 are to be setback at least 50 metres from the water course depicted on the Subdivision Guide Plan.</p> <p>15.0 Speedway Noise Buffering</p> <p>15.1 The provisions relating to Speedway Noise Buffering requirements relate only to Lots 36-52 as shown on the Subdivision Guide Plan.</p> <p>15.2 Should Council be satisfied that the Speedway is closed, operate in a manner that substantially the noise levels as of 2009 or relocated from its current site in Reddale Road, provisions relating to Speedway Noise Buffering will not be applicable to Lots 36-52 as shown on the Subdivision Guide Plan.</p> <p>15.3 No additional habitable dwellings are permitted within the 71dB(A) noise buffer.</p>



CITY OF ALBANY

Town Planning Scheme No. 3

Amendment No.



Existing Zoning


LOCAL SCHEME RESERVES

 Major Highway

 Public Purposes

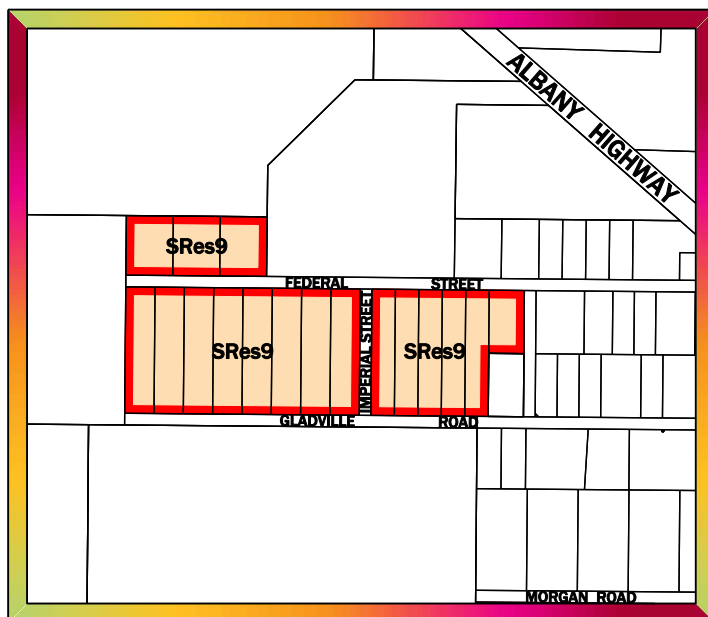
ZONES

 Private Clubs and Institutions

 Rural

 Special Rural

 Special Residential



Proposed Zoning



PLANNING AND DEVELOPMENT ACT 2005

CITY OF ALBANY

TOWN PLANNING SCHEME No. 3

AMENDMENT No.300 (3)

ADOPTION:

Adopted by resolution of the Council of the City of Albany at the meeting of the Council held on the _____ day of _____ 20__:

Mayor

Chief Executive Officer

FINAL APPROVAL:

Adopted for final approval by resolution of the City of Albany at the meeting of the Council held on the _____ day of _____ 20__ and the Common Seal of the municipality was pursuant to that resolution hereunto affixed in the presence of:

Mayor

Chief Executive Officer

RECOMMENDED / SUBMITTED FOR FINAL APPROVAL:

Delegated under s.16
of the PD Act 2005

Date

FINAL APPROVAL GRANTED:

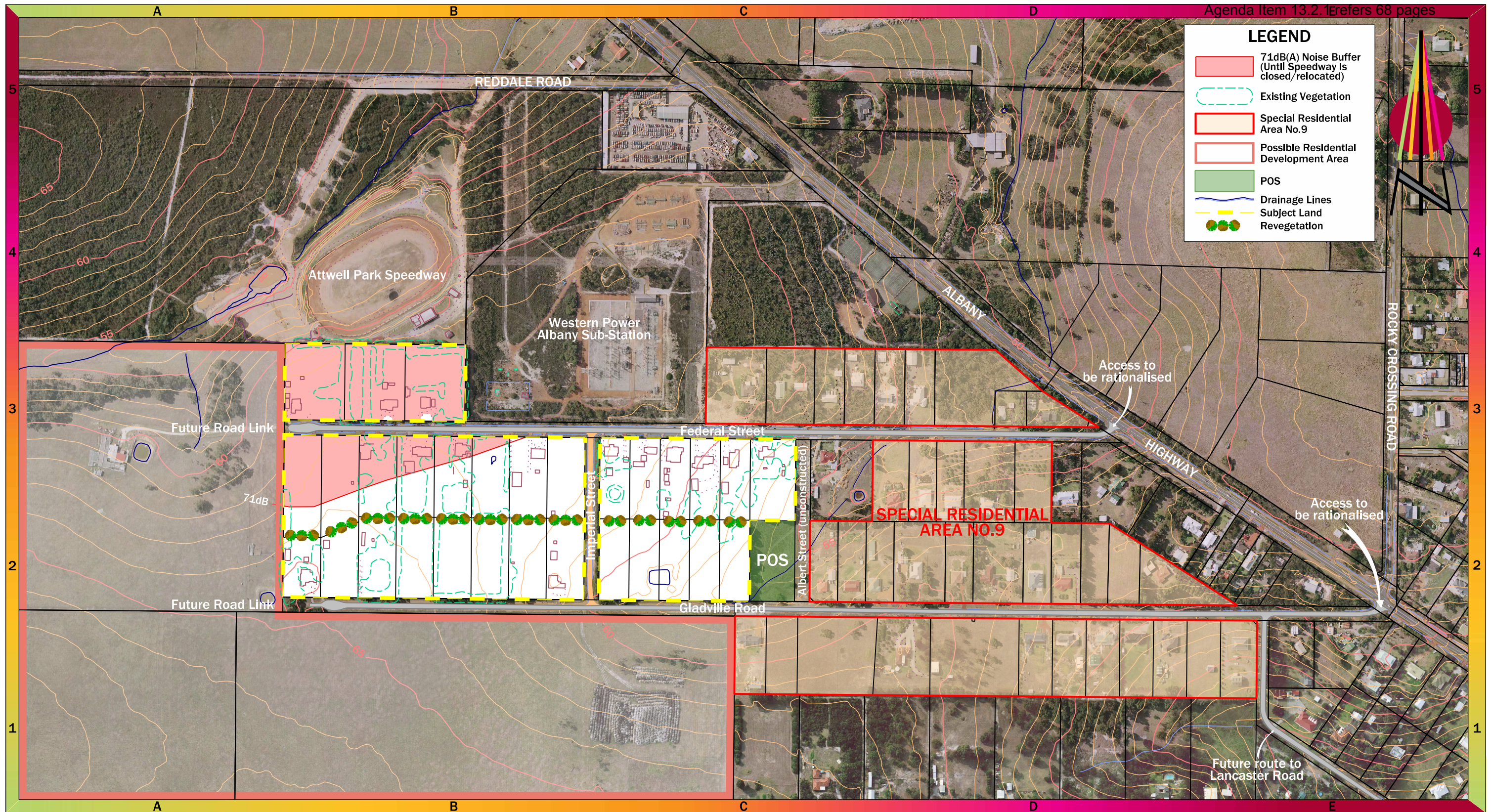
Minister for Planning

Date



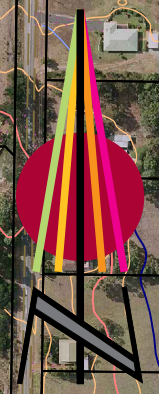
APPENDIX A
SUBDIVISION GUIDE PLAN





LEGEND

- 71dB(A) Noise Buffer (Until Speedway Is closed/relocated)
- Existing Vegetation
- Special Residential Area No.9
- Possible Residential Development Area
- POB
- Drainage Lines
- Subject Land
- Revegetation



SUBDIVISION GUIDE PLAN

REV	DESCRIPTION	DATE
A	Original Drawing	30/10/09
B	Amendments to Drawing	27/11/09
C	Amendments to Drawing	09/12/09

drawing no
14515-05C.dgn
drawn
ABS 30/10/09
checked
CTP 10/12/09

**LOTS 36 - 52 ON PLAN 267
FEDERAL STREET &
GLADVILLE ROAD
MCKAIL**

SCALE AT A3 1:5000
0 50 100 150 200 250
ALL DISTANCES ARE IN METRES

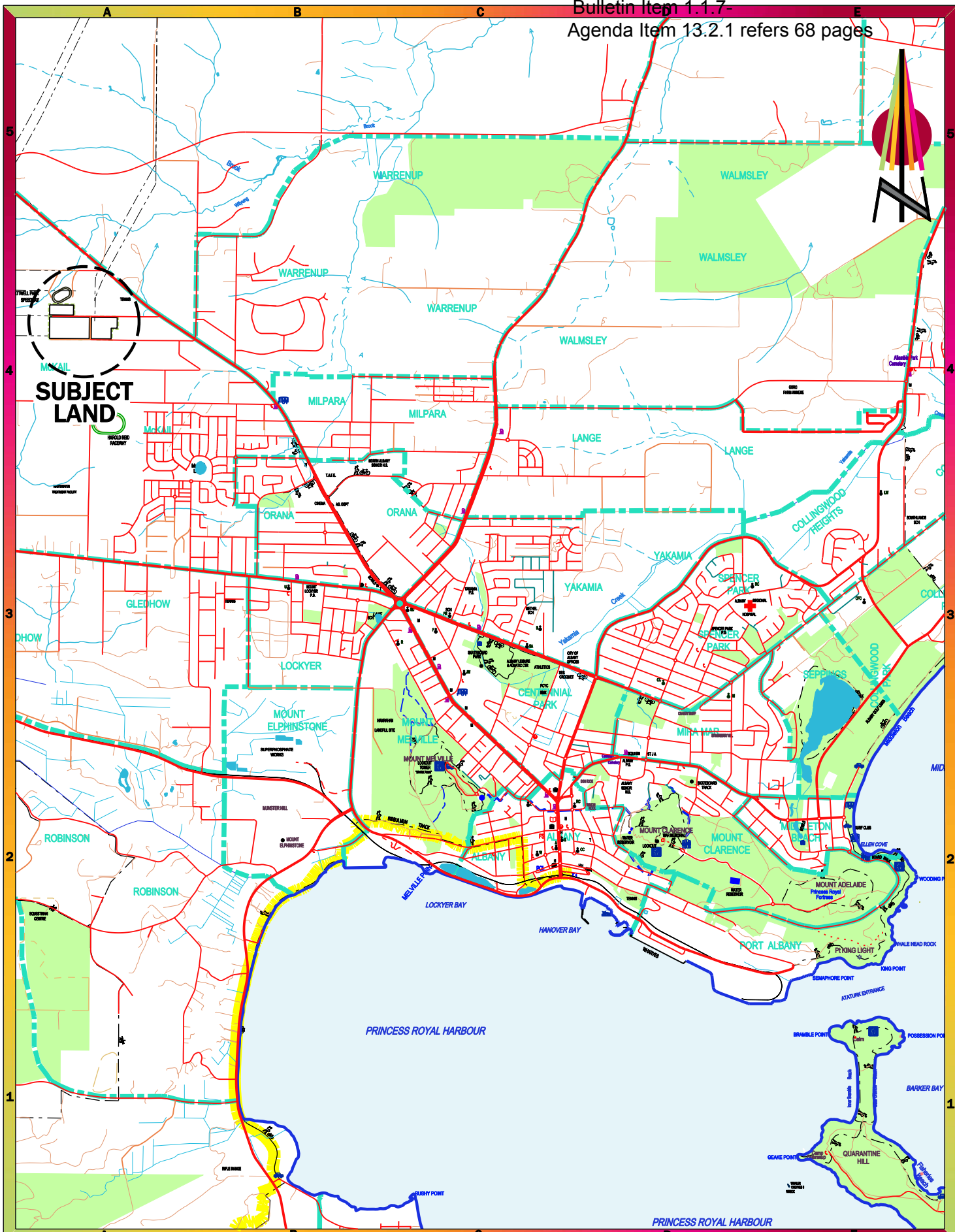


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note:
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APPENDIX B

SITE AND LOCATION PLAN



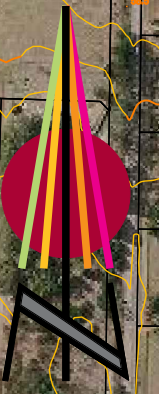
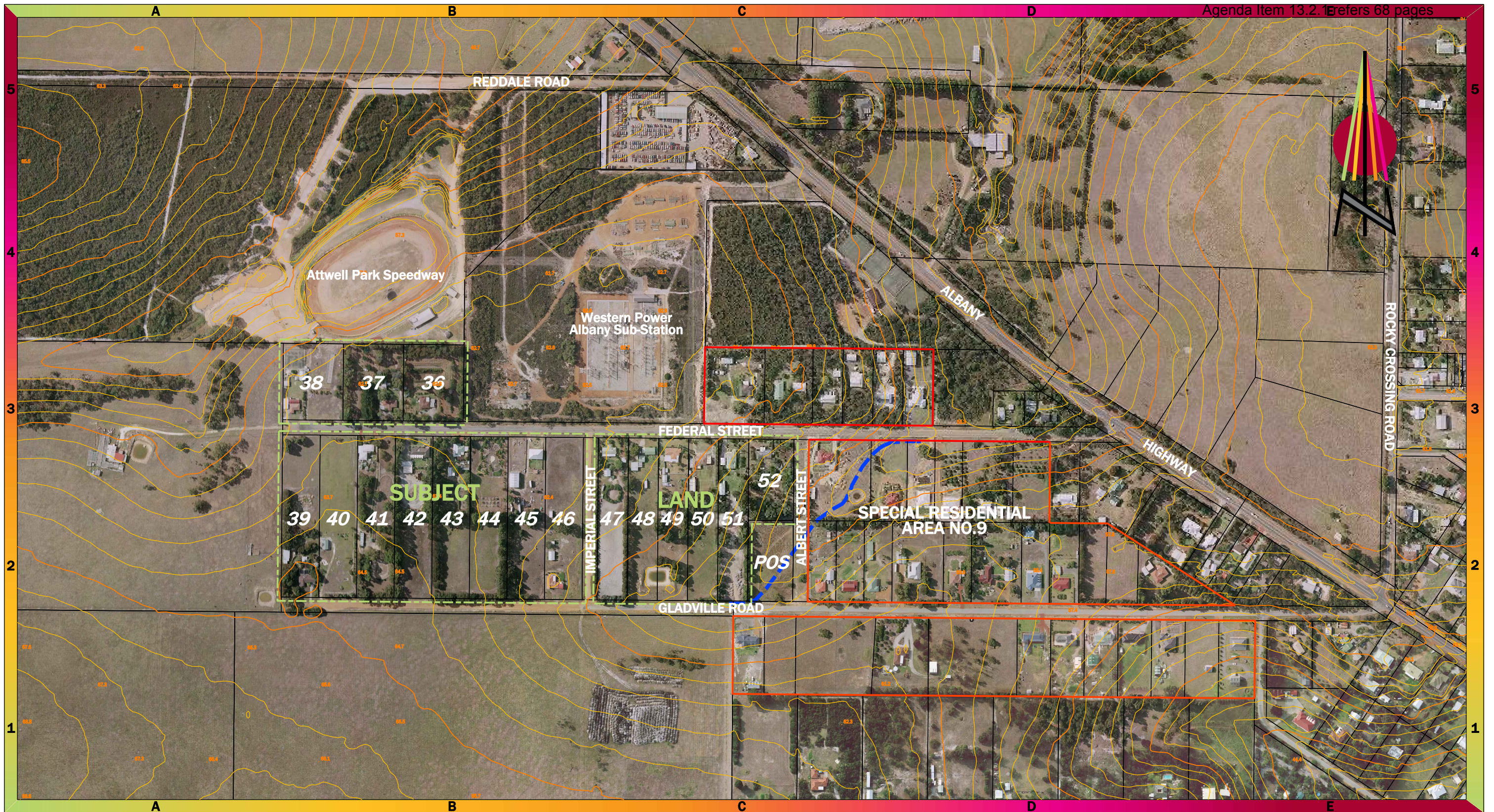


LOCATION PLAN

REV A DESCRIPTION Original Drawing DATE 19-03-09
**LOTS 36 - 52 ON PLAN 267
 FEDERAL STREET
 McKAIL**
 FOR:- RYDE
 drawing no 14515-02A.dgn
 drawn ABS 19-03-09
 checked
 123 SCALE AT A4 1:50000
 0 500 1000 1500 2000 2500
 ALL DISTANCES ARE IN METRES

116 Serpentine Road, ALBANY WA 6330
 T: 08 9841 7333 F: 08 9841 3643
 E: hegal@harleygroup.com.au

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SITE PLAN

REV	DESCRIPTION	DATE
A	Original Drawing	19-03-09

drawing no
14515-01A.dgn
 drawn
SDP 19-03-09
 checked

**LOTS 36 - 52 ON PLAN 267
 FEDERAL STREET
 McKAIL**

FOR:- RYDE

SCALE AT A3 1:5000
 0 50 100 150 200 250
 ALL DISTANCES ARE IN METRES



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 note:
 This plan has been prepared for planning purposes. Areas, Contours and Dimensions shown are subject to survey

APPENDIX C

**HERRING STORER ACOUSTIC REPORT
JAN 2009**



HERRING STORER ACOUSTICS

Suite 34, 11 Preston Street, Como, W.A. 6152

P.O. Box 219, Como, W.A. 6952

Telephone: (08) 9367 6200

Facsimile: (08) 9474 2579

Email: hsa@hsacoustics.com.au



RESIDENTIAL DEVELOPMENT LOT 124 FEDERAL STREET, McKAIL

ACOUSTIC ASSESSMENT – SPEEDWAY NOISE EMISSIONS

FOR

HARLEY SURVEYING GROUP

BY

HERRING STORER ACOUSTICS

JANUARY 2009

OUR REFERENCE: 9863-3-08129-02

DOCUMENT CONTROL PAGE

ACOUSTIC ASSESSMENT

McKAIL

Job No: 08129-02

Document Reference : 9863-3-08129-02

FOR

HARLEY SURVEY GROUP

DOCUMENT INFORMATION				
Author:	Paul Daly/Tim Reynolds	Checked By:	Tim Reynolds	
Date of Issue :	16 Jan. 2008			
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1	2	Harley Survey Group		✓
1	3	Harley Survey Group		✓

CONTENTS

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2.	SUMMARY	1
3.	CRITERIA	2
4.	MEASUREMENTS	2
5.	RESULTS	3
	5.1 Measurements	3
	5.2 Modelling	3
6.	DISCUSSION	4

APPENDICIES

A	Locality Plan – Measurement / Monitoring Locations
B	Noise Monitoring Results
C	Noise Modelling Results
D	Draft Design Guidelines

1. INTRODUCTION

Herring Storer Acoustics was commissioned by the Harley Survey Group to carry out a noise study for the proposed residential developments located on Federal Street, McKail (see Figure A1 in Appendix A for Study Area) with regards to noise received from the adjacent speedway. This study was carried out in June 2008 (reference *HSA 9189-1-08129*).

Following a response from the DEC regarding the aforementioned report, additional noise monitoring and measurements, specific to Lot 124, were undertaken to provide additional information, calibration/verification of noise modelling to Lot 124 and allow the development of “deem-to-comply” building guidelines.

Noise monitoring and observations were conducted of Meeting 4 of the speedway round on the 13th December 2008. This round contained the “Late Model” V8 race cars and is considered to be the highest noise emission of any of the speedway events.

We note that the previous assessment was based on noise emissions from “Sprint Cars”, however, Sprint Car rarely race at the Albany Speedway. We understand that although they did race at Albany last season, they will not be racing at the Albany Speedway during this season. Therefore, the measurements/monitoring were carried out on what is understood to be the loudest vehicles currently racing at the Albany Speedway, they being the “Late Model” V8 race cars.

2. SUMMARY

From the noise level measurements recorded, noise received at the monitoring point (i.e. the previously modelled 73 dB(A) contour) showed that noise received from the Late Model racing cars was an L_{Aeq} during a race of 67 dB(A). From a comparison of noise level measurements carried out adjacent from the track, noise emissions from Sprint Cars are around 3 dB(A) higher than for the Late Model cars. Therefore, based on an analysis of noise emissions we believe that the previous modelling over predicted noise emissions from the speedway by around 3 dB(A).

From the measurements carried out and observations on site, as noted by the DEC, noise received at a location is dominated by noise emissions from one vehicle and not the accumulative effect of all vehicles racing. Therefore, the noise model was modified to reflect this noise propagation and the resultant noise contours are attached in Appendix C. To provide an indication of the barrier affect of a row of houses would provide, additional modelling was carried out with the first row of houses in place and the results are also attached in Appendix C.

Although, we understand that Sprint Cars rarely race at the Albany Speedway, to be conservative and as recommended by the DEC, the 71 dB(A) contour line from the revised modelling has been used to define the buffer zone.

From the 1/3rd octave band hand held measurements recorded on site, the noise received from the Sprint Cars has been determined. From this data, Draft Building Guidelines have been developed to provide “deemed to comply” constructions. These guidelines are attached in Appendix D.

3. CRITERIA

From the Albany's "Speedway Noise Buffer Area Policy" the acoustic criteria are the following internal noise level:

- Common areas 55 dB(A)
- Living areas 45 dB(A)
- Sleeping areas 40 dB(A)

We note that the above noise levels are "maximum" L_{Aeq} recorded over a short period of time during a race.

4. MEASUREMENTS

The acoustic environment and noise emissions from the speedway (race cars) were monitored continuously at two locations for the duration of the race meet. The monitoring was carried out using RTA noise data loggers. At each of the measurement locations, an automatic noise data logger was utilised to measure 1 minute intervals due to the short duration of each race.

The first logger was located adjacent to the speedway track, with the second located on the previously modelled 73 dB(A) contour. The monitoring/measurement locations are shown on the locality plan attached in Appendix A.

The logger records statistical noise level data of which the L_{Aeq} levels are reported.

Observation and hand held noise measurements were conducted both at the edge of the track and in the far field at various locations. Measurements were performed with a Soundbook sound analyser running Samurai software. The Soundbook records third octave and narrow band statistical noise levels as well as recording wav files.

Weather conditions at the time of the monitoring were generally winds from the south west. Wind speeds were 1-2meters per second at the start of the evening (18:30) but died off to calm to no wind from 19:30 onwards. Observations were based on the smoke and dust rising from the speedway providing a clear indication of the weather conditions.

Monitoring of noise emissions from the speedway were conducted on the 13th December 2008. Racing consisted of five (5) types of vehicles of which are listed below:

- Junior Sedans
- Late Model Sedans
- Street Stock
- Production
- Super Production

Measurement locations are shown on a locality plan attached in Appendix A.

5. RESULTS

5.1 MEASUREMENTS

The results of each measurement location summarised in Table 6.1 below and the following data is attached in Appendix B.

Figure B1 – Recorded L_{Aeq} noise levels from data loggers.

Figure B2 – Comparison of track logger to Federal Road logger, L_{Aeq} values for specific types of vehicles.

Vehicle Type	Trackside	
	Location 1	Location 2
Junior Sedans	86	57
Late Model	97	67
Street Stock	86	-
Production	86	-
Super Production	91	-

From analysis of these measurements and previous noise level measurements of Sprint Cars, the noise received at the logger location has been determined. These 1/3 octave band levels compared to the noise levels recorded for the Late Model V8 cars are attached as Figure B2 in Appendix B.

From comparison of noise level measurements recorded of the Late Model V8 cars with Sprint Cars adjacent to the track, noise emissions from the Sprint Cars are about 3 dB(A) higher than for the Late Model V8 Cars.

It should also be noted that noise emissions from the Late Model V8 cars are around 3 dB(A) higher than for production and super production cars.

5.2 MODELLING

From the measurements recorded and observations on site, as noted by the DEC, noise received at a location is dominated by noise emissions from one vehicle and not the accumulative effect of all vehicles racing. Therefore, the noise model was modified to reflect this noise propagation, by running various scenarios using a single car located at various locations around the track, then combining the results to provide a 'maximum' contour.

To achieve the resultant maximum contour, a single noise source was located at 10 locations around the track and the model run for each location. These scenarios were then combined to provide a 'maximum' contour. We note that the following 2 sets of modelling were carried out :

- Set 1 – Ground contours with the existing buildings/residences.
- Set 2 – As for Set 1, but with the first row of houses located within the development area.

The second set of modelling was carried out to provide an indication of the barrier effect that would be provided to the residence located behind this first row of houses.

From the measurements recorded, it was determined that the sound power level of a single Late Model V8 car at maximum engine speed was 129 dB(A), which related to a sound power level of a single Sprint Car at maximum engine speed was 132 dB(A). This sound power level correlates to that stated by the DEC. The resultant contours relate to the noise emissions from Sprint Cars.

The results are attached in Appendix C as Figures C1 and C2.

6. DISCUSSION

Although, we understand that noise emissions from Late Model V8 cars would represent the worst case situation for noise emissions for cars regularly racing at the Albany Speedway, to be conservative and to allow for the possible inclusion of Sprint Cars in the future, we have based the analysis on noise emissions from Sprint Cars. To determine the noise propagations from the sprint car, an analysis of noise emissions from Late Model V8 cars compared to that of sprint cars was undertaken. We note that the spectral make-up of Sprint Cars and Late Model V8 cars is similar.

The noise level measurements indicate that the previous noise modelling was conservative by around 3 dB(A), however, although we believe it is being slightly conservative, as stated in the DEC Email and given the new recorded data, it is recommended that the 71 dB(A) contour be used as the buffer from the event activities at the speedway.

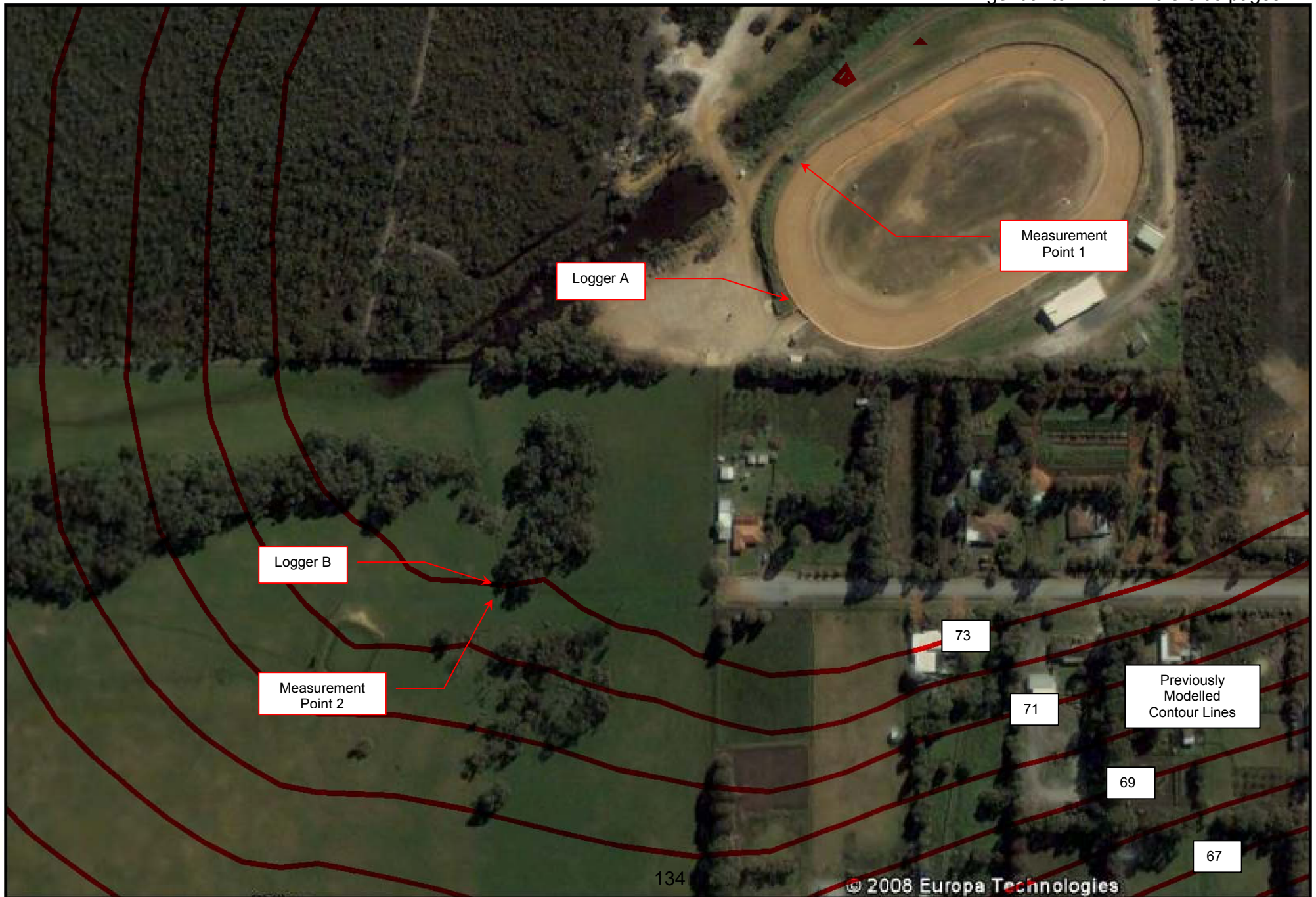
From the 1/3rd octave band hand held measurements recorded on site, the noise received from the Sprint Cars has been determined. From this data, draft building guidelines have been developed provide "deemed to comply" constructions. These draft design guidelines are attached in Appendix D.

Yours faithfully,
for **Herring Storer Acoustics**

Tim Reynolds

APPENDIX A

LOCALITY PLAN – MEASUREMENT / MONITORING LOCATIONS



APPENDIX B

NOISE MONITORING RESULTS

Figure B1 : LAeq Noise Level - Comparison of Logged Noise Levels

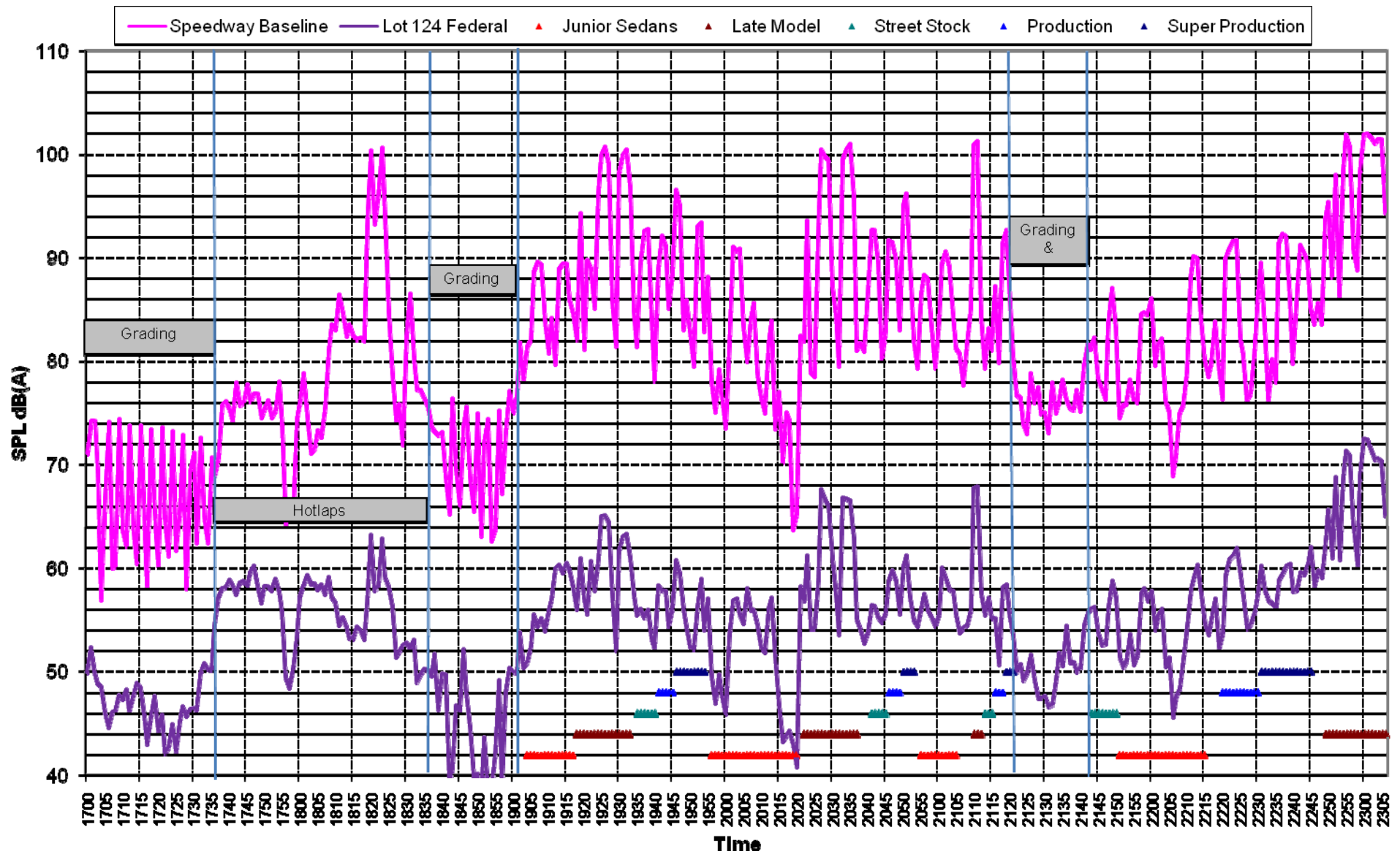
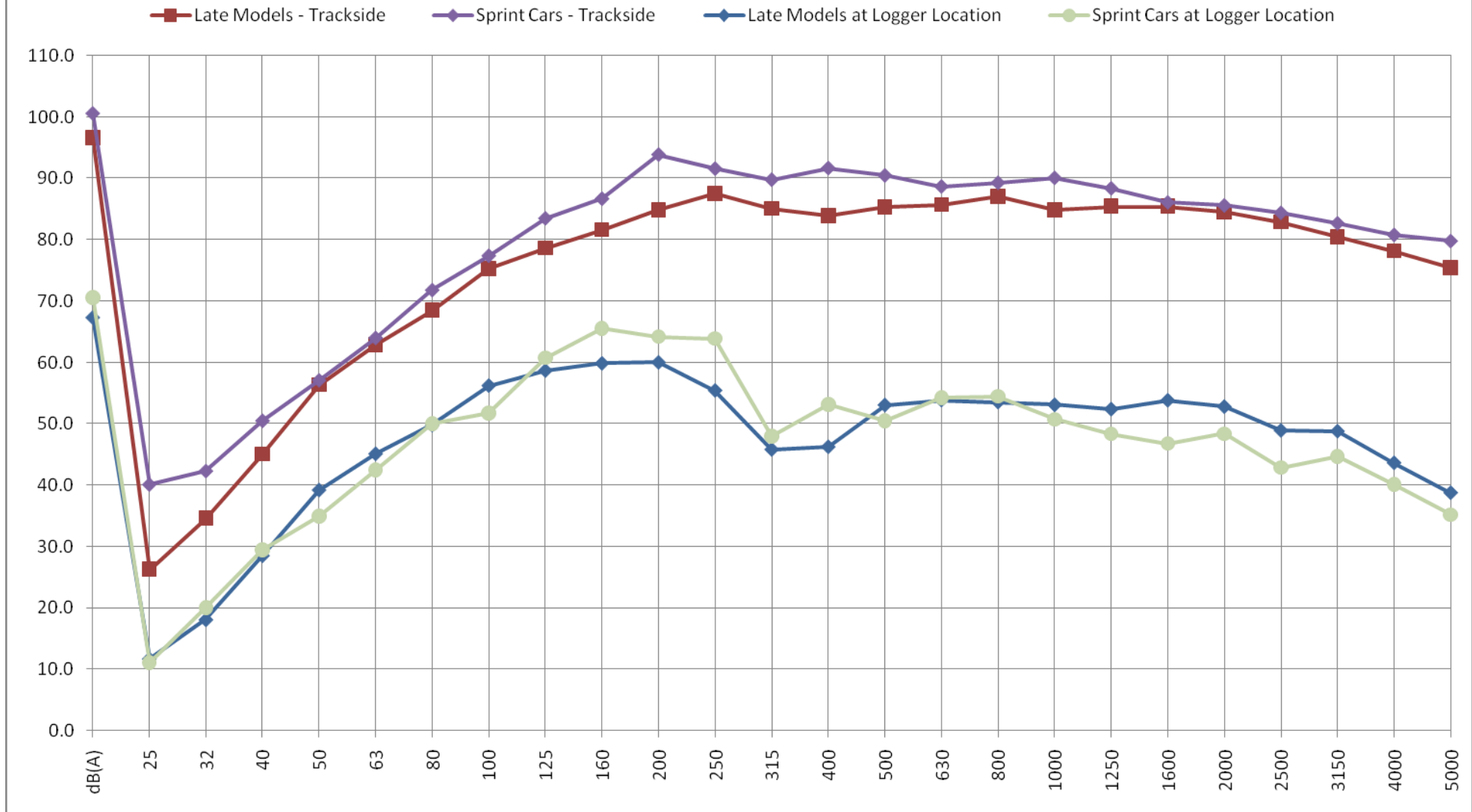
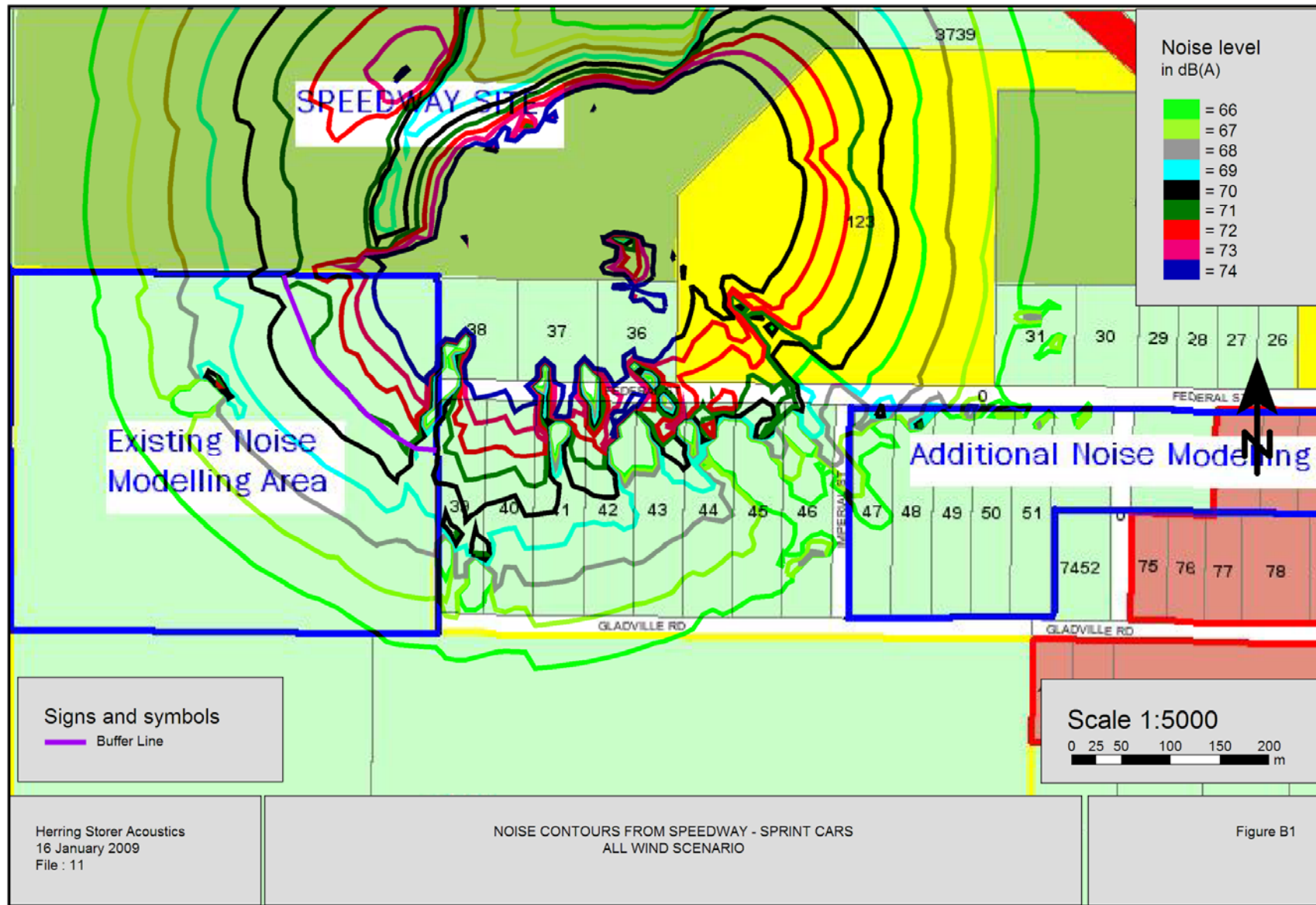


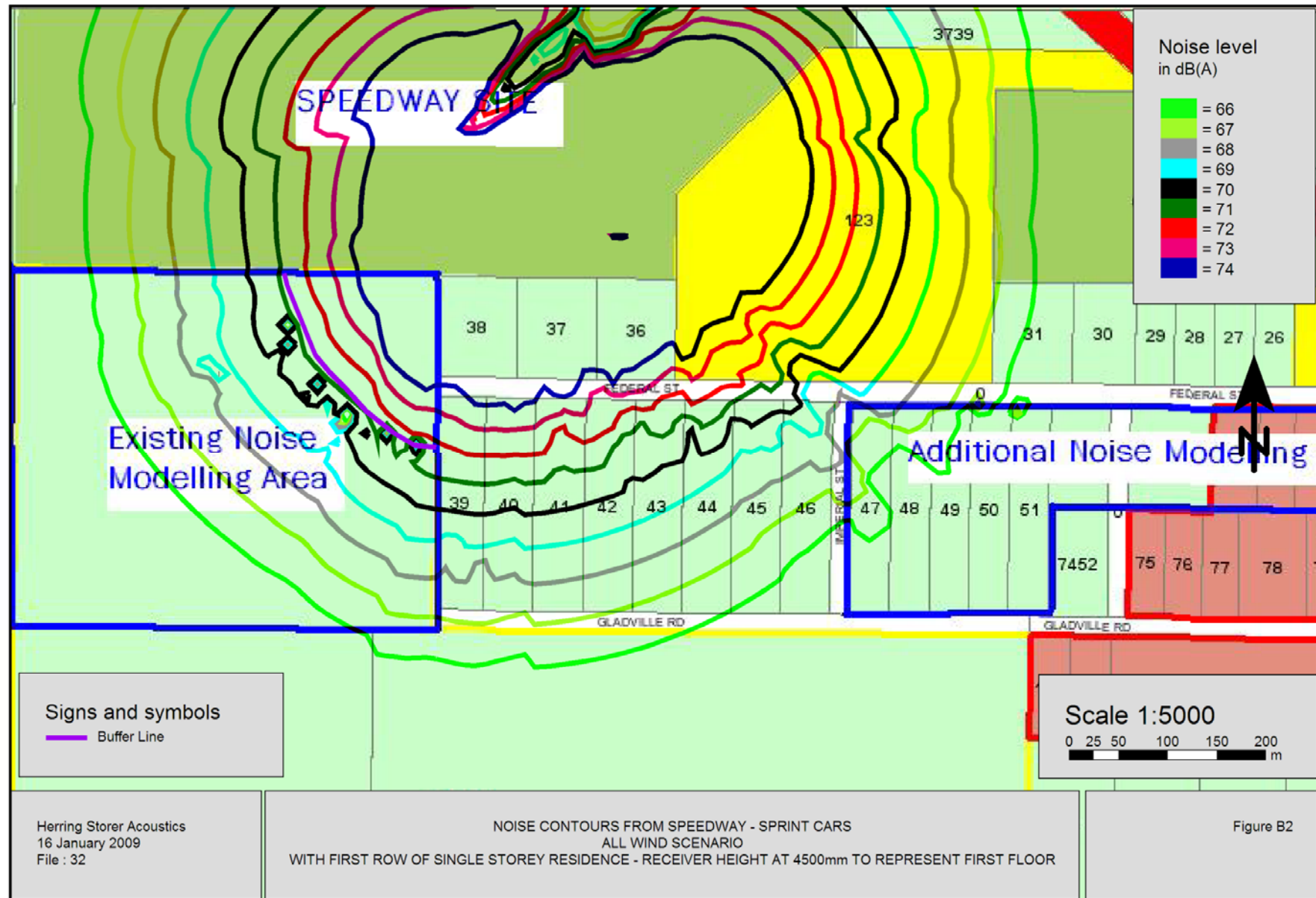
Figure B2 : Trackside vs Logger Location Noise Levels



APPENDIX C

NOISE MODELLING RESULTS





APPENDIX D

DRAFT DESIGN GUIDELINES

BUILDING GUIDELINES

For dwellings as shown on the attached locality plan shall be designed to meet the following internal noise levels :

- Common areas 55 dB(A)
- Living areas 45 dB(A)
- Sleeping areas 40 dB(A)

We note that the above noise levels are “maximum” L_{Aeq} recorded over a short period of time during a race.

(LOT 124) – FIRST ROW OF RESIDENCES AND FIRST FLOOR OF SECOND ROW WITHIN THE 71 dB(A) CONTOUR LINE

Dwellings should be designed such :

- Residences be orientated such that garages are located on the side facing the Speedway.
- For residences facing the speedway, entrance lobbies be incorporated in the design, such that they provide a buffer space between the entrance and the remainder of the residence.
- Bedrooms are located on the opposite side of the dwelling, away from the Speedway.
- Bedroom windows located on opposite side to speedway to be 6.38mm laminated glass.
- Bedrooms with windows located on the sides of the dwelling to either 6.5mm double laminated or 10.38mm laminated glass.
- Living spaces, Kitchens, Laundry and Bathrooms are to be located on the same side as the Speedway.
- Double brick or concrete construction.
- Glazing to be either 6.38mm or better laminated glass to living spaces facing or exposed to the speedway.
- Cantilevered sliding doors used on facades exposed to the speedway are acceptable, provided they have interlocking meeting stiles such as for the Capral 889. Double sliding doors with meeting stiles that butt together are not allowed.
- Eaves to be enclosed using 12mm thick compressed cement sheeting or equivalent.
- Roofs are to be colourbond with minimum 50mm anticon, with ceilings on the top floor to be minimum 2 layer 13mm thick fire rated plasterboard to bedrooms and walk in robes, and 1 layer 13mm thick fire rated plasterboard to all other spaces, and R3 insulation laid over the top.
- Recessed light fittings in bedroom ceilings to the top storey are to be acoustically rated.

- Installing the windows slightly forward in the reveal to allow a secondary sliding window to be installed or, select frames that allow for the installation of a second operable window to be installed within the frame, such as a Capral window frame or equivalent.

Dwellings within the “Quiet House” buffer zone would be deemed to comply if the above design guidelines are adhered to.

Alternative constructions are acceptable providing that they comply with the Quiet House Guidelines and are supported by an Acoustic Report by a qualified Acoustic Engineer stating that the design and construction of the dwellings adequately attenuates noise emissions from the Speedway provided it achieves compliance with the City of Albany’s “Speedway Noise Buffer Area policy”.

Notification of speedway noise levels and the Quiet House Design Guide will be placed on the Certificate of Title for the specific lots.

(LOT 124) – GROUND FLOOR OF SECOND ROW OF RESIDENCES AND OTHER RESIDENCES WITHIN THE 68 dB(A) CONTOUR LINE

Dwellings should be designed such :

- Double brick or concrete construction.
- Casement windows (with winders) in timber or commercial steel frames and compressible seals.
- Glazing to bedrooms facing or exposed to the speedway (i.e. side of dwelling) to be 6.38mm or better laminated glass.
- Glazing to bedroom on the opposite side to speedway to be 6mm float or better glazing.
- Glazing to living spaces facing the speedway to be 6mm or better float glass.
- Cantilevered sliding doors to facing or exposed to the speedway are acceptable, provided they had interlocking meeting stiles such as for the Capral 889. Double sliding doors with meeting stiles that butt together are not allowed.
- Eaves to be enclosed using 9mm thick compressed cement sheeting or equivalent.
- Roofs are to be colourbond with minimum 50mm anticon, with ceilings on the top floor to be minimum 2 layer 13mm thick plasterboard to bedrooms and walk in robes, and 1 layer 13mm thick plasterboard to all other spaces, and R3 insulation laid over the top.
- Recessed light fittings in bedroom ceilings to the top storey are to be acoustically rated.
- Installing the windows slightly forward in the reveal to allow a secondary sliding window to be installed or, select frames that allow for the installation of a second operable window to be installed within the frame, such as a Capral window frame or equivalent.

Dwellings within the “Quiet House” buffer zone would be deemed to comply if the above design guidelines are adhered to.

Alternative constructions are acceptable providing that they comply with the Quiet House Guidelines and are supported by an Acoustic Report by a qualified Acoustic Engineer stating that the design and construction of the dwellings adequately attenuates noise emissions from the Speedway provided it achieves compliance with the City of Albany’s “Speedway Noise Buffer Area policy”.

Notification of speedway noise levels and the “Quiet House” design guideline will be placed on the Certificate of Title for the specific lots.

LOTS ON FEDERAL STREET

For lots 47 to 51 the following guidelines are recommended:

- Residences to be located on southern portion of lot.
- Where possible, bedrooms are located on the opposite side of the dwelling away from the Speedway
- Laundry and Bathrooms are preferably located on the same side as the Speedway.
- Double brick or concrete construction.
- Casement windows (with winders) in timber or commercial steel frames and compressible seals.
- For bedrooms facing or exposed to the speedway, glazing to be minimum 6.38mm thick laminated glass.
- Roofs are to be colourbond with minimum 50mm anticon, with ceilings on the top floor to be minimum 1 layer 13mm thick plasterboard to bedrooms and walk in robes.
- Installing the windows slightly forward in the reveal to allow a secondary sliding window to be installed or select frames that allow for the installation of a second operable window to be installed within the frame, such as a Capral window frame or equivalent.

For remaining lots within the study area, located to east of lot 51 the following guidelines are recommended:

- Laundry and Bathrooms are preferably located on the same side as the Speedway.
- Double brick or concrete construction.
- For bedrooms facing or exposed to the speedway, glazing to be a minimum 6mm float glass.
- Roofs are to be colourbond with minimum 50mm anticon, with ceilings on the top floor to be minimum 1 layer 13mm thick fire-rated plasterboard to bedrooms and walk in robes.

- Installing the windows slightly forward in the reveal to allow a secondary sliding window to be installed or select frames that allow for the installation of a second operable window to be installed within the frame, such as a Capral window frame or equivalent.

For these lots additional noise reduction could be achieved by allowing the construction of shed/workshops on the northern proportion of the lot, with the residence built behind these structures. The residence would then receive the benefit of the barrier provided by these structures.

The above are considered “deemed-to-comply” requirements and an “Acoustic” report is only required if alternative constructions are proposed.

Alternative constructions are acceptable providing that they comply with the “Quiet House” design guidelines and are supported by an Acoustic Report by a qualified Acoustic Engineer stating that the design and construction of the dwellings adequately attenuates noise emissions from the Speedway provided it achieves compliance with the City of Albany’s “Speedway Noise Buffer Area Policy”.

Notification of speedway noise levels and the “Quiet House” design guidelines will be placed on the Certificate of Title for the specific lots.

APPENDIX D

EPA CHECKLIST



Attachment A3-2

Referral of a Scheme to the EPA and Environmental Checklist

REFERRAL OF
A SCHEME



Environmental Protection Authority

Referral of a Scheme to the Environmental Protection Authority

PURPOSE OF THIS GUIDE

Referral requirements are set out in the planning legislation relevant to the scheme*, and include a requirement that the EPA is given such written information about the scheme as is sufficient to enable the EPA to comply with section 48A of the *Environmental Protection Act 1986* i.e. to decide whether or not to assess the scheme.

The purpose of this guide is to help clarify referral requirements.

Whilst the EPA has some general information for each municipality, it often does not have local or site specific information. Under the relevant planning legislation, it is the role of the authority responsible for the scheme to provide sufficient information. The information that is likely to be sufficient in most instances is indicated in this guide. The EPA will advise if further information is required. Upon receiving sufficient information, the EPA must make a decision within 28 days on whether or not to assess the scheme.

A referral must contain:

- A copy of council's resolution to prepare or adopt the scheme. Referral upon adoption is preferred as more information is usually available at that time.
- Scheme documentation - a hard copy of the referral of the scheme (as defined under the *Environmental Protection Act 1986*), text and map/s, **together with** an electronic copy of the documentation (see Spatial Data for Environmental Impact Assessment attached), as follows:
 - a compact disc version of the scheme, or scheme amendment, in PDF (Portable Document Format) file format, contained in a soft clear plastic adhesive-backed envelope;
 - spatial data (GIS or CAD) on CD, depicting the scheme/amendment extent, geo-referenced and conforming to the following parameters:
 - Datum: GDA94;
 - Projection: Geographic (latitude/longitude) or Map Grid of Australia (MGA);
 - Format: Arcview shapefile, Arcinfo coverages, Microstation or AutoCAD.
- Sufficient information for the EPA to decide whether or not to assess the scheme. This will usually be a completed **Environmental Checklist** (see over), and, in cases where the scheme may have environmental implications, the following:
 - clear identification on a map of the location of the land to which the scheme applies
 - an outline development plan or subdivision guide plan, where appropriate
 - information on relevant items in the environmental checklist (see over)
 - when electronic documentation is not available, additional copies of the scheme documentation for the EPA Service Unit to forward to the Department of Environment and Conservation and other agencies for technical advice.

If the information submitted to the EPA is not sufficient for the EPA to decide whether or not to assess the scheme, the EPA may request additional information.

The EPA Service Unit's Planning and Infrastructure Branch can advise on referral requirements and issues of environmental significance. Liaison with the EPA Service Unit may be particularly helpful in the following instances - schemes raising potentially significant environmental issues, and whole-of-municipality town planning schemes. The Planning and Infrastructure Branch can be contacted by ringing 6364 6500 and asking for an environmental officer who deals with the region.

* In this form, the term **scheme** has the same meaning as in *Environmental Protection Act 1986*, and includes town planning schemes, regional planning schemes and their amendments.

	Yes	No	Unsure
5. Does the scheme allow for a land use that could require a buffer over adjoining land? that is, does it allow for uses that may affect adjoining land (including land that may be used for future residential use) due to gases, noise, vibration, odours, light?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
If yes, please identify land use/s, and off-site areas that may be affected:			
<hr/>			
What is the distance to the nearest residences?			
6. Would the scheme allow a residential area or sensitive land use (e.g. school) to be located in an area likely to be affected by emissions (e.g. gases, noise, odour) from industry, agriculture or infrastructure (e.g. landfill site)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
If yes, please identify:			
<hr/>			
7. Does the scheme apply to a site that has been used for a past land use which may have contaminated the soil or groundwater, for example, market garden, industrial use, fill?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
If yes, please identify:			
<hr/>			
8. Does the scheme apply to any land with a high watertable?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
C. Social surroundings			
9. Does the scheme raise any issues known to be of concern to the public?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
If yes, is the concern to the public related to an environmental issue?			
Please specify the environmental issue(s) of concern			
<hr/>			
10. Is the scheme likely to raise heritage or cultural issues due to impacts on the biophysical environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
If yes, please identify			
<hr/>			
11. Does the scheme apply to areas of land where there are existing or potential land uses associated with high levels of risk, for example, a high pressure gas pipe line, heavy industry	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
If yes, please identify:			
<hr/>			
D. Additional information			
<ul style="list-style-type: none"> • If all answers to the questions above are 'no', no other environmental information is required to accompany this checklist. • If answers include 'yes' or 'unsure', please provide information for those items on: <ul style="list-style-type: none"> o the existing environment o potential environmental impacts and their magnitude/significance o how the impacts will be managed to ensure a good environmental outcome. 			
The EPA will review the checklist and information submitted and if not sufficient for the EPA to decide whether or not to assess the scheme, the EPA may request additional information.			
Name of person completing form: _____ Date: _____			
Position: _____ Contact _____ Phone/Email: _____			

CITY OF ALBANY
Activity Centres Planning Strategy

STRATEGY MAP

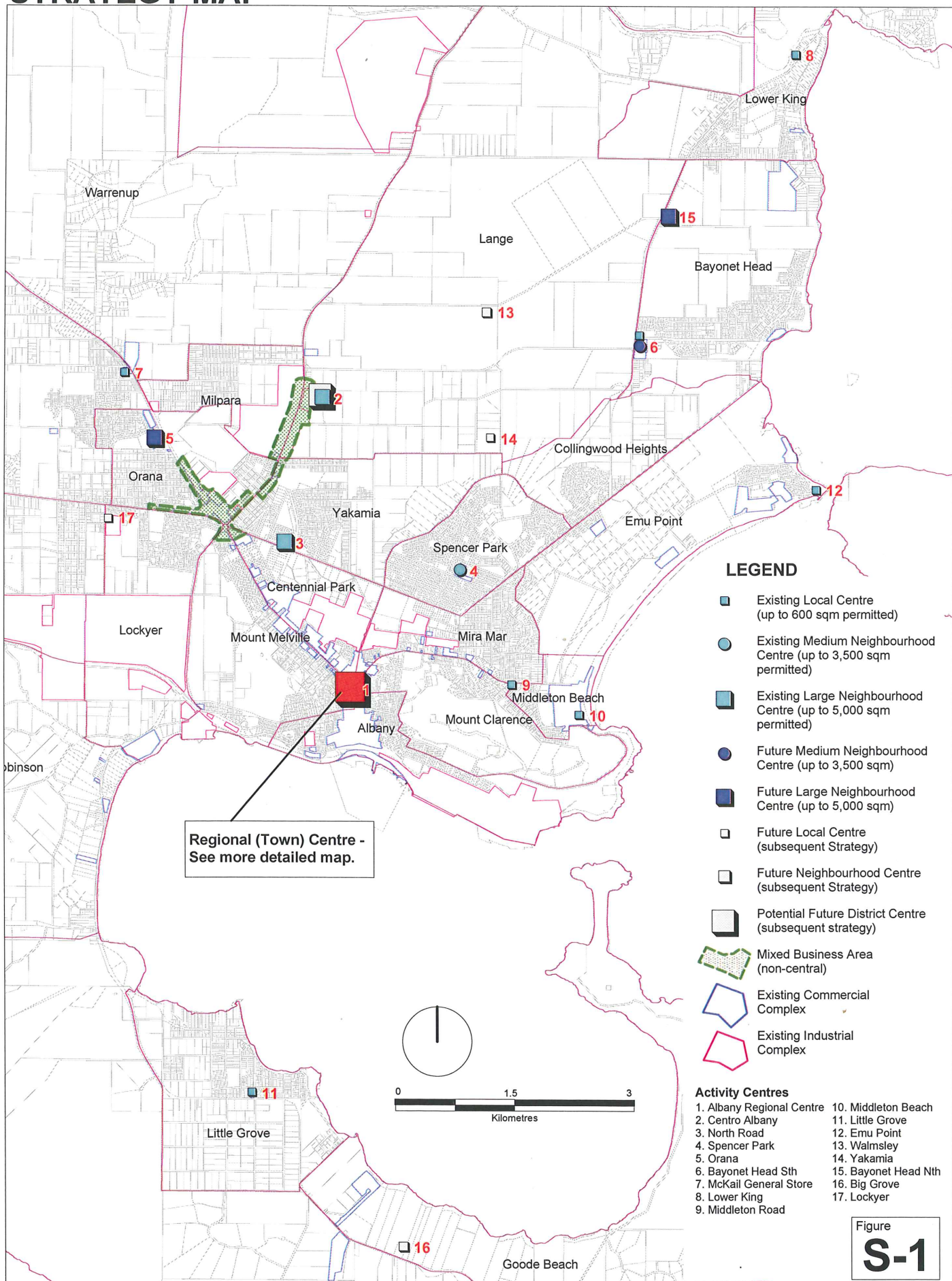
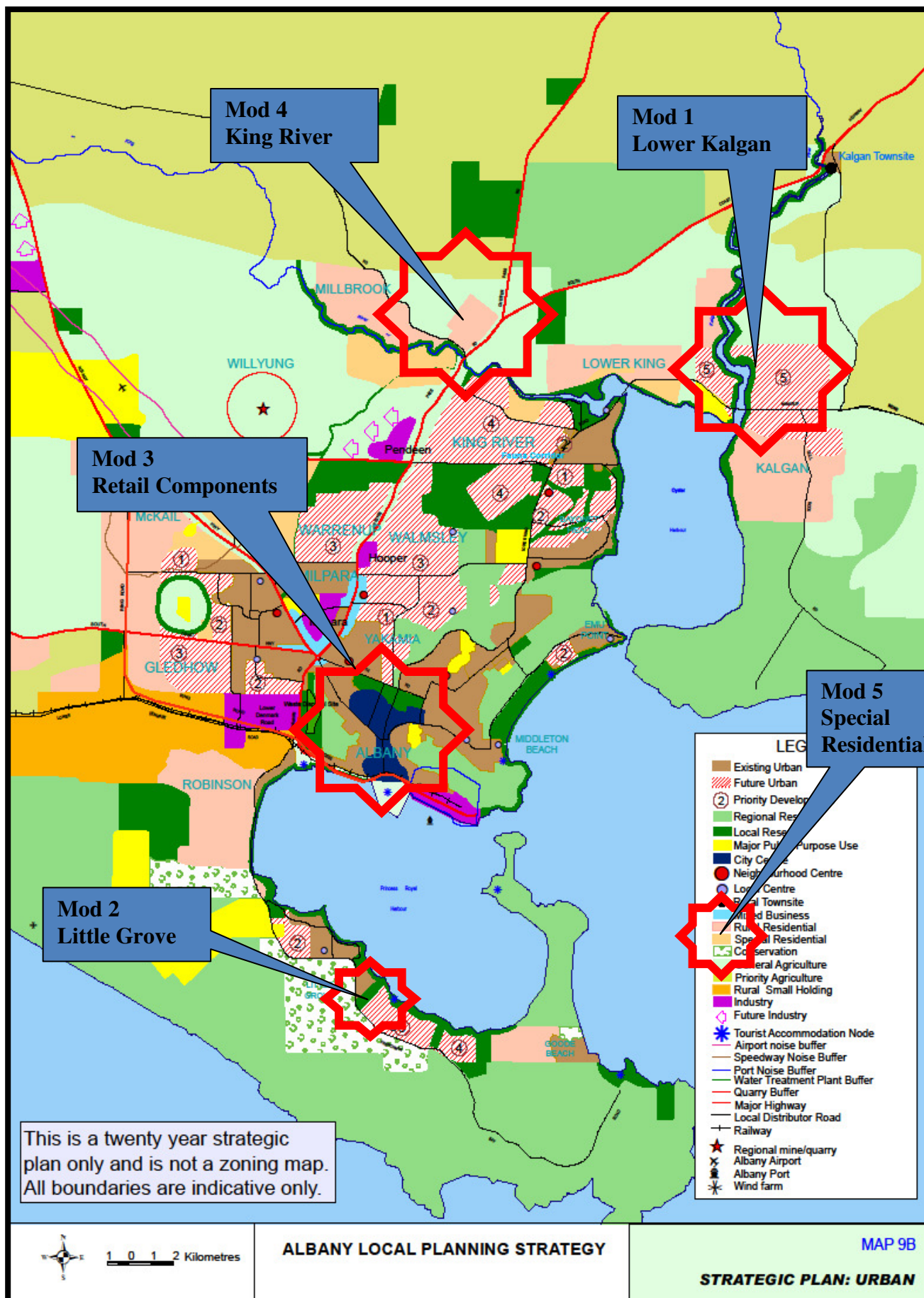


Figure
S-1



s/plo2

**Bulletin Item 1.1.8-
Agenda Item 13.22 refers 108 pages**



WESTERN AUSTRALIA

Your Ref: STR078/LT8030577
Our Ref: D10/2151
Tourism WA File: IPD/1106

2 Mill Street
PERTH WA 6000
GPO Box X2261
PERTH WA 6847
Telephone +61 8 9262 1700
Facsimile +61 8 9262 1702
info@tourism.wa.gov.au
tourism.wa.gov.au

Chief Executive Officer
City of Albany
Attention of: Adrian Nicoli
PO Box 484
ALBANY WA 6330

Dear Adrian

DRAFT ALBANY LOCAL PLANNING STRATEGY (RE-ADVERTISING)

Thank you for your letter dated 15 December 2009 referring the re-advertised Local Planning Strategy to Tourism Western Australia (Tourism WA) for comment.

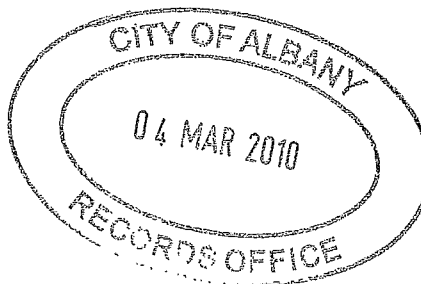
Tourism WA has no comments to make at this stage.

Please do not hesitate to contact Emma-Lee Groser on 9262 1923 should you wish to discuss any matters further.

Yours sincerely

JAMES HEWITT
Director Infrastructure and Investment

25 February 2010





Government of Western Australia
Department of Transport

Bulletin Item 1.1.8-

Agenda Item 13.2.2 refers 108 pages

City of Albany Records
CR009274

File: STR078

Date: 05 MAR 2010

Officer: SPLO2

Attach:

Your ref: STR078 / LT8030577
Enquiries: Robert Campbell (08 9264 7913)

City of Albany
c/o CEO
PO Box 484
ALBANY 6330
WA

Dear Sir/Madam

Attention: Adrian Nicoll

Re: Draft Albany Local Planning Strategy

Thank you for your letter of 15 December, 2009 regarding the re-advertising of the Draft Albany Local Planning Strategy.

The revisions have been considered and the Department has no issues to raise at this time.

Thank you for the opportunity to comment.

Yours sincerely

John Fischer
Executive Director, Transport Industry Policy

113/2010



**Bulletin Item 1.1.8-
Agenda Item 13.2.2 refers 108 pages**

Adrian Nicoll

From: Lynn Walker [lynn.walker@westernpower.com.au] on behalf of Works Admin General [works.admin.general@westernpower.com.au]
Sent: Wednesday, 30 December 2009 7:57 AM
To: Adrian Nicoll
Subject: Ref ICR8094343, STR078 - Proposed Draft for Albany Local Planning Strategy



Locked Bag 2520, Perth WA 6001 | T: 13 10 87 | F: (08) 9225 2073 | E: works.admin.general@westernpower.com.au

To:	Adrian Nicoll	From:	Lynn Walker
Organisation:	City of Albany	Section:	Connections
Email / Fax:	adriann@albany.wa.gov.au		
Ref:	ICR8094343, STR078		
Date:	30/12/2009		

Re: Proposed Draft for Albany Local Planning Strategy

Dear Adrian,

To the best of my knowledge, we have no objections, but Western Power wishes to advise the following, in respect to any future development on the above-mentioned project.

Working in proximity to Western Power Distribution and Transmission Lines

All work must comply with Worksafe Regulation 3.64 - Guidelines for Work in the Vicinity of Overhead Power Lines. If any work is to breach the minimum safe working distances a Request to Work Near Underground and Overhead Power Lines form must be submitted. For more information on this please visit the Western Power Website:

<http://www.westernpower.com.au/mainContent/workingWithPower/WorkingAroundPowerLines/ProtectingWorkersAroundPowerLines.html>

Please note:

- A) Perth One Call Service (Freecall 1100 or visit dialbeforeyoudig.com.au) must be contacted and location details (of Western Power underground cabling) obtained prior to any excavation commencing.
- B) Work Safe requirements must also be observed when excavation work is being undertaken in the vicinity of any Western Power assets.

Western Power is obliged to point out that any change to the existing(power) system, if required, is the responsibility of the individual developer.

Regards,
Lynn Walker
Network Services Officer
Western Power - 363 Wellington Street Perth WA 6000 [[map](#)]

Please consider the environment before you print this e-mail.



Department of Agriculture and Food
Government of Western Australia

Bulletin Item 13.1.8



Agenda Item 13.2.2 refers 108 pages

City of Albany Records

Doc No: ICR8097203

File: STR078

Date: 03 FEB 2010

Officer: SPLO2

Attach:

Chief Executive Officer
City of Albany
PO Box 484
ALBANY WA 6331

Your Ref: STR078 / LT8030577
Our Ref: 50-0056
Enquiries: Shanhun
Date: 2 February 2010

Dear Sir/Madam

RE-ADVERTISING OF DRAFT ALBANY LOCAL PLANNING STRATEGY

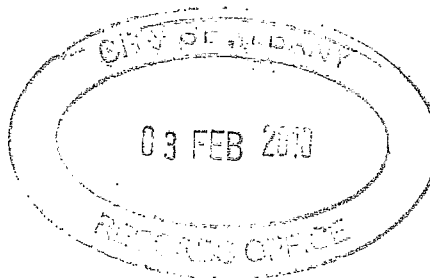
I refer to correspondence dated 15 December 2009 from the City of Albany, seeking comment in relation to modifications made to the draft Albany Local Planning Strategy.

Having reviewed modified components to the draft ALPS from information supplied, including the CD accompanying the correspondence, I confirm acceptance of modifications as presented.

Thanks for the opportunity to review information and make comment.

Yours faithfully

Kevin Shanhun



Postal Address: 444 Albany Highway, ALBANY WA 6330 –Telephone: (08) 9892 8425
Facsimile: (08) 9841 2707- E-Mail: kevin.shanhun@agric.wa.gov.au



Your ref :
Our ref : D10/0062993
Enquiries :

STRO78
SPL02

Mr Adrian Nicoll
Strategic Planning Officer
City of Albany
PO Box 484
ALBANY WA 6331

Dear Mr Nicoll

RE-ADVERTISING OF DRAFT ALBANY LOCAL PLANNING STRATEGY

Thank you for your letter dated 15 December 2009 and the opportunity to comment on the Re-Advertising of the draft Albany Local Planning Strategy.

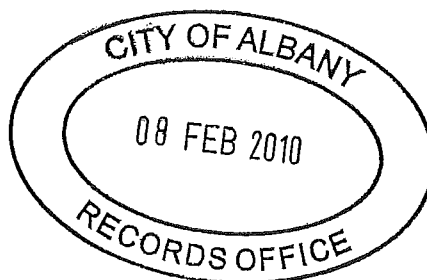
The Department of Education and Training has reviewed the document and assessed the strategic plan indicating future growth for the Albany district. From the information contained within the draft document the Department of Education has adequate school sites identified to accommodate the potential student yield from future residential development.

This Department has no objections to the draft planning strategy and would like to discuss the strategy and its implications for school site planning with the City. We will contact you to arrange a suitable time for a meeting.

Yours sincerely

RICHARD BLOOR
PRINCIPAL CONSULTANT
ASSET AND ADMINISTRATIVE SERVICES

4 February 2010





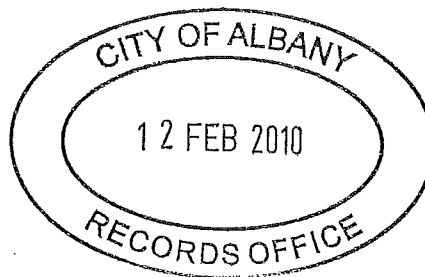
GREAT SOUTHERN
DEVELOPMENT COMMISSION

City of Albany Records
Doc No: ICR8097832
File: STR078
Date: 15 FEB 2010
Officer: SPLO2
Attach:

Your ref: STR078 / LT8030937
Our ref: U1:0010

10 February 2010

Mr Paul Richards
Chief Executive Officer
City of Albany
PO Box 484
Albany, WA 6330



Dear Paul

RE-ADVERTISING OF DRAFT ALBANY LOCAL PLANNING STRATEGY

Thank you for the invitation to provide comment on the proposed modifications to the draft Albany Local Planning Strategy (ALPS) as outlined in Mr Adrian Nicoll's letter of 22 December 2009.

The Great Southern Development Commission (GSDC) notes the modified components and that the City of Albany will be seeking final endorsement of the ALPS from the Western Australia Planning Commission in due course.

GSDC understands that the ALPS is a high level strategic planning document and that the community will have additional opportunities to provide input during its implementation.

Yours faithfully

BRUCE MANNING
CHIEF EXECUTIVE OFFICER

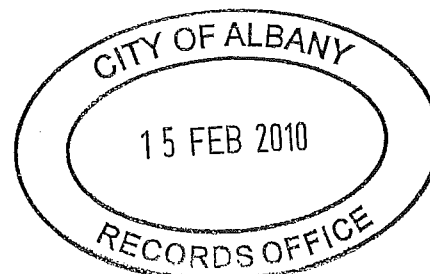




STR078
SPL02

Your ref: STR078/LT8030577
Our ref: SC 80-2
Enquiries: Chris Gunby

Chief Executive Officer
City of Albany
PO Box 484
Albany WA 6330



Attention: Adrian Nicholl

Dear Sir,

Re-Advertising of Draft Albany Local Planning Strategy

I refer to your letter requesting comment on proposed modifications to the draft Albany Local Planning Strategy (ALPS). As discussed on the telephone with Mr Adrian Nicholls, the City would appreciate comments on the proposed modifications and on any minor corrections or alterations to the draft document, but would be expecting to be undertaking a more major review of the document when it is finally endorsed through its lengthy approvals process. As such significant revisions are not expected at this stage. The comments made below are provided within this context.

The Department of Water (DoW) and its predecessor the Department of Environment (DoE) have previously made comment on the draft ALPS, in Dec 2006, Dec 2005 and June 2001.

A. Comments on modifications

- 1. Land adjacent to Kalgan river.

The modifications include rezoning of land in close proximity to the Kalgan river as Future Urban. Part of this proposed rezoning – to the west of the Kalgan river - would be a concern to the DoW given it is low lying and subject to inundation. As low lying land in close proximity to the river and Oyster Harbour, the land is also likely to be affected by sea level change. The characteristics of the land would make retention of drainage impractical.

The land to the west of the Kalgan river is shown to be adjacent to a Special Residential area to the north (Lots 17-22 & 27-30 Mead Rd). This land has already been subject to a subdivision outline plan, which overlaps with the new proposed Future Urban area to the south. The Special Rural subdivision plan showed the area to the south as having poor land capability for effluent disposal and development.

South Coast Region
5 Bevan Street Albany Western Australia 6330
PO Box 525 Albany Western Australia 6331
Telephone (08) 9842 5760 Facsimile (08) 9842 1204
www.water.wa.gov.au
wa.gov.au

**Bulletin Item 1.1.8-
Agenda Item 13.2.2 refers 108 pages**

It is recommended that the land Future Urban area be modified to exclude the area to the west of the Kalgan river. Alternately, the area should be modified to exclude the low lying land (below 5m contour) with the low capability for development.

2. Details for other Future Urban areas

The other proposed modifications include areas in the Little Grove and Big Grove areas, which would have significant impacts on the foreshore areas of Princess Royal Harbour. The specific areas for development and Public Open Space or Foreshore Reserve would presumably be determined at a later date through the preparation of structure or precinct plans. Such plans are strongly supported as a means of better determining the proposed developments and in managing their impacts.

B. Other comments

3. Details on proposed Future Urban areas

The ALPS contains many sites that are shown as Future Urban areas, that were previously zoned Rural or other less intensive uses and which have potentially significant environmental values. The broad schematic nature of the ALPS document does not enable a detailed assessment of each new Future Urban area, in terms of its environmental impacts and suitability, or appropriate boundaries for development. Vegetation, surface and ground water characteristics, soil type, landform and elevation are not mapped at levels that can demonstrate the proposed Future Urban areas may or may not have significant environmental impacts.

Given the lack of individual site assessment for Future Urban areas, due to the broad brush nature of the ALPS, it is recommended that the ALPS document explain that Future Urban areas are schematic only, and that a Scheme Amendment and environmental assessment process would need to be prepared to verify the suitability of the site for any development, and establish an appropriate scale and location of development that considers and maintains a sites environmental values.

This point is relevant for all sites, but as an example the Bayonet Head area shows Future Urban areas on sites presently subject to a formal Environmental Assessment process given its vegetation and wetland values. Other Future Urban areas cover wetland areas in the Mercer Road/Lange area, and other areas covered in native vegetation.

4. Rural small holdings

The strategic plan (map 9B) shows Rural Small holdings on land formally zoned rural within the P2 area of the Albany groundwater reserve. The intensification of land use within P2 areas would not normally be supported by the DoW. It is recognised that in this particular case the Rural Small holdings effectively exist and the land has already been subdivided into such uses. As such the DoW would not object to this zoning, but would require the provisions for this zone to

**Bulletin Item 1.1.8-
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include the need to safeguard the water reserve and that future land uses would need to be consistent with water quality protection. Further intensification would not be supported, particularly within the wellhead protection zones that exist overlapping this proposed zoning. It is recommended that they be referred to in the ALPS text or diagrams.

5. Maps

The mapping of water resources is inaccurate. Map 4 shows Marbellup Groundwater Reserve. This area is in fact a surface water catchment. It is suggested that Map 4 be altered, and for ease of reference be amended to include only surface and groundwater sources (not catchment areas). Marbellup Brook could be shown as a surface water catchment, along with the Denmark river, Limeburners Creek, and Angove river. The South Coast groundwater reserve can be shown as a groundwater area. It is recommended that the Kent river be excluded given it is not likely to be a water source for Albany.

Map 5A could also be amended to take out the Kent river catchment.

Map 5B shows incorrect details of the South Coast water reserve and priority areas. The boundaries for the priority areas is not correct. The DoW can provide more accurate maps showing these boundaries.

6. Comments on ALPS text

Page 35. Fourth Action. The DoW should not be listed as the lead agency with regard to advising on sea level and building heights. The DoW's role in relation to flood mapping is with regards to river floodplain mapping.

Page 51. Second last paragraph. The DoW (not the DEC) manages the allocation of groundwater and has programs to reduce nutrient levels for the Albany harbours. Both references to DEC in this paragraph should be changed to DoW.

Page 52. DoW to be added to second action on this page.

Page 53. Can ALPS specify the floodplains to be mapped? This is not clear.

Page 54. DEC should be included in first and third action.

Page 55. DoW to be added to last action

Page 56. Add DoW to action on this page. Last paragraph: The rivercare program is through the DoW, not DEC.

Page 57. Add DoW to third action.

Page 83. Lower Denmark Rd Industrial area has very significant environmental issues – being drained by the most polluted watercourse in the South Coast region. The development of this area will need to be conditional on sewerage connection. This issue is commented on in the text but not referred to in the actions, and it is recommended that it is mentioned in the action given its environmental importance.

**Bulletin Item 1.1.8-
Agenda Item 13.2.2 refers 108 pages**

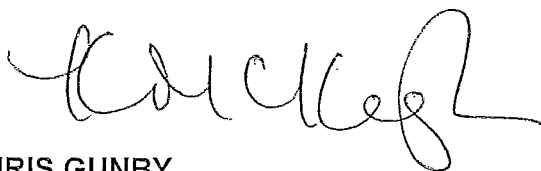
Page 90. It is recommended that an action be included to restrict the use of Tourism zoned sites for non-tourist use, eg residential. The use of such sites for residential development places additional pressure on waterway foreshore location sites elsewhere.

Page 96. Second action refers to '...within water table source catchments...'. The term 'table' should be omitted. DoW should be added to the first action in relation to intensive animal keeping.

I would repeat that the comments made above are in response to a request for comments on the proposed modifications, combined with any minor corrections. Officers from this agency would be able to work with you and assist you with the suggestions made.

Please contact Chris Gunby or Karen McKeough if you require any further information.

Yours sincerely



fw
**CHRIS GUNBY
ACTING REGIONAL MANAGER
SOUTH COAST REGION**

10 February 2010

Cc: John Watson, DEC Albany, 120 Albany Highway ALBANY WA 6330
Alice O'Connor, EPA, Locked Bag 33 Cloisters Square, PERTH WA 6850

**Bulletin Item 1.1.8-
Agenda Item 13.2.2 refers 108 pages**

Adrian Nicoll

From: Pemberton, Chris [CPemberton@wng.com.au]
Sent: Thursday, 25 February 2010 3:00 PM
To: Adrian Nicoll
Subject: EF8098837 - STR078 - Draft Albany Local Plannign Strategy
Attachments: redirect Albany2.pdf; 2010 02 25 reponse.pdf

SynergySoft: EF8098837

Hi Adrian,

Attached is our response to your proposed Albany Local Planning Strategy.

Chris Pemberton
Land Management Coordinator

WestNetEnergy

Level 6, 12-14 The Esplanade, Perth WA 6000
Telephone: (08) 6213 7163 | Facsimile: (08) 6213 7075 | Mobile: 0429 270 124
www.wng.com.au

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This email has been scanned by the MessageLabs Email Security System.

**Bulletin Item 1.1.8-
Agenda Item 13.2.2 refers 108 pages**



Your Ref: STR078 / LT8030937
Our Ref: LM 10098
Contact: Chris Pemberton
Telephone: 08 6213 7163

25 February 2010

CEO
City of Albany
C/o E-mail : adriann@albany.wa.gov.au

RE : DRAFT ALBANY LOCAL PLANNING STRATEGY

Thankyou for your recent letter regarding the above mentioned planning strategy.

WA Gas Networks (WAGN) is the owner of the reticulated LPG network that supplies gas to customers throughout the Albany area. WestNet Energy provides asset management, construction and maintenance services to WAGN.

We wish to advise that WestNet Energy, on behalf of WA Gas Networks, has no objection to the proposed planning strategy. For your records, attached is a plan showing the extent of our gas network.

Should you have any queries regarding the information above, I can be contacted on 6213 7163 or cpemberton@wng.com.au .

Yours sincerely,

A handwritten signature in black ink, appearing to read 'Chris Pemberton'.

Chris Pemberton
Land Management Coordinator



Government of Western Australia
Department of Mines and Petroleum

Your ref: STR078/LT8030577
Our ref: A0877/200601
Enquiries: Warren Ormsby - Ph 08 9222 3571 Fax 9222 3633
Email: warren.ormsby@dmp.wa.gov.au

Chief Executive Officer
City of Albany
PO Box 484
ALBANY WA 6331

Dear Sir/Madam

RE-ADVERTISING OF DRAFT ALBANY LOCAL PLANNING STRATEGY

Thank you for your letter dated 15 December 2009 seeking comment on the above.

The Department of Mines and Petroleum supports in principle the stated planning objective and actions related to the Mineral Resources and Basic Raw Materials part of the Strategy (Section 5.3.4, page 86). Furthermore, we commend the acknowledgement that land-use planning plays an important role in protecting existing and potential mining operations. However, there are a number of potential land-use conflicts between proposed zoning changes in this Strategy (shown on map 9B) and existing areas of Basic Raw Material (BRM) extraction. Two proposed Rural Residential zoning areas are of particular concern: the King River Region and the Robinson Region. The attached maps show extracts of the Geological Survey of Western Australia's 'Environmental Geology' mapping in the Albany region overlain on a shaded relief background to highlight topography. This mapping shows the geological extent of BRM and current extractive industry licences.

The clustering of extractive industry licences in both the King River and Robinson regions indicates the juxtaposition of a number of factors that are needed to establish these types of operations, including: the availability and suitability of the BRM, proximity to suitable transport routes and markets, and the willingness of a number of neighbouring landowners to allow or conduct their own extraction operations. Geological mapping suggests that there are sufficient potential supplies of gravel in the King River region and sand and limestone in the Robinson region for these areas to be considered significant in a regional context.

Rural residential development could be considered to be a sensitive land use under the Environmental Protection Authority's guidance statement no. 3 on separation distances between industrial and sensitive land uses. The guidance separation distance is between 300 and 500 m. Clearly, rural residential development within the King River and Robinson Rural Residential areas has the potential to raise noise, dust and heavy vehicle traffic issues with future

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residents from the surrounding current and future extraction activities. We are particularly concerned that Rural Residential development could curtail or even prevent future extraction of BRM from part or all the King River and Robinson areas. For this reason, we request that the Strategy addresses these potential issues in a similar manner to that required under the Western Australian Planning Commissions Statement of Planning Policy No. 2.4 (SPP 2.4). Strategic objective 2 of the Albany Regional strategy for Basic Raw Materials is particularly relevant, wherein it aims to provide for the continuation of existing important extractive operations. If constraints on the expansion of rural residential areas are such that these areas must be developed, then both SPP 2.4 and the Albany Regional Strategy advocate sequential development where BRM extraction is actively promoted ahead of staged development.

Finally, we are concerned that the second stated action requiring the preparation and implementation of management plans for 'new mining and basic raw materials proposals' (page 86) may imply that the City of Albany is responsible for mining proposals that are administered by this department under the *Mining Act 1978*. There are strong provisions within the Mining Act relating to the rehabilitation of mine sites. Under Section 120 of the *Mining Act 1978*, whilst town planning schemes and local laws are to be considered, they do not derogate from the Mining Act. Therefore, planning schemes cannot prohibit or affect the granting of mining tenements or the carrying out of any mining operation authorised by the Mining Act. To comply with Section 120 and to avoid community misconceptions, DMP strongly recommends that the term 'new mining and basic raw materials proposals' be replaced with 'extractive industry proposals' in the second action listed on page 87. Note that BRM proposals on Crown land are covered by the Mining Act. Only the extraction of BRM on private land is administered by local council.

If you have any queries, please contact Warren Ormsby (ph 9222 3571) who will be pleased to provide further information.

Yours sincerely



Rick Rogerson
ACTING EXECUTIVE DIRECTOR
GEOLOGICAL SURVEY WESTERN AUSTRALIA

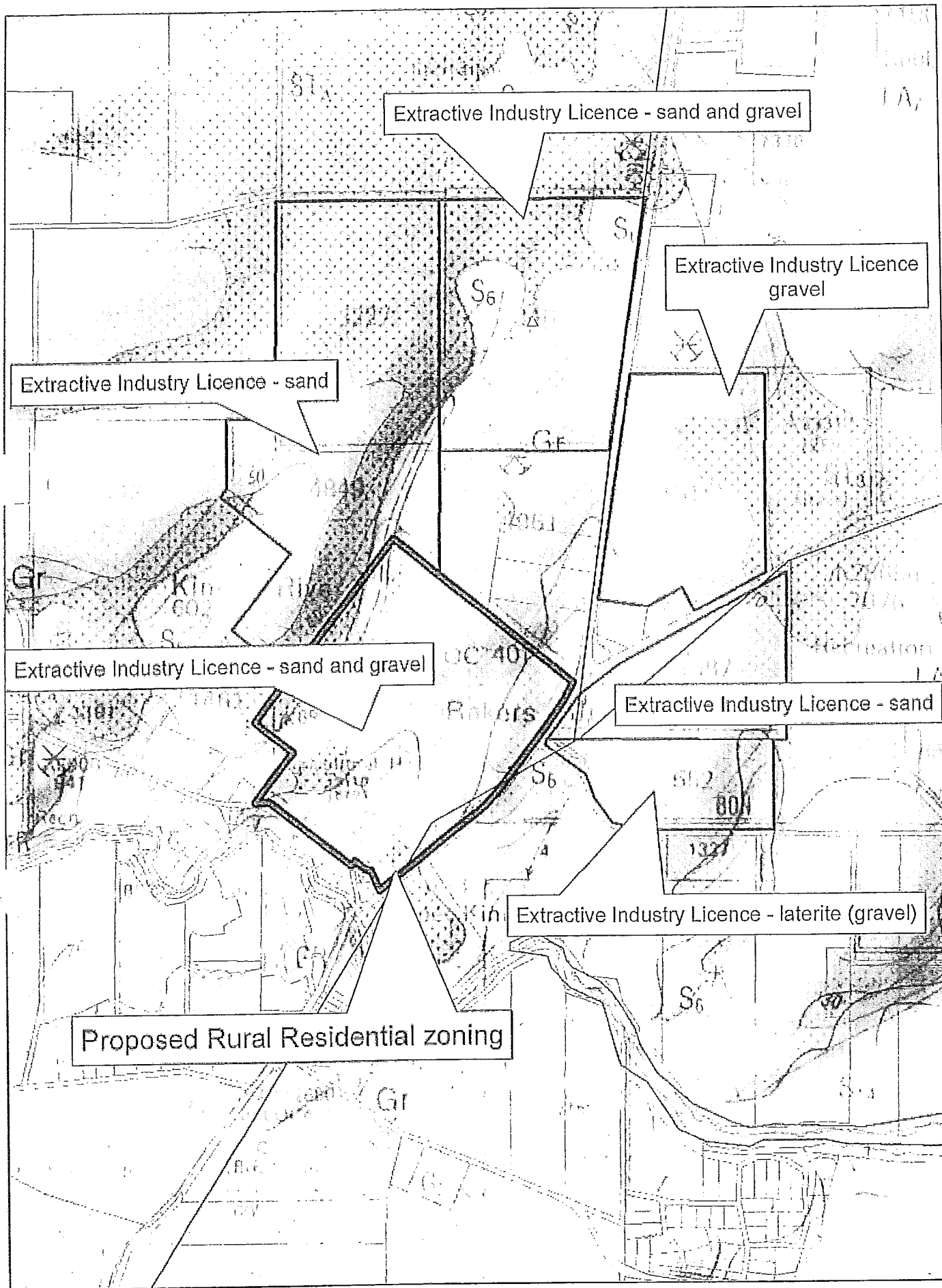
2 March 2010

002238.warren.ormsby.docx - Perth

Release Classification: - For Public Release

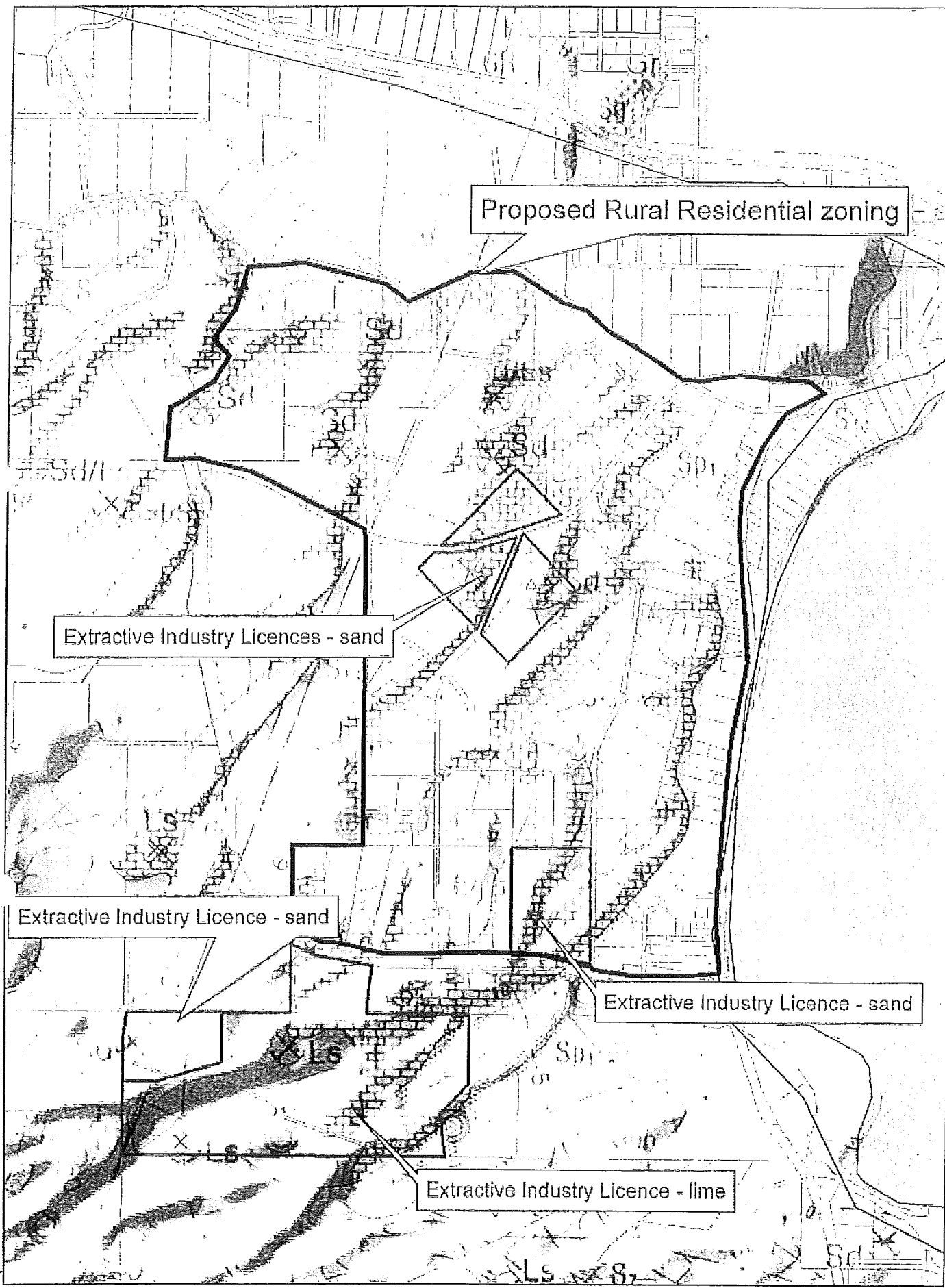
Encl

**Bulletin Item 1.1.8-
Agenda Item 13.2.2 refers 108 pages**



Brown areas have gravel potential
Yellow areas have sand potential

King River region



Blue areas represent sand overlying limestone
Robinson region

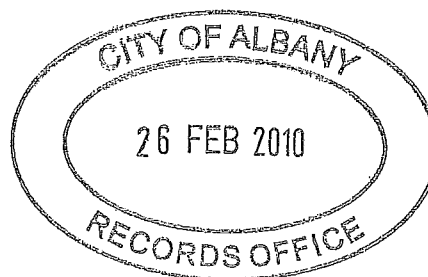
STRO
SPCOA



Government of Western Australia
Department of Environment and Conservation

Your ref:
Our ref: 272.1
Enquiries: John Watson
Phone: (08) 9842 4500
Fax: (08) 9841 7105
Email: John.Watson@dec.wa.gov.au

Adrian Nicholl
Strategic Planner
City of Albany
PO Box 484
ALBANY WA 6331



Dear Sir

PROPOSED MODIFICATIONS TO THE DRAFT ALBANY LOCAL PLANNING STRATEGY

Thank you for the opportunity to comment on the November 2009 draft Albany Local Planning Strategy (ALPS). It is difficult for the Department of Environment and Conservation (DEC) to review the draft at a detailed locality level due to the broad scale of the maps and other figures. Nevertheless, the following comments are provided for your consideration.

General Comments

It is pleasing to see strong recognition of Albany's natural environment and its outstanding biodiversity in the opening paragraphs of the Executive Summary. These attributes include the urban and peri-urban areas of the city including a number of significant reserves such as the Albany mounts and wetlands like Lake Seppings. There is also significant occurrence of native vegetation remaining within the city's private and public lands and hence the 'action' to *'Utilise cleared land wherever possible in new urban developments and develop incentives for retaining remnant native vegetation in subdivisions'* is strongly endorsed.

Elsewhere (Section 3.1) it is acknowledged that *'all life has intrinsic value and is interconnected. Biodiversity and ecological integrity are part of irreplaceable life support systems upon which the earth depends'*. It is also stated that *'All development... should strive to provide net environmental ...benefit for future generations.'* These are important sentiments that are also strongly endorsed by DEC.

On page 40 there is a misleading statement that native vegetation may be cleared without a DEC permit for various purposes. Contrary to this statement, a permit to clear any native vegetation is required unless the clearing is undertaken under Schedule 6 of the Environmental Protection Act 1986 or it clearly qualifies as an exemption as defined in the *Environmental Protection (Clearing of Native Vegetation) Regulations 2004* regulations. Areas less than one hectare are not an automatic exemption as stated in the current draft ALPS text.

Likewise in the table of associated actions (page 41) the third entry states that the City of Albany should be 'guided by the *Environmental Protection (Clearing of Native Vegetation) Regulations 2004* in creating the LPS1.' These regulations are mandatory and hence 'Should be' needs to be replaced by 'Follow'. There is also a typographic error in this statement – 'Vegetations' should be singular, not plural.

Bulletin Item 1.1.8- Agenda Item 13.2.2 refers 108 pages

There is a minor error in Section 5.4 on page 87. The correct name is 'Fitzgerald River National Park'.

Section 5.2.2 Farm Forestry fails to recognize the new challenges arising from carbon sequestration plantations. These generally involve a commitment to avoid harvesting until periods of up to 70 years from planting have elapsed. This style of forestry therefore becomes a permanent change of land use within the scale of human lifetimes. Whilst there may often be environmental benefits from such tree establishment, there are also a number of environmental and social consequences which need to be recognized and very carefully considered in future allocation of land to such purposes. This needs to be recognized within the ALPS.

The correct reference for the South Coast Macro Corridor project is Wilkins *et al* 2006:

Wilkins, P., Gilfillan, S., Watson, J. and Sanders, A.(ed). 2006. *The Western Australian South Coast Macro Corridor Network – a bioregional strategy for nature conservation*, Department of Conservation and Land Management (CALM) and South Coast Regional Initiative Planning Team (SCRIPT), Albany, Western Australia.

Map 9B needs to have a clear statement that it is indicative only and that future development (in particular *Future Urban*) will be subject to Environmental Protection Authority (EPA) consideration and assessment. For example, at the moment both Bayonet Head (shown as Priority 1) and Emu Point (shown as Priority 2) are subject to formal EPA assessment processes.

Land in the Lower King locality

This area appears to offer significant challenges in the context of '*Future Urban*'. Areas in proximity to the Kalgan River and Oyster Harbour are generally low lying and likely to be poorly drained. Increased nutrient run-off into the waterways would be inevitable. However visual landscape impact would probably be minimal provided vegetated buffers remained or were established along foreshores. On the other hand, much of the land to the north of Nanarup Road and to the east of Gull Rock Road is hilly with shallow soils overlying granite in part. Such areas are unlikely to sustain the density of urban housing without major infrastructure developments necessary to contain all wastes and run-off on site.

Land between Little Grove and Big Grove

It is assumed that this area is referring to Reserve 931 and Lot 105 both of which are currently zoned as *Public Purposes*. We understand that under the draft Local Planning Scheme No 1 Reserve 931 is considered for rezoning to *Parks and Recreation*. However, both areas comprise un-cleared native vegetation in *Excellent* condition. Together these two lots provide a sound linkage of native vegetation between the Princess Royal foreshore and the hinterland to the south west through the Little Grove Golf Links to Torndirrup National Park. This combined area will assume an even greater importance if the adjacent Priority 3 Big Grove *Future Urban* development occurs. The current draft Outline Development Plan for this area entails significant loss of native vegetation including Western Ringtail Possum and other Priority Fauna habitat and some Priority Flora. DEC is therefore opposed to any change of zoning for Lot 105 that will place the native vegetation at risk from remaining intact and in its current condition. Hence the *Parks and Recreation* zoning should apply to it as well.

In line with the opening 'general' comments of this letter, we believe that such a zoning for both areas is also consistent with the stated principles, objectives and actions of the draft ALPS including commitments to protect the environment and biodiversity of the City of Albany through action to '*Utilise cleared land wherever possible in new urban developments and develop*

Bulletin Item 1.1.8-

Agenda Item 13.2.2 refers 108 pages

incentives for retaining remnant native vegetation in subdivisions' together with the strategic objective to 'Maintain the character of the rural landscapes within the district and protect areas of significant remnant vegetation' (Section 8.4.2 page 144).

Retail components

DEC has no comments.

Land west of Chester Pass Road

DEC has already given comment in November 2008 on a Scheme Amendment Request for Lot 50 Chester Pass Road within this area and has no additional comment to make.

Special Residential areas

DEC has no specific comment to make, especially at the current scale of mapping. However, throughout all of these areas there are occurrences of native vegetation in various sizes and condition as well as other potential environmental issues. These will be need to be carefully addressed at Outline Development Plan, Structure Plan, Scheme Amendment and future subdivision stages

Yours sincerely



Bruce Bone
Regional Manager

18 February 2010

**Bulletin Item 1.1.8-
Agenda Item 13.2.2 refers 108 pages**

FREDERICKSTOWN PROGRESS ASSOCIATION
PO BOX 1033
ALBANY, WA, 6331
PH 9842 1950 (SEC)
9 FEBRUARY 2010

STR078
SPLO2

Adrian Nicoll
Strategic Planning Officer
City of Albany
PO Box 484
Albany
WA, 6331
Ref STR078/LT8030577

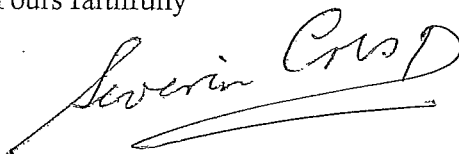
Dear Mr Nicoll

I write in response to your letter of 15 December regarding modifications to the draft Albany Local Planning Scheme, which was tabled at our meeting on February.

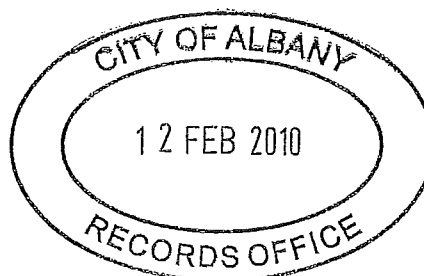
The specific items on which you requested comment all lie in areas outside the Frederickstown Ward and it was felt that it was inappropriate of this Association to make comments. Your letter and the CD are being circulated and individuals may make input prior to 26th February.

Thank you for making this opportunity available to us.

Yours faithfully



Severin Crisp, Secretary, Frederickstown Progress Association



**Bulletin Item 1.1.8-
Agenda Item 13.2.2 refers 108 pages**

Adrian Nicoll

From: Aaron Bell [aaron@bsodc.com.au]
Sent: Thursday, 18 February 2010 2:53 PM
To: Adrian Nicoll
Cc: jfsimpson@westnet.com.au
Subject: EF8098300 - STR078 - RE-ADVERTISING OF DRAFT ALBANY LOCAL PLANNING STRATEGY (LOT 105 FRENCHMAN BAY ROAD, BIG GROVE)
Attachments: bsodc-logo.gif; bsodc-device.gif; 1907 Submission on Albany LPS (18.02.10).pdf
SynergySoft: EF8098300

Email Transmission



Hi Adrian

Please see submission attached. The original is in the today's post.

Regards

Aaron Bell

BA. URP(Hons), M.P.I.A., C.P.P.

Senior Town Planner

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BSO Development Consultants

• Project Managers • Licensed Surveyors • Town Planners • Residential/Commercial Projects • Member: S.S.I. and A.S.I.B.A.

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Agenda Item 13.2.2 refers 108 pages**



Chief Executive Officer
City of Albany
PO Box 484
ALBANY W.A. 6331

ATTENTION: ADRIAN NICOLL (STRATEGIC PLANNING OFFICER)

Dear Adrian

**RE-ADVERTISING OF DRAFT ALBANY LOCAL PLANNING STRATEGY (LOT 105
FRENCHMAN BAY ROAD, BIG GROVE)**

Reference is made to your letter dated 15 December 2009 advising that the City of Albany (CoA) seeks comment in relation to modifications made to the draft Albany Local Planning Strategy (ALPS).

BSO represents the Roman Catholic Bishop of Bunbury (RCBB), owner of Lot 105 Frenchman Bay Road, Big Grove (Albany). The subject lot is described as Lot 105 on Deposited Plan 230421 and is held in fee simple by the RCBB.

The previously advertised version of the draft ALPS (2007) had Map 9B identifying Lot 105 as Local Reserve. This was considered totally inappropriate given-

- the subject land is a freehold lot held in fee simple ownership by the RCBB; and
- the 2006 direction given by the then Minister for Planning and Infrastructure (i.e. in the reasons for not granting final approval to Amendment No. 232 to *City of Albany Town Planning Scheme No. 3*) that the Big Grove locality be designated for residential development in a shorter timeframe than envisaged in the draft ALPS.

It comes as great comfort to our client now that the modified version of Map 9B now identifies Lot 105 as Future Urban and Priority Development (3). This is both consistent with the former Minister's direction and the text of the draft ALPS which states that Priority 3 areas such as Big Grove-

- are expected to be rezoned and local structure planning undertaken in the near future; and
- are capable of producing lots within the medium term development framework.

On the basis of this, our client supports the relevant modification to Map 9B of the draft ALPS, and we wish for this support to be recorded accordingly.

• Project Managers • Licensed Surveyors • Town Planning • Residential/Commercial Projects • Member: S.S.I. and A.S.I.B.A.

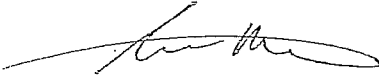
Suite 2 Premier Centre, 72 Duchess Street • PO Box 414 Busselton W.A. 6280
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Agenda Item 13.2.2 refers 108 pages**

In addition to the above, please be advised that detailed environmental studies over Lot 105 were completed in 2009. With the completion of the studies now done, we are in the process of preparing a subdivision concept plan. We hope to finalise this plan soon and discuss with CoA strategic planners with the view to lodging a structure plan and rezoning (local planning scheme amendment) submission in due course.

Thank you for providing the opportunity to comment.

Yours faithfully



**AARON BELL
SENIOR TOWN PLANNER
BSO DEVELOPMENT CONSULTANTS**

18 February 2010

Cc. J Simpson
Catholic Parish Office
154 Aberdeen Street
ALBANY W.A. 6330

**Bulletin Item 1.1.8-
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Adrian Nicoll

From: Planning (External Use ONLY)
Sent: Friday, 19 February 2010 10:40 AM
To: Adrian Nicoll
Subject: EF8098265 - STR078 - submission

SynergySoft: EF8098265

From: punito fairborn [mailto:p.fairborn@hotmail.com]
Sent: Friday, 19 February 2010 9:39 AM
To: Planning (External Use ONLY)
Subject: EF8098265 - STR078 - submission

February 19th 2010.

Submission to City of Albany in regards to proposed new local strategy. 2009.

Dear Planners. I wish to draw your attention to a situation for either a new zoning allocation or recognition in a manner which is not reflected in the current draft proposal.

I own land which is half vegetated and half cleared around a small water course. It is at present zoned rural and classified as Priority rural in local maps and general rural in WAPC maps as well as Town Planning No3. This land has recently been assessed as being wet land with no capability for agriculture, horticulture and its size of only thirty acres rules it out as a grazing property. This assessment has been accepted and endorsed by the Department of Agriculture and inspected by both the Department of Environment and the Waters and Rivers Commission. It has a tributary of the Cuppup Creek running through the land which the Water Commission acknowledges as being a conduit for serious flows of nutrient runoff into Wilson Inlet, contributing to poisonous algae outbreaks. Whilst not formally a recognized wet land the land is registered with 'Land for Wildlife' and has clearing restrictions under the policies of both the Department for Environment and the City of Albany impacting on it particularly in the area of the water course.

The land was originally formed as a cut off between the road and rail reserve corridors, coming about not as a part of planning.

Given that it is inaccurate to describe it as priority land and that to the east and west of it along that same water course, a long time land use is that of defacto rural residential, is there room for consideration of a recognition for such land, as there must be a few other such anomalies within the system requiring for accuracy sake, a separate identification with prescribed appropriate land use directions that will allow me the owner to officially and describe this land honestly and accurately should I wish to sell it?

D P Fairborn

Tel: 9844 3024

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Agenda Item 13.2.2 refers 108 pages**

Adrian Nicoll

From: Dan Lees [daniel.lees@tpgwa.com.au]
Sent: Friday, 26 February 2010 2:47 PM
To: Records
Cc: Adrian Nicoll
Subject: EF8098841 - STR078 - Centro Submission on Modifications to Draft Albany Local Planning Strategy
Attachments: Centro Albany EIA Feb 2010 (M136D).pdf; Centro ALPS submission 260210.pdf
SynergySoft: EF8098841

Please find attached a submission prepared on behalf of Centro with regard to the advertised modifications to the Draft Albany Local Planning Strategy.
The original is in the post.

Kind Regards,

Dan Lees
Town Planner



TOWN PLANNING
AND URBAN DESIGN

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TPG is on YouTube - <http://www.youtube.com/watch?v=-7kPSxYFiww> <<http://www.youtube.com/watch?v=-7kPSxYFiww>>

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PERTH
MELBOURNE
SYDNEY

Our Ref: 710-148

26 February 2010

Chief Executive Officer
City of Albany
PO Box 484
ALBANY WA 6331



TOWN PLANNING
AND URBAN DESIGN

Attention: Mr Robert Fenn – Executive Director Development Services

Dear Robert

**SUBMISSION ON MODIFICATIONS TO THE ALBANY LOCAL PLANNING
STRATEGY ON BEHALF OF CENTRO AS OWNER OF THE CENTRO ALBANY
SHOPPING CENTRE**

TPG Town Planning and Urban Design is pleased to provide the following submission on the advertised modifications to the City of Albany's *Albany Local Planning Strategy* (ALPS) on behalf of Centro as the owner of the Centro Albany shopping centre. The following covering letter outlines the key points of the enclosed Economic Impact Assessment (EIA) that has been prepared by Urbis in response to the *Activity Centres Planning Strategy* (ACPS) and in support of a discount department store (DDS) at the Centro Albany centre and which forms the body of this submission.

Understanding

The ALPS makes reference to the ACPS which has been prepared to provide objectives, a centres hierarchy and guidelines for commercial development throughout Albany. The ACPS and ALPS (at Figure 9) identifies the Centro Albany centre as an "Existing Large Neighbourhood Centre (up to 5,000sqm permitted)" and "Potential Future District Centre (subsequent strategy)".

Specifically with regard to the Centro Albany centre the ACPS at Section 5.2 states the following:

"... one of the key recommendations of this ACPS is, on the one hand, to acknowledge the possible future (longer term) potential of Centro Albany as a larger centre; but on the other hand to prohibit further expansion beyond current approvals for the useful life of this ACPS in order to ensure that further growth of the centre is more in line with regional population growth, thus minimising impacts on other retail centres – particularly the Albany town centre." (pp. 43-44)

The ACPS concludes with the recommended strategy for the Centro Albany centre being:

- *No further expansion of this existing centre is recommended within the useful life of this ACPS.*

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Mr Robert Fenn – Executive Director Development Services
City of Albany

SUBMISSION ON MODIFICATIONS TO THE ALBANY LOCAL PLANNING STRATEGY ON BEHALF OF CENTRO AS OWNER OF THE CENTRO ALBANY SHOPPING CENTRE

- *At the time of the next strategy review, without any presumption that any expansion should occur, consideration could be given to the possibility of further increasing the size of this centre, should demographic analysis warrant it and the developers still wish to do so.*

This is seemingly at odds with the Strategic Objective of the ALPS which states:

“Retain existing and develop new staged neighbourhood and local centres incorporating retailing as a primary focus.” (p. 151)

The further development of the Centro Albany centre achieves the above objective in that it represents the further development of a neighbourhood centre for a retail purpose (primarily being the DDS).

Proposal

As part of the further development of the Centro Albany centre, Centro is seeking to develop a DDS and additional specialty retail to the north of the existing Woolworths supermarket, potentially in a staged manner. A staged development approach allows for the gradual take-up of the proposed floorspace by the market, in-line with forecast population growth, however this expansion may be developed all at once subject to market demand. In either development scenario it is envisaged that trading of the additional floorspace proposed would commence in June 2012.

The EIA prepared in support of this development proposal concludes that:

“The staged development of Albany Brooks Garden (Centro Albany) can be supported by the market and is not expected to adversely impact the role and function of other activity centres in the hierarchy. Market growth provides the demand to support an expansion of retailing in Albany and would offset the assessed one-off impacts for Stage 3 and Stage 4. A significant share of the business sourced by the expansion to the Albany Brooks Garden (Centro Albany) centre would be the result of a redirection of spending currently escaping to centres outside of Albany (e.g. Perth, etc.).”

The EIA further concludes that the proposed expansion of the Centro Albany centre will not adversely impact on the viability of the existing Albany Regional Centre or retail hierarchy and *“The assessed level of impacts is manageable and is typical of that experience in a normal competitive environment.”*

In recognising the role of the market in determining the supply and development of floorspace the ALPS at Section 8.5.2 states the following:

“Due to the presence (and economic desirability) of such commercial dynamism, it is important not to artificially limit the overall quantity of retail or other commercial floorspace in Albany. Rather, the intention is, where possible, to guide future development into appropriate locations and (if necessary in order to achieve wider planning objectives) timeframes. It is therefore intended that the market will, for the most part, determine the

**Bulletin Item 1.1.8-
Agenda Item 13.2.2 refers 108 pages**

Mr Robert Fenn – Executive Director Development Services
City of Albany

SUBMISSION ON MODIFICATIONS TO THE ALBANY LOCAL PLANNING STRATEGY ON BEHALF OF CENTRO AS OWNER OF THE CENTRO ALBANY SHOPPING CENTRE

overall supply and distribution of retail and other commercial floorspace within the framework of a defined hierarchy of activity centres.” (p. 150)

The above extract would appear to generally support the further development of the Centro Albany centre, as justified by the EIA.

The proposed expansion of the Centro Albany centre will provide a positive impact in terms of employment at the centre. Based on industry average employment ratios and the floorspace of the proposed expansion, the EIA forecasts additional employment being provided for approximately 344 persons, excluding centre management, cleaning and security staff that would be required to operate the expanded centre. Additional employment will also be provided during the construction phase of the centre expansion, providing an overall community benefit within the City of Albany.

Town Planning Scheme Amendment Required

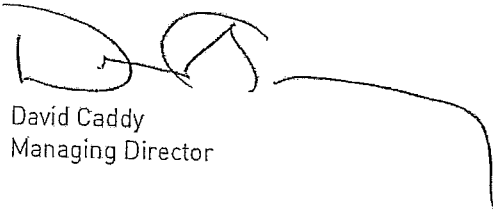
It is noted that the Centro Albany centre is zoned 'Mixed Business' under the provisions of the City of Albany Town Planning Scheme No. 3 (TPS 3). With regard to the Mixed Business zone, Clause 5.25 of TPS 3 states "*Development of a Discount Department Store is not permissible.*"

In this regard it is noted that upon any amendment to the ALPS or ACPS to support the further development of the Centro Albany centre as outlined above, an amendment to TPS 3 will be required to remove or amend Clause 5.25 and enable a DDS to be developed in the Mixed Business zone. It is understood that a town planning scheme review process is imminent and that rather than amending TPS 3, the removal or amendment of Clause 5.25 could be achieved via the scheme review process.

Summary and Conclusion

The enclosed Economic Impact Assessment has been prepared by Urbis in response to the *Activity Centres Planning Strategy* and in support of a discount department store at the Centro Albany centre. As outlined above the EIA concludes that the further development of the Centro Albany centre, including a DDS, can be undertaken without adversely impacting on the viability of the existing Albany Regional Centre or retail hierarchy and by providing an overall community benefit to the City of Albany through additional employment opportunities. In this regard it is respectfully requested that the further development of the Centro Albany centre to include a DDS is recognised by the *Albany Local Planning Strategy* and *Activity Centres Planning Strategy* so as not to prejudice any amendment to the City of Albany's Town Planning Scheme No. 3 or the scheme review process.

Yours sincerely
TPG TOWN PLANNING AND URBAN DESIGN


David Caddy
Managing Director

**Bulletin Item 1.1.8-
Agenda Item 13.2.2 refers 108 pages**

**Bulletin Item 1.1.8-
Agenda Item 13.2.2 refers 108 pages**

Our Ref: 07/538/100215L - Albany

City of Albany Records
Doc No: ICR8098677
File: STR078

Date: 24 FEB 2010
Officer: SPLO2

15 February 2010

Attach:

Chief Executive Officer
City of Albany
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ALBANY WA 6330

Kelmscott WA 6991
P: 08 9496 1947
F: 08 9496 1946
admin@dykstra.com.au
www.dykstra.com.au

Attention: Planning Department

Dear Sir

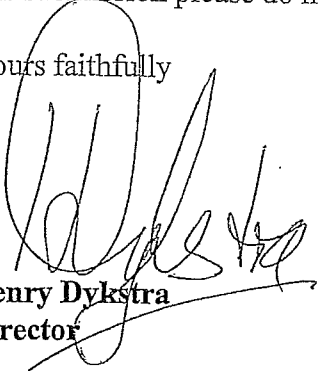
**Submission to Modification made to Albany Local Planning Strategy –
Lot 422 Swan Point Road, Kalgan**

I refer to the above and advise that Dykstra Planning has prepared the *attached* submission on behalf of Golden Eight (WA) Pty Ltd, land owner of Lot 422 Swan Point Road, Kalgan.

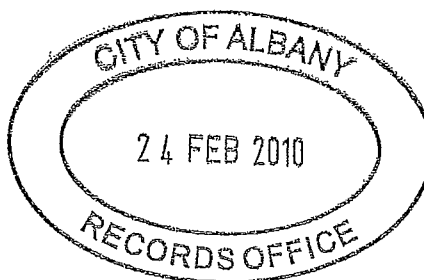
The attached submission objects to the future urban classification of Lot 422 under the readvertised Albany Local Planning Strategy. This submission seeks to have the land included within a combined classification of Rural Residential and Special Residential under ALPS. The submission provides detailed grounds supporting both the objection to Future Urban and supporting the alternative classification.

I trust that the attached submission will be presented to Council as part of its deliberations on finalising ALPS. Should you require any further information or have any queries in relation to this submission please do not hesitate to contact me at this office.

Yours faithfully


Henry Dykstra
Director

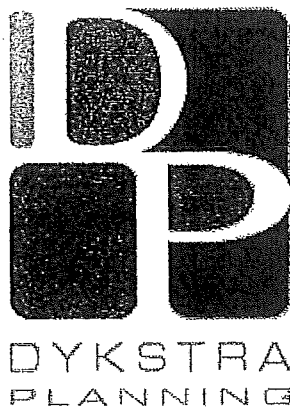
cc: Golden Eight (WA) Pty Ltd



**SUBMISSION TO MODIFICATION MADE TO
ALBANY LOCAL PLANNING STRATEGY**

LOT 422 SWAN POINT ROAD, KALGAN (CITY OF ALBANY)

Prepared by:



**Bulletin Item 1.1.8-
Agenda Item 13.2.2 refers 108 pages**

Prepared for: Golden Eight (WA) Pty Ltd
Prepared by: Henry Dykstra
Reviewed by:
Date: January 2010
Job No: 07/538
Ref: 100127R
Status:

Dykstra Planning
2953 Albany Highway
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PO Box 316
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Email: admin@dykstra.com.au

Disclaimer:

This report has been exclusively drafted. No express or implied warranties are made by Dykstra Planning regarding the research findings and data contained in this report. All of the information details included in this report are based upon the existent land area conditions, research provided and obtained at the time, Dykstra Planning conducted its analysis. Dykstra Planning will not be responsible for the application of its recommended strategies by the Client.

Please note that these strategies devised in this report may not be directly applicable towards another Client. We would also warn against adapting this report's strategies/contents to another land area which has not been researched and analysed by Dykstra Planning. Otherwise, Dykstra Planning accepts no liability whatsoever for a third party's use of, or reliance upon, this specific report.

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Lot 422 Swan Point Road, Kalgan**

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Submission to Modification of ALPS
Lot 422 Swan Point Road, Kalgan

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Appendix A - Landform Research Soil Map

Appendix B - Landform Research Vegetation Communities Map

Appendix C - Landform Research Vegetation Condition Map

Appendix D - Landform Research Land Capability Map, Table and Site Photographs

1.0 | Our Request

Submission to Modification of ALPS
Lot 422 Swan Point Road, Kalgan

This submission speaks for Lot 422 Affleck Road, Swan Point, but in doing so also refers to the broader area allocated as “Future Urban” in the Lower Kalgan Locality adjacent to Nanarup Road.

The submission objects to the future urban classification of Lot 422 under the re-advertised ALPS. Future urbanisation of Lot 422 (and its surrounds) is considered unsustainable and illogical on planning grounds, as further detailed in Section 4.0 of this submission.

Further, this submission seeks to have the land (and the other land that was promoted as Future Urban) included within a combined classification of “Rural Residential and Special Residential”. Because of the servicing needs and the varied physical attributes of the land, it is considered inappropriate to simply categorise this area as either Rural Residential or Special Residential. The vision to achieve a high level of servicing (reticulated water supply, kerbed roads, piped drainage, footpaths, open space etc.) cannot be achieved by rigidly applying a 1.0 ha minimum lot size. Equally, a “Blanket” application of Special Residential (2000 m² lot size) is not responsive to the physical and environmental attributes of this unique setting on the eastern side of the Kalgan River.

In recognition of the unique location and physical attributes of this land, a combination classification of “Rural Residential and Special Residential” is hereby proposed. As part of the future land capability and design work that would accompany a rezoning application, it is expected that larger lot sizes (approximately 1.0 ha) would be designed in the low lying or the well vegetated parts of the land, whilst smaller lot sizes (2000 m² - 4000 m²) would be appropriate in more elevated cleared areas.

2.0 About Lot 422

Submission to Modification of ALPS
Lot 422 Swan Point Road, Swan Point

2.1 Overview

Lot 422 Swan Point Road, Kalgan, is located approximately 18 kms east of the Albany City Centre along Nanarup Road, on the eastern bank of Oyster Harbour, near the Kalgan River Bridge. The land has an area of 40.66 ha and has frontage to Swan Point Road and Affleck Road, which is the foreshore road connecting the land to Nanarup Road (**Figure 1** Location Plan refers).

2.2 Zoning and Context

The subject land, whilst zoned "Rural", is surrounded on three sides by Special Rural zoned land, otherwise known as the Swan Point Special Rural zone.

2.3 Landform and Soils

Lot 422 grades gently from south-east to west having a maximum fall of approximately 25 metres towards the Kalgan River.

The predominant soil type, particularly in the more elevated plateau area, is sand over laterite and silt. This soil type covers more than 50% of the site, and is characterised as free draining with water table at greater than 1.0m depth. (Refer to Landform Research Soil Map at **Appendix A**).

The margin of land adjacent to the foreshore comprises estuarine silts, which are not suited to development due to winter wet conditions, storm surges, and increased river levels. The next "band" of soil, just above the foreshore margin, comprises sand over silt. These soils are characterised by white sand overlaying yellow clay silt at 500 mm to 1000 mm depth, with a water table at between 500 mm and 1500 mm depth.

Elsewhere across the site there are small pockets of deep leached sand, sand over granite saprolite, and laterite duricrust over silt. All these soil type locations and test pits are illustrated on the soil map compiled by Landform Research at **Appendix A**.

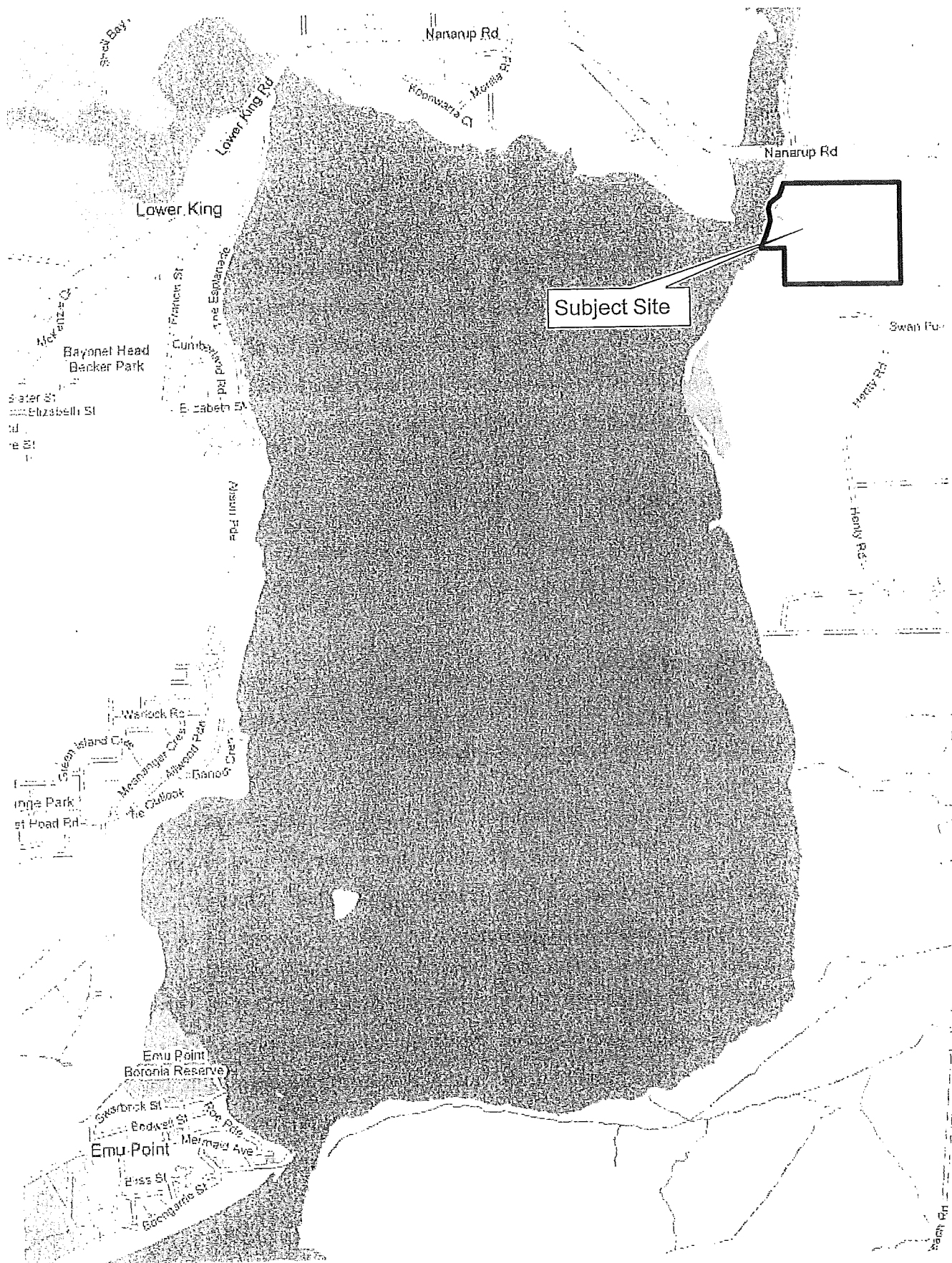
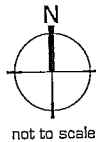


Figure 1

Location Plan

Lot 422 Swan Point Road, Kalbarri



not to scale

September 09

07538-LP-F1-090917-A



2.0 About Lot 422 (cont'd)

Submission to Modification of ALPS
Lot 422 Swan Point Road, Swan Point

2.4 Vegetation

Lot 422 is over half cleared of vegetation, with natural vegetation remaining in the central and southern parts of the property. The predominant vegetation community is Jarrah-Marri low forest located on the plateau area of the land. To the south-west of this plateau area, the vegetation comprises Taxandria thicket re-growth. There is a margin of estuarine low heath and melaleuca thicket adjacent to the foreshore, and a pocket of Eucalyptus-Taxandria low woodland in the north-east corner of the site.

The location and details of these vegetation communities are illustrated on the Vegetation Communities Map compiled by Landform Research at **Appendix B**.

None of the site vegetation is classified as being in pristine or excellent condition. The largest vegetation area, being the Jarrah-Marri low forest, is described as good to very good condition, reflecting multiple disturbance to vegetation structure, (eg. weeds, grazing, dieback, fire, logging, etc.).

The re-growth Taxandria thicket and small pocket of Eucalyptus-Taxandria low woodland have been assessed as being in very good condition, also reflecting multiple disturbance to vegetation structure.

The location and details of vegetation condition are illustrated on the Vegetation Condition Map compiled by Landform Research at **Appendix C**.

2.5 Servicing

2.5.1 Roads

Affleck Road currently links from Nanarup Road to service Lot 422, and is a constructed roadway on vacant crown land. This constructed road link has not yet been formally dedicated as a road reserve.

Swan Point Road reserve adjoins the southern boundary of Lot 422, with the constructed portion of road stopping some 180 m short of the subject land.

2.0 About Lot 422 (cont'd)

Submission to Modification of ALPS
Lot 422 Swan Point Road, Swan Point

2.5.2 Water

Although a water main exists in Nanarup Road, near Affleck Road, a mains connection would only be available from the 150 mm main that terminates at the western end of the Kalgan Bridge. As with other lots along Nanarup Road east of the Kalgan Bridge, Lot 422 has access to a non-standard reticulated water supply.

2.5.3 Sewer

The nearest sewer connection is over 8.0 kms west of the subject land, and due to the cost of piping distance and pump stations, sewerage the site is not commercially viable. As with all surrounding Rural Living lots, the existing homes on Lot 422 are serviced with on-site septic tank leach drain systems.

2.5.4 Power and Communication

Currently power and telecommunication lines are available along Nanarup Road, and service the existing homes on Lot 422.

3.0 | ALPS on Lot 422

**Submission to Modification of ALPS
Lot 422 Swan Point Road, Swan Point**

The original advertised Albany Local Planning Strategy (ALPS) depicted Lot 422 and its surrounds as Rural Residential. Under this scenario, Lot 422 could have been developed to a minimum lot size of 1.0 ha. This would allow additional services such as roads and reticulated water supply to be brought closer to the older parts of Swan Point Special Rural zone, thereby facilitating the redevelopment and consolidation of this older Rural Living area. This original Rural Residential classification of Lot 422 and its surrounds represented a logical and orderly approach to land use planning, (although this submission promotes a more sensitive and responsive lot size range for this unique area).

Following the initial advertising of ALPS and in response to one submission and peer review of ALPS, the City resolved to earmark as “Future Urban” significant areas of land east of the Kalgan River and on both sides of Nanarup Road. Lot 422 was at that time already subject to a rezoning application, based upon the original advertised ALPS document. However, the application was declined on the basis of the new Future Urban concept for this area.

4.0 Why is “Future Urban” for Lot 422 not sustainable under ALPS?

Submission to Modification of ALPS
Lot 422 Swan Point Road, Swan Point

4.1 It is well beyond the time horizon of ALPS

The Local Planning Strategy is a strategic planning tool with a 20 – 30 year time horizon. Given the distance of this land from the City centre at over 15 kms, the substantial amount of urban land earmarked much closer to the City centre, and the relatively slow take-up rate of urban land in Albany, the idea of urban land east of the Kalgan River is well beyond the timeframe of the Local Planning Strategy;

4.2 As a Planning Concept it was developed too hastily, without an adequate period of research and consideration

The prospect of urbanisation on the east side of the Kalgan River is a significant planning decision that requires careful analysis and consideration of: district and regional demand/supply for housing land and development; opportunities and constraints of numerous potential urban development fronts; review of infrastructure capacity and potential for upgrades; and assessment and evaluation of the various environmental and landscape impacts. Given that the land east of the Kalgan River was not identified within the initial ALPS document as potential long term urban, but was only identified following a relatively brief peer review of the document following public advertising, it is quite evident that the urban prospects of this land have not been subject to thorough and careful planning research and assessment.

4.3 It contradicts the key aim of ALPS to contain the spread of fragmented urban areas

The settlement strategy (under Section 8.3 of ALPS) speaks of managing sustainable settlement growth and containing the spread of fragmented urban and rural living areas by, inter alia:-

- Minimising the development footprint on the landscape;
- Promoting energy conservation;
- Minimising journey length from home to work, school and services; and
- Reducing government expenditure on servicing.

4.0 Why is “Future Urban” for Lot 422 not sustainable under ALPS? (cont’d)

Submission to Modification of ALPS
Lot 422 Swan Point Road, Swan Point

To cover the landscape east of the Kalgan River, some 18 kms from the Albany Town Centre, with a Future Urban classification clearly contradicts the stated aims of the settlement strategy. There are still many decades of urban settlement that can be accommodated west of the Kalgan River, in existing identified urban and future urban areas and via urban infill and consolidation.

4.4 Lot 422 has been assessed by the DEC at DoW as being unsuitable for Urban subdivision

Lot 422 Affleck Road, Swan Point was the subject of a Scheme Amendment Request (SAR) illustrating a Special Rural form of subdivision, with an urban overlay concept to illustrate how the land might be subdivided for urban development in the future. This proposal was referred to the Department for Planning and Infrastructure and the Department of Environment and Conservation (including DoW) as part of a consultation period. From the responses of these particular government agencies it is clearly evident that the physical and environmental features of Lot 422 are not suitable for urban development of this land.

Lot 422 is the largest single land parcel on the south side of Nanarup Road that has been included in the suggested long term urban classification, and as such would represent the most likely stimulus for any urban development on the south side of Nanarup Road. The features of Lot 422, in particular its vegetation, slope, wetlands and landscape aspect, are also representative of the physical environment of other surrounding land on the south side of Nanarup Road, and hence if Lot 422 is considered unsuitable for urbanisation than this would equally apply to other surrounding land.

4.0 | Why is “Future Urban” for Lot 422 not sustainable under ALPS? (cont’d)

Submission to Modification of ALPS
Lot 422 Swan Point Road, Swan Point

4.5 | Future Urban south of Nanarup Road is not automatically justified by the allocation of Future Urban on the north side of Nanarup Road

It has been said that the future urban classification on the south side of Nanarup Road is necessary in order to support the economies of scale for urbanisation that may be required in relation to the future urban development on the north side of Nanarup Road. This relates specifically to the economies of scale for extending infrastructure to the site and supporting localised community infrastructure, community services, schools, and appropriate commercial centres and developments. In the first place, this line of reasoning makes an assumption that the land on the north side of Nanarup Road is indeed suitable for urbanisation, and in view of the above comments this assumption can be questioned. In the second place, if land on the south side of Nanarup Road is considered physically and environmentally unsuited to urbanisation, this unsuitability does not change as a result of a demand to achieve economies of scale for nearby urbanisation.

5.0 The Planning Logic of Classifying Lot 422 as Rural Living (Rural Residential & Special Residential)

Submission to Modification of ALPS
Lot 422 Swan Point Road, Swan Point

5.1 The ALPS Objectives for Rural Living land allocation promote areas such as Lot 422

Areas that avoid productive agricultural land and important natural resources, high fire risk areas, areas subject to flooding and environmental sensitivity are contemplated by ALPS as suitable for Rural Living. Lot 422 is surrounded by other Rural Living subdivision, and also due to its physical attributes is not identified as productive agricultural land. Fire risk and environmental features are not obstacles to future Rural Living use of the land.

5.2 ALPS seeks to prioritise Rural Living in existing areas, whilst also promoting higher sustainable lot yields

Lot 422 is essentially within the existing Swan Point Rural Living area, as it is surrounded by Special Rural zoning and subdivision. Further, the development of Lot 422 with water serviced Rural Residential and Special Residential lots will bring services closer to the older parts of Swan Point Special Rural area, thereby facilitating future re-subdivision of these predominantly larger lots. By enabling the consolidation of this existing Special Rural area, it increases the efficiency of servicing and diminishes the demand on other rural agricultural lands.

5.3 The Rural Living (Rural Residential and Special Residential) allocation of Lot 422 is not in conflict of the objects of SPP 2.5 – Rural and Agricultural Land Use Planning Policy

The proposed Rural Living Classification is not in conflict with the objectives of SPP 2.5 Rural and Agricultural Land Use Planning. In this respect, the proposal will not result in the loss of productive agricultural land, nor will it result in the potential for conflict with existing agricultural uses by introducing a more intensive pattern of subdivision given that Lot 422 is isolated from any other Rural/Agricultural land in the locality. Conversely, if the subject land is left as it is, it is highly conceivable that a permitted land use could be developed on Lot 422 in a manner that potentially

5.0 The Planning Logic of Classifying Lot 422 as Rural Living (Rural Residential & Special Residential) (cont'd)

Submission to Modification of ALPS
Lot 422 Swan Point Road, Swan Point

undermines the conservation values of the land and affects its amenity and that of the surrounding Special Rural area. In fact the reduction in overall lot size will add to the conservation values of the site as it will discourage the potential for the land to be used for more intensive agricultural or rural industrial type activities.

5.4 The land capability assessment of Lot 422 classifies the majority of the land as Class II (high capability) and Class III (fair capability) for Rural Residential development

Landform Research has undertaken detailed site investigation of soils, vegetation types, vegetation quality and other land capability considerations. The detailed mapping of these investigations is included at **Appendix A – D** of this submission and the Land Capability Table at **Appendix D** details the various identified constraints for each of the land units and the possible environmental management strategies for dealing with these constraints.

With the exception of two marginal areas of land that have been classified as lot capability or incapable, most of Lot 422 is classified as Class II high capability and Class III fair capability for development. Particularly with a flexible lot size range proposed by the multiple classifications of Rural Residential and Special Residential, it will be possible to design lots and building areas that are very responsive to the higher capability areas and avoid the lower capability areas on the land. Notwithstanding the ability of the soil types themselves to accommodate conventional septic tank leach drain systems in a fully inverted or semi-inverted manner, the land does lie within the immediate catchment of the Oyster Harbour, and accordingly Government Policy will require the use of Alternative Treatment Units in any event. This overarching requirement only further serves to satisfy all of the land capability criteria that would apply to subdivision of this land.

6.0 | Summary of Submission

**Submission to Modification of ALPS
Lot 422 Swan Point Road, Swan Point**

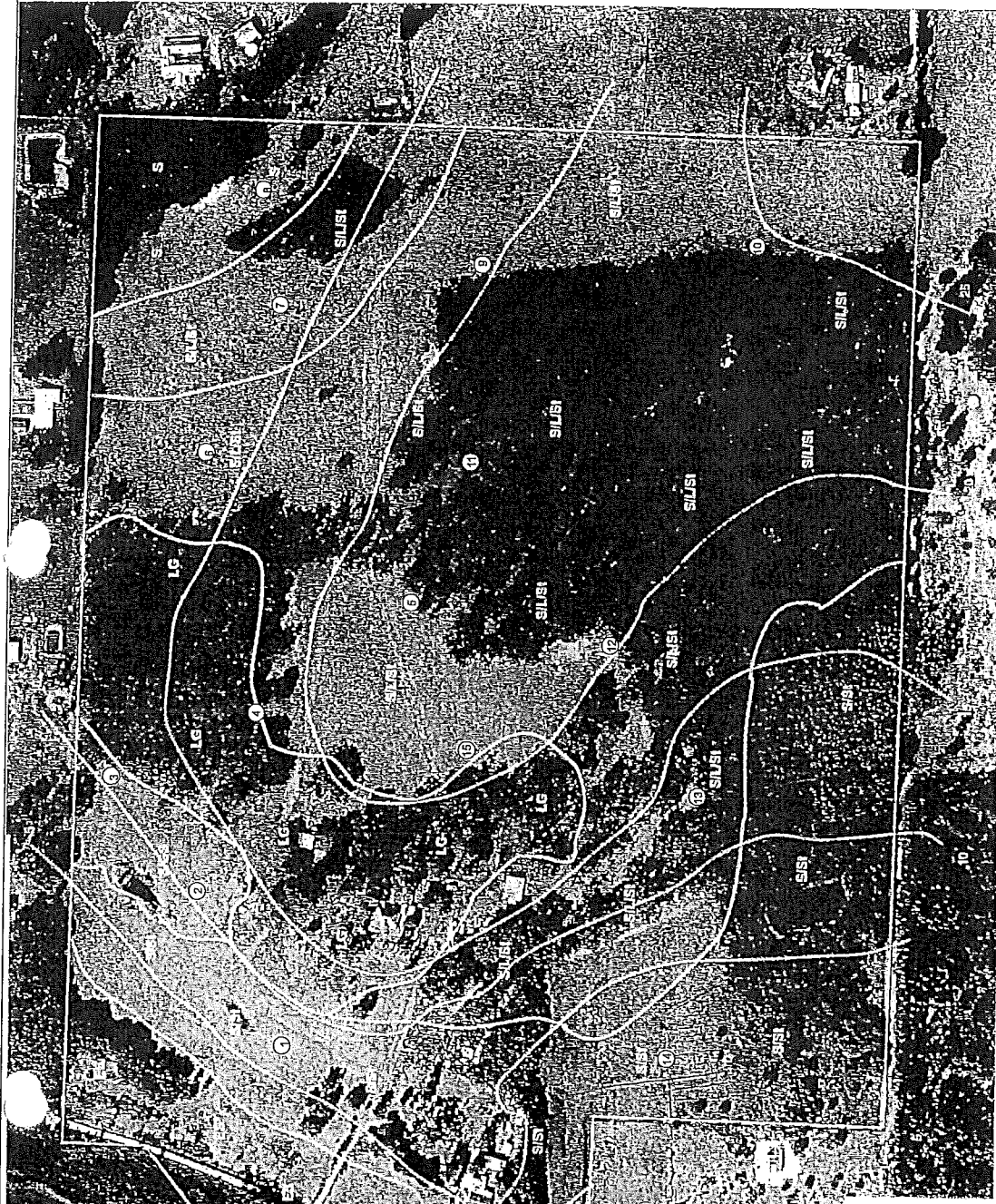
Summarising the preceding submission, it is respectfully requested that Council amend its final version of the Albany Local Planning Strategy by:-

- a) Deleting the “Future Urban” classification from Lot 422 Affleck Road, Swan Point (and possibly its surrounds); and
- b) Including Lot 422 (and the other land that was promoted as future urban) within a combined classification of Rural Residential and Special Residential, thereby allowing for a lot size and design that is responsive to the varied physical and environmental attributes of this unique setting on the eastern side of the Kalgan River.

APPENDIX A

Landform Research Soil Map

**Bulletin Item 1.1.8-
Agenda Item 13.2.2 refers 108 pages**



Ⓔ Soil Test Hole

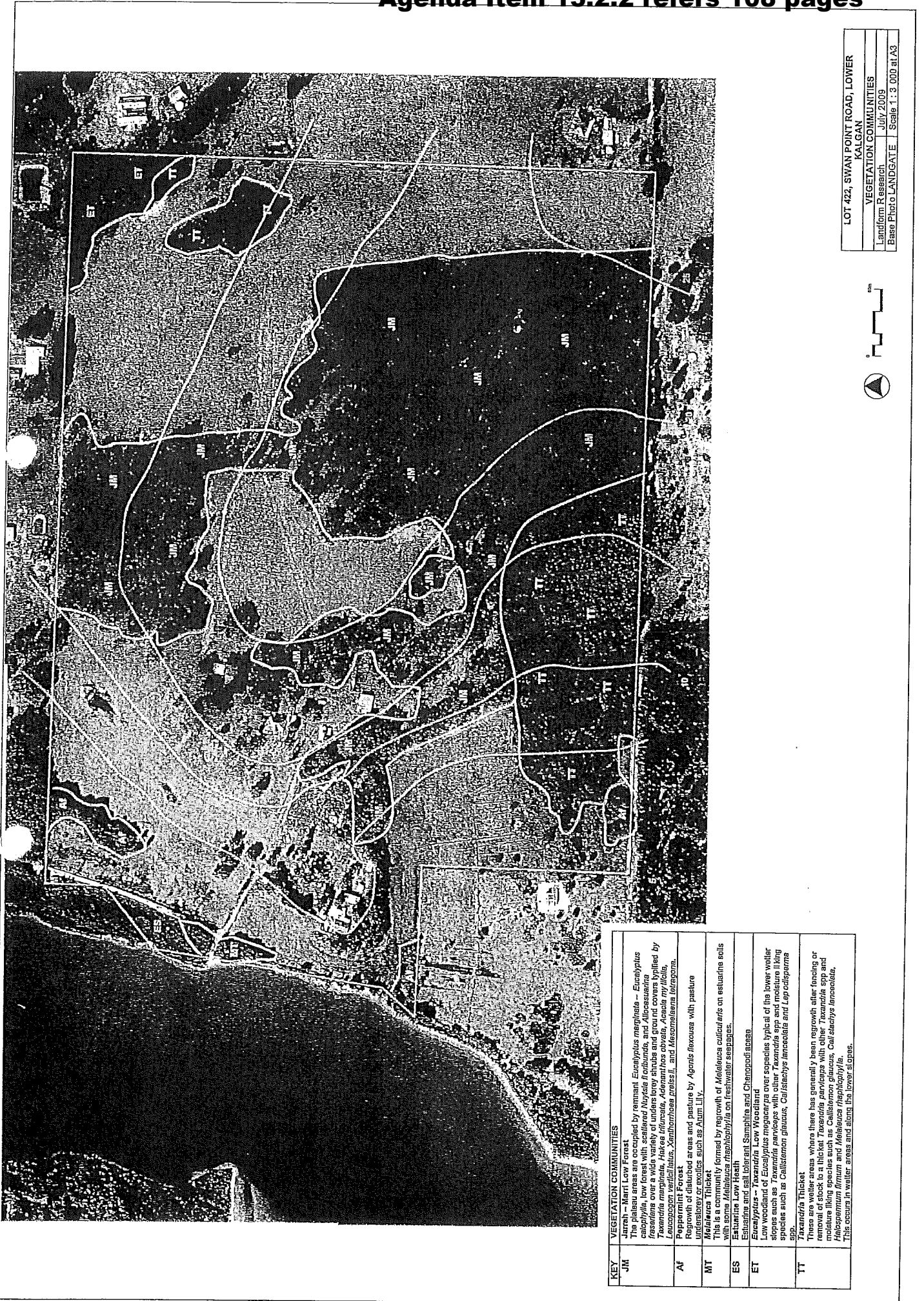
LOT 422, SWAN POINT ROAD, LOWER KALGAN	
Landform Research	SOIL TYPES
Base Photo LANDGATE	JULY 2009
	Scale 1 : 3 000 at A3

KEY	SOIL TYPES
ES	Estuarine Silt These soils consist of silt of estuarine and alluvial origin, with lateral and vertical local changes in grain size from sand to clay. Outside the water table at sea. Subject to winter wet conditions, storm surges and increased river levels.
S	Deep Leached Sand Deep white silica sand of 2.0 plus metres deep over silt at depth. Occurs in the valley lower slopes and floors. Varies from winter wet conditions on the valley floors to drier soils with > 1000 mm separation to the water table.
S/SI	Sand over Silt White silica sand overlying yellow clay silt at 500 - 1000 mm with darker moles, grading to lighter silt with red brown moles at depths of 1000 - 1500 m.m. Water table is normally 500 - 1500 mm.
S/GS	Sand over Granite Saprolite White silica sand over yellow brown gravelly loam on yellow silt. Free draining with its water table below 1000 m.m.
S/L/SI	Sand over Laterite and Silt Dark grey clay sand over light brown or white sand with yellow brown laterite duricrust at 500 m. The duricrust is normally 200 - 500 mm thick and overlies yellow clay silt and silt. Free draining with the water table below 1000 m.m.
LG	Laterite Duricrust over Silt Minor grey silica sand over yellow brown laterite duricrust 200 - 500 mm thick, with common duricrust outcrop. The soil is basically the same as the Sand over the Laterite sand silt except that the overlying sand has been removed. Free draining with the water table below 1000 m.m.

APPENDIX B

Landform Research Vegetation Communities Map

**Bulletin Item 1.1.8-
Agenda Item 13.2.2 refers 108 pages**



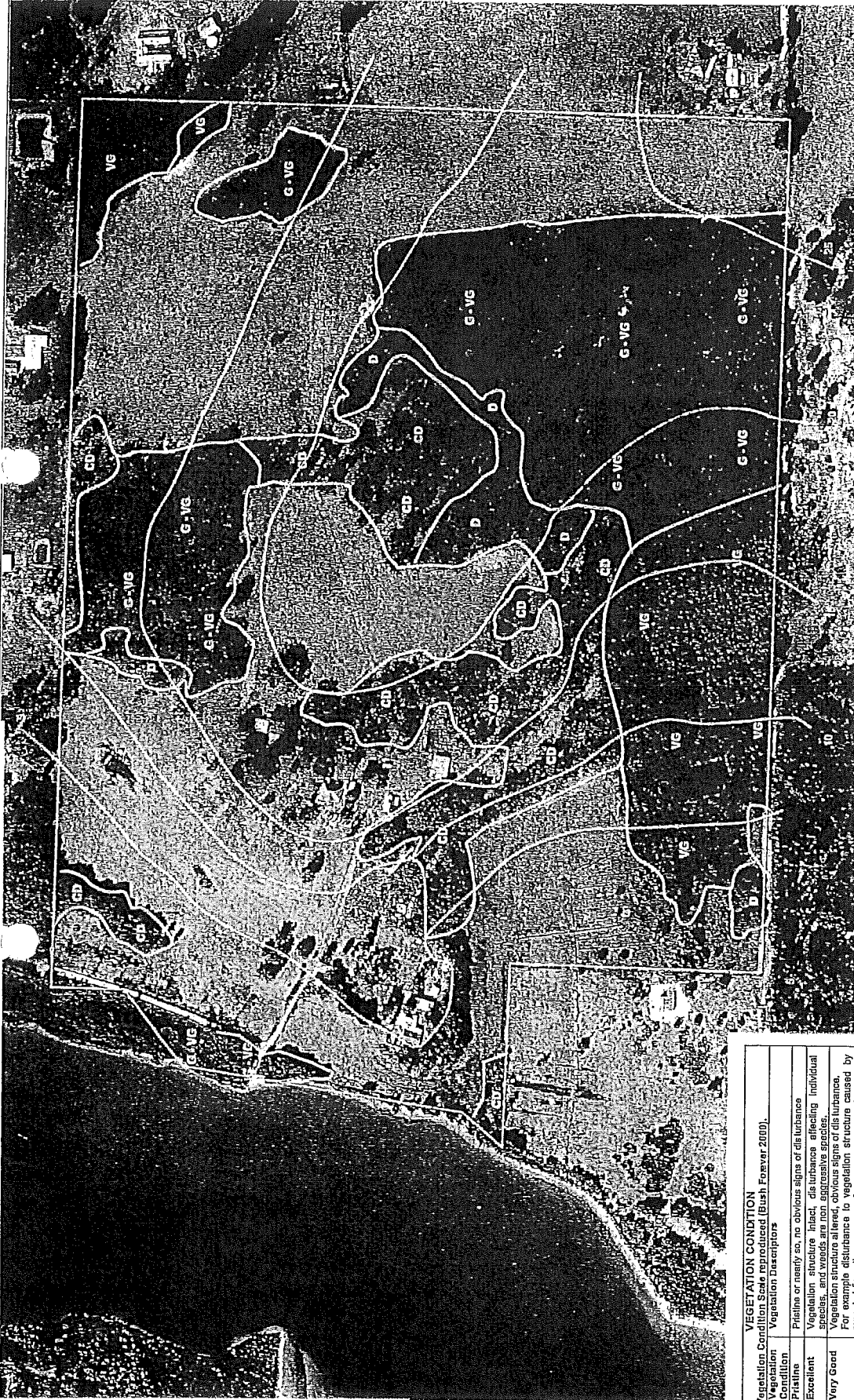
LOT 422, SWAN POINT ROAD, LOWER KALGAN
VEGETATION COMMUNITIES
Landform Research July 2009
Base Photo LANDGATE Scale 1 : 3 000 at A3

KEY	VEGETATION COMMUNITIES
JM	Jarrah - Marri Low Forest The plateau areas are occupied by remnant <i>Eucalyptus marginata</i> - <i>Eucalyptus calciphyla</i> , low forest with scattered <i>Nyctala floribunda</i> , and <i>Allocasuarina fraxifolia</i> over a wide variety of undrains tree stumps and ground covers typified by <i>Taxandria marginata</i> , <i>Hakea ulmicarpa</i> , <i>Adenanthos obvela</i> , <i>Asclepias mytilloides</i> , <i>Proserpinaca teretifolia</i> , <i>Xanthorrhoea preissii</i> , and <i>Mossmania laetevirens</i> . Regrowth of cleared areas and pasture by <i>Agrostis flexuosa</i> with pasture undulations or exotics such as <i>Ammi Lily</i> .
AF	Melaleuca Thicket This is a community formed by regrowth of <i>Melaleuca culcuteris</i> on estuarine soils with some <i>Melaleuca rhaphiophylla</i> on freshwater seepages.
MT	Estuarine Low Heath Estuarine and salt tolerant <i>Samphire</i> and <i>Chenopodiaceae</i>
ES	Eucalyptus - Taxandria Low Woodland Low woodland of <i>Eucalyptus megacarpa</i> over soppoles typical of the lower watter slopes such as <i>Taxandria parviceps</i> with other <i>Taxandria</i> spp and moisture liking species such as <i>Callistemon glaucus</i> , <i>Callistichys lanceolata</i> and <i>Lepidosperma</i>
ET	Taxandria Thicket These are watter areas where there has generally been regrowth after fencing or removal of stock to a thick <i>Taxandria parviceps</i> with other <i>Taxandria</i> spp and moisture liking species such as <i>Callistemon glaucus</i> , <i>Callistichys lanceolata</i> , <i>Halepsum firmum</i> and <i>Melaleuca rhaphiophylla</i> . This occurs in watter areas and along the lower slopes.
TT	

APPENDIX C

Landform Research Vegetation Condition Map

**Bulletin Item 1.1.8-
Agenda Item 13.2.2 refers 108 pages**



Condition Score	Vegetation Condition	Vegetation Descriptors
P	Pristine	Pristine or nearly so, no obvious signs of disturbance
E	Excellent	Vegetation structure intact, disturbance affecting individual species, and weeds are not aggressive species.
VG	Very Good	Vegetation structure altered, obvious signs of disturbance. For example disturbance to vegetation structure caused by repeated fires, the presence of some more aggressive weeds, dieback, logging and grazing.
G	Good	Vegetation structure significantly altered by very obvious signs of disturbance. Retains basic structure or ability to regenerate it. For example, disturbance to vegetation structure caused by very frequent fires, the presence of some very aggressive weeds at high density, partial clearing, dieback and grazing.
D	Degraded	Basic structure of the vegetation severely impacted on by disturbance. Scope for regeneration but not to a state approaching good condition without intensive management. For example disturbance to vegetation structure caused by very frequent fires, the presence of very aggressive weeds, dieback, logging and grazing.
CD	Completely Degraded	The structure of the vegetation is completely or almost completely without. These areas are often described as "riparian clearer" with the flora comprising weed or crop species with isolated native trees or shrubs.

LOT 422, SWAN POINT ROAD, LOWER
KALGAN
VEGETATION CONDITION
Landform R research July 2008
Base Photo LANDGATE Scale 1:3 000 at A3



APPENDIX D

**Landform Research Land Capability Map,
Table, and Site Photographs**

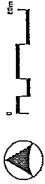
**Bulletin Item 1.1.8-
Agenda Item 13.2.2 refers 108 pages**



**LIMITATIONS TABLES
LAND CAPABILITY FOR DWELLINGS and DEVELOPMENTS**

KEY	CAPABILITY FOR SELECTED LAND USE
I	Very high capability with low physical limitations.
II	High capability with some physical limitations that can be overcome by planning and minor site modifications.
III	Fair capability with moderate physical limitations which may affect development. Careful planning and site modification may be required.
IV	Low capability with many physical limitations.
V	Very low physical capability or with significant limitations.
X	Development not acceptable because of significant environmental or geotechnical issues, or Government Policy. (includes Conservation Category or EPP Wetlands and significant remnant vegetation, high risk geotechnical issues).

See attached sheet with the key and explanations



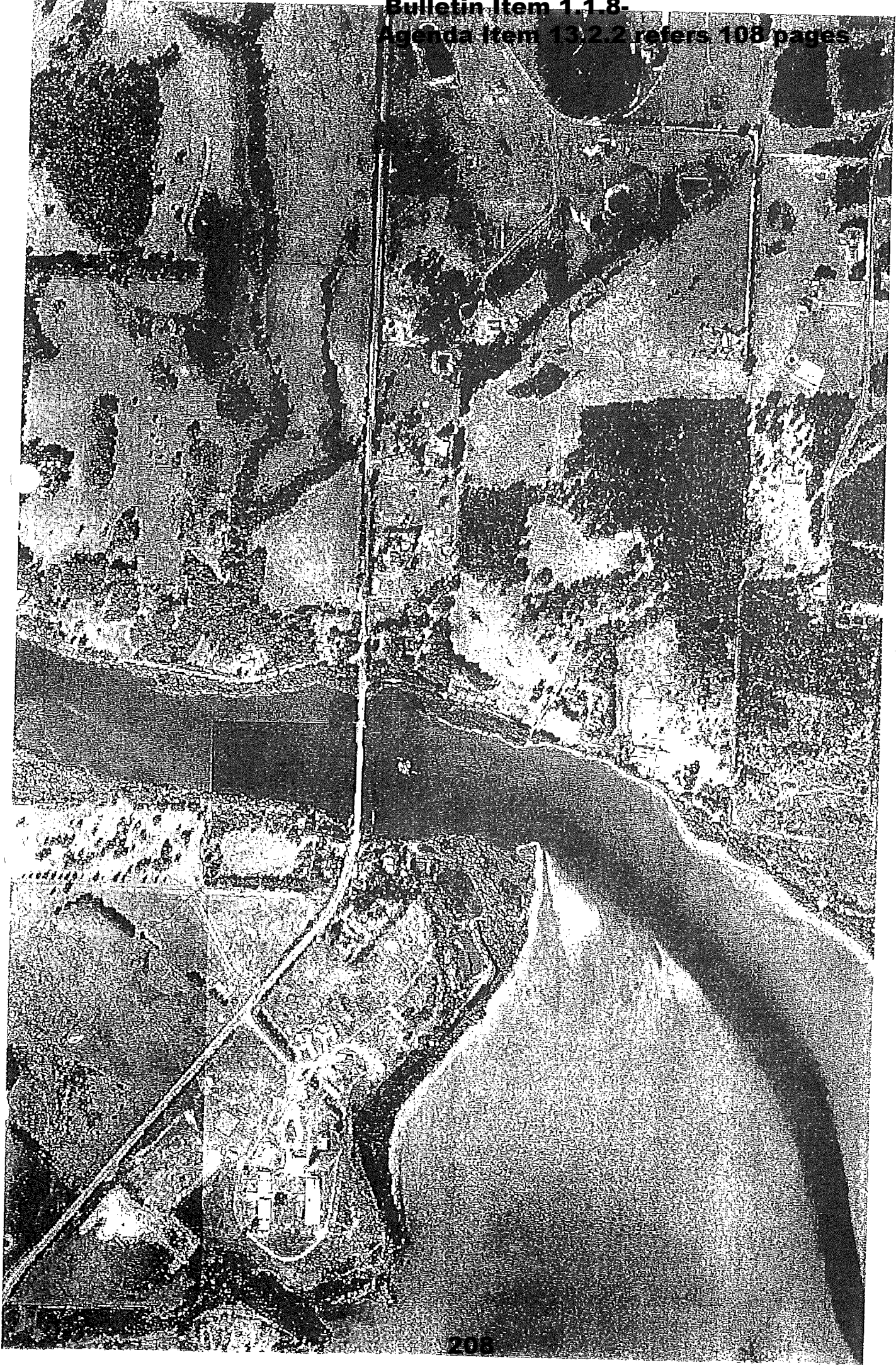
LOT 422, SWAN POINT ROAD, LOWER
KALGAN
LAND CAPABILITY
Landform Research July 2009
Base Photo LANDGATE Scale 1:3 000 at A3

Bulletin Item 1.1.8- Agenda Item 13.2.2 refers 108 pages

CONSTRAINTS ON SOILS FOR LAND USE AND DEVELOPMENT

	CONSTRAINTS IDENTIFIED	POSSIBLE ENVIRONMENTAL MANAGEMENT STRATEGIES
a	Soil permeability limitations	<ul style="list-style-type: none"> • Provide appropriate waste water disposal systems.
b	Foundation soundness	<ul style="list-style-type: none"> • Requires fill pads of sufficient depth to counteract potential clay or expanding sub-soils. • Organic subsoils may need to be removed if present.
c	Potential slope instability	<ul style="list-style-type: none"> • AS 2870 Site Class P generally applies to cut and fill. • Provide appropriate foundation design. • Upslope cutoff drains recommended. • Upslope water loading to be avoided. • Trees to be retained/planted. Pasture cover to be maintained
e	Water erosion risk	<ul style="list-style-type: none"> • Maintain soil cover of crops, pasture, trees or shrubs • Use contour drains and agricultural practices. • Stormwater to be controlled.
d	Steep slopes that require significant management	<ul style="list-style-type: none"> • Steep slopes that will require significant management to develop. • The slopes are often associated with a landscape feature. • Pier-pole foundations may be more appropriate than cut and fill. • Larger lot sizes recommended; > 1000 m².
f	Potential flooding	<ul style="list-style-type: none"> • Requires sand pad to be set sufficiently (0.5m) above highest known water level to minimise capillary effects. • Locate developments outside areas of flooding.
i	Subject to winter wet conditions or water logging risk in wet years.	<ul style="list-style-type: none"> • Alternative waste water treatment systems likely to be required. • Cut off drains and other drainage likely to be required. • Raise waste water disposal areas. • Fill may be required for developments. • Floor elevations to have clearance above water risk levels. • Reduce stock in winter.
k	Soil workability	<ul style="list-style-type: none"> • Remove or avoid rock, clay subsoils or other restrictions.
m	Low moisture availability of soil	<ul style="list-style-type: none"> • Manage or reduce stock to ensure pasture cover through summer. • Restrict clearing to building envelopes.
n	Low nutrient retention ability	<ul style="list-style-type: none"> • Alternative waste water treatment systems may be required. • Leach drains may need to be inverted or semi-inverted, banded by natural soil or impermeable membrane on downslope side. • Setback developments appropriate distances from water bodies/wetlands. • Use reticulated sewerage. • Feed stormwater through detention basins and swale drains. • Manage nutrient and fertiliser applications and stock • Restrict clearing to building envelopes. • Restrict the density of development.
o	Water pollution risk by overland flow	<ul style="list-style-type: none"> • Retain surface water in basins, use swale and grass filters. • Manage stock and potentially polluting land uses.
p	Potentially low microbial purification	<ul style="list-style-type: none"> • Alternative waste water treatment systems may be required. • Correctly install waste water systems. • Bund waste water disposal areas sufficiently.
r	Restricted rooting conditions	<ul style="list-style-type: none"> • Avoid rock, hardpan or other restrictions.
s	Water pollution risk by subsurface flow	<ul style="list-style-type: none"> • See (n) above.
t	Low topsoil nutrient retention	<ul style="list-style-type: none"> • See (n) above.
v	Remnant vegetation	<ul style="list-style-type: none"> • Restrict clearing to building envelopes. Maintain linkages.
w	Wind erosion risk	<ul style="list-style-type: none"> • Manage or reduce stock, irrigate and improve pasture. • Maintain vegetation/stubble cover through summer. • Restrict clearing to building envelopes.
x	Reduced ease of excavation	<ul style="list-style-type: none"> • Remove rock or avoid constrained areas.
y	Salinity risk	<ul style="list-style-type: none"> • Provide drainage and reduce ponding. • Plant deep rooted species including deep rooted crops.
z	Wetland conservation	<ul style="list-style-type: none"> • Exclude building envelopes and developments. • Provide appropriate buffer distances. • Place conservation covenants on wetlands and/or vegetation.
&	Potential for acid sulfate conditions	<ul style="list-style-type: none"> • Minimise deep excavations or bulk earthworks; use fill. • Neutralise removed affected soils. • Minimise or exclude dewatering and lowering of groundwater.
\$	Restricted water availability	<ul style="list-style-type: none"> • Water may be restricted for some horticulture land uses
#	Semi-inverted leach drains	<ul style="list-style-type: none"> • Leach drains should be semi-inverted, banded by natural soil or impermeable membrane on the downslope side.
@	Alternative waste water treatment system required	<ul style="list-style-type: none"> • Unsuitable for conventional septic systems. All lots will be required to use alternative waste water treatment systems to comply with Regulations, Policy and Department Guidelines.

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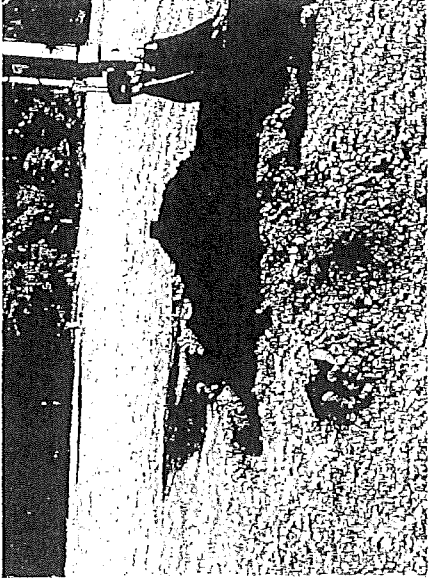


**Bulletin Item 1.1.8-
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LOT 422,
SWAN POINT ROAD,
LOWER KALGAN



Loam silt soils that have high phosphate retention



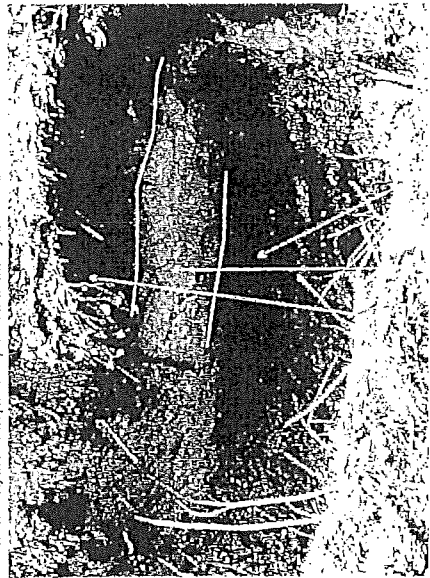
Typical soils of much of the site, with grey and white sand over laterite over yellow silt

Dark grey sand
pH 5.8
Grey sand
Yellow plastic
silty clay
Silt with yellow
and grey vertical
striping between
large pods



Minor
seepage
at 600 mm

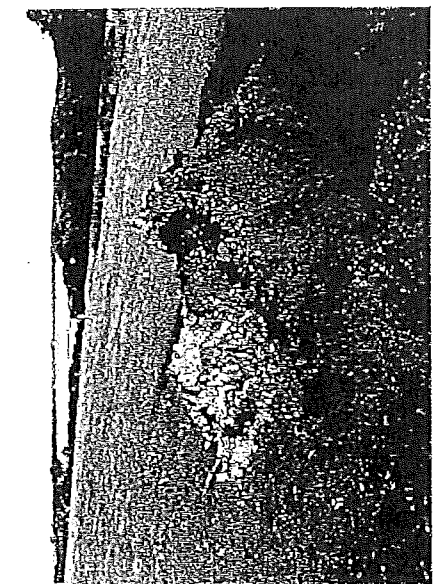
Test Hole 1, showing sand over yellow silt, with the layer of clay at the top of the all subsols.
NOTE: Clay has been spread deeper down the hole by the bucket.



Typical soils of much of the site, with grey and white sand over laterite over yellow silt



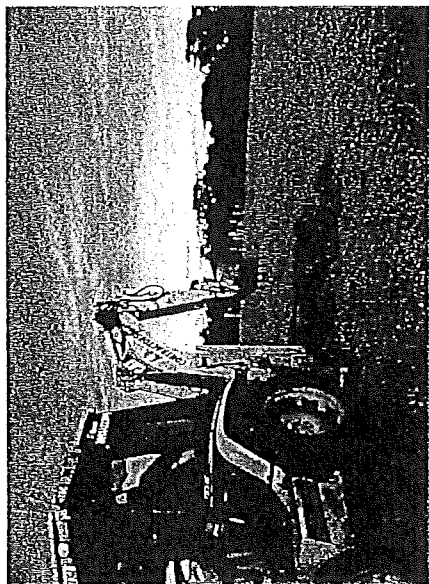
Yellow orange silt subsols that has weak laterite developed at the top



Test hole 2, showing well drained loam soils with high phosphate retention capability

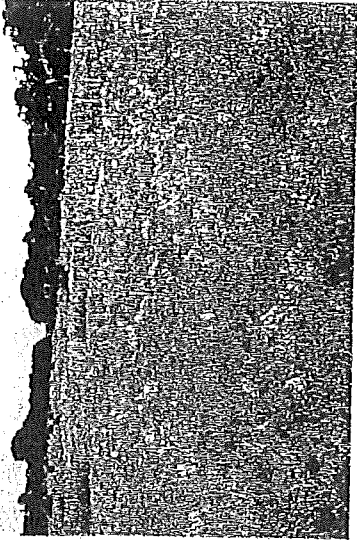


Hole 6, showing deep sand, light grey over white to very pale brown

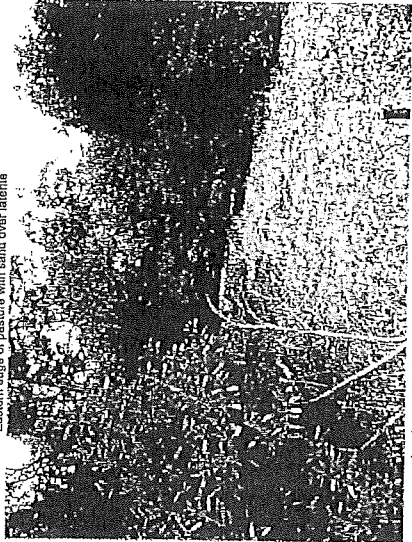


Open pasture with sand over laterite and yellow silt

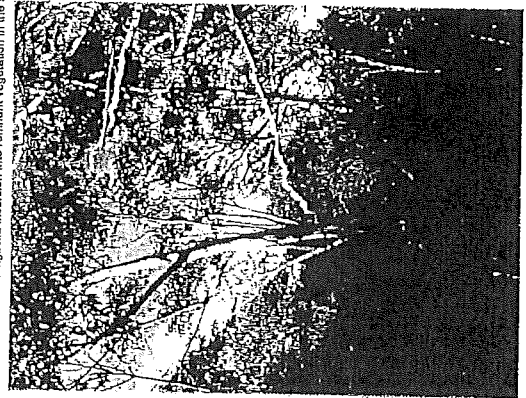
LOT 422,
SWAN POINT ROAD,
LOWER KALGAN



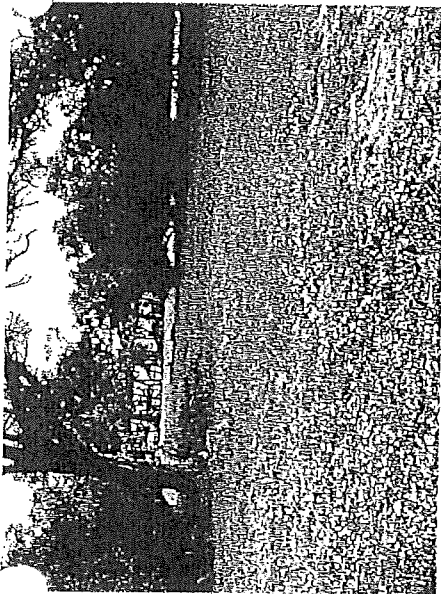
Eastern edge of pasture with sand over laterite



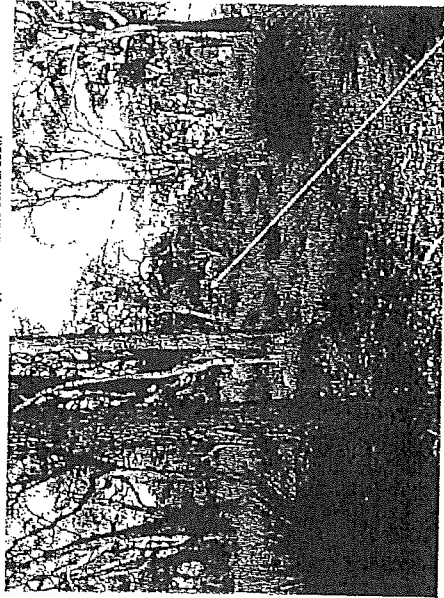
Acacia longiloba incursion into remnant vegetation in the south



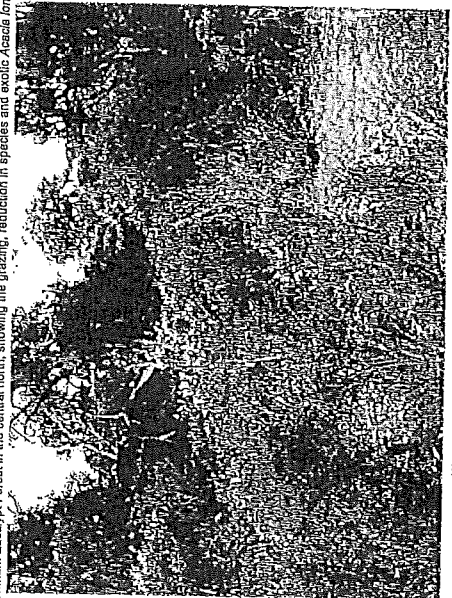
Eucalyptus megacarpa over *Taxandria* spp Thicket in the north east corner



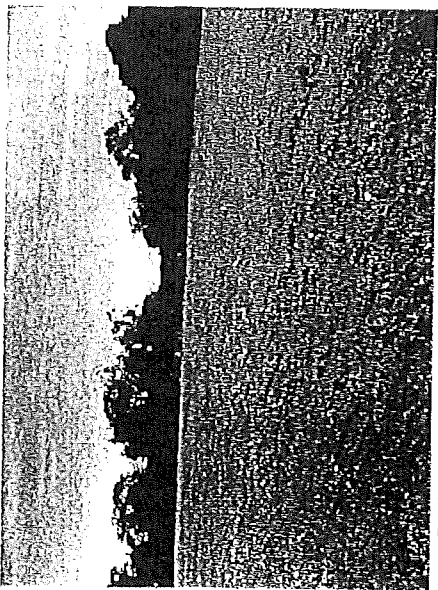
Edge of the remnant Eucalypt Forest in the central south



Remnant Eucalypt Forest in the central north, showing the grazing, reduction in species and exotic *Acacia longiloba*



Weller *Taxandria* spp Thicket in the central south



Typical of much of the site with pasture on well drained sand over laterite



Remnant Eucalypt Forest in the central south, showing the removal of all understorey native species



Weller *Taxandria* spp Thicket in the central south

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Agenda Item 13.2.2 refers 108 pages

City of Albany Records

Doc No: ICR8098822
File: STR078

Date: 26 FEB 2010
Officer: SPLAN

Attach: *SPL02*

Harry C Poole
45 Riverview Rd
Kalgan WA 6330

25th February 2010

Chief Executive Officer
City of Albany
North Rd
Albany WA 6330

Dear Sir,

RE: Modifications to Draft Albany Local Planning Strategy (ALPS)

I wish to object to the listing of land in the Lower Kalgan locality north of Nanarup Rd as 'Future Urban (refer map 9B of ALPS)'.

Section 8.5 of ALPS states that one of the objectives is to facilitate the protection of priority and general agricultural land from incompatible land uses, developments and management practices.

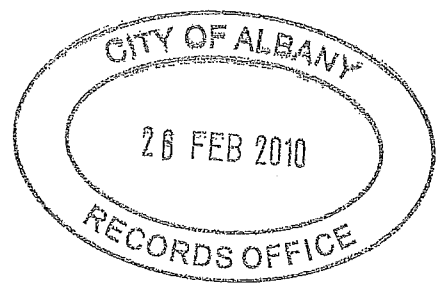
This area was some of the very first land developed for agricultural food production in the Albany district because of the very fertile heavy loam soils.

Housing development should not be on prime agricultural land.

Yours faithfully



Harry C Poole



Doc No: City of Albany Records
ICR8099024
File: STR078
Date: 26 FEB 2010
Officer: SPLO2
Attach:

Our Ref: 09-35

24 February 2010

Chief Executive officer
City of Albany
PO Box 484
ALBANY WA 6331

Dear Sir

**Albany Local Planning Strategy: Submission in Relation to
Lots 50 & 51 Nanarup Road and Lots 11, 300 & 1301 Gull Rock Road, Kalgan**

Further to your letter dated 15 December 2009, seeking comment in relation to the modifications made to the draft Albany Local Planning Strategy (ALPS), please find attached a submission in relation to the above land.

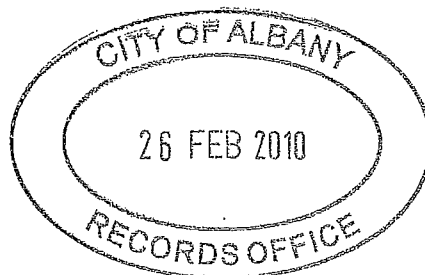
It would be appreciated if the submission could be presented to Council for consideration.

Please do not hesitate to call me if you require further information or clarification.

Yours sincerely

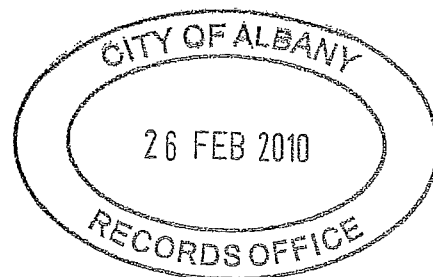


Nick Ayton
AYTON BAESJOU PLANNING



ALBANY LOCAL PLANNING STRATEGY

SUBMISSION IN RELATION TO
LOTS 50 & 51 NANARUP ROAD, AND
LOTS 11, 300 & 1301 GULL ROCK ROAD, KALGAN



Prepared by

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PLANNING

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February 2010

1. INTRODUCTION

This submission relates to Lots 11, 50, 51, 300 & 1301 Nanarup Road/Gull Rock Road, Kalgan, which are located within the area designated in the Draft ALPS as 'Future Urban' (Priority Development 5).

The submission requests that the lots be deleted from the 'Future Urban' designation and placed within the 'Special Residential' designation.

The request is based on the following key points:

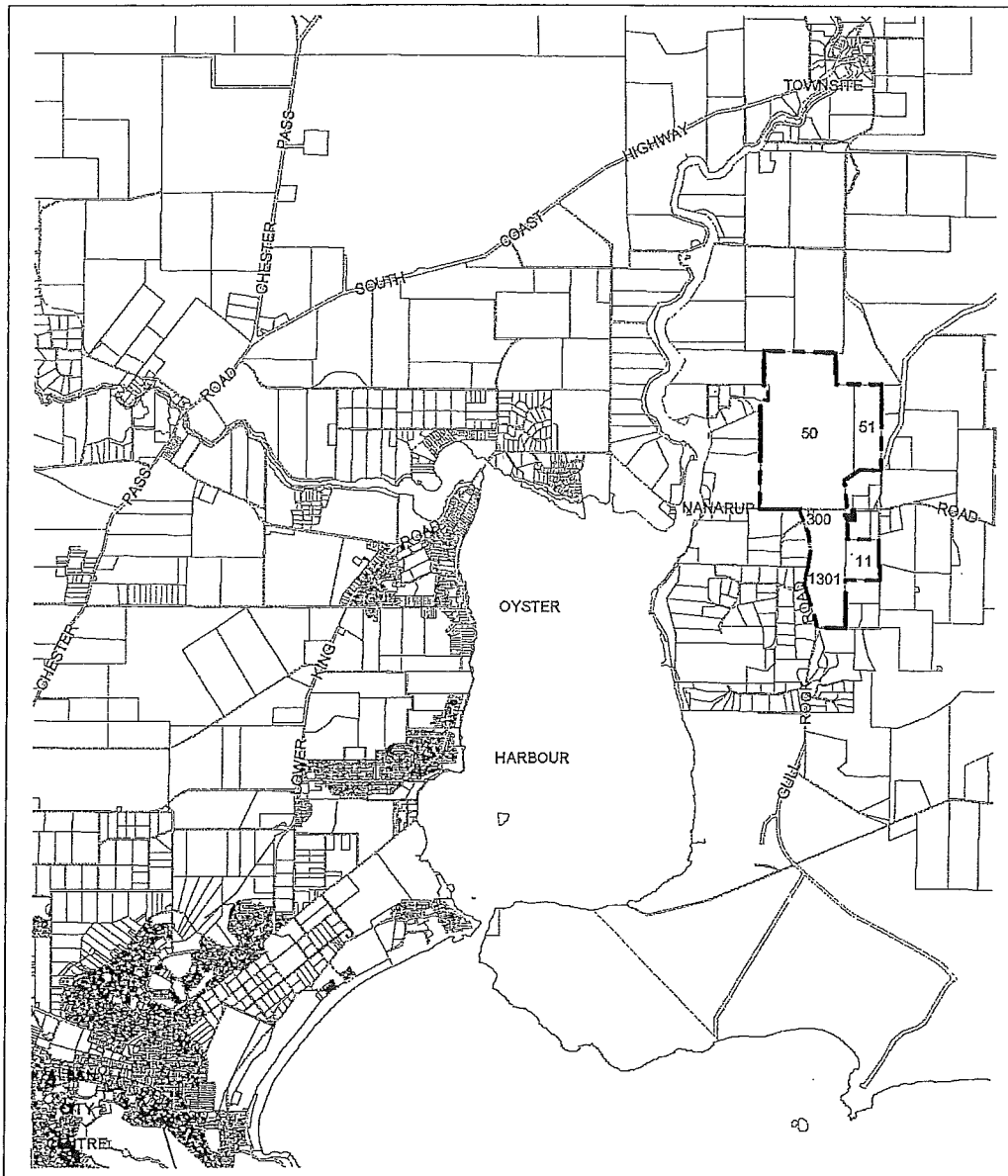
- Special Residential zoning is the most appropriate form of development given the location, topography, land capability and suitability;
- The Albany Regional Rural Strategy (1991), the Albany Local Rural Strategy (1996) and the advertised Draft Albany Local Planning Strategy (2006) have all designated the land for rural residential purposes.
- There is sufficient land available adjacent to the existing urban footprint to accommodate fully serviced urban development.
- The proposal to incorporate land on the eastern side of the Kalgan River was initiated by the owner of the subject land on the basis that it could proceed in the short term as a largely self contained urban cell. Those preconditions no longer exist and consequently the proponent no longer supports the designation of the land as 'Future Urban'.

The following report provides background information and justification to support the above points.

2. LOCATION, AREA & ZONING

Lots 50 & 51, known as 'Candyup' are located on the northern side of Nanarup Road some 19kms north east of the Albany City Centre. Lot 50 is 236ha in area and Lot 51 is 40ha and occupy much of Mount Boyle which is a prominent topographic feature on the eastern side of the Kalgan River. Refer Location Plan.

Lots 11, 300 & 1301 are located on the southern side of Nanarup Road and occupy approximately 97ha of the western slopes of Mt Mason which is also a significant topographic feature to the east of Oyster Harbour.



Location Plan

Lots 50 & 51 are currently zoned 'Rural' under the provisions of Council's Town Planning Scheme No. 3. The City of Albany recently resolved, at its January 2010 Council meeting to advise the landowner that it is prepared to entertain the submission of a formal Scheme Amendment to rezone to the 'Special Residential' zone. Refer letter in Attachment 'A'.

Lots 11, 300 & 1301 are zoned 'Special Rural' and detailed design is currently being undertaken in order to proceed with the first stage of the development which occupies the lower slopes of the site.

3. LANDFORM & SOILS

The properties are located on the elevated slopes on the southern and western flanks of Mount Boyle and Mount Mason.

A range of soil types exist over the properties including Brown Loams, Grey brown Cracking Clays, Rocky Soils, Gravel over Duricrust, Loam Gravel, Sand over Loam, Sand over Gravel and Alluvial Loam/Clay.

4. VEGETATION

The majority of the property has been cleared of the remnant vegetation and is used for pasture for stock. Approximately one third of lots 50 & 51 is covered with remnant vegetation, the majority of which is degraded, ie. the basic vegetation structure has been severely impacted by disturbance, e.g. very aggressive weeds, partial clearing, dieback and stock grazing over the past 150 years.

5. SERVICE INFRASTRUCTURE

Nanarup Road and Gull Rock Road provide sealed road access to the properties.

While a water main exists in Nanarup Road, connection to scheme water will need to be via the water main which extends from Lower king to the western end of the Kalgan Bridge. Elevated water tanks will be required to service the upper areas of the subject land and will be supplied by this development and will be an advantage for surrounding areas.

Scheme sewer is not currently available to the area, with the nearest connection point being approximately eight km away.

Power and telecommunications currently service the area and can be extended to accommodate additional development.

In terms of other facilities such as schools, shops, community and recreational facilities, the following are currently available:

- The Kalgan Community Hall, tennis courts and fire Station are located on Nanarup Road in close proximity to the subject land.
- A shop/café is located on Nanarup Road approximately 400 metres west of the Kalgan Bridge and 1.5km from the subject land.
- The Great Southern Grammar School which provides kindergarten to year 12 education is located just to the west of the Kalgan Bridge opposite the shop/café. The Flinders Park Primary school is located in Bayonet Head approximately 9.5km to the south east.
- The Bayonet Head local shopping centre is located on the corner of Bayonet Head Road and Lower King Road, some 8km to the south east.

6. PLANNING CONTEXT

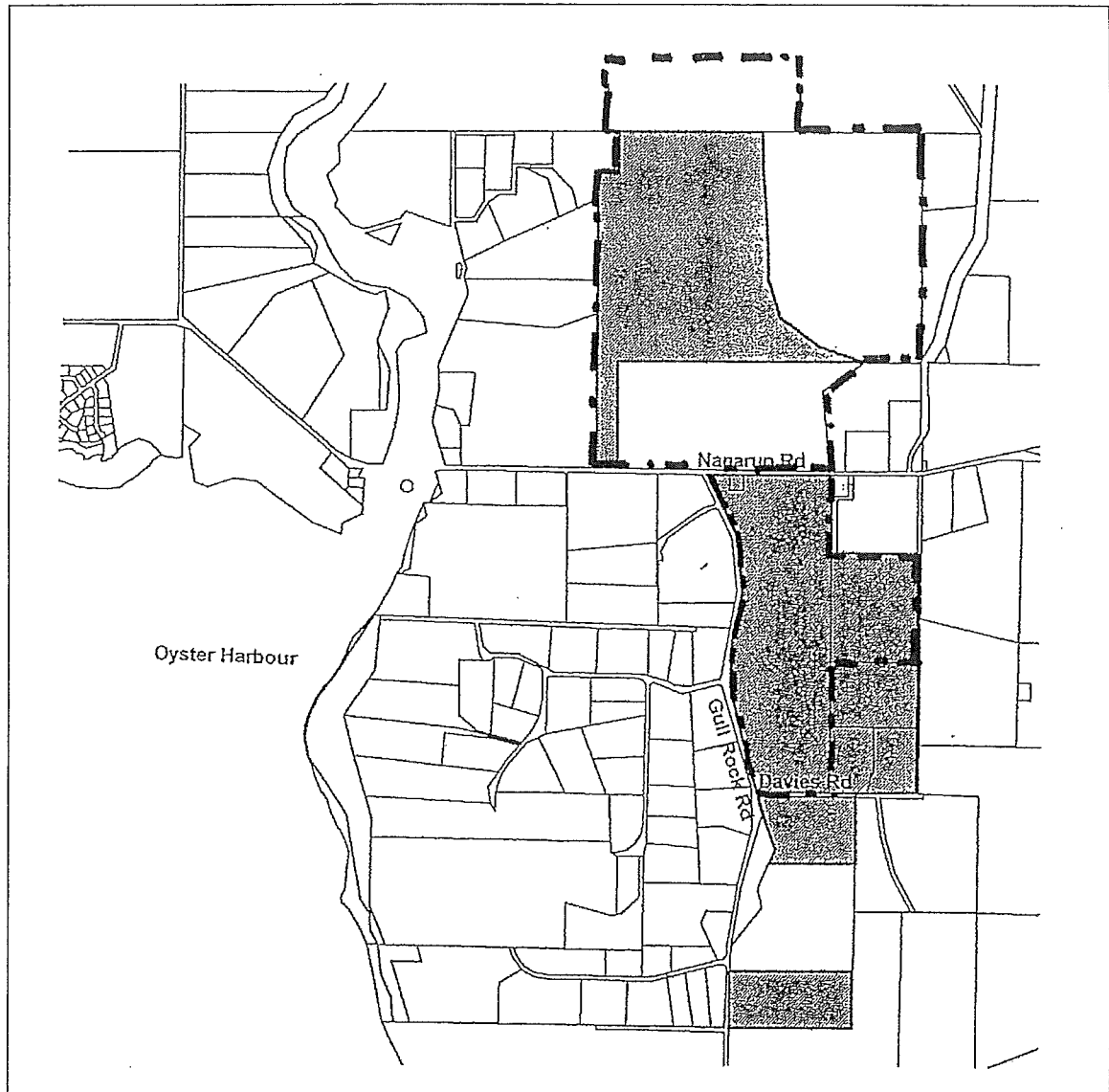
6.1 Albany Regional Rural Strategy (1991).

The property has been identified as being suitable for rural residential development as far back as 1991 in the Albany Regional Rural Strategy (1991). The site falls within the “K-K 7 Albany Planning Unit” wherein the preferred land use was for tourism/rural retreats. The recommendation was based on the detailed investigation of:

- Principal landforms and soils;
- The potential hazards, constraints and problems in current landuse and management practices;
- The origin of existing problems and suggestions for resolution;
- The limitations of alternative landuses; and
- The capability of the land to support uses and, bearing in mind all other issues, recommendations on the suitability of land for particular uses.

6.2 Albany Local Rural Strategy (1996)

A portion of Lot 50 and all of Lots 11, 300 & 1301 were subsequently included within the Oyster Harbour 14 Policy Area as defined in the Local Rural Strategy (ALRS).



Oyster Harbour 14 Policy Area

Of particular relevance to this proposal is the definition of 'Rural Residential' development which is contained in Section 7 of the Strategy and sets out.

For the purposes of this Strategy rural residential development means the rezoning and subdivision of land which is currently zoned Rural into lots ranging in size from 2,000m² and above.

It is usual to categorise rural residential development as follows:

- *Special Residential – lots ranging from 2000m² – 1ha which must be connected to reticulated water;*

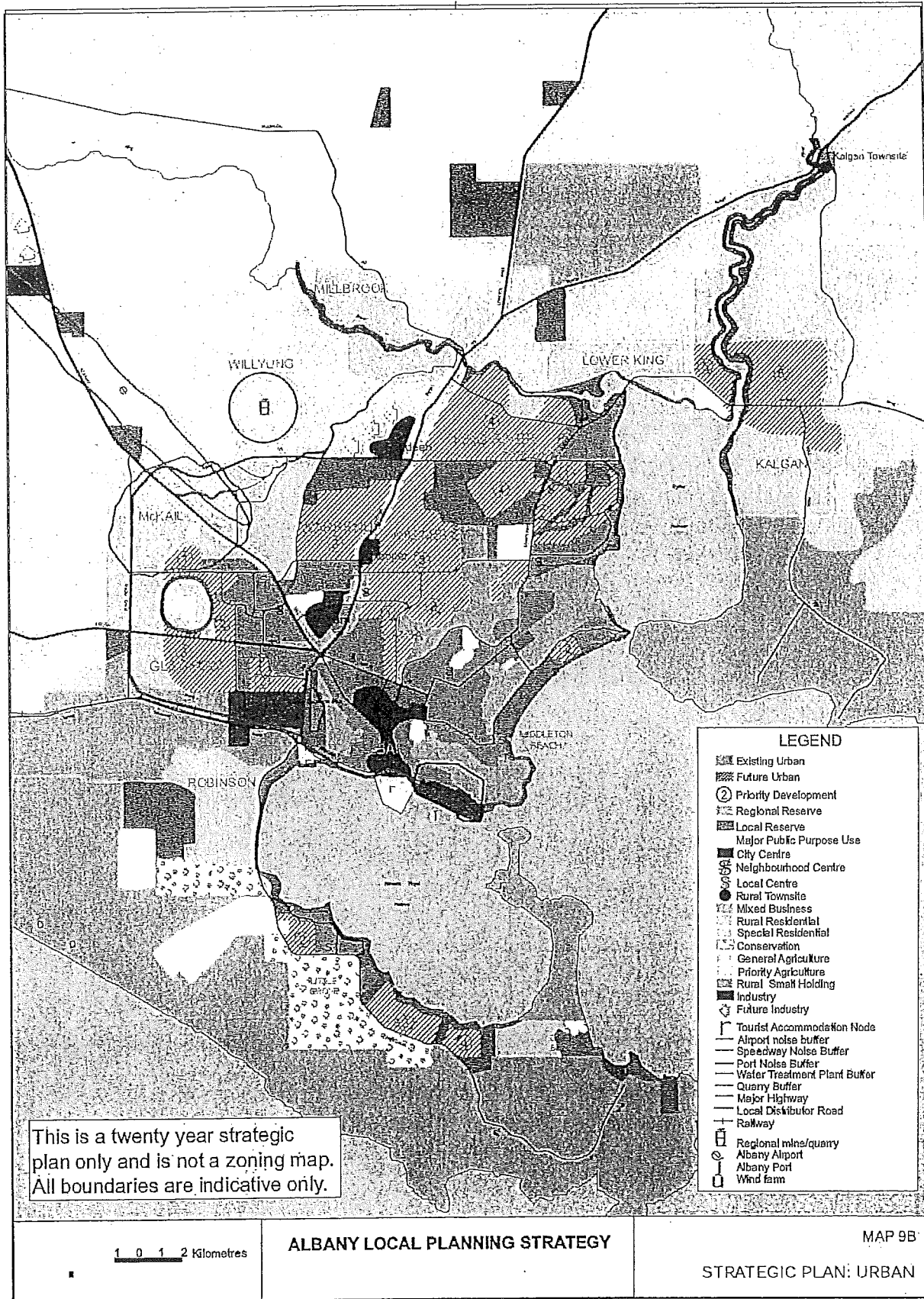
The City of Albany at its meeting in January 2010 supported in principle the rezoning of Lots 50 and 51 to the Special Residential zone.

7. PROVISION FOR RESIDENTIAL LAND IN ALPS

The Strategic Plan: Urban (Map 9B) depicts the existing urban footprint and proposed future urban areas.

Section 6.1.3b "Population Growth Trends" states that ALPS is assuming a population growth rate of 1.6% resulting in a population increase to 42,370 by 2021. Section 6.2.3 "Future Housing Needs" notes that at this growth rate, 229 dwellings per year would be required. However, the preceding section notes that Council's building approval records show the following number of dwellings were constructed:

2002/3	307 Dwellings
2003/4	413 Dwellings
2004/5	380 Dwellings
2005/6	429 Dwellings
2006/7	363 Dwellings
(An average of 378 per year)	



It is noted that growth rates may be higher if the “sea change” factor, mining and industrial projects are taken into account. Should growth rates increase to 2.5% or 5%, it states an average of 374 or 840 dwellings per year will be required. A growth rate of 5% when compared to the existing 1.6% growth rate is unlikely and in any case would not occur immediately given the lead time for mining and or industrial development projects, as well as planning and infrastructure to support such a massive increase in growth.

Section 8.3.1 “Strategic Settlement Direction” notes that the urban settlement strategy can accommodate 100,000 people in an additional 40,000 dwellings in the ‘Future Urban’ areas.

More recent work undertaken by the City as part of the traffic modelling project suggests the ‘Future Urban’ areas, excluding the Priority 5 areas adjacent to the Kalgan River, can accommodate approximately 66,460 dwellings.

Assuming a 374 dwelling take up per year, the ‘Future Urban’ area could accommodate another 191 years growth or at 500 dwellings per year 132 years.

As is the situation in the Darling Ranges within the Perth Metropolitan area, the more constrained steeply sloping land to the east of Gull Rock Road and north of Nanarup Road are more suited to unsewered larger ‘Special Residential’ lots. The nature of this land and its special qualities are entirely compatible with a ‘Special Residential’ designation.

8. PROVISION FOR SPECIAL RURAL AND SPECIAL RESIDENTIAL LAND IN ALPS.

Section 8.3.5 "Rural Living" of ALPS illustrates the potential for additional lots within areas currently designated Special Rural and Special Residential. Approximately 191 lots are available for Special Residential development and 571 lots for Special Rural development. Refer to page 131 of ALPS in Attachment B. This is in comparison to the areas designated for fully service urban development which can accommodate between 40,000 to 66,460 dwellings based on an estimate by the City of Albany.

Clearly, provision for Special Residential development is modest in comparison to provision for urban lots. While in hindsight it can be argued some areas have in the past been designated in areas that could have been set aside for urban development, the Kalgan locality is the most removed from the urban development footprint and associated services. It is the most logical area to develop special rural/special residential development but at the same time has reasonable access to necessary services. The Agriculture Department and detailed land capability assessments have also concluded that the property is not significant from an agricultural perspective.

While ALPS suggests there has been an oversupply of rural residential / special residential lots, a recent survey carried out by the local real estate industry concludes that there are virtually no lots available for purchase. As was found during the recent 'boom' period, when it was estimated that there were 2000 lots available for residential development, when in fact a more detailed assessment revealed there were only 200 available, there are many reasons why lots are not brought on to the market.

The proponents' Gull Rock lots are an example where the provision of scheme water requires high level water tanks which could also be designed to accommodate the Candyup development. The delay in finalising the zoning of Candyup has meant that the developer has been unable to determine the capacity of the infrastructure required on the Gull Rock site. Consequently, some of the most spectacular land in Albany has remained undeveloped when there is clearly a demand for such land.

9. SPECIAL RESIDENTIAL OR RURAL RESIDENTIAL?

There is now a much greater emphasis on maximising the efficient use of land and minimising the take up of agricultural land on the periphery of land set aside for urban development. Experience has also shown that the average landowner has difficulty in managing more than 2000m² to 4000m² of land. On larger lots stock are invariably used to manage the property resulting in less revegetation and greater visual impact in visually exposed areas. The stock can also be a concern from an environmental point of view in terms of possible impact on the vegetation and increased effluent which has the potential to be exported into the waterways.

The subject land is a scarce and valuable resource in terms of its exceptional amenity for rural living, adding a further responsibility to ensure it is used wisely. A range of lot sizes predominantly within the 2000m² to 1ha range is recommended, with the size to be determined by detailed land capability and suitability assessment.

Special Residential lots of this size at Kalgan Heights are a good example of how this form of development can be well integrated into the landscape.

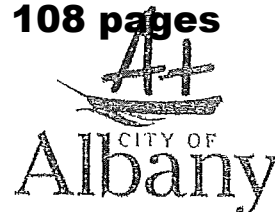
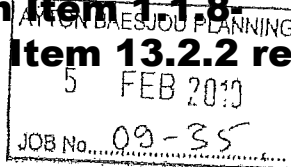
10. CONCLUSION

Over the past six years a number of options have been canvassed regarding future development of Lots 11, 50, 51, 300 & 1301 Nanarup Road/Gull Rock Road. With the perspective of time and refinement of ALPS, it is clear that these lots are not required in the foreseeable future to accommodate the future demand for intensive residential development in Albany. Nor is it considered the most appropriate form of development given the special characteristics and constraints of the site. The original option to develop the area for a range of lot sizes encompassed in a 'Special Residential' zoning, is considered the most appropriate form of development. There is not an over supply of such lots in the overall context of Albany's development over the next 10 to 15 years. Virtually no lots of this size are currently available and there is a demand for quality sites of this nature.

It is requested that ALPS be amended to delete the Future Urban designation over the subject land and designate it as 'Special Residential' in order to conform with Council's recent resolution to support in principle rezoning of lots 50 & 51 Nanarup Road to the 'Special Residential' zone.

As similar designation for the Gull Rock property will also provide for more effective use of the land in conformity with the intent of ALPS.

Bulletin Item 11.8.
Agenda Item 13.2.2 refers 108 pages



Our Ref: SAR145 / LT8032039
 Cross Ref: LT8031394
 Your Ref:
 Enquiries: Robert Fenn

03 February 2010

Ayton Baesjou Planning
 11 Duke Street
 ALBANY WA 6330

Dear Sir/Madam

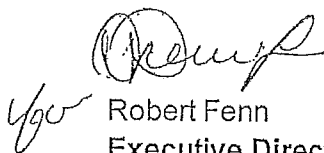
ADVICE OF COUNCIL DECISION
SCHEME AMENDMENT REQUEST - LOTS 50 AND 51 NANARUP ROAD KALGAN
(CANDYUP)

Your application for the above proposal was considered at Council's 19 January 2010 meeting where the following was resolved:

THAT Council ADVISE the proponent that it is prepared to entertain the submission of a formal Scheme Amendment to rezone Lots 50 and 51 Nanarup Road from the 'Rural' zone to the 'Special Residential' zone.

Should you have any further queries regarding this matter, please do not hesitate to contact me on direct telephone 9841 9366 or via email robertf@albany.wa.gov.au.

Yours faithfully


 Robert Fenn
 Executive Director Development Services

rf:dd

The figures below illustrate the potential for additional lots within areas currently indicated Special Rural and Special Residential. There are about 191 Special Residential and 570 Special Rural lots that may be capable of being created.

Figure 11: Special Rural/Special Residential Lot Supply Legend.

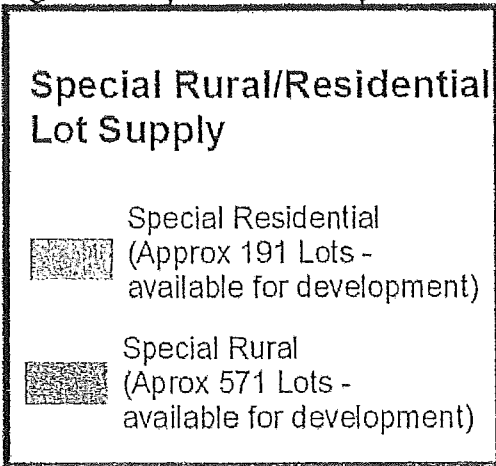
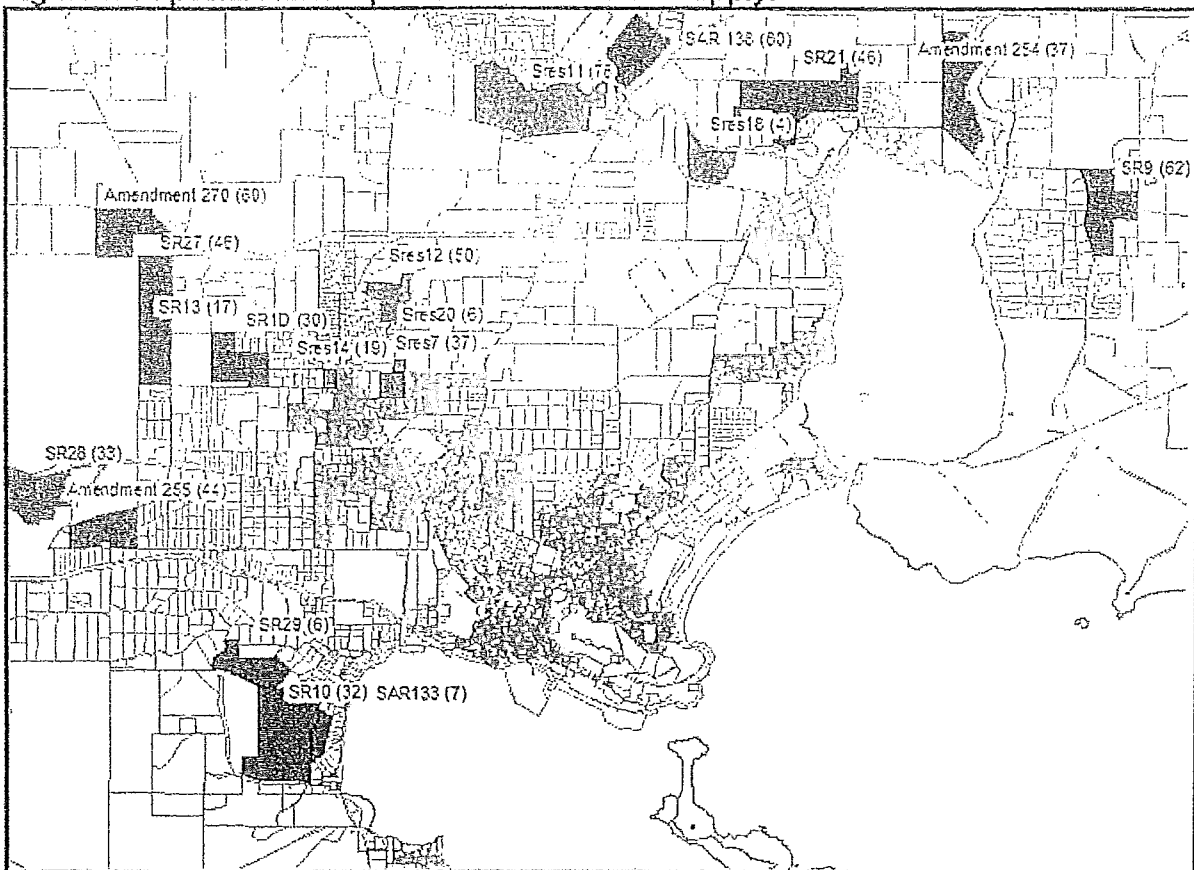


Figure 12: Special Rural/ Special Residential Lot Supply.



City of Albany Records
Doc No: ICR8099027
File: STR078
Date: 26 FEB 2010
Officer: SPLO2

Our Ref: Y:\MISC JOBS\DALPS RE-ADV FEB 2010.DOC

Attach:

26 February 2010

Chief Executive Officer
City of Albany
PO Box 484
ALBANY WA 6331

ATTENTION: ADRIAN NICHOLL

Dear Adrian,

READVERTISING OF DRAFT ALBANY LOCAL PLANNING STRATEGY

Following your invitation, we make these general comments on the readvertising of the Draft Albany Local Planning Strategy (DALPS).

1. Activity Centres Planning Strategy

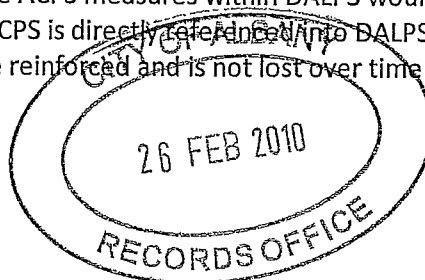
We are pleased to note the comprehensive Activity Centres Planning Strategy (ACPS) which includes a run down on existing centres and reinforces the need for the Orana Neighbourhood Centre, the need to acknowledge market driven nature of bulky goods retail and the need to provide for it (and that it can be accommodated acceptably).

Other supported components include the need to let the central area have its own character as you progress north up York Street from the Entertainment/Tourist area to the Retail Core and that it is desirable for the contemporary Retail Core to have its own modern character and not be driven by planning decisions to be a poor imitation of main street type development.

Finally, ACPA acknowledges the reality that structure planning will take place and will justify additional Local Centres (and possibly Neighbourhood Centres) by virtue of their scale & projected population.

References are made to the need to provide for these additional centres in structure plan/urban release areas within Section 6.6 Local Centres (Pg 59), 6.9 Development of Activity Centres (Pg 61), and 6.10 Centres Modeling (Pg 63). In addition the ACPS makes much of the desirability of increasing residential densities (or allowing for resubdivision to increase residential densities where viable) for existing and proposed local and neighbourhood centres.

Unfortunately DALPS does not fully reference these significant planning strategies and measures. It is recognised that to reproduce all the ACPS measures within DALPS would make it unworkable; however, it is still important that ACPS is directly referenced into DALPS. This will help ensure the important components of ACPS are reinforced and is not lost over time as DALPS is implemented.



**Bulletin Item 1.1.8-
Agenda Item 13.2.2 refers 108 pages**

2. Rural Townsites

DALPS discusses the importance of maintaining the identified rural townsites for the community and service focal point function they provide. DALPS states that they have the ability to support additional residential development, tourist accommodation, retail, small business and community senses. DALPS then states that:

- Each of these settlements will be included within precinct plans/structure plans in order to determine their development constraints and opportunities.
- These townsites are seen as offering a lifestyle based around an existing historical area.
- The nominated townsites have the ability to be developed further as focal points for their communities.

It is confusing & inconsistent then in Table 4, DALPS discounts the consideration of development, townsite planning and the potential for any expansion in South Stirlings, Torbay Hill, Elleker, Torbay, Young's Siding and Redmond. This is done irrespective of the high level of existing servicing, community facilities and community itself. Issues most relevant for the Elleker, Youngs Siding & South Stirling Townships.

Further, in the instance of Elleker (Youngs Siding, Redmond, South Stirling are unknown as maps are not provided) DALPS reduces the townsite to a handful of lots and excludes the dominant area which forms the townsite in a practical sense. This map does not include the shop, restaurant and surrounding lots all of which could accurately be described as forming part of the townsite.

To rectify this anomaly:

- If townsite boundaries are to be identified in ALPS, they should be based on the onground realities not the outdated land act boundary or artificial lot size criteria.
- Table 4 should be modified such that proposals for intensification/expansion are based on adopted planning strategy, the background in DALPS, the Rural Planning Issues Paper and the like.

3. Introduction of Special Residential & Frenchman Bay Road Robinson, Rural Residential

Although it is not fully explained within DALPS it appears there is a 2ha minimum lot size nominated for this area.

DALPS discusses at length and strongly advocates the efficient use of the finite land resource, subject to capability and suitability considerations.

In this instance, the highlighted area is very close to the central area and all of its facilities and services, the area is already highly serviced with all infrastructure and human services and the area has excellent access to employment centres.

As a result, subject to detailed assessments of the land capability and other landuse issues (groundwater reserve protection, visual issues, access, service provision, etc) it is considered premature to be identifying a minimum lot size.

Bulletin Item 1.1.8- Agenda Item 13.2.2 refers 108 pages

It is clear that following such studies, the new special residential classification may be more suitable for many areas in this precinct.

Another issue is that contrary to the proposals of DALPS, Council still has an operational policy that specifically provides for special residential sized lots in this area. As a result, the DALPS proposals may be seen as a significant new restriction on the future use and development of many of these lots.

On balance, it is recommended that future lot sizes and layouts within this valuable near urban land, be defined by full capability and suitability assessments including rezoning and precinct planning (where appropriate) with the possibility of Special Residential where it can be sustained.

4. South Coast Highway Priority Agriculture

A pocket of Priority Agriculture (PA) is shown south of South Coast Highway west of George Street which is small in overall area, in fragmented ownership with small existing rural lot sizes. This area accommodates basic raw materials, grazing/stable uses (none of which are priority agricultural activities) and is surrounded by special rural development (Lowanna Drive to the south, Albany Green to the west and George Street lots to the east).

PA is considered untenable in this area given:

- PA uses are intensive and involve buffers and activities that are not compatible with rural residential living (noise, dust, odour, pesticides, herbicides, fertilisers, etc).
- The lots are already fragmented to a point that most conventional PA uses could not be sustained.
- DALPS has a strong emphasis on a consolidation strategy which is repeated through out the report. Leaving this area as PA whilst it is leapfrogged by intensive rural residential development is contrary to this objective.
- The land is in close proximity to the town centre and access routes which, experience shows, will come under pressure for non agricultural uses regardless of a PA strategy approach. For instance, reference can be made to the various quasi transport depots and rural industries that exist on many other near urban rural lots both within Albany and other regional centres. These activities appear to be occurring contrary to existing planning policies.
- Portions of this land are low lying and wet. Intensive agricultural use, associated site modification for cultivation and water supplies, fertiliser, herbicide and pesticide application would not appear ideal given this area drains directly to the South Coast Water Reserve.

It would therefore be best to proactively plan for this area and note the possibility of special rural type development as a compatible use subject to necessary capability and other assessments.

5. Local & Regional Reserves

We note the extensive local and regional reserve systems depicted within and surrounding the urban area (Map 9b).

While the objective is laudable, these designations cover many privately owned parcels of land. This creates difficulties in that there is minimal explanation of what this actually means for the landowners

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themselves or the community in general, ie, how are these reserve areas are going to be rationally and practically implemented.

Given this lack of explanation, it can only be assumed that in the areas where existing private lots are large and the reservation occupies a minor portion with a larger area identified for higher development, acquisition or protection will be pursued at the time of significant redevelopment/subdivision.

Many lots however, are not suitable for this approach as they are in the main or wholly shown under a reserve. The problem then rises that these lots currently have clear development potential and development rights pursuant to the current controls of the Local Planning Scheme which the DALPS in its reservation proposals, appears to be removing.

As a result, it may be that implementation of DALPS results in the loss of development potential and opportunities that currently exists. This occurring without a basic explanation of how this is to be equitably achieved and over what sort of timeline.

6. Future Urban designation adjacent to New Bayonet Head/Oyster Harbour Neighbourhood Centre.

We note that opposite the new Bayonet Head/Oyster Harbour Neighbourhood Centre there is a thin sliver of local reserve shown along the Lower King Road Frontage. This links the Hooper Road Reserve System to the Gibb Reserve.

While the objective of linking these two reserves with a vegetated corridor is understood, the suitability of a location adjacent to the road could be questioned on the following grounds:

- There is no remnant vegetation in this area. Remnant vegetation exists toward the rear of the lot surrounding an existing water feature. It may therefore be better from an environmental viewpoint that the corridor is used to link the two reserves via this remnant vegetation and the habitat of the water feature.
- The planning & design objective of lot frontage, aspect and surveillance of Lower King Road is lost if the corridor separates lots from the road.
- As the neighbourhood centre is located on the opposite side of the road, a corridor in the proposed location would occupy the valuable (from a planning and urban design perspective) near centre land that is best used for medium density housing. Not making the most of this land runs counter to the stated objectives and recommendations within ACPS, DALPS and Liveable Neighbourhoods. In this instance, the location of the corridor can be moved whilst the location of the Neighbourhood centre and therefore its ped shed, is fixed.

It is therefore recommended that flexibility is retained within DALPS to relocate this corridor at the time of detailed planning.

7. Conservation Zones Map 9B

The identification of Conservation Zones on Frenchman Bay Road along with DALPS text proposing a 9ha lot size is questioned. The DALPS restrictions are proposed after what appears a cursory examination of the land's constraints, capability, suitability and potential.

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It is recognised that in many areas Water Reserve Protection Requirements and existing lot sizes restrict any further site development however, there are a number of landholdings that appear to be able to accommodate a myriad of alternate tourist, retreat and/or similar low impact landuse options meeting all environmental, social and resource protection objectives. None of this appears to be investigated or provided for within DALPS.

For instance, much of this land has the ability to provide a unique high quality eco-retreat holiday experience whilst still being within cycling and walking distance of the Harbour, the city centre and/or local shopping opportunities.

To nominate such a single use is not best practice. It does not encourage the highest and best use to be explored and does not attempt to make the most of the rare range of opportunities much of this land offers.

As an alternative, these areas should be subject to precinct planning processes to examine opportunities and constraints in detail and propose alternate development scenarios based on those opportunities and constraints.

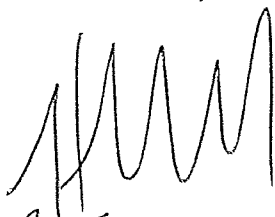
8. Conclusion

There is much to support within DALPS but by the same token, we are unsure whether the vast bulk of the residents and ratepayers of the City are fully aware of the potential impact and application of DALPS. This, no doubt, will become apparent once it is finalised and begins to be applied to individual proposals as they come in.

We trust the issues noted above will be considered helpful be and used to inform what is a significant document for the future development of the City.

Please do not hesitate to be in contact if you need further clarification or would like to discuss these issues in more detail.

Yours faithfully



MICK AYTON
AYTON BAESJOU PLANNING

Doc No: ICR8098998
File: STR078

Date: 02 MAR 2010
Officer: SPLO2

Our Ref: 09-23_ALPS sbmsn

Attach:

26 February 2010

Chief Executive Officer
City of Albany
PO Box 484
ALBANY WA 6331

Dear Sir

Re: ALPS Submission – Bushby - Bon Accord Rd, King River

The following submission on the Albany Planning Strategy (ALPS) relates to Lots 301, 810 and 1337 Bushby and Bon Accord Roads. It is lodged in response to the advertised modification No 4 to include land in the vicinity of Chester Pass Road and Millbrook Road, King River as Rural Residential on Map 9B.

Modification 4 is supported; however the designated area should be extended. The rationale for the inclusion of the land west of Chester Pass Road applies equally to the land east of Chester Pass Road. The justification set out in submissions No 49 and on the previously advertised version of ALPS translates to the area on the opposite side of Chester Pass Road and up to Bakers Junction.

It is not appropriate to retain this pocket of land as "General Agriculture". It is not viable agricultural land. It is surrounded by existing Special Rural lots, bushland and a golf course.

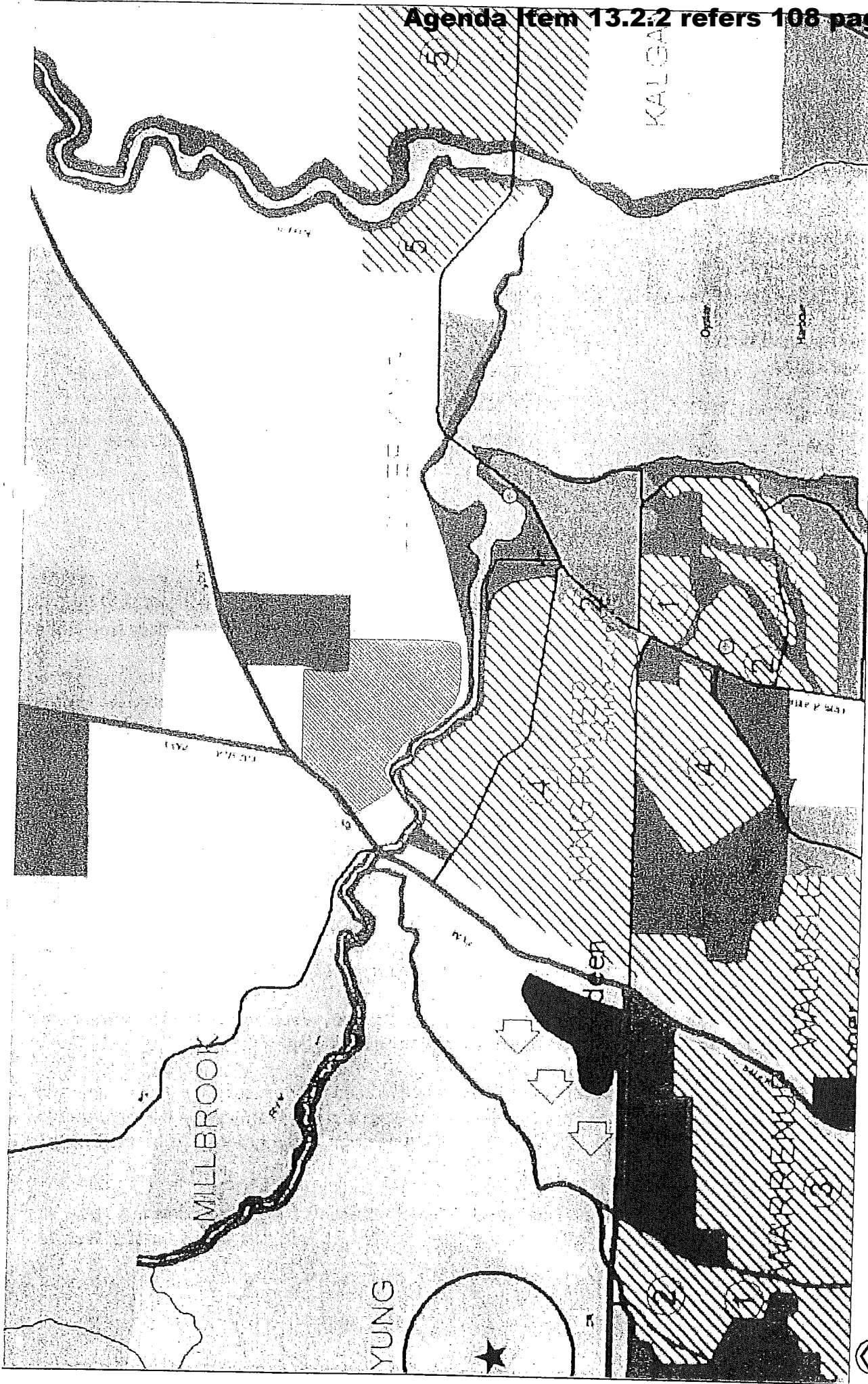
The site adjoins Special Rural Area 21. This area is within close proximity of community facilities including shops, Dymesbury Lodge, King River Tavern and the local Hall. The site is close to tourist accommodation venues as well as recreation facilities, parks and reserves. Lot sizes and predominant land uses are more akin to Rural Living than General Agriculture. The subject land is not identified as priority Agriculture.

Identification of this site on Map 9B as General Agriculture does not adequately reflect the current and preferred land uses, prevailing lot sizes or the existing zonings in the vicinity.

The site has access to roads, power, water, telecommunications and importantly community and recreation facilities. As set out in the State Sustainability Strategy and Regional Strategy, it is important to make efficient use of infrastructure. Consideration should be given to the highest and best use of the land.

Development for Rural Residential and Rural Small Holdings represents a logical rounding out. Map 9B should be amended accordingly by extending the Rural Residential Area east across Chester Pass Rd through to Special Rural Area 21.





EXTRACT FROM ALPS MAP 9B

FEBRUARY 10

10-11-ALP(e)

**Bulletin Item 1.1.8-
Agenda Item 13.2.2 refers 108 pages**

**KING RIVER
AERIAL PHOTO**
10-11-PHOTC(a) FEBRUARY 10

**AYTON BAESJOU
P L A N N I N G**
11 Duke Street
Albany WA 6330
Ph 9842 2304 Fax 9842 8494



Given the existing infrastructure, community facilities and intensity of development in King River and Millbrook, a transition through Rural Residential and Rural Small Holdings and Rural Industry/Special Site to Rural north of Bakers Junction is logical.

In response to its strategic location, characteristics and attributes, extension of the Rural Residential designation (Modification 4) across Chester Pass Road is warranted.

Should you require further information or clarification please do not hesitate to contact me.

Yours sincerely



Delma Baesjou
AYTON BAESJOU PLANNING

Encl Extract from ALPS Map 9B
 Aerial showing subject site and land use Context

City of Albany Records
Doc No: ICR8099026
File: STR078
Date: 26 FEB 2010
Officer: SPLO2

Our Ref: 09-23_ALPS sbmsn

26 February 2010

Attach:

Chief Executive Officer
City of Albany
PO Box 484
ALBANY WA 6331

Dear Sir

Re: Albany Local Planning Strategy Submission – King River

The following submission on the Albany Planning Strategy (ALPS) is lodged in response to the advertised modification No 4 to include land in the vicinity of Chester Pass Road and Millbrook Road, King River as Rural Residential on Map 9B.

The rationale for the inclusion of the land west of Chester Pass Road applies equally to the land east of Chester Pass Road. The justification set out in submission No 49 on the previously advertised version of ALPS translate to the area on the opposite side of Chester Pass Road and up to Bakers Junction.

It is not appropriate to retain this pocket of land as "General Agriculture". It is surrounded by existing and proposed Rural Living, Rural Residential and Rural Industry.

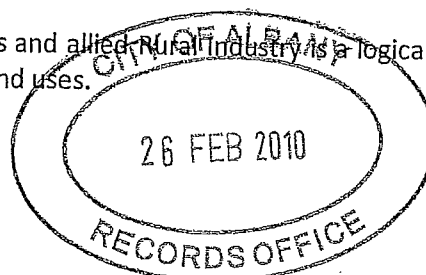
The site has access to roads, power, telecommunications and importantly community and recreation facilities. As set out in the State Sustainability Strategy and the draft Regional Strategy, it is important to make efficient use of infrastructure.

The site is strategically located on important transport routes. It is not identified as priority Agriculture. Former use of the site for sand and gravel pits mean most is not suited to conventional agriculture or horticulture. This area is within walking distance of community facilities including shops, Dymesbury Lodge, King River Tavern and the community Hall. The site is close to a number of tourist accommodation venues as well as recreation facilities, parks and reserves. Lot sizes and predominant land uses are more akin to Rural Small Holding and Rural Industry than General Agriculture.

Consideration should be given to the highest and best use of the land. Identification of this site on Map 9B as General Agriculture does not adequately reflect the current and preferred land uses, prevailing lot sizes or the existing zonings in the vicinity.

A range of uses, including rural and transport based Industries and limited Rural Living in accordance with capability, would reflect the existing land uses, ensure protection of remnant vegetation and allow for ongoing productive agricultural use in appropriate areas.

Development for Rural Residential and Rural Small Holdings and allied Rural Industry is a logical rounding out and will be compatible with surrounding lot sizes and land uses.



Evaluation against Albany Local Planning Strategy Objectives

The ALPS objectives for Rural Living areas are to:

- Avoid productive agricultural land, other important natural resource areas, areas of high bushfire risk, flooding and environmental sensitivity;
- Avoid future urban areas
- Locate in areas near existing settlements that have available services and facilities; and
- Minimise potential for generating land use conflicts.

The subject land satisfies these objectives as follows:

- It is not identified as priority Agricultural land in either the Lower Great Southern Regional Strategy or ALPS. In light of historic landuses, the site cannot be regarded as productive agricultural land. It is not in an area of extreme bush fire risk and is not subject to flooding.
- This land is beyond the area identified in ALPS as either "Future Residential <20 years (To be Zoned)" or "Long Term Residential".
- The subject land is near the existing King River settlement and is well serviced by community facilities.


Conclusion

Given the existing infrastructure, community facilities and intensity of development in King River and Millbrook, a transition through Rural Residential and Rural Small Holdings and Rural Industry/Special Site to Rural north of Bakers Junction is logical.

In response to its strategic location, characteristics and attributes, extension of the Rural Residential designation (Modification 4) across Chester Pass Road is warranted.

Should you require further information or clarification please do not hesitate to contact me.

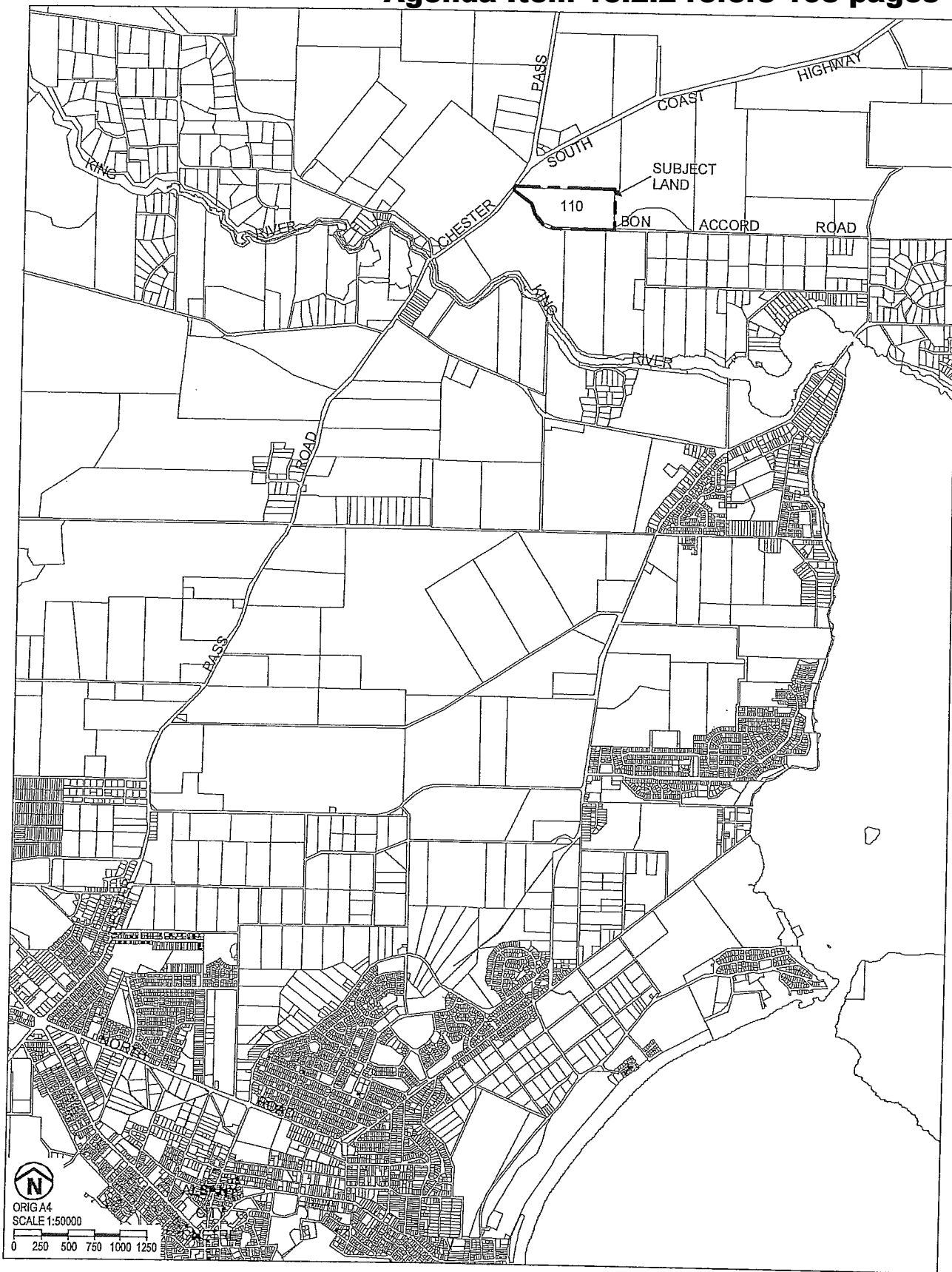
Yours sincerely



Delma Baesjou
AYTON BAESJOU PLANNING

Encl Location Plan
 Extract from ALPS Map 9B
 Sketches showing subject land and Planning Context

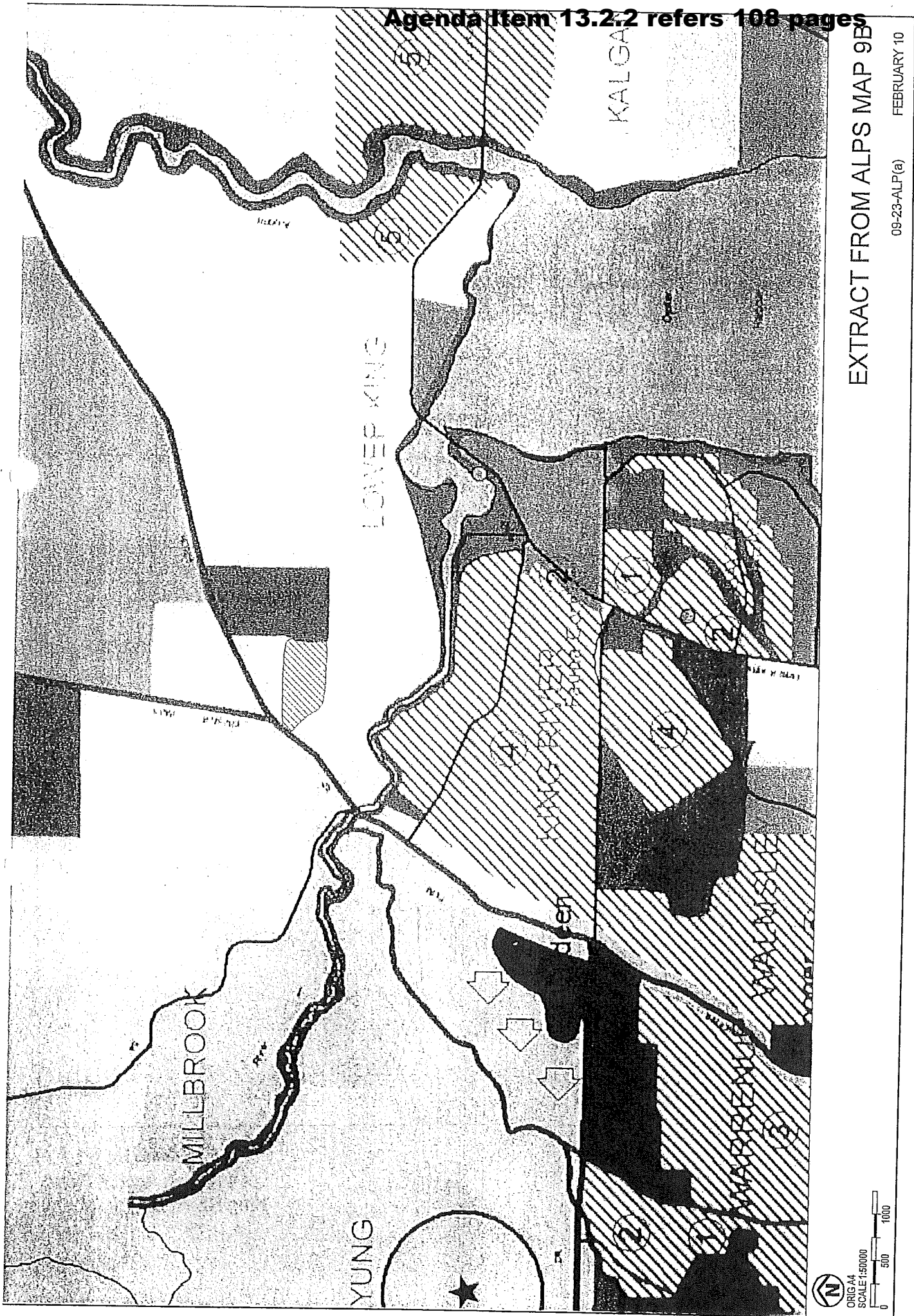
**Bulletin Item 1.1.8-
Agenda Item 13.2.2 refers 108 pages**



LOCATION PLAN
Lot 110 Bon Accord Road
King River, City of Albany

AYTON BAESJOU
P L A N N I N G
11 Duke Street
Albany WA 6330
Ph 9842 2304 Fax 9842 8494

09-23-LP(a) JULY 09







City of Albany Records
Doc No: ICR8099022
File: STR078

Date: 26 FEB 2010
Officer: SPLO2

Attach:

Our Ref: ALPS Sbms, Feb 2010

25 February 2010

Chief Executive Officer
City of Albany
PO Box 484
ALBANY WA 6331

Dear Sir

Re: Albany Local Planning Strategy - Submission

The following comment is in response to the advertised modifications to the Albany Local Planning Strategy.

We acknowledge the considerable refinements to the document since the 2006 draft that was advertised for public comment and the 2007 final draft previously endorsed by Council. The improvements are commendable; notably updated data, new figures and clarification. However it has not been easy for members of the public to monitor the many changes. I understand that most of the changes were negotiated with DoP.

We would like an explanation in relation to clause 8.3.5 Rural Living (pg 19-29) - Why is the efficient use of these areas encouraged only in the long term?
The inclusion of these 4 words *in the long term* represents a significant and inappropriate change. Surely the efficient use of Rural Living areas is both a short and long term objective.

These words result in a Strategic Objective that is inconsistent with Actions set out on page 134 and contrary to State and Regional sustainability objectives, Policies and principles.

Such word-smithing is unnecessary and will have unintended consequences if it is not rectified.

The words '*in the long term*' should be deleted from Strategic Objective 8.3.5

Should you require further information or clarification please do not hesitate to be in contact.

Yours sincerely

Delma Baesjou
FOR AYTON BAESJOU PLANNING



City of Albany Records
Doc No: ICR8099023
File: STR078

Our Ref: 04-70

Date: 26 FEB 2010
Officer: SPLO2

Attach:

25 February 2010

Chief Executive Officer
City of Albany
PO Box 484
ALBANY WA 6331

Dear Sir

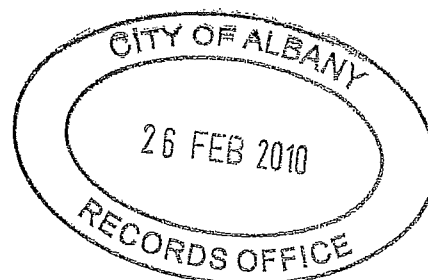
Re: Albany Planning Strategy - Submission

Thank you for the opportunity to comment on the revised Albany Local Planning Strategy. This submission relates to Modification 5, the designation of Special Residential Areas.

This modification is welcomed. Reintroduction of the Special Residential category addresses what was a shortcoming in the 2006 and 2007 drafts of ALPS. Special Residential is an appropriate planning tool and assists in making the distinction between low density non-sewered residential development and fully serviced residential lots.

This is a significant modification which will have implications beyond the changes shown to Map 9B. The document contains associated Strategic Objectives, Key Actions, analysis and figures. All are affected by this modification; in particular the data relating to lot supply. It is useful that this is reflected in the figures and maps.

The benefits and principles of the reintroduction of Special Residential apply equally to the various rural villages in the City of Albany (only the scale is different). It is therefore appropriate that the text, Table and figures relating to Rural Villages be updated accordingly. Reference should be made to Special Residential in the analysis of Rural Villages and the associated Tables and Figures, especially in Section 8.3.6.



**Bulletin Item 1.1.8-
Agenda Item 13.2.2 refers 108 pages**

In particular - the Kalgan Townsite. This is the pilot project and is the most likely to progress in the short term. The 'Growth Scenario' for Kalgan as set out in Table 4 (pg 140) of the current draft has been modified at some stage compared to the resolution of Council in 2007 to include "limited Rural Residential development".

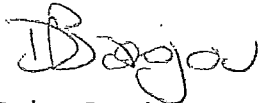
Table 4 currently reads "growth via urban lots staged as per Country sewer policy. Min 1000m² – max 2000 m². Max 100 townsite lots".

To avoid any misinterpretation of 'urban lots' and given there is no prospect of sewer being provided, it would be appropriate to make reference to Special Residential (or Rural Residential). There is scope for Special Residential type subdivision on the periphery of Kalgan. The local circumstances warrant unsewered lots, some of which will be greater in area than 2000m² to protect vegetation and landscape amenity. ALPS should reflect this.

At the very least, Figure 17 should be corrected to accord with the zoning boundary referred to in Council's resolution endorsing finalisation of Amendment 290 (Oct 2009).

If you need any further information or clarification please do not hesitate to contact me.

Yours sincerely



Delma Baesjou
AYTON BAESJOU PLANNING

**Bulletin Item 1.1.8-
Agenda Item 13.2.2 refers 108 pages**

ROB HENSEL CONSULTING SERVICES : SUSTAINABLE PLANNING

PO BOX 5734, ALBANY WA 6332
MB: 0427 478 426
EM:robhensel@bigpond.com.au

ABN 29 317 657 1

STROT8
SPLOZ

Chief Executive
City of Albany
PO Box 484
Albany WA 6331



Dear Sir

**COMMENTS ON MODIFICATIONS TO DRAFT ALBANY LOCAL
PLANNING STRATEGY (ALPS)**

Thank you for the opportunity to comment on modifications to the Draft Albany Local Planning Strategy.

1.0 GENERAL OVERVIEW

This Strategy is vital to providing the framework and staging of sustainable development for Albany over the next 20 years.

1.1 Aims and Objectives

Any modifications need to be evaluated against the aims and objectives of the Strategy, namely:

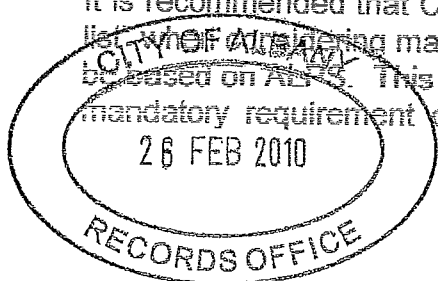
The aim of this strategy is to encourage;

- *Infill and consolidation of development within existing urban areas; and*
- *New urban areas to be developed incrementally from existing urban areas based on the concept of settlement nodes integrated within the natural environment*

ALPS seeks to contain the spread of fragmented urban and rural living areas in the City to:

- *Minimise the 'development footprint' on the landscape to assist in the protection of biodiversity and the environment;*
- *Promote energy conservation;*
- *Provide greater housing choice;*
- *Minimise journey length from home to work/school/services and encourage the use of public transport, cycling and walking; and*
- *Reduce government expenditure on servicing current and future populations.*

It is recommended that Council develop a set of sustainability principles as a "check list" for considering major rezoning and development proposals. Initially this could be based on ALPS. This "checklist" should be transparent, be made public and be a mandatory requirement of any application for a major development. Only those



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proposals that complied would then be considered by Council. One key component would require a comprehensive justification by the proponent. If a proposal complies with the "check list criteria" then the proposal may be considered by Council.

2.0 COMMENTS ON SPECIFIC MODIFICATIONS

2.1 Future Urban in Lower King

These proposals do not accord with the sustainability aims and objectives of ALPS. They also prejudice future long term sustainable planning options for the long term growth of Albany.

There is substantial information available to Council relating to population growth trends, current availability of vacant land and land development capacity to indicate sufficient *Existing and Future Urban* land in ALPS to provide for population growth for the next 40 to 60 years at least. In other words ALPS has shown way to much *Future Urban* to cater for population growth over the next 20 years. Projections would suggest that only up to Priority 3 Development areas may be required for urban development over the next 20 years.

Therefore, the existing and proposed ALPS Priority 5 Future Urban areas in Kalgan and Lower King are not required be removed from ALPS as there is more than enough urban land identified for the next 20 years and beyond to cater for the doubling of Albany's current population and fall well outside the time frame of the Strategy and will prejudice future long term planning options for the long term growth of Albany. The development of the Priority 5 Future Urban areas in Kalgan and Lower King are also unsustainable due to their environmental impact and infrastructure issues.

2.2 PROPOSED RURAL RESIDENTIAL CHESTER PASS ROAD

This proposal does not accord with the aims and objectives of ALPS and is therefore not sustainable. Some of the principles are to:

- Contain the spread of fragmented urban and rural living areas;
- Minimise the 'development footprint' on the landscape;
- Protection of agriculture land; and
- Encourage the infill of existing rural living areas.

There are two major issues relating to this development. The first is the need to retain productive agricultural land as this land is currently being used for agricultural production. The second is the over supply of Rural Residential lots and the infill of existing rural living areas . There are a significant number of nearby existing Rural Residential existing lots for sale, especially on Willyung Road, King River. The nearby "Millbrook Estate" also has the capacity to be infilled. Further out there is land available on Mead Road and the proposed development around the Kalgan townsite. In summary, this proposal is not sustainable as it is extending the "development footprint". The subject land is currently used for agricultural production and there is plenty of rural residential land on the market and proposed developments to satisfy demand.

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I am happy to discuss the issues raised in this submission with you. My contact details are M: 0427 478 426. Email: robhensel@bigpond.com.

Yours faithfully

A handwritten signature in black ink, appearing to read 'Rob Hensel', written in a cursive style.

Rob Hensel
MPIA, CPP

26 February 2010



CUSCUNA NOMINEES PTY LTD
as trustee for S A CUSCUNA FAMILY TRUST
93 Paramatta Road, DOUBLEVIEW WA 6018
PO Box 56, INNALOO WA 6918

City of Albany Records
Doc No: ICR8098603
File: STR078
Date: 23 FEB 2010
Officer: SPLO2
Attach:

16 February 2010

Chief Executive Officer
City of Albany
PO Box 484
ALBANY WA 6331

Dear Sir,

**RE-ADVERTISING OF ALBANY LOCAL PLANNING STRATEGY:
APPROVED DEVELOPMENT SITE @ LOT 508 LOWER KING ROAD, BAYONET HEAD**

Thanks for your letter dated 15 December 2009 advising us that the City "*is seeking comment in relation to modifications made to the draft Albany Local Planning Strategy (ALPS)*" and providing us with a CD including the relevant documents.

The modifications made to the draft ALPS appear to be generally satisfactory, however, we are concerned with key details in respect to our site at Lot 508 Lower King Road, Bayonet Head (listed as 'Bayonet Head South' in Section 5.2.1 on page 76 of the draft ALPS - see copy attached).

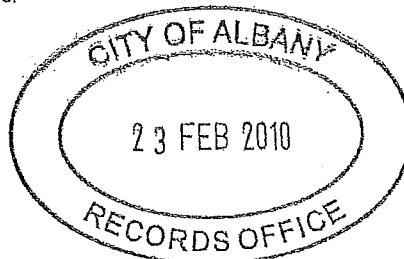
We also appreciate the City's earlier written confirmation that the above site does have a maximum NLA of 4385 M² under the City's Town Planning Scheme No.3 (TPS3). However, as advised in our previous correspondence, a review of an earlier version of the draft ALPS and the Activity Centres Planning Strategy (ACPS) revealed that our approved development site in Bayonet Head had not been appropriately recognised in respect to its gazetted status under TPS3, pursuant to Amendment No.256 approved by the Minister for Planning and Infrastructure on 26 July 2007.

We consider that this significant administrative omission/error in the ACPS resulted in your planning consultants making inappropriate comments in respect to our approved development site and in their commentary in respect to our Bayonet Head (South) 'Neighbourhood Centre' site in the ACPS, and making unwarranted changes to (the 2005 RDS) Figure S-1.

We are also concerned that the City's senior planning officers were not aware (during 2009) that Stage 1 of our development had already been approved and completed in 2002, and that our site was still the subject of a current, approved development application during 2009?

During 2001 and 2002, our company invested approximately \$1 million on Stage 1, including the ~~planning and construction of the following key pre-requisites for the shopping centre project:~~

- (i) the City's roundabout & works at the junction of Lower King Road and Mercer Road;
- (ii) the City's drainage system from Lower King Road and through our property to the City's reserve at the rear of our property;
- (iii) the retaining walls and fencing along our eastern and southern boundaries; and
- (iv) the earthworks and building pad for the shopping centre.



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The incorrect perception referred to above is consistent with the errors made by your planning consultants when preparing the ACPS, as a direct result of their significant omission by not consulting with our company (during 2009) in respect to the status of our approved development site. It appears that the consultant's erroneous comments were also based on the above administrative error in TPS3, Section 5.23 Table 2 as shown in Appendix B14 of the ACPS (which the City has failed to acknowledge as an error and to correct this anomaly) - see copy attached re: 'Oyster Harbour II'?

Further, the following sections of the ALPS confirm that key changes are required to the ACPS:

- In Section 8.5.2 on page 151, the draft ALPS document states that *"The ALPS supports ... the development of the planned centres at Orana and Bayonet Head north and south. These are shown as Neighbourhood Centres in Map 9B."*
- In Section 5.2.1 on page 76/77, the draft ALPS provides for future actions by the City, namely, to *"Use the RDS/Activity Centres Planning Strategy as a planning input for LPS1, precinct and structure planning and in the evaluation of retail development proposals (CoA, WAPC)"*.
- In Section 5.2.1 on page 77, the draft ALPS provides for future actions by the City, namely, to *"Monitor the progress/success of the RDS/Activity Centres Planning Strategy and update it when necessary (CoA)"* [emphasis added].
- In Section 5.2.1 on page 78, the draft ALPS provides for future actions by the City, namely, to *"Be guided by the Activity Centres Planning Strategy ..."*

Therefore, given these proposed 'action items' for the City and the above details in respect to our site, we recommend the following amendments:

- (1) page B14 of the Appendices to the ACPS be amended to correctly list the details for 'Oyster Harbour II' as 4385 sqm; and
- (2) the respective Legend keys for Bayonet Head north (16) and south (5) on Figure 9 in the draft ALPS (and Strategy Map/Figure S-1 in the ACPS) be reversed so that our centre is shown as a 'Future Large Neighbourhood Centre (up to 5,000 sqm)'. This will more accurately reflect our approved development site and show the correct/true status of these two respective Bayonet Head sites.

In summary, we consider that it is the City's responsibility to revise both strategies in order to correct the above administrative anomalies and to amend the consultant's erroneous comments in respect to our site, wherever applicable. However, it is incumbent on the City to amend the draft ALPS, as indicated above, before it is forwarded to the Western Australian Planning Commission for final endorsement.

Please contact Dominic on 0422 787 642 in you require any further details or wish to discuss this matter further.

Yours sincerely,

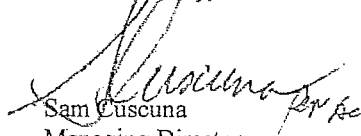
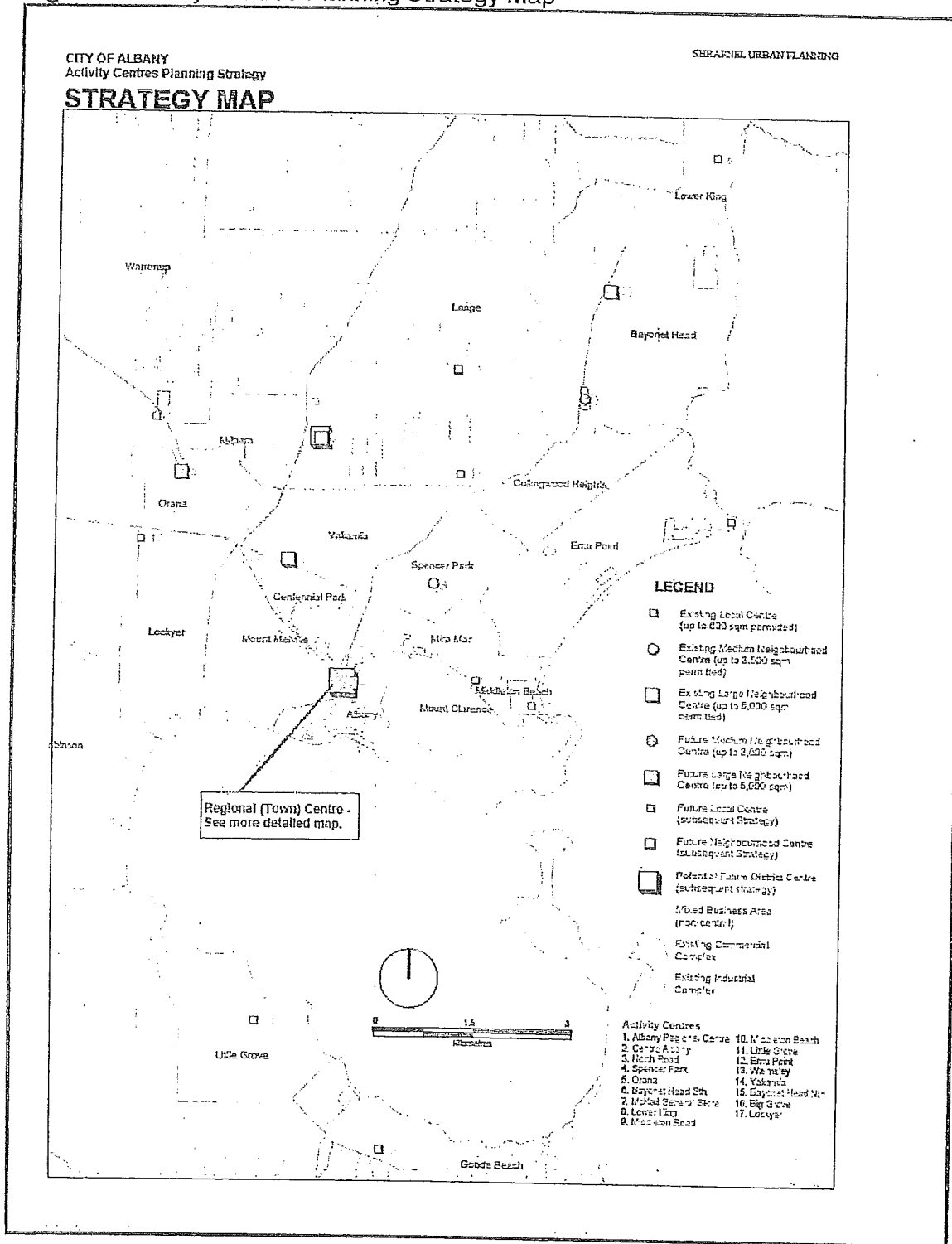

Sam Cuscuna
Managing Director
ATT.

Figure 9 Activity Centres Planning Strategy Map



ACTIONS
Ensure the City centre remains the primary multi-purpose centre for administrative, social, cultural, retail, office, community and entertainment facilities and is zoned in the LPS1 as the Regional Centre (CoA, WAPC).
Ensure that neighbourhood centres cater for the bulk shopping and service needs of the wider community and that local centres cater for small-scale shopping and convenience retailing and be zoned appropriately in the LPS1 (CoA, WAPC).
Use the RDS/Activity Centres Planning Strategy as a planning input for LPS1,

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SHRAPNEL URBAN PLANNING

Note: "AA" uses are discretionary and require advertising before being considered by Council (i.e. equivalent to what are usually "SA" uses).

Local Shopping Zone: Section 5.23 of the text includes provisions relating specifically to the Local Shopping Zone. The stated objectives for the zone are:

- the provision of shopping centres that are attractive and have potential as community focal points;
- the promotion of local employment opportunities; and
- the provision of a reasonable level of accessibility to shops and services.

Section 5.23 also includes a table indicating the maximum floorspace (NLA) allowed for shopping centres in the Local Shopping Zone and Additional Use Site No 9 (Farm Fresh centre in Milpara) – the latter is a site zoned Mixed Business which, in accordance with Section 3.8 and Schedule 2 of the scheme text, has the permitted additional use of a neighbourhood centre. Table 2 thus stipulates maximum permissible floor areas for the following centres:

- Farm Fresh – Retail NLA 5000sqm/ Office 500 sqm
- Little Grove – 600 sqm
- Lower King – 600 sqm
- Oyster Harbour – 600 sqm
- Oyster Harbour II – 600 sqm
- Touristville – 600 sqm

The permissibility of retail uses in the Local Shopping Zone is as follows:

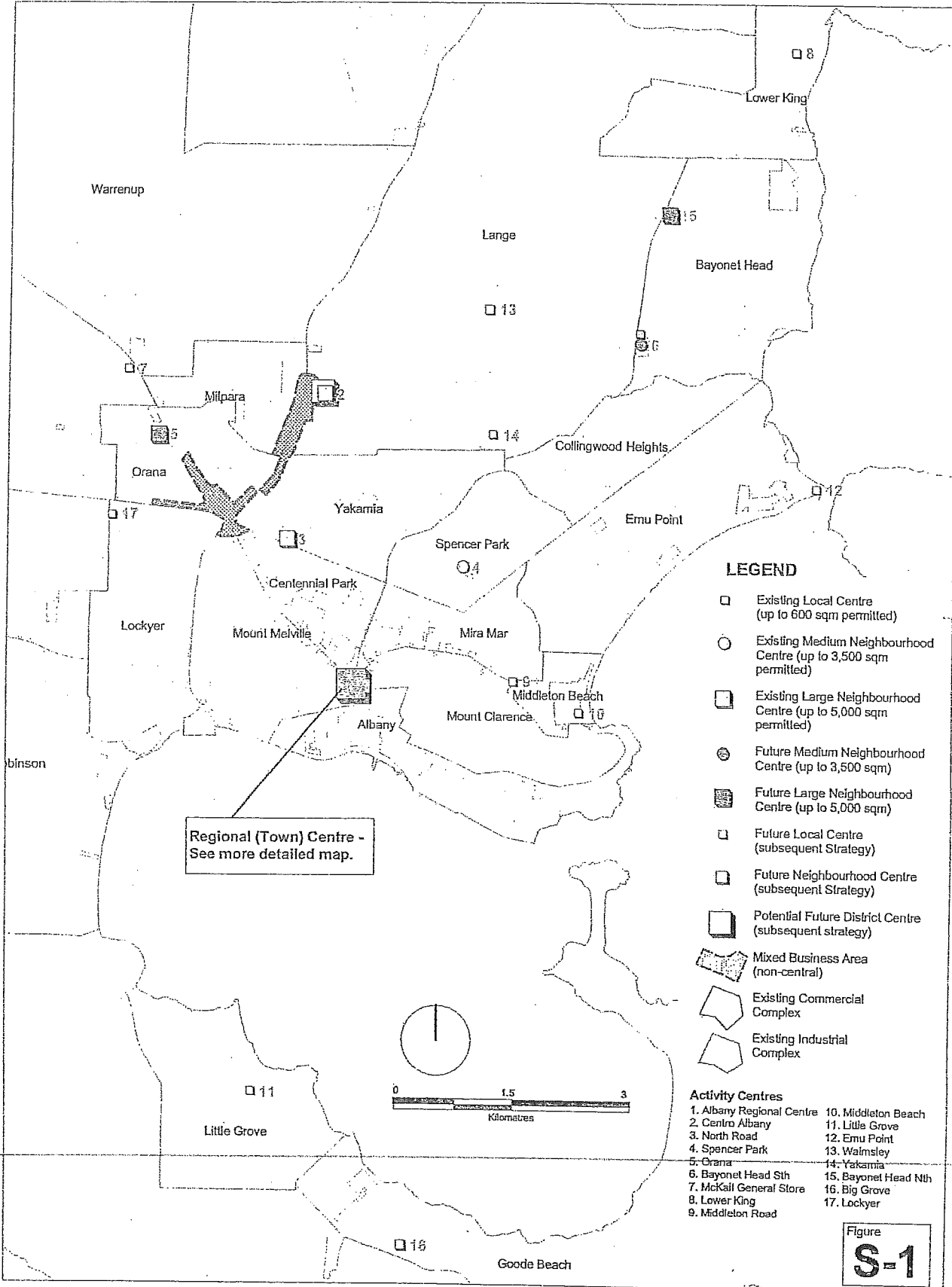
Bulky Goods Outlet	X
Fast Food Outlet	A
Shop	P
Warehouse Sales Outlet	X

Note: "A" uses are discretionary and have no specific advertising requirement (i.e. equivalent to what are usually "AA" uses).

Mixed Business Zone: The main objective for the zone, as stated in Section 3.1.20 of the text, is "to provide for a range of light and service industry, wholesale sales, showrooms, trade and professional services which, by reason of their scale, character, operational or land requirements are not generally appropriate in, or cannot conveniently or economically be accommodated in either the central area, local shopping or industrial zones".

~~Section 5.22 of the scheme text sets out provisions for the Mixed Business Zone. Development in the zone is to be in accordance with specific Precinct~~

STRATEGY MAP



LEGEND

- Existing Local Centre (up to 600 sqm permitted)
- Existing Medium Neighbourhood Centre (up to 3,500 sqm permitted)
- Existing Large Neighbourhood Centre (up to 5,000 sqm permitted)
- ⊙ Future Medium Neighbourhood Centre (up to 3,500 sqm)
- Future Large Neighbourhood Centre (up to 5,000 sqm)
- Future Local Centre (subsequent Strategy)
- Future Neighbourhood Centre (subsequent Strategy)
- Potential Future District Centre (subsequent strategy)
- ▨ Mixed Business Area (non-central)
- ▭ Existing Commercial Complex
- ▭ Existing Industrial Complex

- Activity Centres**
- | | |
|---------------------------|----------------------|
| 1. Albany Regional Centre | 10. Middleton Beach |
| 2. Centro Albany | 11. Little Grove |
| 3. North Road | 12. Emu Point |
| 4. Spencer Park | 13. Walmsley |
| 5. Orana | 14. Yakamia |
| 6. Bayonet Head Stn | 15. Bayonet Head Nth |
| 7. McKail General Store | 16. Big Grove |
| 8. Lower King | 17. Lockyer |
| 9. Middleton Road | |

Figure
S-1

**Bulletin Item 1.1.8-
Agenda Item 13.2.2 refers 108 pages**



Your Ref: STR078 / LT8030577
Our Ref: JT1 2009 13901 V01
Enquiries: Brett Coombes
Phone: 08 9420 3165 Facsimile 08 9420 3193

17 March 2010

Chief Executive
City of Albany
PO Box 484
ALBANY WA 6331

629 Newcastle Street
Leederville 6007
Western Australia
PO Box 100
Leederville 6902
Perth Western Australia
Tel (+61 8) 9420 2420
www.watercorporation.com.au
ABN 28 003 434 917

Attention: Adrian Nicoll

Re-Advertising of Draft Albany Local Planning Strategy

Thank you for your letter of 15 December 2009 inviting comments from the Water Corporation on the proposed modifications to the Albany Local Planning Strategy.

The advice provided below follows the numbering of the various proposals in the Council's letter.

1. Identification of land in the Lower Kalgan locality (adjacent to Nanarup Road) as 'Future Urban'

The designation of future urban land in this locality will result in non-frontal expansion of the town, which is generally economically inefficient in terms of infrastructure provision.

In 2007 the Water Corporation undertook a comprehensive review of wastewater planning conveyance for Albany and surrounds. While this planning focused on the upgrading of the existing system in response to growth within the Albany sewerage operating licence area, the review also included some high-level, conceptual wastewater planning for long-term servicing of land around Kalgan. It may be possible to ultimately convey wastewater flows from the Kalgan area westwards to the Timewell Road waste water treatment plant via pump stations and rising mains. However, there is currently no wastewater infrastructure in this area and major assets, including wastewater pump stations and mains that will be required to service the initial stages of subdivision, are presently anticipated for construction beyond 2020.

The subject land is located outside the Albany Sewerage Services Operating Licence Area (OWR-OA-014) held by the Water Corporation. Future developers of this land will need to approach the Water Corporation to apply to the Economic Regulation Authority for an extension of the operating licence area.

There is limited spare capacity available in the water reticulation system on the western side of the Kalgan River. Extension of this reticulation to the eastern side of the river would only be able to provide services to approximately 22 lots.

**Bulletin Item 1.1.8-
Agenda Item 13.2.2 refers 108 pages**

The Water Corporation has undertaken some high-level, conceptual water planning to demonstrate how the Future Urban area could ultimately be provided with water services. Among other things, major upgrades and augmentation/duplication will be required to be undertaken to upstream systems in order to service this area, including installation of approximately 16km of 700mm & 600mm diameter water mains from the Mount Clarence Tank. Funding for these major works has not been identified or allocated.

The Corporation is therefore not prepared to support urban rezoning of this land at this time until infrastructure planning and funding decisions have been further advanced.

2. Identification of land between the 'Existing Urban' designation of Little Grove and the 'Future Urban' designation of Big Grove as 'Future Urban Priority 3'

The Water Corporation has no objections to this proposed modification to the ALPS. The Corporation has previously provided advice in relation to the zoning of this land under Amendment No.284 (refer to Water Corporation submission dated 2 July 2009 – Ref: JT1 2009 06767 V01).

3. All retail components of the strategy (sections 5.2 to 8.52)

The Water Corporation has no comments to make in relation to the designation and arrangement of commercial centres in the ALPS.

4. Designation of the land to the west of Chester Pass Road and north of King River as 'Rural Residential'

This designation appears to largely reflect existing rural residential subdivision and development in the area. However, if there is any intention to allow further re-subdivision of lots in this area, the strategy should acknowledge that water services are not available in this locality and the Corporation has no long-term plans to extend water services to these lots.

5. Those areas designated as 'Special Residential' on Map 9B

This designation appears to coincide with and largely reflect the extent of existing special residential subdivision and development around Albany. The Corporation has no comments to make in relation to this proposal.

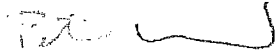
Albany (Timewell Road) Waste Water Treatment Plant

The Water Corporation has previously made a separate submission to the City on this matter through correspondence dated 26 September 2008 (copy attached).

The required buffer around the Timewell Road Waste Water Treatment Plant, which is incorrectly referred to on Map 9B as a "Water Treatment Plant Buffer", must be modified to accord with the plan attached, and any parts of the adjacent 'Future Urban' designated areas must be deleted from the buffer area.

**Bulletin Item 1.1.8-
Agenda Item 13.2.2 refers 108 pages**

Should you have any queries or require further clarification on any of the above issues, please do not hesitate to contact the Enquiries Officer.



Peter Howard
Manager Land Planning
Development Services Branch
Customer Services Division

cc. Department for Planning, Great southern Region Office (Albany)



Your Ref: -
Our Ref: JT1 2005 09635 V01
Enquiries: Brett Coombes
Phone: 08 9420 3165 Facsimile 08 9420 3178

26 September 2008

Chief Executive Officer
City of Albany
PO Box 484
ALBANY WA 6331

Attention: Mr Adrian Nicholl

629 Newcastle Street
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Western Australia
PO Box 100
Leederville 6902
Perth Western Australia
Tel (+61 8) 9420 2420
www.watercorporation.com.au
ABN 28 003 434 917

City of Albany draft Local Planning Strategy (ALPS)

I refer to the City's draft Local Planning Strategy (ALPS). I understand the WAPC has requested certain modifications be undertaken to the ALPS prior to it being advertised. The Water Corporation would like to take this opportunity to provide the Council with some additional information regarding the Albany (Timewell Road) Wastewater Treatment Plant (WWTP), which should be incorporated into the ALPS prior to it being advertised.

Please refer also to advice provided in January and February 2008 in relation to the Water Corporation's submission to include a Special Control Area to protect the Plant's buffer in Council's new Town Planning Scheme.

The Water Corporation has recently spent \$10 million upgrading the WWTP and will invest a similar amount in the expansion and improvement of the woodlot associated with the WWTP. These works will facilitate the urban expansion proposed in the ALPS and it is therefore vital that the WWTP and related infrastructure is properly protected through the ALPS and the Council's town planning scheme. This will ensure that the benefits of this investment is not jeopardised by land use decisions that would result in inappropriate land uses close to the WWTP. Without adequate protection in the Council's ALPS and TPS the plant will not realise its planned capacity and will not be able to service some of the townsite growth.

It is noted that the "Water Treatment Plant Buffer" (sic) shown on the ALPS map follows a generic 500m radius buffer and does not reflect the current buffer, which has been revised based on scientific modelling of the likely odour footprint of the future, further expanded "Wastewater Treatment Plant" and having regard to surrounding land use and land ownership patterns. The revised odour buffer has been previously mailed to you as part of the Water Corporation's submission for a Special Control Area in the new TPS. It is shown in the attached detailed plan and should be reflected on the ALPS map.





**CITY OF ALBANY
LOCAL EMERGENCY MANAGEMENT COMMITTEE**

Minutes of for the meeting to be held 10th March 2010
at the City of Albany Civic Centre

1. OPENING

The Deputy Chairperson Mark Fairclough declared the meeting open at 8.38am.

2. ATTENDANCE & APOLOGIES:

2.1 Attendees

Organisation	Name
City of Albany	Cr Mervyn Leavesley
City of Albany	Robert Fenn
City of Albany	Andriena Ciric
WA Police	OIC Trevor Evans
WA Police	Sgt Mark Fairclough
Surf Life Saving	Tom Marron
Dept for Child Protection	Sarah Evans
Department of Education and Training	Stephen Dean
Main Roads WA	Julie MacQueen
Silver Chain	Natalie Galantino
State Emergency Service-	Lynne Bearcroft
Telstra	Brad Nelson
Western Power	Kerrin Digney

2.2 Apologies

City of Albany	Cr Des Wolfe (Chairperson)
ABC Radio	Irene Montefiore
Albany Regional Hospital	Mrs Lyn Tutt
Albany Port Authority	Ric Linnett
Albany Port Authority	Steve Young
Department of Agriculture and Food	Danny Roberts
Dept of Environment & Conservation	Vince Hilder
Department of Transport	Tony Fitzpatrick
FESA	Kevin Parsons
FESA	Adam Smith
Silver Chain – Great Southern / Remote	Lesley Pearson
Southern Roads Services	Malcolm Mallaby
WestNet Rail	Fred Steer

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Agenda Item 13.5.1 refers 5 pages**

File Ref: MAN104
Cross Ref:

3. CONFIRMATION OF MINUTES:

MOVED: *Mervyn Leavesley*

SECONDED: *Tom Marron*

That the minutes of the Local Emergency Management Committee Meeting held on 2 December 2009 be confirmed as a true record of proceedings.

CARRIED

4. BUSINESS ARISING:

4.1 Post Incident Analysis (PIA) (Elleker Fire)

Andriena Ciric advised that progress of implementation of the recommendations from the PIA is continuing. Significant improvements to the incident control van. Such as purchase of new computer to provide better access to electronic information and internet, plus the ability to email information, promotion of the use of T cards, and early intervention use of air attack on fires.

4.2 Evacuation planning

Mark Fairclough provided an update on the evacuation sub plan committee. The committee has met on several occasions however, due to the busy time over fire season, there remains some work to be done to

Major points of discussion by the committee have been:

- Identifying that the Local Evacuation sub plan is a viable document and minor changes are being made to reflect current contacts etc.
- looking at priority planning of high risk areas.
- The list of evacuation centres is being reviewed in conjunction with the local emergency management arrangements
- Planning of an exercise looking at the timings required to undertake an evacuation process and how the evacuation can best be achieved

Robert Fenn advised that some time ago the Mt Barker fire was overlaid on the City of Albany with time sequences on fire spread. This may be useful information for the exercise. Mark Fairclough agreed and requested that the information be sent to him for exercise planning.

4.3 Review & update of Local Emergency Management Arrangements
Discussed under item 10

5. GUESTS OF COMMITTEE:

Nil

6. CONFIRMATION OF LEMC CONTACT & KEY DETAILS

Members to review the list provided and advise on any changes..

7. POST- INCIDENT/EXERCISE REPORTS

Update on any significant incidents or exercises since last meeting.

7.1 City of Albany

7.1.1 Airport Exercise

Andriena Ciric advised that it had been identified that an exercise at the airport had not been held for some time. CASA required an exercise to be held prior to March to practice the Airport Emergency plan. In conjunction with Police, "Exercise Wheels Down" was developed based on an abnormal

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In accordance with SEMP 2.5 an exercise schedule is to be developed in the first calendar meeting each year and opened discussion on any exercises that the committee believe relevant or were anticipating to be held.

The committee agreed to schedule two exercises for the financial year being:

- An evacuation field exercise to be held in an identified high risk area. The date to be advised
- A discussion exercise to be held at the airport. The details and date to be advised.

13.2 Begin the development of the annual business plan
In accordance with SEMP 2.5

13.3 Airport Emergency Committee (City of Albany)
Andriena Ciric advised that the Airport Emergency Committee meeting held on the 15 January 2010 the committee resolved to:

"integrate the AEC within the LEMC. This will be included in the next meeting of LEMC for endorsement with conditions required by CASA.

Andriena Ciric advised that an in depth conversation was held with Greg Doherty from CASA on the process and requirements specifically in relation to the conduct of the LEMC, if airport matters needed to be held separately or can be included within the agenda as a standing agenda item. It was confirmed that a standing agenda item is sufficient but reiterated it is imperative that an airport representative must attend every meeting as well as items stated in the recommendation.

RESOLVED That the LEMC agree to incorporate the AEC within the LEMC structure with requirements as identified by CASA that:

- a) The airport manual is amended to reflect the inclusion of the AEC within LEMC**
- b) an Airport Reporting Officer must attend every meeting.**
- c) The Airport Emergency Plan (AEP) is still called AEP and reviewed annually**
- d) The chairperson must take responsibility for all CASA 139.205, 210, 215**
- e) Albany Aerodrome airport emergency plan must always be an agenda item**
- f) All minutes must be available at each inspection.**

13.4 Surf Life Saving

A query was raised by the Albany Surf Life Saving Club regarding the closure of Middleton beach.

R Fenn advised that the City of Albany will close the beach due to health concerns when a Red algal bloom occurs (approx every 3 years) and in the case when a Department of Fisheries representative confirms a shark sighting. The City will provide advisory signage on the beach in the case of an unconfirmed sighting of a shark in the area. There are significant difficulties in closing a beach and who would be the responsible agency, due to the number of agencies with responsibility between low water mark and high water mark.

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landing for which Police is HMA. The exercise was well attended including attendance by local media..

Mark Fairclough advised, from the HMA perspective, that the exercise was conducted very well and had good coordination and control outcomes. Some areas for improvement were identified and the post exercise report is being prepared and will be tabled at the next meeting.

7.2 DEC
7.2.1

Cheynes Beach Fire

To be carried over to next meeting for update.

Julie MacQueen advised that a number of issues were raised in the process of road closure by both MRWA and Southern Road Services, including the role of contractors and lack of ability to actually stop people from driving through a road closure. Communication with crews on road closure and issues arising from the standard of road used for detours were noted.

Andriena Ciric advised that a possible solution to prevent people from driving through a road closure may be to use "no entry" signage as this signage is regulatory.

Robert Fenn advised that the City is planning to provide traffic management training to Rangers so they are able to assist and possibly there is scope for some regional training to be held.

Kerrin Digney advised that an issue arose with Western Power access to the fireground through the road block and also maintaining an escort in area under active fire.

It was agreed by those present to request DEC to conduct a formal debrief of the Cheynes Beach Fire once the Esperance fires settle down.

8. PROGRESS OF EMERGENCY RISK MANAGEMENT (ERM) PROCESS

9. PROGRESS OF TREATMENT STRATEGIES FROM ERM PROCESS

Robert Fenn advised that Garry Turner has been employed on 6 month contract concentrating on Fire break inspections for the first 3 months and then to develop a strategic plan for fire mitigation, including prescription of future burns on a rolling program.

10. PROGRESS OF DEVELOPMENT OR REVIEW OF LEMC EM ARRANGEMENTS

Andriena Ciric advised that the Local Emergency Management Arrangements are required to be reviewed at a minimum every 5 years and therefore the City's arrangements are due for review this year. This should be undertaken towards the end of fire season.

11. TRAINING

11.1 FESA

An introduction to Fire fighting course will be held on the 11 April 2010.
Nomination forms have been distributed

13. GENERAL BUSINESS:

13.1 Development & approval of next financial year LEMC exercise schedule (to be forwarded to the relevant DEMC)

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Surf Life Saving advised that it would be greatly appreciated if they could be contacted in the event of an advice or closure of the beach. When it may occur the club needs to coordinate beach activities that may be in progress or planned.

Robert Fenn agreed to advise rangers to contact Surf Life saving accordingly when the beach is placed on an advisory warning or closure

13.5 Police

Mark Fairclough tabled the Wildfire prevention strategy 2009-10 which is aimed at a collaborative approach to deliberately lit fires. It is based on 9 prevention principles such as communication, media, intelligence & working together, and investigation of fire scenes. It was requested that in the circumstance of any suspicious fires please advise police.

14. **NEXT MEETING:**

The next LEMC meeting is scheduled for 7 July 2010.

15. **CLOSURE**

There being no further business the Chairman declared the meeting closed at 9.25am.

EFT	Date	Name	Description	Amount
EFT58907	01/04/2010	ALBANY COMMUNITY HOSPICE	Payroll deductions	- 38.00
EFT58908	01/04/2010	AMP SUPERANNUATION LIMITED	Superannuation contributions	- 751.18
EFT58910	01/04/2010	AUSTRALIAN SERVICES UNION WA BRANCH	Payroll deductions	- 2,148.20
EFT58911	01/04/2010	AUSTRALIAN PRIMARY SUPERANNUATION FUND	Superannuation contributions	- 283.03
EFT58912	01/04/2010	AUSTRALIAN SUPER	Superannuation contributions	- 47.28
EFT58913	01/04/2010	AUSTRALIAN ETHICAL SUPERANNUATION FUND	Superannuation contributions	- 452.04
EFT58914	01/04/2010	AXA GENERATIONS PERSONAL SUPERANNUATION PLAN	Superannuation contributions	- 302.78
EFT58915	01/04/2010	BANKWEST	Payroll deductions	- 2,319.46
EFT58916	01/04/2010	BT SUPER FOR LIFE	Superannuation contributions	- 274.00
EFT58917	01/04/2010	BT SUPER FOR LIFE	Superannuation contributions	- 92.29
EFT58918	01/04/2010	BT SUPER FOR LIFE	Superannuation contributions	- 171.44
EFT58919	01/04/2010	CHILD SUPPORT AGENCY	Payroll deductions	- 616.66
EFT58920	01/04/2010	COLONIAL FIRST STATE ROLLOVER & SUPER FUND	Superannuation contributions	- 157.61
EFT58921	01/04/2010	COLONIAL FIRST STATE FIRSTCHOICE PERSONAL SUPER	Superannuation contributions	- 623.08
EFT58922	01/04/2010	HBF OF WA	Payroll deductions	- 1,294.50
EFT58923	01/04/2010	ING INTEGRA SUPER	Superannuation contributions	- 163.83
EFT58924	01/04/2010	ING ONE ANSWER PERSONAL SUPER	Superannuation contributions	- 479.71
EFT58925	01/04/2010	ING INTEGRA SUPER	Superannuation contributions	- 342.88
EFT58926	01/04/2010	MLC NOMINEES PTY LTD	Superannuation contributions	- 272.56
EFT58927	01/04/2010	REST SUPERANNUATION	Superannuation contributions	- 3,327.17
EFT58928	01/04/2010	MARITIME SUPER	Superannuation contributions	- 101.51
EFT58929	01/04/2010	SKANDIA GLOBAL SUPER SOLUTION	Superannuation contributions	- 283.04
EFT58930	01/04/2010	SKANDIA GLOBAL SUPER SOLUTION	Superannuation contributions	- 720.18
EFT58931	01/04/2010	SKANDIA GLOBAL SUPER SOLUTION	Superannuation contributions	- 179.92
EFT58932	01/04/2010	SUMMIT MASTER TRUST PERSONAL SUPERANNUATION PLAN	Superannuation contributions	- 302.78
EFT58933	01/04/2010	SUMMIT MASTER TRUST PERSONAL SUPERANNUATION PLAN	Superannuation contributions	- 124.86
EFT58934	01/04/2010	WA LOCAL GOVT SUPERANNUATION	Superannuation contributions	- 117,222.35
EFT58935	01/04/2010	WAYNE JOHN STEAD PTY LTD SUPERANNUATION FUND	Payroll deductions	- 3,264.80
EFT58936	01/04/2010	WESTSCHEME	Superannuation contributions	- 3,605.42
EFT58937	01/04/2010	AAPT LIMITED	TELEPHONE CHARGES	- 27.50
EFT58938	01/04/2010	ABA SECURITY	SECURITY SERVICES	- 110.00
EFT58939	01/04/2010	ACTIV FOUNDATION INC.	CLEANING RAGS	- 54.00
EFT58940	01/04/2010	AD CONTRACTORS PTY LTD	EARTHMOVING WORKS & EQUIP HIRE	- 677.75
EFT58941	01/04/2010	ADVERTISER PRINT	PRINTING OF INVITATIONS FOR ART PRIZE	- 244.00
EFT58942	01/04/2010	AECOM AUSTRALIA PTY LTD	MOUNT CLARENCE ANZAC INFRASTRUCTURE UPGRADE - DETAILED DESIGN SERVICES	- 50,655.00

EFT58943	01/04/2010 AIRSERVICES AUSTRALIA	PROVISION OF SERVICES - SERVICE AGREEMENT 618	-	35,386.40
EFT58944	01/04/2010 ALBANY STATIONERS	STATIONERY SUPPLIES	-	129.90
EFT58945	01/04/2010 ALBANY PLAYGROUP ASSOCIATION	COMMUNITY FINANCIAL ASSISTANCE PROGRAMME - TO ASSIST WITH SYNTHETIC LAWN	-	5,000.00
EFT58946	01/04/2010 ALBANY CHAMBER OF COMMERCE & INDUSTRY	ACCI directory - Albany Public Library phone listing	-	382.04
EFT58947	01/04/2010 ALBANY REFRIGERATION	REPLACE LIGHT IN CONTROL FOR AC3	-	154.00
EFT58948	01/04/2010 ALBANY HISTORICAL SOCIETY	CLEANING & MANNING THE BRIG AMITY FOR THE MONTH OF: MARCH	-	600.00
EFT58949	01/04/2010 HOME TIMBER & HARDWARE	HARDWARE ITEMS	-	5.76
EFT58950	01/04/2010 ALBANY AUTO 1	HAIGH MAGNETIC RED P PLATE	-	4.00
EFT58951	01/04/2010 ALBANY OFFICE PRODUCTS - NORTH ROAD	STATIONERY SUPPLIES	-	221.15
EFT58952	01/04/2010 ALBANY NEWS DELIVERY	NEWSPAPER DELIVERIES	-	113.00
EFT58953	01/04/2010 ALBANY COMBINED CABS PTY LTD	TAXI FARES - YAC	-	79.10
EFT58954	01/04/2010 ALBANY OFFICE PRODUCTS - ALAC	STATIONERY SUPPLIES	-	178.95
EFT58955	01/04/2010 ALBANY OFFICE PRODUCTS - WORKS DEPOT	STATIONERY SUPPLIES	-	471.50
EFT58956	01/04/2010 ALBANY OFFICE PRODUCTS - LIBRARY	STATIONERY SUPPLIES	-	256.60
EFT58957	01/04/2010 AMITY CRAFTS	WORK ON CURATORS CHOICE JAN/FEB 10	-	594.00
EFT58958	01/04/2010 APARTMENTS ON SPENCER	ACCOMODATION FOR ART PRIZE JUDGE - S CARBONE	-	360.00
EFT58959	01/04/2010 ATC WORK SMART	CASUAL STAFF - J WILLIAMSON	-	4,815.80
EFT58960	01/04/2010 AUSTRALIAN TAXATION OFFICE	Payroll deductions	-	208,040.75
EFT58961	01/04/2010 AUSTRALIAN INSTITUTE OF MANAGEMENT WESTERN AUSTRALIA	STAFF TRAINING	-	3,717.50
EFT58962	01/04/2010 AUSTRAL MERCANTILE COLLECTIONS PTY LTD	DEBT COLLECTION FEES - OCE1	-	82.50
EFT58963	01/04/2010 AUSTRALIAN BARBELL COMPANY	SPORTS STORE STOCK	-	439.45
EFT58964	01/04/2010 CARRIE BARCLAY	REIMBURSEMENT FOR ACCOMODATION FOR RADICAL TRAINER	-	304.50
EFT58965	01/04/2010 BARRETTS MINI EARTHMOVING & CHIPPING	Removal of Tree in Reserve in Munster Ave	-	450.00
EFT58966	01/04/2010 WARREN BELLETTE PHOTOGRAPHY	PHOTOGRAHPY ALBANY ART PRIZE	-	525.25
EFT58967	01/04/2010 BENNETTS BATTERIES	200 L Drums of Equivis 46 hydraulic oil.	-	1,877.04
EFT58968	01/04/2010 BERTOLA HIRE SERVICES ALBANY PTY LTD	weeks Hire of Portable toilet - including delivery, collection, cleaning & recharge	-	244.20
EFT58969	01/04/2010 BEST OFFICE SYSTEMS	PHOTOCOPIER CHARGES	-	195.00
EFT58970	01/04/2010 BEVANS (WA) PTY LTD	BAGS OF ICE	-	24.00
EFT58971	01/04/2010 BLOOMIN FLOWERS	FLOWERS FOR KAYE HAMILTON	-	-50.00
EFT58972	01/04/2010 BOOKEASY AUSTRALIA PTY LTD	TRAINING SESSION 12/4/2010	-	165.00
EFT58973	01/04/2010 BORAL CONSTRUCTION MATERIALS GROUP LTD	Litres Hot Bitumen Supplied & Sprayed	-	3,382.50
EFT58974	01/04/2010 JILL BOSTOCK	COUNCILLOR ALLOWANCE - Q4	-	2,350.00
EFT58975	01/04/2010 AIR BP	AVGAS PURCHASES	-	238.47
EFT58976	01/04/2010 BRAINSTORM TECHNOLOGY	COMPUTER EXPENSES	-	225.00
EFT58977	01/04/2010 BUNNINGS BUILDING SUPPLIES PTY LTD	HARDWARE/TOOL SUPPLIES	-	551.12
EFT58978	01/04/2010 CABCHARGE AUSTRALIA LIMITED	TAXI FARES	-	250.14
EFT58979	01/04/2010 J & S CASTLEHOW ELECTRICAL SERVICES	ELECTRICAL REPAIRS/MAINTENANCE	-	683.60
EFT58980	01/04/2010 CHESTERPASS PANEL AND PAINT	EXCESS FOR INSURANCE CLAIM	-	575.00

EFT58981	01/04/2010	CJD EQUIPMENT PTY LTD	VEHICLE PARTS	-	1,153.79
EFT58982	01/04/2010	CLARK TRANSPORT	TRANSPORT OF BULL FROM BEAUDON RD TO COUNCIL DEPOT	-	240.00
EFT58983	01/04/2010	COCA-COLA AMATIL PTY LTD	SOFT DRINK FOR ALAC CAFE	-	1,337.64
EFT58984	01/04/2010	COLES SUPERMARKETS AUSTRALIA PTY LTD	GROCERIES	-	719.24
EFT58985	01/04/2010	CONSTRUCTION EQUIPMENT AUSTRALIA	VEHICLE PARTS	-	476.52
EFT58986	01/04/2010	COURIER AUSTRALIA	FREIGHT FEES	-	29.76
EFT58987	01/04/2010	COVENTRYS	VEHICLE PARTS	-	866.13
EFT58988	01/04/2010	HOLCIM (AUSTRALIA) PTY LTD	2 M3 20/20 80 SLUMP CONCRETE DELIVERED	-	2,149.73
EFT58989	01/04/2010	AL CURNOW HYDRAULICS	VEHICLE PARTS/MAINTENANCE	-	41.32
EFT58990	01/04/2010	DATA #3 LIMITED	Visio Std 2007 SINGLE OLP NL Academic	-	1,003.86
EFT58991	01/04/2010	35 DEGREES SOUTH	Additional Feature Survey Bollig Designs for Proposed new access track off Sanford Road for new extensions to ALAC.	-	990.00
EFT58992	01/04/2010	DEPARTMENT OF ENVIRONMENT AND CONSERVATION	LEASE 2248/100 - FIRE STATION: RENTAL DUE 1/12/09 - 30/11/2010	-	116.79
EFT58993	01/04/2010	ANTHONY CHARLES DOCHERTY	EXHIBITION ITEMS	-	107.90
EFT58994	01/04/2010	DON DUFTY	COUNCILLOR ALLOWANCE - Q4	-	1,750.00
EFT58995	01/04/2010	ECO HEALTH HOLDINGS	PROVIDE ENVIRONMENTAL HEALTH SERVICES (INSPECT FOOD PREMISES) FOR MARCH 2010	-	4,224.00
EFT58996	01/04/2010	MILTON EVANS	MAYORAL ALLOWANCE Q4	-	7,100.00
EFT58997	01/04/2010	EVERTRANS	Repair hoist on truck.	-	5,328.40
EFT58998	01/04/2010	EYERITE SIGNS	Plaque for 100th birthday tree planting at Eyre Park - Mrs Ethel Allen.	-	434.50
EFT58999	01/04/2010	FARM FRESH WHOLESALERS	CATERING SUPPLIES	-	148.50
EFT59000	01/04/2010	JASMIN FERRY	REIMBURSEMENTS - AIM PROJECT MANAGEMENT COURSE	-	80.00
EFT59001	01/04/2010	FFF PRODUCTION SERVICES	PRODUCTION, SOUND AND STAGING, SUPPLIED FOR ART PRIZE	-	468.00
EFT59002	01/04/2010	GRANDE FOOD SERVICE	CATERING FOR TIME OUT CAFE	-	267.42
EFT59003	01/04/2010	GREAT SOUTHERN GROUP TRAINING	APPRENTICES FEES-RAYMOND SWARBRICK	-	5,241.72
EFT59004	01/04/2010	GREAT SOUTHERN TAFE	SPONSORSHIP 2010 GREAT SOUTHERN TAFE STUDENT COURSE AWARDS	-	1,000.00
EFT59005	01/04/2010	GREAT SOUTHERN PACKAGING SUPPLIES	CLEANING GOODS	-	1,102.81
EFT59006	01/04/2010	GREENLINE AG PTY LTD	VEHICLE PARTS/MAINTENANCE	-	148.57
EFT59007	01/04/2010	GSM AUTO ELECTRICAL	Supply and fit parts to repair reverse camera system on Volvo grader	-	938.30
EFT59008	01/04/2010	PROTECTOR FIRE SERVICES PTY LTD	FIRE EQUIPMENT MAINTENANCE	-	396.00
EFT59009	01/04/2010	HARLEY GLOBAL	Survey Services for Mount Clarence - Avenue of Honour and Padre White Lookout.	-	3,300.00
EFT59010	01/04/2010	HERITAGE MEDALS & MILITARY FRAMERS	Digger Hat Pins	-	355.74
EFT59011	01/04/2010	HUDSON HENNING AND GOODMAN	ADVISE ON MEMORANDUM OF UNDERSTANDING WITH STATE TREASURY OVER AEC	-	3,111.90
EFT59012	01/04/2010	ISIS CAPITAL LIMITED	MONTHLY GYM EQUIPMENT	-	3,494.82
EFT59013	01/04/2010	JACK THE CHIPPER	MULCHING OF WEEDS ON QUEEN ST VERGE	-	312.50
EFT59014	01/04/2010	JUST SEW EMBROIDERY	EMBROIDERY	-	44.00

EFT59015	01/04/2010 KEN FREEGARD FILTER CLEANING	FILTER CLEANING	-	22.00
EFT59016	01/04/2010 KNOTTS PLUMBING PTY LTD	PLUMBING REPAIRS/MAINTENANCE	-	173.25
EFT59017	01/04/2010 LAWRENCE AND HANSON	CANS WHITE DY-MARK SPRAY & MARK	-	385.70
EFT59018	01/04/2010 MERVYN LEAVESLEY	COUNCILLOR ALLOWANCE - Q4	-	2,350.00
EFT59019	01/04/2010 JULIA EDITH LEVER	ADMINISTRATION AND GENERAL DUTIES AT VANCOUVER ARTS	-	146.64
EFT59020	01/04/2010 STATE LIBRARY OF WA	LOST/DAMAGED BOOKS	-	69.10
EFT59021	01/04/2010 LOADTEK AUST	HYDRAULIC PARTS & SERVICES	-	804.94
EFT59022	01/04/2010 LOCK N STORE SELF STORAGE - ALBANY	STORAGE FEES UNIT 041 20/2/2010 - 20/5/2010	-	330.00
EFT59023	01/04/2010 ALBANY PARTY HIRE	CHAIR HIRE DROP OFF AND PICK UP	-	731.55
EFT59024	01/04/2010 JOY MATLA	COUNCILLOR ALLOWANCE - Q4	-	2,350.00
EFT59025	01/04/2010 MIDALIA STEEL PTY LTD	8mm galv rod (for playground sleeper repairs)	-	185.63
EFT59026	01/04/2010 PAUL MONCRIEFF	PAYMENT FOR JUDGING DUTIES - MT ROMANCE CENTENNIAL ART PRIZE	-	550.00
EFT59027	01/04/2010 MT ROMANCE AUSTRALIA PTY LTD	BOTTLES OF SANDALWOOD FLAME & INDULGENCE	-	767.58
EFT59028	01/04/2010 NATALIE RADIVOJEVIC	MOUNT ROMANCE CENTENNIAL ART PRIZE	-	1,287.50
EFT59029	01/04/2010 ALBANY NEAT AND TRIM LAWNS	MOW LAWN VANCOUVER ARTS CENTRE	-	160.00
EFT59030	01/04/2010 OCS SERVICES PTY LTD	CLEANING SERVICES	-	132.00
EFT59031	01/04/2010 OKEEFE'S PAINTS	PAINT & PAINTING SUPPLIES	-	298.61
EFT59032	01/04/2010 MELISSA ORGAN	REIMBURSEMENT FOR TRAINING COURSE IN PERTH - PROJECT MANAGEMENT FUNDAMENTALS	-	71.00
EFT59033	01/04/2010 ROLAND PAVER	COUNCILLOR ALLOWANCE Q4	-	2,350.00
EFT59034	01/04/2010 PLASTICS PLUS	15 X STOR PAK 120 CONTAINERS	-	548.74
EFT59035	01/04/2010 POWELL SECURITY SERVICES	SECURITY SERVICES	-	80.00
EFT59036	01/04/2010 KERRY QUINLAN	REIMBURSE TRAVEL EXPENSES	-	110.90
EFT59037	01/04/2010 REECE PTY LTD	STORMWATER PIPE	-	346.58
EFT59038	01/04/2010 REPCO AUTO PARTS	VEHICLE PARTS	-	134.14
EFT59039	01/04/2010 JASON SMITH	CITY OF ALBANY ART PRIZE JUDGING SERVICES	-	500.00
EFT59040	01/04/2010 SOUTHERN STATIONERY	STATIONERY SUPPLIES	-	14.50
EFT59041	01/04/2010 SOUTHWAY DISTRIBUTORS (WA) PTY LTD	CATERING GOODS	-	3,607.28
EFT59042	01/04/2010 SOUTHERN RURAL CONSULTING	TRAVEL/PHONE CALLS & PHONE LINE RENTAL	-	879.21
EFT59043	01/04/2010 SPORTSWORLD OF WA	SPORTS STORE STOCK	-	1,807.08
EFT59044	01/04/2010 SPOTLIGHT	MATERIALS FOR CA PROJECTS	-	323.75
EFT59045	01/04/2010 STAR SALES AND SERVICE	KAWASAKI KBL35B Brushcutter	-	819.00
EFT59046	01/04/2010 DEPARTMENT OF PREMIER & CABINET	GOVERNMENT GAZETTE ADVERTISING	-	483.06
EFT59047	01/04/2010 ALBANY VOLUNTEER STATE EMERGENCY SERVICE	FOURTH QUARTERLY ESL PAYMENT	-	9,184.45
EFT59048	01/04/2010 STATEWIDE BEARINGS	VEHICLE PARTS	-	810.04
EFT59049	01/04/2010 STIRLING CONFECTIONERY PLUS	CONFECTIONERY SUPPLIES	-	924.92
EFT59050	01/04/2010 STRUCTERRE CONSULTING ENGINEERS	Mount Clarence Approach Steps - Investigation and report for use of granite on existing stairs.	-	275.00
EFT59051	01/04/2010 ALBANY LOCK SERVICE	LOCKSMITH SERVICES,REPAIRS ETC	-	331.35
EFT59052	01/04/2010 ROBERT SUTTON	COUNCILLOR ALLOWANCE - Q4	-	2,350.00
EFT59053	01/04/2010 SYNERGY	ELECTRICITY SUPPLIES	-	25,741.00

EFT59054	01/04/2010 T & C SUPPLIES	Mig Welder PowerMig 180C Lincoln	-	5,935.07
EFT59055	01/04/2010 THE NAKED BEAN COFFEE ROASTERS	COFFEE SUPPLIES FOR ALAC CAFE	-	486.00
EFT59056	01/04/2010 DAVID THEODORE	CERTIFICATE OD MUSEUM STUDIES WORKSHOPS - REIMBURSEMENTS FOR MEALS/ACCOMODATION & FUEL	-	276.74
EFT59057	01/04/2010 THE VEGIE SHOP	GROCERIES	-	674.85
EFT59058	01/04/2010 TINKAHILL STUDIO & GALLERY	PURCHASE OF PAINTINGS	-	91.00
EFT59059	01/04/2010 TRAILBLAZERS	SAFETY EQUIPMENT	-	147.20
EFT59060	01/04/2010 TRONQUET M	Rates refund for assessment A145545	-	253.19
EFT59061	01/04/2010 TRU-BLU GROUP PTY LTD	Days hire of 6065 Compactor	-	289.98
EFT59062	01/04/2010 ALBANY TYREPOWER	Retread tyres to suit truck	-	1,660.00
EFT59063	01/04/2010 VANCOUVER WASTE SERVICES	10 mts of Screened Lime Sand	-	332.00
EFT59064	01/04/2010 IT VISION AUSTRALIA PTY LTD	Chameleon Implementation - work on data extraction and interface	-	2,860.00
EFT59065	01/04/2010 DEBORAH WALKER	REIMBURSE TRAVEL EXPENSES	-	600.65
EFT59066	01/04/2010 WATERCRAFT MARINE	MATERIALS	-	48.40
EFT59067	01/04/2010 ALBANY & GREAT SOUTHERN WEEKENDER	Monthly full page - Community Info. page	-	1,685.20
EFT59068	01/04/2010 WELLSTEAD RESOURCE AND TELECENTRE	INSURANCE REIMBURSEMENT	-	1,257.00
EFT59069	01/04/2010 DENNIS WELLINGTON	DEPUTY MAYOR ALLOWANCE Q4	-	3,100.00
EFT59070	01/04/2010 LANDMARK LIMITED	GATE & FENCING SUPPLIES	-	593.73
EFT59071	01/04/2010 WESTERN WORK WEAR	UNIFORMS	-	22.10
EFT59072	01/04/2010 WILDKAT INTERNATIONAL	O RING KAT FOR VOLVO	-	242.00
EFT59073	01/04/2010 WIZID PTY LTD	SPORTS STORE STOCK	-	536.80
EFT59074	01/04/2010 DIANNE WOLFER	FACILITATING FIRST GROUP MEETING, CATERING, DINOSAURS 3RD ANTHOLOGY	-	360.00
EFT59075	01/04/2010 DES WOLFE	DEPUTY MAYORAL ALLOWANCE Q4	-	2,350.00
EFT59076	01/04/2010 WREN OIL	WASTE OIL DISPOSAL	-	203.50
EFT59077	01/04/2010 YAKKA PTY LTD	UNIFORMS	-	553.12
EFT59078	01/04/2010 ZENITH LAUNDRY	Bags of Rags	-	119.81
EFT59079	08/04/2010 ALBANY HYDRAULICS	2 x stainless steel hose reel swivels and freight	-	276.10
EFT59080	08/04/2010 ALBANY NEWS DELIVERY	NEWSPAPER DELIVERIES	-	63.20
EFT59081	08/04/2010 ALBANY HARBOURSIDE APARTMENTS	ACCOMODATION FOR ART PRIZE JUDGES	-	1,053.00
EFT59082	08/04/2010 ALL EVENTS PROSOUND HIRE	PA SYSTEM FOR ALBANY ART PRIZE AT CENTENNIAL OVAL HALL	-	225.00
EFT59083	08/04/2010 AUSTRALIAN SPEAKERS BUREAU PTY LTD	50% DEPOSIT FOR 12/05/10 GLENN CARDWELL 'I CAN' INCREASING CAPACITY AND NETWORKING	-	1,650.00
EFT59084	08/04/2010 AUSTRAL MERCANTILE COLLECTIONS PTY LTD	DEBT COLLECTION FEES	-	924.94
EFT59085	08/04/2010 BAKERS JUNCTION ENGINEERING	MANUFACTURE 4 STAINLESS STEEL BRACKETS TO ANCHOR CABLES	-	308.00
EFT59086	08/04/2010 BIBBULMUN TRACK FOUNDATION	MEMBERSHIP	-	100.00
EFT59087	08/04/2010 BUILDING AND CONSTRUCTION IND TRAINING FUND	BCIFT LEVY FOR THE MONTH OF MATCH 2010	-	27,143.47
EFT59088	08/04/2010 BUILDERS REGISTRATION BOARD	BRB LEVY FOR THE MONTH OF MARCH 2010	-	4,243.50
EFT59089	08/04/2010 J & S CASTLEHOW ELECTRICAL SERVICES	ELECTRICAL REPAIRS/MAINTENANCE	-	1,330.01

EFT59090	08/04/2010	COFFEY ENVIRONMENTS PTY LTD	Development of the City of Albany Reserve Asset Management Plan	-	4,521.00
EFT59091	08/04/2010	COLES SUPERMARKETS AUSTRALIA PTY LTD	GROCERIES	-	647.65
EFT59092	08/04/2010	ALL SEASONS ALBANY	ACCOMODATION 19/03/10 - 22/03/10	-	328.55
EFT59093	08/04/2010	DENMARK SURVEY & MAPPING	PROGRESS PAYMENT FOR SURVEY WORK COMPLETED ON FRANCIS ROAD, LOWLANDS	-	5,500.00
EFT59094	08/04/2010	EASIFLEET MANAGEMENT	Payroll deductions	-	815.84
EFT59095	08/04/2010	FARM FRESH WHOLESALERS	CATERING SUPPLIES	-	142.98
EFT59096	08/04/2010	TAMMY FLETT	REIMBURSEMENT FOR BLENDER FOR YOUTH EVENTS	-	69.95
EFT59097	08/04/2010	GRANDE FOOD SERVICE	CATERING FOR TIME OUT CAFE	-	52.44
EFT59098	08/04/2010	GREAT SOUTHERN GROUP TRAINING	APPRENTICES FEES	-	1,237.32
EFT59099	08/04/2010	GREEN SKILLS INC	CASUAL STAFF	-	5,568.48
EFT59100	08/04/2010	PROTECTOR FIRE SERVICES PTY LTD	FIRE EQUIPMENT MAINTENANCE	-	187.00
EFT59101	08/04/2010	KOOKAS CATERING	CATERING FOR OPENING OF THE COA ART PRIZE AT VAC	-	1,504.00
EFT59102	08/04/2010	LAWRENCE CUTHBERT AND ASSOCIATES	Shingle Roof Restoration at the Vancouver Art Centre	-	4,220.50
EFT59103	08/04/2010	LOGO APPOINTMENTS	ROBERT MOORE ENGINEERING TECHNICAL OFFICER	-	1,589.06
EFT59104	08/04/2010	ALBANY PARTY HIRE	CHAIR HIRE DELVER & PICKUP - DAWN PRINCESS`	-	1,166.10
EFT59105	08/04/2010	MINTER ELLISON LAWYERS	LEGAL COSTS	-	683.10
EFT59106	08/04/2010	JULIA MITCHELL	REIMBURSEMENTS FOR LIBRARY METRICS TRAINING.- MEAL EXPENSES & ACCOMODATION	-	204.52
EFT59107	08/04/2010	MR MOO DAIRY DISTRIBUTORS	MILK DELIVERIES	-	305.50
EFT59108	08/04/2010	MARGARET MOORE	CITY OF ALBANY ART PRIZE - JUDGING SERVICES	-	550.00
EFT59109	08/04/2010	NIKANA CONTRACTING PTY LTD	REMOVAL OF RUBBISH BOAT HARBOUR SKIP BINS	-	563.53
EFT59110	08/04/2010	ALBANY COMMUNITY PHARMACY	FIRST AID SUPPLIES	-	44.05
EFT59111	08/04/2010	POWELL SECURITY SERVICES	SERCURITY SERVICES	-	80.00
EFT59112	08/04/2010	RECHARGE-IT	PRINTER CARTRIDGES	-	669.30
EFT59113	08/04/2010	SEATADVISOR AUSTRALIA	MARCH TICKET SALES	-	297.33
EFT59114	08/04/2010	SERENITY PARK	DISPOSAL OF DOGS	-	180.00
EFT59115	08/04/2010	SKILL HIRE	CASUAL STAFF	-	2,660.02
EFT59116	08/04/2010	SOUTHERN ELECTRICS	ELECTRICAL REPAIRS/MAINTENANCE	-	4,506.20
EFT59117	08/04/2010	STAR SALES AND SERVICE	WHIPPERSNIPPER CORD	-	85.00
EFT59118	08/04/2010	WAYNE STEAD	REIMBURSEMENT	-	51.40
EFT59119	08/04/2010	DAVID THEODORE	RETAIL BOOKS	-	72.00
EFT59120	08/04/2010	TOLL PRIORITY	FREIGHT CHARGES	-	491.19
EFT59121	08/04/2010	TRUCKLINE	VEHICLE PARTS	-	31.78
EFT59122	08/04/2010	VANCOUVER WASTE SERVICES	GREEN WASTE SERVICES	-	13.20
EFT59123	08/04/2010	WESTERBERG MARINE	REPAIRS & FABRICATION WORK TO ALMUMINIUM STAGE SEATING & POOL VACUUM ASSEMBLY	-	2,750.00
EFT59124	08/04/2010	WESTSHRED DOCUMENT DISPOSAL	DOCUMENT DISPOSAL	-	203.50
EFT59126	15/04/2010	ABA SECURITY	Inspection of the system and replacement battery in the glass break detector in zone 65 and updating of the zone plan as required.	-	318.00

EFT59127	15/04/2010 ABBOTTS LIQUID SALVAGE PTY LTD	PUMP PUBLIC TOILETS	-	1,018.50
EFT59128	15/04/2010 AD CONTRACTORS PTY LTD	Hours Hire of Semi Tipper	-	22,957.75
EFT59129	15/04/2010 ADVERTISER PRINT	BUSINESS CARDS	-	60.00
EFT59130	15/04/2010 AECOM AUSTRALIA PTY LTD	MOUNT CLARENCE ANZAC INFRASTRUCTURE UPGRADE - DETAILED DESIGN SERVICES	-	5,936.70
EFT59131	15/04/2010 ALBANY ADVERTISER LTD	Project Coordinator Vacancy Display advertisement	-	5,419.46
EFT59132	15/04/2010 ALBANY TOYOTA	VEHICLE PARTS/MAINTENANCE	-	88.00
EFT59133	15/04/2010 ALBANY HYDRAULICS	VEHICLE REPAIRS/PARTS	-	22.11
EFT59134	15/04/2010 ALBANY VALUATION SERVICES	RENTAL VALUATIONS	-	385.00
EFT59135	15/04/2010 ALBANY GUTTER CLEAN	CLEANING OF GUTTERS AT ALAC EXCLUDING STADIUM	-	1,425.00
EFT59136	15/04/2010 ALBANY V-BELT AND RUBBER	FILTERS/VEHICLE PARTS	-	941.41
EFT59137	15/04/2010 ALBANY STATIONERS	STATIONERY SUPPLIES	-	63.20
EFT59138	15/04/2010 TRICOAST CIVIL	Construct additional driveway on Lower Denmark Road	-	4,078.25
EFT59139	15/04/2010 ALBANY REFRIGERATION	REFRIGERATION & AIRCONDITIONING REPAIRS & MAINTENANCE	-	700.70
EFT59140	15/04/2010 ALBANY OFFICE PRODUCTS - NORTH ROAD	REXEL LANDSCAPE VISITOR PASSES (BOX 10)	-	28.50
EFT59141	15/04/2010 ALBANY QUALITY LAWNMOWING	LAWN MOWING AT LOTTERIES HOUSE	-	100.00
EFT59142	15/04/2010 ALBANY OFFICE PRODUCTS - ALAC	STATIONERY SUPPLIES	-	37.90
EFT59143	15/04/2010 ALBANY OFFICE PRODUCTS - WORKS DEPOT	STATIONERY SUPPLIES	-	87.00
EFT59144	15/04/2010 ALINTA	GAS USAGE CHARGES	-	115.30
EFT59145	15/04/2010 ALLFLOW INDUSTRIAL	QUARTERLY SERVICE OF OIL/WATER SEPARATOR AT MERCER ROAD	-	181.50
EFT59146	15/04/2010 ALLCOMMERCIAL FINANCE AUSTRALIA PTY LTD	MONTHLY LEASE PAYMENT FOR COMMERCIAL VAC & AQUA POOL CLEANER	-	471.31
EFT59147	15/04/2010 ALLPACK SIGNS PTY LTD	Traffic cones 700mm c.w reflective sleeve and City of Albany logo	-	7,794.60
EFT59148	15/04/2010 ANGUS AND ROBERTSON BOOK WORLD	NEWSPAPERS/BOOKS/MAGAZINES/STATIONERY	-	123.29
EFT59149	15/04/2010 ANITA JEAN PHOTOGRAPHY	MOUNT ROMANCE CENTENNIAL ART PRIZE WINNER OF BEST PHOTOGRAPH - C TELFER	-	1,000.00
EFT59150	15/04/2010 ART ON THE MOVE	COST SHARE ART ON THE MOVE TOURING EXHIBITION - NALDA SEARLES	-	2,750.00
EFT59151	15/04/2010 ARTS ON TOUR NSW	FOX PRESENTER FEE - INSTALMENT 1	-	2,692.80
EFT59152	15/04/2010 AUSTRALIA POST	POSTAGE/AGENCY FEES	-	4,950.62
EFT59153	15/04/2010 BANKSIA GARDENS RESORT MOTEL	Accommodation and meals, etc for Andrew Burnett (Minter Ellison)	-	180.80
EFT59154	15/04/2010 BARE FACTS	SPRUNG CO-ORDINATION ACTIVITIES	-	1,036.00
EFT59155	15/04/2010 JOHN BEAMON	TRAVELLING ALLOWANCE	-	405.40
EFT59156	15/04/2010 BENNETTS BATTERIES	200L drum of Dynatrans MPV oil.	-	968.00
EFT59157	15/04/2010 ADVANCED TRAFFIC MANAGEMENT	Hours Hire of Traffic Control 2 Controllers & 1 vehicle)	-	1,109.96
EFT59158	15/04/2010 BERTOLA HIRE SERVICES ALBANY PTY LTD	Day hire of mini excavator	-	279.40
EFT59159	15/04/2010 JON BERRY	REIMBURSEMEMNTS SEGRA CONFERENCE	-	43.50
EFT59160	15/04/2010 BEST OFFICE SYSTEMS	PHOTOCOPIER CHARGES	-	91.97

EFT59161	15/04/2010 BLACKWOODS	250ML BOTTLES ARMORAL	-	232.83
EFT59162	15/04/2010 BLACK DUCK GOURMET PANTRY	GOURMET GIFT BASKETS	-	129.00
EFT59163	15/04/2010 BOOKEASY AUSTRALIA PTY LTD	BOOKEASY BOOKING RETURNS COMMISSIONS/MONTHLY FEES	-	5,877.78
		MARCH 2010		
EFT59164	15/04/2010 AIR BP	AVGAS PURCHASES	-	369.01
EFT59165	15/04/2010 BUNNINGS BUILDING SUPPLIES PTY LTD	HARDWARE/TOOL SUPPLIES	-	67.58
EFT59166	15/04/2010 ALBANY CAR SPA	PREMIUM INTERIOR DETAIL OF VEHICLE	-	210.00
EFT59167	15/04/2010 J & S CASTLEHOW ELECTRICAL SERVICES	ELECTRICAL REPAIRS/MAINTENANCE	-	4,783.30
EFT59168	15/04/2010 CHRISTOPHER CHARLES BURNELL	PART PAYMENT FOR JOB @ BOB THOMPSON GARDENS	-	10,000.00
EFT59169	15/04/2010 CJD EQUIPMENT PTY LTD	VEHICLE PARTS	-	925.16
EFT59170	15/04/2010 BIS CLEANAWAY LIMITED	RUBBISH REMOVAL CONTRACT	-	267,819.61
EFT59171	15/04/2010 SUE CODEE	MT ROMANCE ART PRIZE CO-ORDINATION	-	1,377.90
EFT59172	15/04/2010 COLES SUPERMARKETS AUSTRALIA PTY LTD	GROCERIES	-	425.68
EFT59173	15/04/2010 CORRIGAN, ERIC	TRAVEL ALLOWANCE - FORTS	-	365.20
EFT59174	15/04/2010 COVENTRYS	VEHICLE PARTS	-	505.77
EFT59175	15/04/2010 CRUMPS CANVAS	MANUFACTURE PVC TUBE	-	187.00
EFT59176	15/04/2010 DOWNER EDI WORKS PTY LTD	Tonnes of Coldmix	-	981.22
EFT59177	15/04/2010 35 DEGREES SOUTH	CHAUNCY WAY SURVEY	-	1,298.00
EFT59178	15/04/2010 LANDGATE	TITLE SEARCHES	-	142.00
EFT59179	15/04/2010 ELLEKER GENERAL STORE	FUEL PURCHASES	-	581.55
EFT59180	15/04/2010 FARM FRESH WHOLESALERS	CATERING SUPPLIES	-	210.34
EFT59181	15/04/2010 FLIPS ELECTRICS	Supply and fit new electric motor to pressure cleaner	-	1,809.50
EFT59182	15/04/2010 FRANEY & THOMPSON	TIMBER SUPPLIES	-	126.42
EFT59183	15/04/2010 GORDON WALMSLEY PTY LTD	To profile and correct, lay asphalt overlay at Lockyer Avenue & Sanford Roads	-	22,393.50
EFT59184	15/04/2010 GRANDE FOOD SERVICE	CATERING FOR TIME OUT CAFE	-	190.58
EFT59185	15/04/2010 SOUTHERN BRAKE & SERVICES	VEHICLE PARTS/SERVICE	-	83.30
EFT59186	15/04/2010 GREAT SOUTHERN GROUP TRAINING	APPRENTICES FEES	-	6,470.00
EFT59187	15/04/2010 GREAT SOUTHERN TAFE	TAFE FEES - OCC HEALTH & SAFETY - TUTUKI	-	950.00
EFT59188	15/04/2010 GREAT SOUTHERN PERSONNEL	GARDENING/GROUND SERVICES FOR MARCH 2010	-	91.08
EFT59189	15/04/2010 GREAT SOUTHERN PACKAGING SUPPLIES	CLEANING GOODS	-	1,431.93
EFT59190	15/04/2010 GSM AUTO ELECTRICAL	VEHICLE PARTS/MAINTENANCE	-	574.63
EFT59191	15/04/2010 GT BEARING AND ENGINEERING SUPPLIES	VEHICLE PARTS	-	170.00
EFT59192	15/04/2010 PROTECTOR FIRE SERVICES PTY LTD	FIRE EQUIPMENT MAINTENANCE	-	165.00
EFT59193	15/04/2010 WILFRED HATTON	TRAVEL ALLOWANCE - FORTS	-	92.40
EFT59194	15/04/2010 HAYMARKET PTY LTD	Printing of A3 poster - artwork supplied	-	256.30
EFT59195	15/04/2010 HLS LEGAL PTY LTD	PROFESSIONAL FEES - GENERAL WORKPLACE MATTERS	-	5,174.95
EFT59196	15/04/2010 JOHN HOBBS	TRAVELLING ALLOWANCE	-	72.00
EFT59197	15/04/2010 THE HOPPING KANGAROO PTY LTD	FORTS MERCHANDISE	-	203.50
EFT59198	15/04/2010 HUDSON HENNING AND GOODMAN	DISPUTE RE AIRPORT RUNWAY	-	71.50
EFT59199	15/04/2010 JOHN KINNEAR AND ASSOCIATES	AIR BP LEASE, ALBANY AIRPORT	-	660.00
EFT59200	15/04/2010 KEN FREEGARD FILTER CLEANING	FILTER CLEANING	-	17.50

EFT59201	15/04/2010 KEY2DESIGN	CONTACT DIRECTORY: MULTIPLE NOTES	-	429.00
EFT59202	15/04/2010 KNOTTS PLUMBING PTY LTD	PLUMBING REPAIRS/MAINTENANCE	-	861.10
EFT59203	15/04/2010 LAND LINE ENTERPRISES PTY LTD	Drainage works on Princess Royal Dve	-	32,330.00
EFT59204	15/04/2010 LAWRENCE AND HANSON	SAFETY SUPPLIES	-	143.00
EFT59205	15/04/2010 LEASE CHOICE	PHOTOCOPIER LEASE RICOH V1691100006	-	970.20
EFT59206	15/04/2010 LGNET	EMPLOYMENT ADVERTISING	-	313.50
EFT59207	15/04/2010 LITTLE GROVE GENERAL STORE	Incident 144737 Fuel for fire response various vehicles	-	2,340.72
EFT59208	15/04/2010 STANLEY JAMES LOO	PAYMENT FOR ABORIGONAL HERITAGE ASSESSMENT OF TORBAY INLET AREA	-	150.00
EFT59209	15/04/2010 M & B SALES PTY LTD	TIMBER SUPPLIES	-	493.44
EFT59210	15/04/2010 M & L AUSTRALIA PTY LTD	PRINCESS PIN BADGES, KEY RINGS AND DIE TOOLING	-	2,200.00
EFT59211	15/04/2010 MALCOLM TRAILL	WORK FOR GRANT APPLICATION TO DCA FOR INDIGENOUS PROGRAM SPRUNG 2010	-	479.39
EFT59212	15/04/2010 PHILLIP MCKINNON	TRAVEL ALLOWANCE	-	225.00
EFT59213	15/04/2010 MIDALIA STEEL PTY LTD	Sheets of GAL 50x50 mesh for security openings	-	199.55
EFT59214	15/04/2010 JOHN MOIR	RUBBISH REMOVAL FROM CAPE RICHE -	-	840.00
EFT59215	15/04/2010 DAWSON MOORE	TRAVELLING ALLOWANCE	-	180.00
EFT59216	15/04/2010 MT BARKER COMMUNICATIONS	TWO WAY RADIO REPAIRS/MAINT	-	389.00
EFT59217	15/04/2010 NATALIE RADIVOJEVIC	ART PRIZE CO-ORDINATION	-	2,016.50
EFT59218	15/04/2010 DAVID NORTHERN	TRAVEL ALLOWANCE - FORTS VOLUNTEER	-	230.40
EFT59219	15/04/2010 PETER O'CONNELL	TRAVELLING ALLOWANCE - FORTS VOLUNTEER	-	75.60
EFT59220	15/04/2010 OKEEFE'S PAINTS	PAINT & PAINTING SUPPLIES	-	273.56
EFT59221	15/04/2010 OPUS INTERNATIONAL CONSULTANTS LTD	LOWER DENMARK RD UPGRADE - DESIGN, TENDER DOCUMENTATION, TENDER EVALUATION, SUPERINTENDENCE OF PROJECT 1; DESIGN OF PROJECTS 2 & 3; GEOTECH FOR PROJECTS 1, 2 & 3	-	29,003.70
EFT59222	15/04/2010 CYNTHIA TRACEY ORR	TEACHING DATES 27/2 - 27/3	-	840.00
EFT59223	15/04/2010 PAUL G ROBERTSON AND ASSOCIATES	PROJECT MANAGEMENT AND DESIGN INPUT TO ROADS WORKS PROGRAMS	-	7,998.65
EFT59224	15/04/2010 PC MACHINERY	WACKER PARTS/REPAIRS	-	343.42
EFT59225	15/04/2010 PENNANT HOUSE	CITY OF ALBANY FLAG	-	434.50
EFT59226	15/04/2010 AUSTRALASIAN PERFORMING RIGHT ASSOCIATION LIMITED	LICENCE FEES	-	256.89
EFT59227	15/04/2010 A H PIERCE PTY LTD	BACKSTROKE FLAGS	-	153.01
EFT59228	15/04/2010 PIPER ALDERMAN MANAGEMENT PTY LTD	LEHMAN BROTHERS - CHAPTER 11 PROCEEDINGS	-	246.65
EFT59229	15/04/2010 POWELL SECURITY SERVICES	SECURITY SERVICES	-	335.96
EFT59230	15/04/2010 QUEST SOFTWARE	ARCHIVE MANAGER PER MANAGED MAILBOX MAINTENANCE RENEWAL	-	5,276.21
EFT59231	15/04/2010 REECE PTY LTD	225mm x 6m storm water pipes	-	922.36
EFT59232	15/04/2010 REPCO AUTO PARTS	VEHICLE PARTS	-	123.21
EFT59233	15/04/2010 RICOH FINANCE PTY LTD	PHOTOCOPIER CHARGES	-	15,587.26
EFT59234	15/04/2010 ROYAL LIFE SAVING SOCIETY AUSTRALIA	LIFE SAVING CERTIFICATES	-	473.50

EFT59235	15/04/2010 SERVICE FINANCE CORPORATION LIMITED	LEASE AGREEMENT 1 X NEW LA CIMBALI PLUS 22 GROUP COFFEE MACHINE	-	321.76
EFT59236	15/04/2010 SESCO SECURITY	QRTLTY MONITORING 1/4 - 30/6/10	-	752.18
EFT59237	15/04/2010 SHEILAH RYAN	GARDENING AT THE VAC	-	300.00
EFT59238	15/04/2010 SIGNS PLUS	NAME PLATES	-	52.80
EFT59239	15/04/2010 SKILL HIRE	CASUAL STAFF	-	6,450.46
EFT59240	15/04/2010 SOUTHERN ELECTRICS	ELECTRICAL REPAIRS/MAINTENANCE	-	2,274.80
EFT59241	15/04/2010 SOUTHERN TOOL & FASTENER CO	HARDWARE SUPPLIES	-	394.08
EFT59242	15/04/2010 SOUTHWAY DISTRIBUTORS (WA) PTY LTD	CATERING GOODS	-	3,231.64
EFT59243	15/04/2010 SOUTHCOAST SECURITY SERVICE	SECURITY SERVICES	-	479.64
EFT59244	15/04/2010 SPECTRUM THEATRE INC	REFUND OF RENT AND UTILITIES FOR 14/10/2009 - 15/2/2010	-	570.38
EFT59245	15/04/2010 STATEWIDE BEARINGS	VEHICLE PARTS	-	77.12
EFT59246	15/04/2010 SAI GLOBAL LTD	CERTIFICATION AUDIT - FILIPE DOS SANTOS & PAUL WARHURST	-	12,329.12
EFT59247	15/04/2010 STIRLING CONFECTIONERY PLUS	CONFECTIONERY SUPPLIES	-	135.53
EFT59248	15/04/2010 MERVYN STRANGE	TRAVEL ALLOWANCE - FORTS	-	86.40
EFT59249	15/04/2010 ALBANY LOCK SERVICE	LOCKSMITH SERVICES,REPAIRS ETC	-	428.85
EFT59250	15/04/2010 BEN SWEETMAN	REIMBURSEMENT OF HR PERMIT/LICENCE APPLICATION	-	85.70
EFT59251	15/04/2010 T & C SUPPLIES	HARDWARE SUPPLIES	-	2,161.33
EFT59252	15/04/2010 TELSTRA LICENSED SHOP ALBANY	Battery nokia E51	-	59.95
EFT59253	15/04/2010 THE NAKED BEAN COFFEE ROASTERS	COFFEE SUPPLIES FOR ALAC CAFE	-	278.00
EFT59254	15/04/2010 THE 12 VOLT WORLD	REPAIRS FOR 'SAM'	-	120.00
EFT59255	15/04/2010 THE VEGIE SHOP	Groceries	-	120.00
EFT59256	15/04/2010 THINKWATER ALBANY	Being for the purchase of 9 valve boxes HR1419 with 6 extra lids For flag pole footings	-	404.72
EFT59257	15/04/2010 TORBAY AGRICULTURAL COMMUNITY HALL INC	COMMUNITY FINANCIAL ASSISTANCE - TORBAY COMMUNITY HALL	-	7,000.00
EFT59258	15/04/2010 TRUCKLINE	Incident 147737 Repairs to south coat 3.4	-	420.03
EFT59259	15/04/2010 RICHARD TURPIN	TRAVELLING ALLOWANCE	-	156.00
EFT59260	15/04/2010 ALBANY TYREPOWER	TYRE PURCHASES/MAINTENANCE	-	284.00
EFT59261	15/04/2010 VANCOUVER WASTE SERVICES	Supply & deliver 27 cub bedding mix BOB THOMPSON GARDEN	-	2,967.00
EFT59262	15/04/2010 VALENTINO'S FLORISTS	Flowers for widow and family of employee Kees Glorie	-	60.00
EFT59263	15/04/2010 RENE VERMEULEN	TRAVEL ALLOWANCE - FORTS	-	14.30
EFT59264	15/04/2010 IT VISION AUSTRALIA PTY LTD	Online Training - online demo for Records Boxes functionality (2 hours) for Emma McRae (Senior Records Officer)	-	462.00
EFT59265	15/04/2010 MICHAEL D. WALKER	TRAVEL ALLOWANCE - FORTS	-	375.00
EFT59266	15/04/2010 WELLSTEAD RESOURCE AND TELECENTRE	PHOTOCOPYING	-	8.00
EFT59267	15/04/2010 WA LOCAL GOVERNMENT ASSOCIATION	AD IN PROFESSIONAL EMPLOYMENT SECTION FOR PRINCIPAL ENGINEER - DESIGN AND COMPLIANCE VACANCY 27 FEB WEST AUST	-	9,076.68
EFT59268	15/04/2010 WESTERN WORK WEAR	SAFETY EQUIPMENT	-	437.97
EFT59269	15/04/2010 THE WINDOW WASHER MAN	WINDOW CLEANING - VAC	-	45.00

EFT59270	15/04/2010 WISHART CONSULTING PTY LTD	PROVIDE CONSULTANCY SERVICES FOR ISO PROJECT (17 MARCH TO 19 MARCH 2010)	-	4,514.60
EFT59271	15/04/2010 DIANNE WOLFER	DINOSAURS 3RD ANTHOLOGY	-	355.00
EFT59272	15/04/2010 WURTH AUSTRALIA PTY LTD	BARRIER CREAM	-	55.00
EFT59273	16/04/2010 TRICOAST CIVIL	LOWER DENMARK ROAD RECONSTRUCTION AND WIDENING	-	321,613.71
EFT59274	22/04/2010 ABBOTTS LIQUID SALVAGE PTY LTD	REMOVAL OF OIL WASTE, EMPTY CANS AND OIL-SOILED KITTY LITTER AT EMU POINT BOAT PENS	-	990.50
EFT59275	22/04/2010 ACTIV FOUNDATION INC.	CLEANING RAGS	-	979.00
EFT59276	22/04/2010 AD CONTRACTORS PTY LTD	DRY HIRE OF LOADER AS PER CONTRACT CO6008 FOR MARCH 2010	-	15,022.50
EFT59277	22/04/2010 ADVANCED PERSONNEL MANAGEMENT	PRE EMPLOYMENT SCREENING AND REPORT	-	511.50
EFT59278	22/04/2010 DEPARTMENT OF AGRICULTURE AND FOOD	STOCK BRAND RE- REGISTRATION	-	61.00
EFT59279	22/04/2010 ALBANY ADVERTISER LTD	ADVERTISING	-	822.25
EFT59280	22/04/2010 ALBANY VALUATION SERVICES	RENTAL VALUATIONS - CARLYLES FUNCTION CENTRE	-	495.00
EFT59281	22/04/2010 ALBANY V-BELT AND RUBBER	FILTERS/VEHICLE PARTS	-	1,669.86
EFT59282	22/04/2010 ALBANY SWEEP CLEAN	Sweep car parks, cycleways and boardwalks	-	1,800.00
EFT59283	22/04/2010 ALBANY STATIONERS	STATIONERY SUPPLIES	-	17.50
EFT59284	22/04/2010 ALBANY PEST & WEED CONTROL	Removal of Bee hive on Elphinstone RD	-	130.00
EFT59285	22/04/2010 ALBANY INDOOR PLANT HIRE	INDOOR PLANT HIRE	-	495.00
EFT59286	22/04/2010 ALBANY CHAMBER OF COMMERCE & INDUSTRY	ADVERTISING	-	159.60
EFT59287	22/04/2010 ALBANY STOCKFEEDS	BAGS OF PAL MEATY BITES	-	87.00
EFT59288	22/04/2010 ALBANY REFRIGERATION	REFRIGERATION & AIRCONDITIONING REPAIRS & MAINTENANCE	-	121.00
EFT59289	22/04/2010 ALBANY HISTORICAL SOCIETY	GRANT FROM CITY OF ALBANY TOWARDS COST OF HOSTING 2010 ROYAL WESTERN AUSTRALIAN HISTORICAL SOCIETIES ANNUAL CONFERENCE	-	5,000.00
EFT59291	22/04/2010 ALBANY SKIPS AND WASTE SERVICES	Supply and empty 4 m skip bin	-	210.00
EFT59292	22/04/2010 ALBANY MILK DISTRIBUTORS	MILK DELIVERIES	-	283.61
EFT59293	22/04/2010 ALBANY MITRE 10	GARDEN SUPPLIES	-	118.79
EFT59294	22/04/2010 ALBANY OFFICE PRODUCTS - ALAC	STATIONERY SUPPLIES	-	109.00
EFT59295	22/04/2010 ALBANY OFFICE PRODUCTS - DAYCARE	STATIONERY SUPPLIES	-	42.95
EFT59296	22/04/2010 ALBANY OFFICE PRODUCTS - LIBRARY	STATIONERY SUPPLIES	-	477.45
EFT59297	22/04/2010 AMITY PAINTING & DECORATING	FINAL PAYMENT FOR PAINTING THE VISITORS CENTRE	-	24,200.00
EFT59298	22/04/2010 ANGUS AND ROBERTSON BOOK WORLD	NEWSPAPERS/BOOKS/MAGAZINES/STATIONERY	-	244.59
EFT59299	22/04/2010 ARDESS NURSERY	Plant & fongarid	-	46.40
EFT59300	22/04/2010 ATC WORK SMART	CASUAL STAFF/APPRENTICE FEES	-	2,116.09
EFT59301	22/04/2010 AUDIOCOM ALBANY	NokiaE51 cradle (rc-n8ce51) one external antenna 6.2db sgdb	-	405.00
EFT59302	22/04/2010 ALBANY AUTOSPARK	VEHICLE REPAIRS/PARTS	-	2,013.70
EFT59303	22/04/2010 BARNESBY FORD	Purchase of new Ford Ranger 4WD Super Cab Utility (P3244)	-	42,422.46
EFT59304	22/04/2010 BATTERY WORLD	BATTERY PURCHASES	-	46.00
EFT59305	22/04/2010 BENNETTS BATTERIES	205 litre drums of Rubia 15W40 engine oil	-	3,828.00

EFT59306	22/04/2010	ADVANCED TRAFFIC MANAGEMENT	Hire of Traffic Control (3 Controllers plus 1 vehicle)	-	1,827.63
EFT59307	22/04/2010	BERTOLA HIRE SERVICES ALBANY PTY LTD	Hire of 2 Augers from Monday 22-2-10 till Monday 8-3-10 (3 weeks)	-	2,947.67
EFT59308	22/04/2010	BIO DIVERSE SOLUTIONS	Visitor Risk Assessment of 42 Coastal Access Points project	-	4,922.50
EFT59309	22/04/2010	ALBANY BOBCAT SERVICES	Fill/ Bob Thompson Gardens	-	200.00
EFT59310	22/04/2010	BOC GASES AUSTRALIA LIMITED	CONTAINER SERVICE RENTAL	-	147.11
EFT59311	22/04/2010	BUNNINGS BUILDING SUPPLIES PTY LTD	HARDWARE SUPPLIES & GIFT VOUCHER	-	215.12
EFT59312	22/04/2010	C&C MACHINERY CENTRE	VEHICLE MAINTENANCE/PARTS	-	6.09
EFT59313	22/04/2010	CAPE AGENCIES	GAS BOTTLES	-	144.00
EFT59314	22/04/2010	J & S CASTLEHOW ELECTRICAL SERVICES	ELECTRICAL REPAIRS/MAINTENANCE	-	15,281.23
EFT59315	22/04/2010	CHRISTOPHER CHARLES BURNELL	Square metres Granite Stone work supplied and installed	-	30,600.00
EFT59316	22/04/2010	CJD EQUIPMENT PTY LTD	VEHICLE PARTS	-	308.68
EFT59317	22/04/2010	CLARK EQUIPMENT SALES PTY LTD	PARTS FOR SKID STEER	-	79.13
EFT59318	22/04/2010	BIS CLEANAWAY LIMITED	RUBBISH REMOVAL CONTRACT	-	8,270.44
EFT59319	22/04/2010	COCA-COLA AMATIL PTY LTD	SOFT DRINK FOR ALAC CAFE	-	1,050.78
EFT59320	22/04/2010	SUE CODEE	MT ROMANCE ART PRIZE CO-ORDINATION	-	1,408.00
EFT59321	22/04/2010	COFFEY ENVIRONMENTS PTY LTD	PROJECT - YAKAMIA ENVIRONMENTAL REVIEW	-	16,278.09
EFT59322	22/04/2010	COLRAY EXHAUST AND TOWBAR	VEHICLE PARTS	-	11.00
EFT59323	22/04/2010	COLES SUPERMARKETS AUSTRALIA PTY LTD	GROCERIES	-	677.14
EFT59324	22/04/2010	COURIER AUSTRALIA	FREIGHT FEES	-	57.39
EFT59325	22/04/2010	ALBANY SIGNS	SIGNAGE	-	891.00
EFT59326	22/04/2010	COVENTRYS	VEHICLE PARTS	-	112.87
EFT59327	22/04/2010	CREATIVE ALBANY INC	TOTAL INCOME FROM BOX OFFICE - HARBOURSOUND FESTIVAL 2010	-	5,133.45
EFT59328	22/04/2010	HOLCIM (AUSTRALIA) PTY LTD	TONNES 5MM BLACK BASALT METAL DELIVERED	-	6,122.71
EFT59329	22/04/2010	AL CURNOW HYDRAULICS	VEHICLE PARTS/MAINTENANCE	-	11.11
EFT59330	22/04/2010	CGS QUALITY CLEANING	CLEANING	-	220.00
EFT59331	22/04/2010	LANDGATE	TITLE SEARCHES	-	4,057.22
EFT59332	22/04/2010	DEPARTMENT OF CULTURE AND THE ARTS	PURCHASE OF MICROFILMING	-	66.00
EFT59333	22/04/2010	DEPARTMENT OF TRANSPORT	ANNUAL JETTY LICENCE 1/4/2010 - JETTY NO 3507 EMU POINT	-	32.00
EFT59334	22/04/2010	G & M DETERGENTS & HYGIENE SERVICES ALBANY	HYGIENE CONTRACT	-	1,575.86
EFT59335	22/04/2010	DIRECT LIGHTING	LIGHTING FOR TOWN HALL	-	342.00
EFT59336	22/04/2010	EYERITE SIGNS	SIGNWRITING/SIGN PURCHASES	-	1,255.10
EFT59337	22/04/2010	FARM FRESH WHOLESALERS	CATERING SUPPLIES	-	54.19
EFT59338	22/04/2010	TAMMY FLETT	NATIONAL YOUTH WEEK PURCHASES FOR MOCKTAILS	-	127.30
EFT59339	22/04/2010	FRANEY & THOMPSON	TIMBER SUPPLIES	-	33.00
EFT59340	22/04/2010	GAIA GEMS	STOCK SOLD AT EXHIBITION	-	84.50
EFT59341	22/04/2010	GORDON WALMSLEY PTY LTD	To construct kerbing & associated works	-	3,300.00
EFT59342	22/04/2010	GRANDE FOOD SERVICE	CATERING FOR TIME OUT CAFE	-	143.52
EFT59343	22/04/2010	GREAT SOUTHERN TAFE	STAFF TRAINING	-	582.00
EFT59344	22/04/2010	GREAT SOUTHERN PACKAGING SUPPLIES	PALLET OF TOILET PAPER & CLEANING SUPPLIES	-	2,826.59

EFT59345	22/04/2010	GT BEARING AND ENGINEERING SUPPLIES	One hand piece 48813/A one lance SWA12 one #72 3/8x1/4 fitting one nozzle I9866900	-	534.60
EFT59346	22/04/2010	HARVEY NORMAN ELECTRICAL ALBANY	1 x 5 LITRE STAINLESS STEEL URN	-	149.95
EFT59347	22/04/2010	HAYMARKET PTY LTD	ART PRIZE BOOKLET & COVER	-	3,214.20
EFT59348	22/04/2010	HELEN LEEDER-CARLSON	CREATIVE SENIORS	-	120.00
EFT59349	22/04/2010	RATTEN & SLATER MACHINERY	VEHICLE PARTS	-	475.67
EFT59350	22/04/2010	HOWARD AND HEAVER ARCHITECTS	QUOTE FOR PRELIM DRAWINGS, ELEVATIONS, 3D IMAGES FOR CIVIC PRECINCT IN ORDER TO ALLOW DETAIL TO BE SUPPLIED FOR RLCIP-SP FUNDING APPLICATION.	-	9,900.00
EFT59351	22/04/2010	HUDSON HENNING AND GOODMAN	LOT 150 HENTY ROAD KALGAN	-	5,425.20
EFT59352	22/04/2010	HUDSON SEWAGE SERVICES	QUARTERLY MAINTENANCE	-	151.30
EFT59353	22/04/2010	ALBANY INSTANT RACKING	Supply and install Pallet racking	-	3,693.05
EFT59354	22/04/2010	JACK THE CHIPPER	HOURS OF MULCHING IN MERMAID AVE EMU POINT	-	2,187.50
EFT59355	22/04/2010	JOHN KINNEAR AND ASSOCIATES	LEASE PLAN, PORTION OF RESERVE 1189 - KING RIVER HORSE AND PONY CLUB, WILLYUNG	-	990.00
EFT59356	22/04/2010	KANDOO WINDSCREENS	Supply and fit two windows to John Deere mower	-	1,067.00
EFT59357	22/04/2010	JG KELLY & YW ATTWELL	CULL ROAD 50% CLAIM ON CONSTRUCTION SECTION OF CULL ROAD ADJOINING 247/LOT 260	-	47,318.15
EFT59358	22/04/2010	KNOTTS PLUMBING PTY LTD	PLUMBING REPAIRS/MAINTENANCE	-	2,531.45
EFT59359	22/04/2010	LANDFILL GAS AND POWER PTY LTD	LANDFILL GAS AND POWER SUPPLY	-	35,875.73
EFT59360	22/04/2010	LAWRENCE AND HANSON	SAFETY SUPPLIES	-	124.96
EFT59361	22/04/2010	LEEWIN CONSTRUCTIONS	For the ANZAC Peace Park supply and install - Seating and signage walls	-	68,696.63
EFT59362	22/04/2010	JULIA EDITH LEVER	ADMIN AND GENERAL DUTIES AT VAC	-	293.28
EFT59363	22/04/2010	STATE LIBRARY OF WA	LOST/DAMAGED BOOKS	-	229.93
EFT59364	22/04/2010	LINCOLNS ACCOUNTANTS AND BUSINESS ADVISERS	AUDIT AQUITTAL FOR DIOSAUR PROJECT	-	1,100.00
EFT59365	22/04/2010	LINCOLN AND GOMM WINES	WINES	-	545.54
EFT59366	22/04/2010	CALTEX ENERGY WA	LTRS DIESEL FUEL	-	50,064.56
EFT59367	22/04/2010	LOGO APPOINTMENTS	ENGINEERING TECHNICAL OFFICER	-	3,178.12
EFT59368	22/04/2010	LORLAINE DISTRIBUTORS PTY LTD	DISINFECTANT 25 L	-	58.95
EFT59369	22/04/2010	LOWE PTY LTD	Rates refund for assessment A212378	-	160.10
EFT59370	22/04/2010	ALBANY PARTY HIRE	hire of glassware	-	262.40
EFT59371	22/04/2010	ALBANY CITY MOTORS	VEHICLES/VEHICLE PARTS/REPAIRS	-	569.00
EFT59372	22/04/2010	MANYPEAKS GENERAL STORE	MANYPEAKS BUSHFIRE BRIG - FUEL	-	113.39
EFT59373	22/04/2010	MCNALLY NEWTON LANDSCAPE ARCHITECTS	DESIGN OF STAGE 2 OF THE AWARE CENTRE LANDSCAPE	-	14,080.00
EFT59374	22/04/2010	MERRIFIELD REAL ESTATE	RENT & KEYS - SPECIAL EVENTS	-	154.00
EFT59375	22/04/2010	METROOF ALBANY	ROOFING SUPPLIES	-	4,747.73
EFT59376	22/04/2010	MIDALIA STEEL PTY LTD	STEEL SUPPLIES	-	16.98
EFT59377	22/04/2010	MINTER ELLISON LAWYERS	LEGAL COSTS	-	8,215.02
EFT59378	22/04/2010	MIRA MAR VETERINARY SERVICES	DISPOSAL OF ANIMALS	-	82.50
EFT59379	22/04/2010	MODERN TEACHING AIDS PTY LTD	PLAY EQUIPMENT	-	987.55
EFT59380	22/04/2010	MR MOO DAIRY DISTRIBUTORS	MILK DELIVERIES	-	253.80

EFT59381	22/04/2010 NATALIE RADIVOJEVIC	CO-ORDINATION OF MOUNT ROMANCE CENTENNIAL ART PRIZE 2010	-	1,000.00
EFT59382	22/04/2010 ALBANY NEAT AND TRIM LAWNS	MOW LAWN VANCOUVER ARTS CENTRE	-	160.00
EFT59383	22/04/2010 NEVILLES HARDWARE & BUILDING SUPPLIES	HARDWARE SUPPLIES	-	35.65
EFT59384	22/04/2010 PN & ER NEWMAN QUALITY CONCRETE PRODUCTS	CONCRETE PRODUCTS	-	1,215.50
EFT59385	22/04/2010 NIKANA CONTRACTING PTY LTD	REMOVAL OF RUBBISH BOAT HARBOUR SKIP BINS	-	563.53
EFT59386	22/04/2010 OCS SERVICES PTY LTD	CLEANING SERVICES	-	1,367.85
EFT59387	22/04/2010 OKEEFE'S PAINTS	PAINT & PAINTING SUPPLIES	-	411.87
EFT59388	22/04/2010 ORICA AUSTRALIA P/L	CHLORINE SUPPLIES	-	356.00
EFT59389	22/04/2010 PALMER EARTHMOVING (AUSTRALIA) PTY LTD	TRUCK/LOWLOADER/CATERPILLAR HIRE	-	767.25
EFT59390	22/04/2010 AUSTRALASIAN PERFORMING RIGHT ASSOCIATION LIMITED	LICENCE FEES - FITNESS AND AEROBICS CLASS	-	1,205.52
EFT59391	22/04/2010 RAECO INTERNATIONAL PTY LTD	Spine Label Protectors	-	159.99
EFT59392	22/04/2010 AUSTRALIAN FLYING CORPS AND RAAF	Rates refund for assessment A181400	-	3,422.08
EFT59393	22/04/2010 REECE PTY LTD	MATERIALS FOR LOTTERIES HOUSE	-	42.41
EFT59394	22/04/2010 W P REID	To construct 12 concrete pram ramps and new concrete footpath	-	8,299.00
EFT59395	22/04/2010 REXEL AUSTRALIA	LABELS & TAGS FOR TOWN HALL	-	91.15
EFT59396	22/04/2010 ROYAL LIFE SAVING SOCIETY AUSTRALIA	TRAINING	-	115.00
EFT59397	22/04/2010 CHILD AUSTRALIA	PARTICIPATION IN COMMUNICATION THROUGH RESPECT WORKSHOP 17TH MAY 2010 AT DYMESBURY LODGE	-	340.00
EFT59398	22/04/2010 SECUREPAY PTY LTD	WEB PAYMENTS SEAT ADVISOR PRICING TRANSACTION FEE	-	20.79
EFT59399	22/04/2010 G & L SHEETMETAL	BOX GUTTER/ SUMP AND OUTLET	-	412.50
EFT59400	22/04/2010 SMITHS ALUMINIUM & 4WD CENTRE	Repair draw runners and fit over centre catch on retic cabinet	-	472.00
EFT59401	22/04/2010 SOUTHERN ELECTRICS	ELECTRICAL REPAIRS/MAINTENANCE	-	2,068.72
EFT59402	22/04/2010 SOUTHERN TOOL & FASTENER CO	HARDWARE SUPPLIES	-	174.32
EFT59403	22/04/2010 SOUTHWAY DISTRIBUTORS (WA) PTY LTD	CATERING GOODS	-	1,984.83
EFT59404	22/04/2010 SOUTHCOAST SECURITY SERVICE	SECURITY SERVICES	-	8,736.26
EFT59405	22/04/2010 SPECTRUM THEATRE INC	REFUND OF WATER RATES 14/10/2009 - 25/2/2010	-	334.56
EFT59406	22/04/2010 STIRLING CONFECTIONERY PLUS	CONFECTIONERY SUPPLIES	-	869.46
EFT59407	22/04/2010 STORM OFFICE NATIONAL	STATIONARY SUPPLIES & photocopy paper for Lotteries house	-	224.07
EFT59408	22/04/2010 ALBANY LOCK SERVICE	KEY CUTTING	-	22.90
EFT59409	22/04/2010 SYNERGY	ELECTRICITY SUPPLIES	-	23.40
EFT59410	22/04/2010 T & C SUPPLIES	HARDWARE/TOOL SUPPLIES	-	612.11
EFT59411	22/04/2010 THE NAKED BEAN COFFEE ROASTERS	COFFEE SUPPLIES FOR ALAC CAFE	-	162.00
EFT59412	22/04/2010 THE VEGIE SHOP	GROCERIES	-	171.00
EFT59413	22/04/2010 THINKWATER ALBANY	Irrigation fittings	-	13,630.15
EFT59414	22/04/2010 TICKETS.COM	DATABOX SUPPORT	-	104.10
EFT59415	22/04/2010 TOTAL EDEN	GARDEN SUPPLIES	-	1,925.44
EFT59416	22/04/2010 TRAILBLAZERS	SAFETY EQUIPMENT	-	281.55
EFT59417	22/04/2010 TRUCKLINE	VEHICLE PARTS	-	137.20
EFT59418	22/04/2010 ALBANY TYREPOWER	TYRE PURCHASES/MAINTENANCE	-	115.00

EFT59419	22/04/2010 VANCOUVER WASTE SERVICES	GREEN WASTE SERVICES	-	11,768.48
EFT59420	22/04/2010 VERSATILE TRACTORS	OIL FILTER	-	51.15
EFT59421	22/04/2010 IT VISION AUSTRALIA PTY LTD	HR module training	-	462.00
EFT59422	22/04/2010 VISIONSTREAM PTY LTD WA	Works to Telstra Pit corner of Rufus St & Adelaide St	-	2,182.40
EFT59423	22/04/2010 ALBANY & GREAT SOUTHERN WEEKENDER	APL Community Service information & small ad for Seniors page	-	809.32
EFT59424	22/04/2010 WESTRAC EQUIPMENT PTY LTD	VEHICLE PARTS	-	1,026.29
EFT59425	22/04/2010 WA LOCAL GOVERNMENT ASSOCIATION	MERVYN LEAVESLY LGAGENE501A	-	395.00
EFT59426	22/04/2010 LANDMARK LIMITED	BAGS OF FERTILISER	-	532.69
EFT59427	22/04/2010 WESTSHRED DOCUMENT DISPOSAL	DOCUMENT DISPOSAL	-	346.50
EFT59428	22/04/2010 WESTERN WORK WEAR	SAFETY EQUIPMENT	-	160.00
EFT59429	22/04/2010 WHALERS GALLEY CAFE	MORNING TEA 12/4/2010	-	180.00
EFT59430	22/04/2010 WOOD AND GRIEVE ENGINEERS	STORMWATER ATTENUATION BASIN BROUGHTON ST RESERVE	-	19,437.00
EFT59431	22/04/2010 WREN OIL	WASTE OIL DISPOSAL	-	242.00
EFT59432	22/04/2010 ZENITH LAUNDRY	LAUNDRY SERVICES/HIRE	-	101.24
EFT59433	23/04/2010 JUST A CALL DELIVERIES	INTERNAL MAIL DELIVERIES	-	1,005.40
EFT59434	23/04/2010 WESTERN POWER CORPORATION	PERMIT TO ENTER THE DANGER ZONE OF WESTERN POWER ASSETS - LOT 1568 HANRAHN ROAD	-	972.00
EFT59435	29/04/2010 ALBANY COMMUNITY HOSPICE	Payroll deductions	-	38.00
EFT59436	29/04/2010 AMP SUPERANNUATION LIMITED	Superannuation contributions	-	901.90
EFT59437	29/04/2010 AUSTRALIAN TAXATION OFFICE	Payroll deductions	-	251,099.57
EFT59438	29/04/2010 AUSTRALIAN SERVICES UNION WA BRANCH	Payroll deductions	-	2,167.10
EFT59439	29/04/2010 AUSTRALIAN PRIMARY SUPERANNUATION FUND	Superannuation contributions	-	283.03
EFT59440	29/04/2010 AUSTRALIAN SUPER	Superannuation contributions	-	64.91
EFT59441	29/04/2010 AUSTRALIAN ETHICAL SUPERANNUATION FUND	Superannuation contributions	-	410.36
EFT59442	29/04/2010 AXA GENERATIONS PERSONAL SUPERANNUATION PLAN	Superannuation contributions	-	303.67
EFT59443	29/04/2010 BANKWEST	Payroll deductions	-	3,534.10
EFT59444	29/04/2010 BT SUPER FOR LIFE	Superannuation contributions	-	291.06
EFT59445	29/04/2010 BT SUPER FOR LIFE	Superannuation contributions	-	98.51
EFT59446	29/04/2010 CHILD SUPPORT AGENCY	Payroll deductions	-	740.62
EFT59447	29/04/2010 COLONIAL FIRST STATE ROLLOVER & SUPER FUND	Superannuation contributions	-	106.81
EFT59448	29/04/2010 COLONIAL FIRST STATE FIRSTCHOICE PERSONAL SUPER	Superannuation contributions	-	623.08
EFT59449	29/04/2010 HBF OF WA	Payroll deductions	-	1,194.55
EFT59450	29/04/2010 ING INTEGRA SUPER	Superannuation contributions	-	106.28
EFT59451	29/04/2010 ING ONE ANSWER PERSONAL SUPER	Superannuation contributions	-	479.71
EFT59452	29/04/2010 ING INTEGRA SUPER	Superannuation contributions	-	342.88
EFT59453	29/04/2010 MLC NOMINEES PTY LTD	Superannuation contributions	-	272.56
EFT59454	29/04/2010 REST SUPERANNUATION	Superannuation contributions	-	3,183.26
EFT59455	29/04/2010 MARITIME SUPER	Superannuation contributions	-	165.08
EFT59456	29/04/2010 SKANDIA GLOBAL SUPER SOLUTION	Superannuation contributions	-	284.90
EFT59457	29/04/2010 SKANDIA GLOBAL SUPER SOLUTION	Superannuation contributions	-	725.21
EFT59458	29/04/2010 SKANDIA GLOBAL SUPER SOLUTION	Superannuation contributions	-	172.83

EFT59459	29/04/2010 WA LOCAL GOVT SUPERANNUATION	Superannuation contributions	-	120,604.11
EFT59460	29/04/2010 WAYNE JOHN STEAD PTY LTD SUPERANNUATION FUND	Payroll deductions	-	2,413.99
EFT59461	29/04/2010 WESTSCHEME	Superannuation contributions	-	3,696.77
EFT59462	29/04/2010 AAPT LIMITED	TELEPHONE CHARGES	-	27.50
EFT59463	29/04/2010 ABA SECURITY	SECURITY SERVICES	-	1,521.78
EFT59464	29/04/2010 EDENBORN PTY LTD	Contract Mowing for the month of March 2010	-	4,150.85
EFT59465	29/04/2010 ALBANY ADVERTISER LTD	ADVERTISING	-	575.92
EFT59466	29/04/2010 ALBANY HYDRAULICS	VEHICLE REPAIRS/PARTS	-	99.00
EFT59467	29/04/2010 ALBANY VALUATION SERVICES	RENTAL VALUATIONS	-	330.00
EFT59468	29/04/2010 ALBANY PRINTERS	Albany Eisteddfod Committee Inc to use on behalf of the City of Albany - printing of programmes, envelopes,etc)	-	160.00
EFT59469	29/04/2010 ALBANY SOIL AND CONCRETE TESTING	DOWN ROAD - SAMPLING OF LOCAL GRAVEL PITS	-	2,486.00
EFT59470	29/04/2010 TRAVEL TOWER	Removal of tree on Thompson Road as discussed with Ian Flett	-	700.00
EFT59471	29/04/2010 ALBANY INDOOR PLANT HIRE	INDOOR PLANT HIRE	-	980.31
EFT59472	29/04/2010 ALBANY CHAMBER OF COMMERCE & INDUSTRY	ADVERTISING	-	317.45
EFT59473	29/04/2010 ALBANY HISTORICAL SOCIETY	CLEANING & MANNING THE BRIG AMITY FOR THE MONTH OF:	-	600.00
EFT59474	29/04/2010 ALBANY MOBILE WELDING	Construct steel lids for bore covers	-	2,864.40
EFT59475	29/04/2010 HOME TIMBER & HARDWARE	Shade cloth 2.5m x 3m	-	112.80
EFT59476	29/04/2010 ALBANY SINFONIA INC	COMMUNITY FINANCIAL ASSISTANCE CONCERT PERFORMANCE	-	1,000.00
EFT59477	29/04/2010 ALBANY OFFICE PRODUCTS - NORTH ROAD	HP BLACK PRINTER CARTRIDGE	-	50.25
EFT59478	29/04/2010 ALBANY NEWS DELIVERY	NEWSPAPER DELIVERIES	-	173.40
EFT59479	29/04/2010 ALBANY DINGO EARTHWORKS	EXCAVATOR HIRE	-	528.00
EFT59480	29/04/2010 ALBANY CITY CLEANERS	WINDOW CLEANING	-	1,175.24
EFT59481	29/04/2010 ALBANY MITRE 10	Builders lime	-	9.25
EFT59482	29/04/2010 ALBANY OFFICE PRODUCTS - ALAC	STATIONERY SUPPLIES	-	154.05
EFT59483	29/04/2010 ALBANY OFFICE PRODUCTS - LIBRARY	STATIONERY SUPPLIES	-	399.00
EFT59484	29/04/2010 ALINTA	GAS USAGE CHARGES	-	6,570.15
EFT59485	29/04/2010 WA GAS NETWORKS PTY LTD	GAS METER SERVICE ALTERATION 142 SOUTH COAST HIGHWAY	-	508.00
EFT59486	29/04/2010 ALL EVENTS PROSOUND HIRE	AUDIO SYSTEM FOR TOURISM EXTRAORDINARY TAXI RIDE - PRINCESS ROYAL FORTS 14/4/2010	-	392.50
EFT59487	29/04/2010 ALLPACK SIGNS PTY LTD	Custom Dumping of waste sign	-	429.00
EFT59488	29/04/2010 ATC WORK SMART	CASUAL STAFF - LOUISE SIMS	-	1,264.49
EFT59489	29/04/2010 AUSTRALIAN AIR EXPRESS PTY LIMITED	FREIGHT	-	91.70
EFT59490	29/04/2010 BALL BODY BUILDERS	Lengths 375MM RRJ CONCRETE PIPE CLASS 2	-	32,246.99
EFT59491	29/04/2010 ADVANCED TRAFFIC MANAGEMENT	hours Hire of Traffic Control] (3 Controllers plus 1 vehicle)	-	270.76
EFT59492	29/04/2010 BEST OFFICE SYSTEMS	PHOTOCOPIER CHARGES	-	70.00
EFT59493	29/04/2010 SP & K BIRKBECK & DAUGHTERS TRUST ACCOUNT	CONSULTANCY - AEC	-	22,000.00
EFT59494	29/04/2010 BLOOMIN FLOWERS	WREATH FOR CLARENCE ESTATE ANZAC CEREMONY ON FRIDAY 23RD APRIL - PLEASE DELIVER TO NORTH ROAD BUILDING BY 10AM. THANK YOU	-	160.00
EFT59495	29/04/2010 BOLLIG DESIGN GROUP	Stage 2 - Superintendent for Construction	-	15,410.23
EFT59496	29/04/2010 BT SUPER FOR LIFE	Superannuation contributions	-	342.88

EFT59497	29/04/2010 BUNNINGS BUILDING SUPPLIES PTY LTD	HARDWARE/TOOL SUPPLIES	-	34.84
EFT59498	29/04/2010 ALBANY BUSINESS TELEPHONES	Jabra Wireless Headset GN9530 & battery	-	528.00
EFT59499	29/04/2010 C&C MACHINERY CENTRE	VEHICLE MAINTENANCE/PARTS	-	10.51
EFT59500	29/04/2010 CAMLYN SPRINGS WATER DISTRIBUTORS	WATER CONTAINER REFILLS	-	1,080.00
EFT59501	29/04/2010 CAPE BYRON IMPORTS	SPORTS STORE PURCHASES	-	312.45
EFT59502	29/04/2010 CITY OF ALBANY BAND INCORPORATED	COMMUNITY FINANCIAL ASSISTANCE - GRANT FOR CONCERT AT ALBANY TOWN HALL	-	1,000.00
EFT59503	29/04/2010 CLAW ENVIRONMENTAL	DRUM COLLECTION WELLSTEAD COMPOUND	-	3,817.97
EFT59504	29/04/2010 SUE CODEE	CULTURAL PLANNING CO-ORDINATOR FEES TO APRIL 19 2010	-	550.00
EFT59505	29/04/2010 COLES SUPERMARKETS AUSTRALIA PTY LTD	GROCERIES	-	989.12
EFT59506	29/04/2010 ANN COPEMAN BVA	ALBANY ART PRIZE - ASSISTANCE TO THE CURATOR	-	387.50
EFT59507	29/04/2010 COURIER AUSTRALIA	FREIGHT FEES	-	488.10
EFT59508	29/04/2010 COUNTRYWIDE PUBLICATIONS	Advertising	-	630.00
EFT59509	29/04/2010 COVENTRYS	VEHICLE PARTS	-	235.22
EFT59510	29/04/2010 JENNIFER ANNE CRISP	GROVE AQUISITION AWARD	-	4,400.00
EFT59511	29/04/2010 AL CURNOW HYDRAULICS	VEHICLE PARTS/MAINTENANCE	-	190.22
EFT59512	29/04/2010 CYNERGIC COMMUNICATIONS	MANAGED SERVER	-	493.90
EFT59513	29/04/2010 DIGITAL MAPPING SOLUTIONS	IntraMaps Configuration Make IntraMaps Available from the internet	-	396.00
EFT59514	29/04/2010 AA & DP DOMNEY	Rates refund for assessment A33336	-	290.50
EFT59515	29/04/2010 DORMA BWN AUTOMATICS PTY LTD	SCHEDULED SERVICE SINGLE DOOR	-	121.00
EFT59516	29/04/2010 DOWN UNDER MOTORCYCLE TOURS	HARLEY TRIKE RIDE	-	400.00
EFT59517	29/04/2010 EASIFLEET MANAGEMENT	Payroll deductions	-	815.84
EFT59518	29/04/2010 EASTERN METROPOLITAN REGIONAL COUNCIL (EMRC)	2 X REGISTRATION FEES FOR STAFF TO ATTEND LANDFILL SITE SAFETY TRAINING SEMINAR BEING HELD ON 20 APRIL 2010	-	520.00
EFT59519	29/04/2010 ECO HEALTH HOLDINGS	ENVIRONMENTAL HEALTH SERVICES	-	3,811.50
EFT59520	29/04/2010 ECOMIST SWAN	DESERT 20 CUBE STARTER KIT	-	358.60
EFT59521	29/04/2010 MILTON EVANS	FUEL REIMBURSEMENTS	-	362.16
EFT59522	29/04/2010 EYERITE SIGNS	To supply Albany Impressions ready for installation at ANZAC Peace Park by 23.3.10	-	15,657.40
EFT59523	29/04/2010 FARM FRESH WHOLESALERS	CATERING SUPPLIES	-	318.55
EFT59524	29/04/2010 FRANGIPANI FLORAL STUDIO	CITY OF ALBANY WREATH FOR RAAFA COMBINED SERVICES DEDICATION CEREMONY TO BE HELD ON SATURDAY, 20TH MARCH 2010.	-	50.00
EFT59525	29/04/2010 GEO-CON PRODUCTS LIMITED	Dynamic Cone Penetrometer 16-T1200 - to include the following: 2 x 1m Rod extensions - 16-T1201 Replacement cone tip - 16-T1205	-	1,070.85
EFT59526	29/04/2010 BILL GIBBS EXCAVATIONS	HIRE OF EXCAVATOR MOUNTED MULCHER	-	2,714.25
EFT59527	29/04/2010 GLENN CRAIG VILLAGES PTY LTD	Rates refund for assessment A135223	-	5,396.68
EFT59528	29/04/2010 GRANDE FOOD SERVICE	CATERING FOR TIME OUT CAFE	-	144.35
EFT59529	29/04/2010 GREAT SOUTHERN GROUP TRAINING	APPRENTICES FEES	-	8,502.12
EFT59530	29/04/2010 GREAT SOUTHERN PERSONNEL	LIBRARY ASSISTANT SERVICES FOR MARCH 2010	-	23.96

EFT59531	29/04/2010 GREAT SOUTHERN PACKAGING SUPPLIES	CLEANING GOODS	-	617.46
EFT59532	29/04/2010 THE GREAT SOUTHERN FACTOR INCORPORATED	TOTAL INCOME FROM BOX OFFICE - VAN DIEMENS LAND	-	904.77
EFT59533	29/04/2010 GREENMAN TRADING COMPANY	Remove trees at Collie St Health Centre	-	2,310.00
EFT59534	29/04/2010 GROCOTT TRANSPORT	Hours Hire of Semi Tipper	-	2,786.63
EFT59535	29/04/2010 GT BEARING AND ENGINEERING SUPPLIES	VEHICLE PARTS	-	17.50
EFT59536	29/04/2010 HAINES NORTON CHARTERED ACCOUNTANTS	REGISTRATION FOR FINANCIAL REPORTING" WORKSHOP HELD IN PERTH 14TH MAY 2010"	-	968.00
EFT59537	29/04/2010 PROTECTOR FIRE SERVICES PTY LTD	FIRE EQUIPMENT MAINTENANCE	-	82.50
EFT59538	29/04/2010 RATTEN & SLATER MACHINERY	VEHICLE PARTS	-	40.05
EFT59539	29/04/2010 HUDSON HENNING AND GOODMAN	DISPUTE RE ALBANY LEISURE & AQUATIC CENTRE	-	10,118.35
EFT59540	29/04/2010 IBM AUSTRALIA LTD	MONTHLY SCHEDULE FOR SERVICES, IBM EXPRESS MANAGED SERVICES	-	1,307.08
EFT59541	29/04/2010 INSTITUTE OF PUBLIC WORKS ENGINEERING AUST LTD	Australian Infrastructure Financial Management Guidelines	-	671.00
EFT59542	29/04/2010 ISIS CAPITAL LIMITED	MONTHLY GYM EQUIPMENT	-	3,494.82
EFT59543	29/04/2010 JUST SEW EMBROIDERY	EMBROIDERY	-	133.65
EFT59544	29/04/2010 KEY2DESIGN	UPDATE ALBANY ARTS PRIZE WEBSITE	-	321.75
EFT59545	29/04/2010 KNOTTS PLUMBING PTY LTD	REIMBURSEMENT FOR APPLICATION FOR P295322 - PLANNING SCHEME CONSENT FOR 8 ALLWOOD PARADE BAYONET HEAD ENGINEERING TECHNICAL OFFICER	-	410.25
EFT59546	29/04/2010 LOGO APPOINTMENTS	Boxes of Cocktail Glass	-	1,589.06
EFT59547	29/04/2010 LORLAINE DISTRIBUTORS PTY LTD	ALCOHOL PURCHASES	-	301.40
EFT59548	29/04/2010 LOWER KING LIQUOR & GENERAL STORE	EQUIPMENT HIRE FOR NATIONAL YOUTH WEEK	-	46.25
EFT59549	29/04/2010 ALBANY PARTY HIRE	VEHICLES/VEHICLE PARTS/REPAIRS	-	493.45
EFT59550	29/04/2010 ALBANY CITY MOTORS	PLUMBING ALAC MGFLOW METER INSTALLATION	-	808.07
EFT59551	29/04/2010 MATT GOODWIN PLUMBING & GAS	SPORTS STORE PURCHASES	-	11,035.20
EFT59552	29/04/2010 MORGAN IMPORTS PTY LTD	TWO WAY RADIO REPAIRS/MAINT	-	198.10
EFT59553	29/04/2010 MT BARKER COMMUNICATIONS	INSURANCES	-	1,268.80
EFT59554	29/04/2010 LGIS INSURANCE BROKING	375mm Headwalls for Bettys Beach Rd	-	5,329.25
EFT59555	29/04/2010 PN & ER NEWMAN QUALITY CONCRETE PRODUCTS	CLEANING SERVICES	-	770.00
EFT59556	29/04/2010 OCS SERVICES PTY LTD	MOUNT ROMANCE CENTENNIAL ART PRIZE 2010 - SALE OF ARTWORK TITLES EXPECTATIONS OF A GIRL""	-	5,405.40
EFT59557	29/04/2010 SANDRA O'DOHERTY	FOR MORNING TEA FOR THE 24TH APRIL 2010.	-	750.00
EFT59558	29/04/2010 FORTS CAFE	PROFESSIONAL SERVICES 13/2 - 12/3/2010	-	150.00
EFT59559	29/04/2010 OPUS INTERNATIONAL CONSULTANTS LTD	HOSTING OF WWW.ALBANYCLASSIC.COM	-	1,320.00
EFT59560	29/04/2010 PRE-EMPTIVE STRIKE PTY LTD	SENIOR RESUSCITATION	-	792.00
EFT59561	29/04/2010 KERRY QUINLAN	RADIACAL RELEASES	-	30.00
EFT59562	29/04/2010 RADICAL FITNESS	TRADITIONAL OPENING (EXTRAORDINARY TAXI RIDE)	-	370.00
EFT59563	29/04/2010 RYAN HUMPHRIES	ELECTRICAL REPAIRS/MAINTENANCE	-	350.00
EFT59564	29/04/2010 SOUTHERN ELECTRICS	CATERING GOODS	-	3,717.78
EFT59565	29/04/2010 SOUTHWAY DISTRIBUTORS (WA) PTY LTD	VEHICLE PARTS	-	1,275.67
EFT59566	29/04/2010 STATEWIDE BEARINGS	INTERNET DOWNLOAD	-	14.18
EFT59567	29/04/2010 SAI GLOBAL LTD	KEYS & KEY CUTTING	-	14.38
EFT59568	29/04/2010 ALBANY LOCK SERVICE		-	88.70

EFT59569	29/04/2010 SWAN VALLEY OASIS	ACCOMMODATION FOR LANDFILL SITE SAFETY TRAINING	-	396.40
EFT59570	29/04/2010 SYNERGY	ELECTRICITY SUPPLIES	-	21.30
EFT59571	29/04/2010 T & C SUPPLIES	HARDWARE/TOOL SUPPLIES	-	130.71
EFT59572	29/04/2010 THE NAKED BEAN COFFEE ROASTERS	COFFEE SUPPLIES FOR ALAC CAFE	-	155.00
EFT59573	29/04/2010 THE FITNESS GENERATION PTY LTD	SPORTS EQUIPMENT	-	599.51
EFT59574	29/04/2010 DAVID THEODORE	STAFF TRAVEL EXPENSES - MUSEUM CERTIFICATE STUDIES COURSE WORKSHOP 16/4 - 19/4/2010	-	343.56
EFT59575	29/04/2010 EVENDENE ENTERPRISES	REPLACE GATES AT LIME PIT ON PRINCESS AVENUE ALBANY	-	880.00
EFT59576	29/04/2010 VANCOUVER WASTE SERVICES	GREEN WASTE SERVICES	-	7,154.40
EFT59577	29/04/2010 VERVE ST DESIGN	CITY OF ALBANY ART PRIZE 2010	-	1,250.00
EFT59578	29/04/2010 ALBANY & GREAT SOUTHERN WEEKENDER	ADVERTISING	-	494.90
EFT59579	29/04/2010 WESTERN POWER CORPORATION	Western Power Design Fee - Project L1449 Apex Drive Mount Clarence.	-	1,262.00
EFT59580	29/04/2010 WESTERN WORK WEAR	SAFETY EQUIPMENT	-	383.00
EFT59581	29/04/2010 ZENITH LAUNDRY	LAUNDRY SERVICES/HIRE	-	21.74
		TOTAL	-	2,768,732.82

Chq	Date	Name	Description	Amount
26257	01/04/2010	AMP FLEXIBLE LIFETIME SUPER PLAN	Superannuation contributions	- 529.46
26258	01/04/2010	ASGARD	Superannuation contributions	- 277.80
26259	01/04/2010	COMMONWEALTH BANK SUPERANNUATION SAVINGS ACCOUNT	Superannuation contributions	- 316.02
26260	01/04/2010	GENERATIONS PERSONAL SUPER FUND	Superannuation contributions	- 88.71
26261	01/04/2010	HESTA SUPER FUND	Superannuation contributions	- 518.29
26262	01/04/2010	HOSTPLUS PTY LTD	Superannuation contributions	- 329.59
26263	01/04/2010	MLC NOMINEES PTY LTD	Superannuation contributions	- 352.45
26264	01/04/2010	MTAA SUPERANNUATION FUND	Superannuation contributions	- 208.95
26265	01/04/2010	NATIONAL MUTUAL RETIREMENT FUND	Superannuation contributions	- 107.14
26266	01/04/2010	PLUM NOMINEES P/L PLUM SUPER FUND	Superannuation contributions	- 475.64
26267	01/04/2010	TOWER TRUST LIMITED	Superannuation contributions	- 273.34
26268	01/04/2010	UNI SUPER	Superannuation contributions	- 203.92
26269	01/04/2010	VIRGIN SUPERANNUATION (ANDREW BELL 342492)	Superannuation contributions	- 40.85
26270	01/04/2010	WATER CORPORATION	WATER CONSUMPTION	- 747.85
26271	01/04/2010	ALLIED PUMPS	ELLEN COVE PUMP STATION REPAIRS & MAINTENANCE	- 275.00
26272	01/04/2010	ANDREW HALSALL PHOTOGRAPHY	TRAINING ASSOCIATED WITH PHOTOGRAPHIC DIGITAL ARCHIVING AND STORAGE TECHNIQUES	- 75.00
26273	01/04/2010	DAVID BOSTOCK	COUNCILLOR ALLOWANCE - Q4	- 2,350.00
26274	01/04/2010	CASH	CASH FLOAT FOR MOUT ROMANCE CENTENNIAL ART PRIZE	- 200.00
26275	01/04/2010	DEPT OF LOCAL GOVERNMENT & REGIONAL DEVELOPMENT	REFUND OF UNSPENT GRAMT FUNDING	- 1,638.24
26276	01/04/2010	RAY HAMMOND	COUNCILLOR ALLOWANCE - Q4	- 2,350.00
26277	01/04/2010	CHRISTOPHER HOLDEN	COUNCILLOR ALLOWANCE & SITTING FEE FROM 25TH FEBRUARY 2010 - 30 JUNE 2010	- 3,225.62
26278	01/04/2010	SAMANTHA LESLIE	SUPPLY OF BOOK DISPLAY	- 350.00
26279	01/04/2010	PATRICIA DABORN	Restoration treatment on four (4) watercolours	- 755.00
26280	01/04/2010	PETTY CASH - ALBANY REGIONAL DAY CARE CENTRE	PETTY CASH REIMBURSEMENTS	- 170.15
26281	01/04/2010	TELSTRA CORPORATION LIMITED	TELEPHONE CHARGES	- 90.00
26282	01/04/2010	WATER CORPORATION	WATER CONSUMPTION	- 21.95
26283	08/04/2010	TRISH WARE	MOUNT ROMANCE CENTENNIAL ART PRIZE 2010 WINNER OF THE BEST DRAWING CATEGORY	- 1,000.00
26284	08/04/2010	STEPHANIE TAYLOR	CITY OF ALBANY ART PRIZE - HIGHLY COMMENDED AWARD	- 1,100.00
26285	08/04/2010	KATE BERGIN	ALBANY ART PRIZE	- 27,500.00
26286	08/04/2010	ALBANY DREAMING DRAGON BOAT CLUB	COMMUNITY SERVICES FUNDING GRANT	- 3,000.00
26287	08/04/2010	ANNIKA KOOPS	CITY OF ALBANY ART PRIZE - 2010 - WINNER OF THE HIGHLY COMMENDED AWARD TITLE STARCRAFT NO1	- 1,000.00
26288	08/04/2010	PETTY CASH - ALBANY PUBLIC LIBRARY	PETTY CASH REIMBURSEMENTS	- 252.90
26289	08/04/2010	VODAFONE PTY LTD	VODAFONE CHARGES	- 78.23
26290	08/04/2010	ZURICH AUSTRALIA INSURANCE COMPANY LTD	EXCESS \$300 CLAIM NUMBER 21214	- 300.00
26291	15/04/2010	NORMAN FREDERICK JOHN BADGER	TRAVEL ALLOWANCE - FORTS VOLUNTEER	- 100.20

26292	15/04/2010 ROBERT ALEXANDER BELL	TRAVEL ALLOWANCE - FORTS VOLUNTEER	-	268.80
26293	15/04/2010 PETER HOWARD BIRD	TRAVELLING ALLOWANCE - FORTS VOLUNTEER	-	184.80
26294	15/04/2010 TIMOTHY BOLTON	MOUNT ROMANCE CENTENNIAL ART PRIZE WINNER BEST MEDIA	-	1,000.00
26295	15/04/2010 COFFEY GEOTECHNICS PTY LTD	Geotechnical Services for Desert Mounted Corps Memorial	-	14,600.00
26296	15/04/2010 DEPARTMENT OF TRANSPORT	VEHICLE REGISTRATION	-	136.90
26297	15/04/2010 BRIAN HOPE	FORTS VOLUNTEER TRAVELLING ALLOWANCE	-	662.40
26298	15/04/2010 CORALIE MARGARET MCGUCKIN	MOUNT ROMANCE CENTENNIAL ART PRIZE WINNER OF BEST PAINTING	-	1,000.00
26299	15/04/2010 KATHRYN ANNE MUTTON	TRAVEL ALLOWANCE - FORTS VOLUNTEER	-	100.80
26300	15/04/2010 PETTY CASH - ALBANY REGIONAL DAY CARE CENTRE	PETTY CASH REIMBURSEMENTS	-	194.60
26301	15/04/2010 PETTY CASH - VANCOUVER ARTS CENTRE	PETTY CASH REIMBURSEMENTS	-	140.20
26302	15/04/2010 TELSTRA CORPORATION LIMITED	TELEPHONE CHARGES	-	15.77
26303	15/04/2010 WATER CORPORATION	WATER CONSUMPTION	-	7,036.20
26304	15/04/2010 MATT PEARCE	REFUND FOR OVERPAYMENT ON BL 300315	-	30.00
26305	15/04/2010 MELISSA ORGAN	CROSSOVER SUBSIDY 20 COMET CORNER MCKAIL	-	211.55
26306	20/04/2010 WATER CORPORATION	WATER CONSUMPTION - EMU POINT ABLUTION BLOCK ROE PARADE	-	550.00
26307	22/04/2010 J & M SANDELIN-MCCANN	REFUND MEMBERSHIP CHARGES	-	180.00
26308	22/04/2010 MEGAN HODGE	MEMBERSHIP REFUND	-	189.29
26309	22/04/2010 LINDA KAY JONES	CROSSOVER	-	202.72
26310	22/04/2010 JAMIE & CATHARINE MEYERS	CROSSOVER	-	211.55
26311	22/04/2010 RAYMOND WILLIAM DIPPEL	CROSSOVER	-	241.00
26312	22/04/2010 S POWELL & A RIGHTON	CROSSOVER	-	241.00
26313	22/04/2010 TROY & ERICA SKIPPINGS	CROSSOVER	-	196.83
26314	22/04/2010 MARIDEL CORR	CROSSOVER	-	182.11
26315	22/04/2010 CAROL GRIFFITHS	CROSSOVER	-	134.99
26316	22/04/2010 BRIAN & LOUISE SIMS	CROSSOVER	-	217.44
26317	22/04/2010 ERNEST & MAUREEN DRAGE	CROSSOVER	-	205.66
26318	22/04/2010 EMMA BALATTI	CROSSOVER	-	193.89
26319	22/04/2010 SARAH BALATTI	CROSSOVER	-	193.89
26320	22/04/2010 ALBANY FILTERCLEAN	FILTER CLEANING	-	28.00
26321	22/04/2010 ALISON TEEDE (VANCOUVER CAFE)	CATERING	-	70.60
26322	22/04/2010 THE BUSH FAIRY	TABLE DECORATIONS AAA AIRPORT	-	55.00
26323	22/04/2010 CALTEX YORK STREET	4 x \$50 Fuel vouchers	-	200.00
26324	22/04/2010 CITY OF CANNING	ITEMS NOT RETURNED LIBRARY	-	40.70
26325	22/04/2010 DEPARTMENT FOR PLANNING & INFRASTRUCTURE	AMAZING ALBANY NUMBER PLATES - 031-A	-	140.00
26326	22/04/2010 M & L HARRISON	POTTERY SOLD IN THE GALLERY SHOP	-	136.50
26327	22/04/2010 KAYE EMBLETON	ART CLASSES SCHOOL HOLIDAY PROGRAM	-	800.00
26328	22/04/2010 SCOTT PARK HOMES	CROSSOVER - LOT 692 FLYNN WAY OYSTER HARBOUR	-	164.44
26329	22/04/2010 TELSTRA CORPORATION LIMITED	TELEPHONE CHARGES	-	28,023.63
26330	22/04/2010 WATER CORPORATION	WATER CONSUMPTION - RESERVE AT YORK STREET	-	3,518.70
26331	29/04/2010 MR MATTHEW QUICK	SALE OF ARTWORK	-	4,020.00
26332	29/04/2010 MS WENDY GRACE	SALE OF ARTWORK	-	254.60
26333	29/04/2010 SUSAN BARKER	SALE OF ARTWORK	-	131.25
26334	29/04/2010 LINDA CHAMBERS	SALE OF ARTWORK	-	375.00

26335	29/04/2010 SHELLEY COWPER	SALE OF ARTWORK	-	521.25
26336	29/04/2010 ANNE GROTIAN	SALE OF ARTWORK	-	262.50
26337	29/04/2010 SUSANNA HAWKES	SALE OF ARTWORK	-	637.50
26338	29/04/2010 NATALIE HOOK	SALE OF ARTWORK	-	33.75
26339	29/04/2010 KELVIN PENNY	SALE OF ARTWORK	-	900.00
26340	29/04/2010 JASON & NAOMI BELL	REFUND APPLICATION P2105048	-	75.00
26341	29/04/2010 AMP FLEXIBLE LIFETIME SUPER PLAN	Superannuation contributions	-	439.11
26342	29/04/2010 ASGARD	Superannuation contributions	-	283.97
26343	29/04/2010 COMMONWEALTH BANK SUPERANNUATION SAVINGS ACCOUNT	Superannuation contributions	-	317.30
26344	29/04/2010 GENERATIONS PERSONAL SUPER FUND	Superannuation contributions	-	156.28
26345	29/04/2010 HESTA SUPER FUND	Superannuation contributions	-	497.11
26346	29/04/2010 HOSTPLUS PTY LTD	Superannuation contributions	-	274.35
26347	29/04/2010 MLC NOMINEES PTY LTD	Superannuation contributions	-	192.06
26348	29/04/2010 NATIONAL MUTUAL RETIREMENT FUND	Superannuation contributions	-	107.14
26349	29/04/2010 PLUM NOMINEES P/L PLUM SUPER FUND	Superannuation contributions	-	357.78
26350	29/04/2010 TOWER TRUST LIMITED	Superannuation contributions	-	245.24
26351	29/04/2010 UNI SUPER	Superannuation contributions	-	203.92
26352	29/04/2010 KEVIN DRAPER	MOUNT ROMANCE CENTENNIAL ART PRIZE 2010 - WINNER OF BEST 3 DIMENSIONAL WORK	-	1,000.00
26353	29/04/2010 EAGLE BOYS PIZZA	MEALS FOR FIRE INCIDENT	-	96.00
26354	29/04/2010 DEPARTMENT OF JUSTICE - FINES ENFORCEMENT	FER - FINES	-	3,741.00
26355	29/04/2010 CORALIE MARGARET MCGUCKIN	MOUNT ROMANCE CENTENNIAL ART PRIZE 2010 - SALE OF ARTWORK TITLED THE BLUE DAY""	-	285.00
26356	29/04/2010 MLC MASTERKEY BUSINESS SUPER	Superannuation contributions	-	47.70
26357	29/04/2010 ANNE MULLER	MOUNT ROMANCE CENTENNIAL ART PRIZE 2010 SALE OF ARTWORK TITLED BIRDS OF A FEATHER""	-	705.00
26358	29/04/2010 BRENDAN O'LEARY	MOUNT ROMANCE CENTENNIAL ART PRIZE 2010 WINNER OF BEST PRINT	-	2,000.00
26359	29/04/2010 SENSIS PTY LTD	YELLOW ONLINE BUSINESS BASCIS ADVERTISING	-	48.40
26360	29/04/2010 PETTY CASH - WORKS & SERVICES	PETTY CASH REIMBURSEMENTS	-	175.35
26361	29/04/2010 PETTY CASH - FORTS	PETTY CASH REIMBURSEMENTS	-	147.95
26362	29/04/2010 JENNIFER SHEPHERDSON	PRO RATE REFUND OF RATES PAID FOR 09/10 FOR WASTE COLLECTION SERVICE	-	64.50
26363	29/04/2010 TARGET AUSTRALIA PTY LTD	SUPPLIES FOR CRECHE AT ALAC	-	174.50
26364	29/04/2010 TELSTRA CORPORATION LIMITED	TELEPHONE CHARGES	-	3,393.68
26365	29/04/2010 WATER CORPORATION	WATER CONSUMPTION	-	5,426.20
26366	29/04/2010 WORKSAFE WESTERN AUSTRALIA	REGISTRATION OF AIR COMPRESSOR	-	76.00
		TOTAL	-	139,868.65

TRUST CHEQUES AND ELECTRONIC FUNDS TRANSFER PAYMENTS

Chq	Date	Name	Description	Amount
EFT59125	15/04/2010	CLINT MICHAEL & KYLIE HOLLINGSWORTH	RETURN OF HOUSING BOND LOT 371 REDMOND HAY RIVER ROAD A211592, BL 290433	- 5,000.00
TOTAL				- 5,000.00

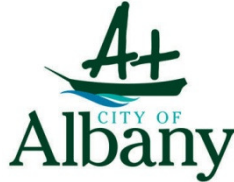
MASTERCARD TRANSACTIONS

Date	Payee	Description	Amount
10-March-2010	Skywest Airlines Pty Ltd	Air Fares - M Hemsley - Risk Management	455.35
12-March-2010	Skywest Airlines Pty Ltd	Air Fares - P Madigan and I McLoughlin - Meeting with IT Vision	525.70
17-March-2010	Office of Racing & Gaming	Liquor License application - Town Hall	2,775.00
23-March-2010	Skywest Airlines Pty Ltd	Air Fares - P Madigan and McLoughlin - Regional Alliance	500.45
29-March-2010	Skywest Airlines Pty Ltd	Air Fares - A Burnett (Minter Ellison) - Special Council Meeting	521.35
18-March-2010	Avant Hotels Australia - Perth	Accommodation - J Berry - WA Major Projects Conference	648.59
04-March-2010	Pics Pty Ltd	Library training - J Mitchell	770.00
18-March-2010	Skywest Airlines Pty Ltd	Air Fare - B Wellstead - SLWA Exchange	381.65
24-March-2010	Isubscribe Pty Ltd	Subscriptions - Periodicals	257.50
24-March-2010	ACP Publishing Pty Ltd	Subscriptions - Periodicals	204.95
26-March-2010	Skywest Airlines Pty Ltd	Air Fares - J Mitchell / S Smith - Library training	701.70
24-March-2010	Skywest Airlines Pty Ltd	Air Fare - M Evans - Regional Alliance Meeting	542.25
02-March-2010	Skywest Airlines Pty Ltd	Air Fares - Helen Knewstubb	350.85
10-March-2010	Skywest Airlines Pty Ltd	Air Fares - Milton Evans & Councillor	1,084.50
10-March-2010	Qantas	Air Fares - M Swarbrick - Melbourne	837.69
11-March-2010	Skywest Airlines Pty Ltd	Air Fares credit - cancelled flight - Councillor	- 487.25
11-March-2010	Hallmark Editions	Australian Road Conference - M Swarbrick - Melbourne	1,055.00
18-March-2010	Sebel and Citigate	Accommodation - M Swarbrick - Melbourne	568.90
24-March-2010	Arcadia Hotels & Resorts	Accommodation - J Ferry and M Organ - Perth	979.00
Various	Sundry < \$ 200.00		2,057.03
Total MasterCard Expenditure - March 2010			14,730.21

Payroll - April 2010

Date	Description	Amount
07-April-2010	Payroll	371,959.69
12-April-2010	Sundry Pay	175,073.00
14-April-2010	Sundry Pay	16,768.94
21-April-2010	Payroll	368,420.54
Total Payroll (net payments) - April 2010		932,222.17

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**CITY OF ALBANY
SENIORS ADVISORY COMMITTEE**

MAN 131 (AM1011672)

MINUTES

for the meeting to be held at 10.00am on Thursday, 15th April 2010
in the Civic Function Room

DECLARATION OF OPENING AT 10.10am

1. ATTENDANCES:

Michael Calton	National Seniors Australia
Celia Barnesby	Senior Citizen Centre (Meals on Wheels)
David Mattinson	Association of Independent Retirees
Patsy Ranger	Over 50's Recreation Association
Esme' Justins	Albany Breaksea Ladies Probus Club
Kim Buttfield	WA Country Health Service (Injury Prevention)
Amanda Porritt	COA Community Development Administration Officer
Cr Chris Holden	COA Councillor
Tricia Martin	COA Manager for Community Development and Recreation
Erin Williamson	COA Corporate Services Officer

2. APOLOGIES

Cr Don Dufty	COA Councillor
Colleen Tombleson	Lions Community Care Centre
Ruth Watson	Seniors Community Representative
Middy Dumper	Seniors Community Representative

3. CONFIRMATION OF MINUTES OF PREVIOUS MEETING

Recommendation:

THAT the minutes of the previous meeting held on the 18th March 2010 are CONFIRMED to be a true and accurate record of proceedings.

Moved: __ Michael Calton __

Seconded: _ David Mattinson _

Carried: _____ 6/0 _____

4. DISCLOSURE OF INTEREST

Nil

5. ITEMS FOR DISCUSSION

5.1 BUSINESS ARISING FROM PREVIOUS MINUTES:

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5.1.1 Signs on the Footpaths – Albany Central

A query was raised regarding small business signs put out on paved areas of Albany Central (York St, St Emilie Way) when previously this was not allowed. Committee requested more information be sought from appropriate City of Albany employees to be presented at next Committee meeting.

5.1.2 Seniors Card Concession at City of Albany Venues

The Over 50's have written to the City of Albany regarding offering discount fees to Seniors Card holders, not just Pensioner Card holders. Committee requests that Tricia Martin in capacity as acting Manager of Recreation and Community Development working on Albany Leisure and Aquatic Centre processes take this into consideration for next financial year budget proposals and a letter to be written to the Over 50s on the actions decided upon.

5.1.3 Seating within Parks and walk trails within Spencer Park area.

It was brought to the attention of the Committee that Seniors are concerned that there isn't as much seating for walkers around the Spencer Park area as apposed to other walking parks and precincts. Councillor Dufty offered to investigate this request further with appropriate Council Committees.

5.1.4 Green Waste Disposal

Query made as to why there has been an increase in the cost/abolition of the Seniors discount for disposing of green waste at the refuse, Councillor Don Dufty to follow up on this query.

5.1.5 Keeping and Welfare of Cats Local Law

Issue raised regarding the follow up on the implemented "Keeping and Welfare of Cats Local Law", incidents have been discussed with committee members regarding a lack of follow up and enforcement of the Local Law, Councillor Don Dufty to follow up with council.

5.2 SENIORS ADVISORY COMMITTEE ACTION SHEET

Please find attached (Attachment 1) the Seniors Advisory Committee Action Sheet.

Further to action relating to Item # 14 from Action Sheet; the Committee would like to invite the City of Albany Executive Director Works and Services to give a short overview on the future design for North Road precinct.

<p>Recommendation: THAT the Seniors Advisory Committee support the request from the City of Albany to hold the next Seniors Expo in March 2012.</p> <p style="text-align: right;"> Moved: __ Kim Buttfield__ Seconded: __ David Mattinson__ Carried: __ 6/0__ </p>
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5.3 CORRESPONDENCE IN:

- Main Roads Motorised Wheelchair Training and Safety (Attachment 2) – received via post 19/03/10
- City of Melville handouts from Age Friendly Communities Forum (Attachment 3) – received at forum. 19/03/10

5.4 CORRESPONDENCE OUT:

NIL

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6. NEW AGENDA ITEMS

6.1. Insurance for Community Groups within City of Albany facilities –

Erin Williamson Corporate Service Officer at City of Albany spoke to the committee regarding insurance for community groups and volunteer organisations within City of Albany buildings and events. Memo to come covering information discussed and contacts for volunteer and community insurance.

6.2. World Health Organisation Age Friendly communities –

Information given out to committee regarding process utilised at City of Melville. Short overview to be given at next committee meeting.

7. DATE OF NEXT MEETING

Thursday 20th May 2010 at 10am – Civic Rooms

8. CLOSURE OF MEETING

Meeting closed at 11.09am.

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ITEM #	CLASSIFICATION & PRIORITY RANK	DESCRIPTION	INITIAL ITEM DATE	COMMENT	PERSONNEL RESPONSIBLE	STATUS
2	Project Priority 1	Smoke Alarm Project	21/02/2008	Project to inform Seniors of the need to change smoke alarm batteries annually. Subcommittee - Kim Buttfield, Ruth Watson and David Mattinson. Funding request submitted to SGIO for the project by Injury Prevention with support from COA. Article submitted to Weekender for Seniors page. currently waiting funding application then will progress with ARVS to be contact for Seniors to find help checking alarms and replacing batteries.	Committee	Ongoing
4	Project Priority 1	ACROD Bay determinations	17/04/2008	A committee under the direction of Graeme Bride was conducting a survey relating to the number and location of bays. On completion of the study, the document is to be tabled at SAC – Kim has contacted Peter Brown waiting for appropriate staff member to return to position. Meeting date set for 28/04/10	Kim Buttfield to lead project. Middy and Michael to assist	Ongoing
6	Project Priority 6	Housing for life Communication links regarding retirement Village	15/05/2008	Project to seek sponsorship / funding for display boards that promote the 'Housing for Life' in different local community facilities such as the Senior Citizen Centre, bowling clubs etc. The boards are costed at approx \$7,500.	Committee	Onhold review in June 2010

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7	Project	Information being distributed from GP's to Seniors	20/11/2008	A follow-up letter to be sent to the GP network to remind and promote that seniors over the age of 75 that require a home visit is funded through the commonwealth Information from website to be included in letter	Tricia to write letter	Ongoing
8	Project Priority 3	Albany Seniors Expo	15/01/2009	2009 Event has occurred. Evaluation and funding acquittals are complete. Commence internal documentation for 2012 Expo in March	Tricia Martin	Ongoing
9	Process	Seniors articles for the	15/01/2009	To be an ongoing agenda item	Committee	Ongoing

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10	Project Priority 4	Library Parking bays	19/02/2009	<p>Comment made that customers should have the closer bays instead of staff Met with Billy Wellstead manager of the library to discuss this issue and the following points were made that the only staff that use the three bays allocated at the front do so for the following reasons: Staff working til 8pm for security reasons park near the door so that they may leave work safely.</p> <p>OSH reasons as some staff carry books in and out of vehicles for home delivery etc. 4 Handicapped parks are already allocated at the very front of the parking bays The altering of the parking situation will occur if the central masterplan restructure. Clarification needed on which parks are staff parks. (Yellow painted vs. metal plaques) * Note Seniors Citizens Centre dos have marked off allocated parking.</p>	Tricia to write letter to COA library Letter Written 24/2/10 LT8032746	ongoing
12	Project Priority 8	Senior Service Directory	19/03/2009	Requires revision and reprint	Tricia	Onhold review in June 2010

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14	Project Priority 5	Safe Crossing points across North road	18/06/2009	Terry White (Main Roads) and Kevin Ketter (COA) attended SAC and discussed issues. Kevin will provide North Rd design to SAC for comment when ready SAC indicated they would like to submit a formal letter / recommendation to the appropriate party. Amanda to check with Kevin Ketterer whether there has been any progress on the design.	Tricia Martin Kevin Ketterer (COA)	Onhold until further notice
21	Project Priority 9	Flashing lights indicating when school zones are 40km / hour	19/11/2009	David Mattinson has submitted a copy of the reply letter received from the State Police regarding this item.	David Mattinson	Onhold
22	Issue	ALAC Access	19/11/2010	Issue raised regarding access to ALAC wet area changerooms etc. Original Email to be forwarded for Don Dufty to investigate further.	SAC Don Dufty and Tricia to follow up on.	Incomplete

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City of Albany Records
Doc No: ICR80100100
File: MAN131

Date: 19 MAR 2010
Officer: AOCD2

Attach:

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Enquiries: Ruvi Chipangura on (08) 9892 0555
Our Ref: D10#42784
Your Ref: MAN131/ LT8032740



ABN: 50 860 676 021

17 March 2010

Ms A Porritt
PO Box 484
ALBANY WA 6331

Dear Ms Porritt

**SENIORS ADVISORY COMMITTEE WISH TO EXPRESS SUPPORT FOR THE
MOTORISED WHEELCHAIR TRAINING AND SAFETY WORKSHOPS**

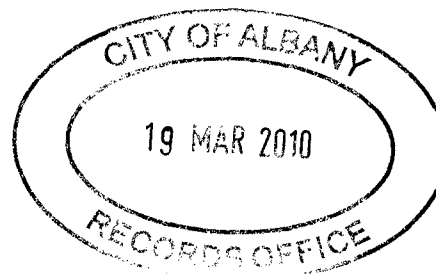
Thank you for your letter dated 24 February 2010 seeking Main Roads support with encouraging retailers to distribute the GSR Road Safety Coordinating Committee booklet to seniors and senior's education groups.

Main Roads wishes to advise you that gopher safety education initiatives are currently in place in the form of seniors (and their families)' gopher safety workshops and presentations run by the GSR Road Safety Coordinating Committee. Safety booklets have also been distributed to Gopher retailers enabling them to provide safety advice to purchasers.

If you require any further information please contact me on (08) 9892 0555.

Yours sincerely

Ruvi Chipangura
A/CUSTOMER SERVICES MANAGER





Checklist of Essential Features of Age-friendly Cities

This checklist of essential age-friendly city features is based on the results of the WHO Global Age-Friendly Cities project consultation in 33 cities in 22 countries. The checklist is a tool for a city's self-assessment and a map for charting progress. More detailed checklists of age-friendly city features are to be found in the WHO Global Age-Friendly Cities Guide.

This checklist is intended to be used by individuals and groups interested in making their city more age-friendly. For the checklist to be effective, older people must be involved as full partners. In assessing a city's strengths and deficiencies, older people will describe how the checklist of features matches their own experience of the city's positive characteristics and barriers. They should play a role in suggesting changes and in implementing and monitoring improvements.

Outdoor spaces and buildings

- Public areas are clean and pleasant.
- Green spaces and outdoor seating are sufficient in number, well-maintained and safe.
- Pavements are well-maintained, free of obstructions and reserved for pedestrians.
- Pavements are non-slip, are wide enough for wheelchairs and have dropped curbs to road level.
- Pedestrian crossings are sufficient in number and safe for people with different levels and types of disability, with non-slip markings, visual and audio cues and adequate crossing times.
- Drivers give way to pedestrians at intersections and pedestrian crossings.
- Cycle paths are separate from pavements and other pedestrian walkways.
- Outdoor safety is promoted by good street lighting, police patrols and community education.

- Services are situated together and are accessible.
- Special customer service arrangements are provided, such as separate queues or service counters for older people.
- Buildings are well-signed outside and inside, with sufficient seating and toilets, accessible elevators, ramps, railings and stairs, and non-slip floors.
- Public toilets outdoors and indoors are sufficient in number, clean, well-maintained and accessible.

Transportation

- Public transportation costs are consistent, clearly displayed and affordable.
- Public transportation is reliable and frequent, including at night and on weekends and holidays.
- All city areas and services are accessible by public transport, with good connections and well-marked routes and vehicles.

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- Vehicles are clean, well-maintained, accessible, not overcrowded and have priority seating that is respected.
- Specialized transportation is available for disabled people.
- Drivers stop at designated stops and beside the curb to facilitate boarding and wait for passengers to be seated before driving off.
- Transport stops and stations are conveniently located, accessible, safe, clean, well-lit and well-marked, with adequate seating and shelter.
- Complete and accessible information is provided to users about routes, schedules and special needs facilities.
- A voluntary transport service is available where public transportation is too limited.
- Taxis are accessible and affordable, and drivers are courteous and helpful.
- Roads are well-maintained, with covered drains and good lighting.
- Traffic flow is well-regulated.
- Roadways are free of obstructions that block drivers' vision.
- Traffic signs and intersections are visible and well-placed.
- Driver education and refresher courses are promoted for all drivers.
- Parking and drop-off areas are safe, sufficient in number and conveniently located.
- Priority parking and drop-off spots for people with special needs are available and respected.

Housing

- Sufficient, affordable housing is available in areas that are safe and close to services and the rest of the community.
- Sufficient and affordable home maintenance and support services are available.
- Housing is well-constructed and provides safe and comfortable shelter from the weather.
- Interior spaces and level surfaces allow freedom of movement in all rooms and passageways.
- Home modification options and supplies are available and affordable, and providers understand the needs of older people.
- Public and commercial rental housing is clean, well-maintained and safe.
- Sufficient and affordable housing for frail and disabled older people, with appropriate services, is provided locally.

Social participation

- Venues for events and activities are conveniently located, accessible, well-lit and easily reached by public transport.
- Events are held at times convenient for older people.
- Activities and events can be attended alone or with a companion.
- Activities and attractions are affordable, with no hidden or additional participation costs.

- Good information about activities and events is provided, including details about accessibility of facilities and transportation options for older people.
- A wide variety of activities is offered to appeal to a diverse population of older people.
- Gatherings including older people are held in various local community spots, such as recreation centres, schools, libraries, community centres and parks.
- There is consistent outreach to include people at risk of social isolation.

Respect and social inclusion

- Older people are regularly consulted by public, voluntary and commercial services on how to serve them better.
- Services and products to suit varying needs and preferences are provided by public and commercial services.
- Service staff are courteous and helpful.
- Older people are visible in the media, and are depicted positively and without stereotyping.
- Community-wide settings, activities and events attract all generations by accommodating age-specific needs and preferences.
- Older people are specifically included in community activities for “families”.
- Schools provide opportunities to learn about ageing and older people, and involve older people in school activities.

- Older people are recognized by the community for their past as well as their present contributions.
- Older people who are less well-off have good access to public, voluntary and private services.

Civic participation and employment

- A range of flexible options for older volunteers is available, with training, recognition, guidance and compensation for personal costs.
- The qualities of older employees are well-promoted.
- A range of flexible and appropriately paid opportunities for older people to work is promoted.
- Discrimination on the basis of age alone is forbidden in the hiring, retention, promotion and training of employees.
- Workplaces are adapted to meet the needs of disabled people.
- Self-employment options for older people are promoted and supported.
- Training in post-retirement options is provided for older workers.
- Decision-making bodies in public, private and voluntary sectors encourage and facilitate membership of older people.

Communication and information

- A basic, effective communication system reaches community residents of all ages.
- Regular and widespread distribution of information is assured and a coordinated, centralized access is provided.

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- Regular information and broadcasts of interest to older people are offered.
- Oral communication accessible to older people is promoted.
- People at risk of social isolation get one-to-one information from trusted individuals.
- Public and commercial services provide friendly, person-to-person service on request.
- Printed information – including official forms, television captions and text on visual displays – has large lettering and the main ideas are shown by clear headings and bold-face type.
- Print and spoken communication uses simple, familiar words in short, straightforward sentences.
- Telephone answering services give instructions slowly and clearly and tell callers how to repeat the message at any time.
- Electronic equipment, such as mobile telephones, radios, televisions, and bank and ticket machines, has large buttons and big lettering.
- There is wide public access to computers and the Internet, at no or minimal charge, in public places such as government offices, community centres and libraries.

Community and health services

- An adequate range of health and community support services is offered for promoting, maintaining and restoring health.
- Home care services include health and personal care and housekeeping.
- Health and social services are conveniently located and accessible by all means of transport.
- Residential care facilities and designated older people's housing are located close to services and the rest of the community.
- Health and community service facilities are safely constructed and fully accessible.
- Clear and accessible information is provided about health and social services for older people.
- Delivery of services is coordinated and administratively simple.
- All staff are respectful, helpful and trained to serve older people.
- Economic barriers impeding access to health and community support services are minimized.
- Voluntary services by people of all ages are encouraged and supported.
- There are sufficient and accessible burial sites.
- Community emergency planning takes into account the vulnerabilities and capacities of older people.



AGE-FRIENDLY MELVILLE STRATEGY

directions for seniors

2007 - 2009

An Age-Friendly
environment benefits
all the community for
current and future
generations.

MESSAGE FROM THE MAYOR

Katherine Jackson JP

Welcome to the Age-Friendly Melville Strategy: Directions for Seniors.



Like many municipalities in Australia and around the world, the City of Melville has an ageing population. We are taking a leading role in developing and implementing initiatives such as Directions for Seniors, to make sure we are a city that is well prepared and positioned for the impact of an ageing population.

At the City of Melville, we have actively researched seniors' issues since 1993, demonstrating our commitment to responding to the changing demographics of our community.

This strategy not only provides a snapshot of what we have done and what we are doing to make the municipality accessible to, and inclusive of, older people but outlines the direction and specific actions we plan to take to guide the City in the development of a more Age-Friendly Melville.

The strategy has been developed over the past two years with extensive community consultation. The City of Melville partnered with the State Government through the Office for Seniors Interests and Carers, Department for Communities to conduct the research as part of the World Health Organisation Age-Friendly Cities project. We were one of only two cities in Australia to participate in this project.

On behalf of the City of Melville, I would like to thank all the focus group participants that took part in the World Health Organisation Age-Friendly Cities Project through the focus groups and workshops. Everything you have told us will be considered over the next four years. We appreciate the time you have taken to share your knowledge and experiences so generously.

Katherine Jackson JP

Mayor
City of Melville

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The community vision for the City of Melville is: 'A safe, attractive City where the consequences of our actions for future generations are taken into account; natural and built facilities are accessible to everyone and a sense of place and community spirit is generated with our voices being heard through opportunities to participate in decisions that affect our lives'.



'People, Places, Participation' a Community Plan for the City of Melville 2007 – 2017 has identified several initial priorities to work towards fulfilling the community's

aspirations. The focus of this particular strategy links with the priority to 'Create an Age-Friendly City'.

Our vision for an Age-Friendly City is one that:

- Promotes "active ageing" where seniors are able to live safely, enjoy good health and participate fully in their communities
- Helps to remove the barriers that people encounter as they grow older
- Ensures policies, services and structures are designed to support and enable seniors to age actively
- Creates an age-friendly environment that benefits all the community for current and future generations.

WHAT'S IMPORTANT

From the analysis of the Community Plan, the World Health Organisation Age-Friendly Cities project, international, national, state and local research and other consultative processes, the following areas have been identified as priorities for action for the future:



- Communication between community support and health service providers with seniors.
- Sustainable transport.
- Social participation.
- Sustainable housing options.

WHAT WE ARE DOING

Community Support and Health Services Communication and Information

Strategy

Facilitate and advocate for improved communication between community support and health service providers with seniors to ensure information provided is up to date, easily accessible and understood.



Actions

- Ensure the City's Customer Service Team and other relevant staff are trained to provide accurate, up-to-date information regarding seniors' services in various communications and language formats.
- Inform the Melville Aged Services Network of results of seniors' research with reference to concerns that seniors have regarding communication about their rights and providers' responsibilities.
- Facilitate service providers workshops to disseminate information provided to us by seniors and assist in determining relevant actions (involve key government agencies, private organisations, Chamber of Commerce, Garden City management, banks, residential care and retirement village groups, GP Network etc).
- Facilitate a Local Government network of seniors and multicultural community development officers to meet regularly to share information and work collaboratively.
- Establish processes to ensure that relevant seniors' publications are available and easily accessible from a wide range of Council facilities.
- Ensure Library Services have a key role with information provision to Seniors.
- Ensure life long learning opportunities regarding new technology are available at community facilities throughout the City of Melville.
- Deliver a Seniors Forum providing information regarding personal safety.
- Provide seniors exhibitions in local neighbourhood settings to disseminate a wide range of information about services relevant to seniors.

Strategy

Facilitate sustainable transport options to consider different forms of movement networks, including bus, cycle and pedestrian routes to connect the community.

Actions

- Host a workshop with relevant government agencies to disseminate information regarding suggestions seniors have made to improve transport options and develop appropriate responses.
- Ensure Council design processes consider pedestrian walkways that are accessible and provide good linkages.



Housing

Strategy

Facilitate suitable housing options to allow seniors to remain in contact with their social networks.

Actions

- Provide a Seniors Forum to promote awareness and a positive outlook for residential care that assists in seniors making informed decisions.
- Review the current Town Planning Scheme No.5, incorporating information provided to us from seniors regarding housing options.



Facilitate suitable housing options to allow seniors to remain in contact with their social networks.



Respect And Inclusion Social Participation

Strategy

Create opportunities that enhance social participation in both built and natural environments with a focus on frail aged and socially isolated seniors.



Actions

- Neighbourhood Planning processes to include opportunities that enhance social participation for seniors (including socially isolated seniors, those from culturally and linguistically diverse backgrounds, those with varying abilities and older men).
- Review the operation of the three senior citizens centres to ensure they are multi-purpose, available to a larger age range of seniors, include intergenerational opportunities and that facilities can be utilised at a low cost by other user groups.
- Facilitate intergenerational opportunities that encourage mutual respect.
- Develop a strategic plan for the Melville Volunteer Resource Centre that includes accessibility of the service and the promotion of volunteering opportunities to seniors.

Create opportunities that enhance social participation in both built and natural environments with a focus on socially isolated and frail older seniors.

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- Investigate opportunities for outdoor activities for seniors in neighbourhood settings.
- Ensure adequate seating is available on pedestrian walkways.
- Ensure that policies relating to public toilets and those situated in retail/commercial centres incorporate Age-Friendly features.
- Provide seniors exhibitions in local neighbourhood settings which are inclusive of frail aged and socially isolated seniors.
- Progress “Liveable Communities” Project. (A neighbourhood intervention to strengthen mental health wellbeing of seniors developed as a result of the ‘Mental Wellbeing: Leading the Way Action Plan 2006/07 – Office for Seniors Interests and Carers, Department for Communities).



For further information or to get involved in Directions For Seniors contact the Community Development Officer for Seniors at the City of Melville contact details below.

Related documents listed below are available to be downloaded from our website or can be posted on request.

- World Health Organisation (WHO) Global Age-Friendly Cities Guide & Checklist
- WHO Age-Friendly Cities Project (City of Melville Summary)
- Complete Version of the Melville Age-Friendly Strategy Directions for Seniors
- City of Melville Seniors Asset Map

Phone: (08) 9364 0666

Email: melinfo@melville.wa.gov.au

Fax: (08) 9364 0285

Website: www.melvillecity.com.au



2014/15 ANZAC CENTENARY STRATEGY COMMITTEE

REL164 (AM1011971)

MINUTES

For the meeting held on Friday 9th April 2010
2:00pm in the Margaret Coates Boardroom

THE CHAIR DECLARED THE MEETING OPEN AT 2:07pm

1.0 ATTENDANCES:

Elected Members

The Mayor (Chairperson)	Milton J Evans JP
West Ward	D Wolfe
RSL (Albany sub-branch)	L Fraser
RSL (Albany sub-branch)	P Aspinall

Staff

Executive Officer (Public Relations)	J Gray
Administration Officer	C Young

Invited Guests

RSL State President	B Gaynor
Guest (Standing)	G Hand
ANZAC Day 2010 Event Manager – RSL	D Cotton

Apologies

West Ward	D Dufty
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2.0 OPEN & WELCOME

The Mayor declared the meeting open at 2.07pm and welcomed everyone.

3.0 CONFIRMATION OF MINUTES OF PREVIOUS MEETING

ITEM:3.0 – COMMITTEE RECOMMENDATION

THAT the minutes of the 2014/15 ANZAC Centenary Strategy Committee Meeting Committee meeting held on 5 March 2010 be CONFIRMED as a true and accurate record of proceedings

**MOVED: Cr WOLFE
SECONDED: P ASPINALL
MOTION CARRIED: 5-0**

4.0 DISCLOSURE OF INTEREST

Nil

CORRESPONDENCE IN

- Letter from member of the public offering to be a translator for the French delegate.
- Email from Jon Berry to Laurie Fraser confirming the meeting with Kevin Ketterer and Mike Richardson regarding safety railings.
- City of Albany letter as advised by Tourism WA regarding Kerry Stokes' invitation to dedication
- Email regarding Real Estate, Lifestyle, Investment TV program

ACTION: City of Albany staff to follow up Kerry Stokes' PA to follow up invitation and express the importance of our event. City of Albany staff to brief media 11am 24th April on their designated positions for their film crew.

GUEST SPEAKER

RSL State President Bill Gaynor thanked the committee for the invitation to attend the meeting and provided a summary on the proposed organisational framework for the next transition stage of the committee in planning the ANZAC Centenary in the next five years. He emphasised the workable partnership between the RSL and the City of Albany and said the model proposed provides opportunities for key stake holders as well as community groups to maximise the potential and ensure the success of the centenary commemorations.

5.1 DEDICATION OF THE ANZAC PEACE PARK PROGRAMME

ITEM 5.1 – COMMITTEE RECOMMENDATION

MOVED: P ASPINALL

SECONDED: D WOLFE

THAT approval in principle be given to the establishment of an organisational structure to plan and implement commemorative activities associated with the Centenary of ANZAC and its continued prominence post 2015

CARRIED: 7-0

5.2 UPDATE RSVP's for Opening Event

A good positive response has been received with approximately 120 VIP's attending so far.

ACTION: City of Albany staff to email RSVP list to Daphne.

5.3 AE2 BRONZE PLAQUE – GIFTED BY AE2 COMMEMORATIVE FOUNDATION LTD (AE2CF)

ITEM 5.3 – COMMITTEE RECOMMENDATION

MOVED: D WOLFE

SECONDED: L Fraser

THAT the committee accepts the gift from the AE2 Commemorative Foundation Ltd conditional upon location change to pier of remembrance and receiving date is to be the week of ANZAC Day 2011.

CARRIED: 7-0

5.4 UPDATE ON CIVIC RECEPTION

City of Albany staff updated the committee on preparation of pendants, flags and artwork for the civic reception.

ACTION: City of Albany Staff to;

- Ensure there are pork free options on the menu for the Turkish guests.
- Organise visitors info bags and include acknowledgement of sponsors.
- Brief VIP's who are delivering speeches of time limits
- Contact Pennant House regarding the flags

5.5 UPDATE ON RUNNING SHEET

City of Albany staff gave the committee an update and samples of the official programme, school participation certificates and poster for their perusal.

5.6 FRENCH DELEGATE UPDATE

The committee were updated on the French Delegation. It was requested that the information regarding the VIP's arrival and departure times be kept confidential.

ACTION: City of Albany Staff to email itinerary draft to committee.

6.0 OTHER BUSINESS RAISED

Lunch at Parliament House will be organised for Wednesday the 28th April at 12:30pm

5.0 DATE OF NEXT MEETING

A debrief meeting to be held on 7th May at 2:00pm.

6.0 CLOSURE OF MEETING

There being no further business to discuss, the meeting closed at 3:25pm.

Appendix 1



1 April 2010

94 Vancouver Street
Albany WA 6330

9842 2015
0429 842 201

The Chief Executive Officer
City of Albany
P.O. Box 484
Albany WA 6331

City of Albany Records
Doc No: ICR1010380
File: REL164
Date: 06 APR 2010
Officer: CEO1;MAYOR1
Attach:

To whom it may concern,

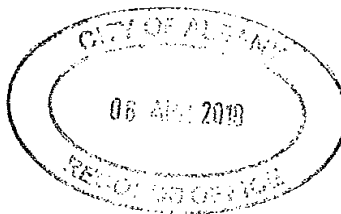
It has come to my notice that the Mayor of Peronne, France Valerie Kumm will be in Albany as part of an official party to celebrate the opening of ANZAC Peace Park on the 24th April.

I'm a French speaking citizen of Albany. I would like to offer the use of my French language skills to you should you see a need during the French Mayor's stay in Albany.

I can be contacted on either 9842 2015 or 0429 842 201.

Yours sincerely,

Danielle Berry



Appendix 2

Julie-Ann Gray

From: Jon Berry
Sent: Thursday, 1 April 2010 4:11 PM
To: Louise Burgler; Julie-Ann Gray
Subject: FW: clanfraser09@bigpond.com

FYI

From: Kevin Ketterer
Sent: Thursday, 1 April 2010 3:55 PM
To: Shelley Pepper
Cc: Jon Berry; Milton Evans; Mike Richardson
Subject: RE: clanfraser09@bigpond.com

Laurie

I must confirm our meeting this morning up at the Memorial on Mt Clarence as follows

- 1 At this stage no permanent handrail will be erected for the Dawn Service.
- 2 A temporary handrail will be erected by the City Works Dept by the Friday preceding the Dawn Service
 - a. Along the drop from the upper to the lower paved area
 - b. To demarcate the route from the steps on the main pathway, to the right leading people to the gathering area in front of the lone pine.
 - c. Along the edge of the reserve area in front of the memorial.
- 3 Your staff will be on hand to guide persons along the demarcated route.

Please feel at liberty to contact my Works Manager Mike Richardson on 9841 9254 regarding these works well before the arrangements are finalised by your team.

Kevin Ketterer

Thank you.

From: Shelley Pepper
Sent: Thursday, 1 April 2010 12:08 PM
To: Kevin Ketterer
Subject: clanfraser09@bigpond.com

Shelley Pepper
Executive Officer - City Projects

City of Albany
102 North Road
Albany WA 6330
PO Box 484 Albany WA 6331

T - 08 98419357
F - 08 98414099
E - shelleyp@albany.wa.gov.au

Appendix 3

Julie-Ann Gray

From: Jon Berry
Sent: Thursday, 25 March 2010 4:54 PM
To: Julie-Ann Gray
Cc: Peter Madigan; Louise Burgler; David Theodore
Subject: FW: Tour of Forts

Julie-Ann,

As discussed, I will draft a letter to Kerry Stokes (from the Mayor) inviting him to the opening of the ANZAC Peace Park (can you please do up an invitation to attach) and offering to brief him on our intentions to commemorate the 2014/15 ANZAC Centenary, inviting his involvement.

This would be an initial step with the objective of gaining some philanthropic funding support for our ambitions for Mt Clarence (and possibly future development projects at the Forts, which still requires some documented business planning).

Regards

Jon

From: Simon Lyas [mailto:eo@RDAGreatsouthern.com.au]
Sent: Thursday, 25 March 2010 4:22 PM
To: David Theodore
Cc: Jon Berry; Admin
Subject: Tour of Forts

Hi David,

Thank you for giving us your time today. I found the Fort's tour very interesting, made all the more worthwhile due to your specific knowledge of the history and of specific exhibits. While there is plenty more to do and much to throw money at, I believe the current presentation is well done and confirms that the cultural heritage value of the Forts is important to the City and certainly worthy of a visit by both residents and visitors alike.

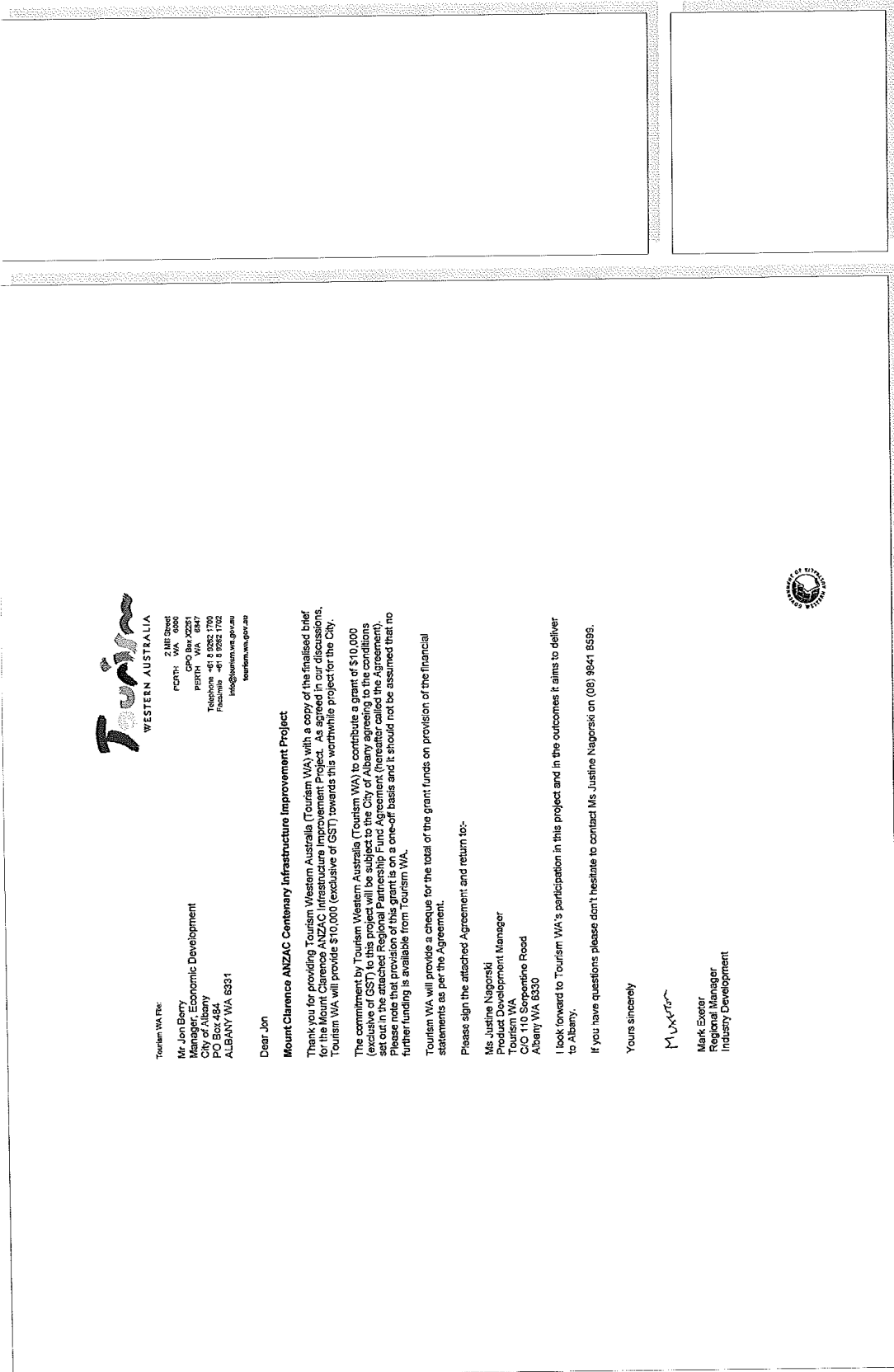
I definitely think Mr. Stokes should be invited to participate in the ANZAC planning / event and given his well publicized interest and philanthropy on all things historically Australian (both colonial and military) he may well be interested in becoming a strong supporter in the years ahead – over to you Jon!

I'd love to finish the rest of the site tour on another occasion and will be in touch in the future.

Thanks and regards

Simon.

Appendix 4



2 Hill Street
PERTH WA 6000
Perth WA 6000
Telephone +61 8 9232 1700
Facsimile +61 8 9232 1702
info@tourism.wa.gov.au
tourism.wa.gov.au

Tourism WA Fax
Mr Jon Berry
Manager, Economic Development
City of Albany
PO Box 484
ALBANY WA 6331

Dear Jon

Mount Clarence ANZAC Centenary Infrastructure Improvement Project

Thank you for providing Tourism Western Australia (Tourism WA) with a copy of the finalised brief for the Mount Clarence ANZAC Infrastructure Improvement Project. As agreed in our discussions, Tourism WA will provide \$10,000 (exclusive of GST) towards this worthwhile project for the City.

The commitment by Tourism Western Australia (Tourism WA) to contribute a grant of \$10,000 (exclusive of GST) to this project will be subject to the City of Albany agreeing to the conditions set out in the attached Regional Partnership Fund Agreement (hereafter called the Agreement). Please note that provision of this grant is on a one-off basis and it should not be assumed that no further funding is available from Tourism WA.

Tourism WA will provide a cheque for the total of the grant funds on provision of the financial statements as per the Agreement.

Please sign the attached Agreement and return to:-

Ms Justine Nagorski
Project Development Manager
Tourism WA
C/O 110 Serpentine Road
Albany WA 6330

I look forward to Tourism WA's participation in this project and in the outcomes it aims to deliver to Albany.

If you have questions please don't hesitate to contact Ms Justine Nagorski on (08) 9841 8599.

Yours sincerely

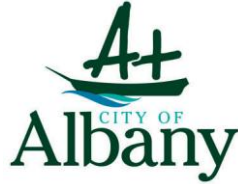
Mark Exeter
Regional Manager
Industry Development



6/04/2010

Printed with the TabukGIS Viewer: www.TabukGIS.com

noname



**CITY OF ALBANY
ALBANY TOURISM MARKETING ADVISORY COMMITTEE**

STR208

MINUTES

For the meeting held at 4:00pm on Thursday the 8th April 2010 in the Margaret Coates Boardroom.

THE CHAIR DECLARED THE MEETING OPEN AT 4:00pm

1. ATTENDANCES:

D Wellington	Frederickstown Ward Councillor	Chairperson
R Harris	Tourism Representative	
G Harvey	Business Representative	
S Lyas	Business Representative	
G Clarke	Tourism Representative	
M Evans	Mayor	
M Weller	Executive Manager, Corporate Services	
M Dayman	Coordinator Events and Tourism	
C Young	Events Assistant (Minutes)	
E Martin	Customer Service Supervisor – Albany Visitors Centre	

2. APOLOGIES

P Richards	Chief Executive Officer
P Madigan	Executive Director, Corporate and Community Services

3. CONFIRMATION OF MINUTES OF PREVIOUS MEETING

RECOMMENDATION

THAT the minutes of the Albany Tourism Marketing Advisory Committee meeting held on Thursday the 26th November 2009 be CONFIRMED as true and accurate after the addition of the Strategic Planning Session and Forum of Tourism Stakeholders has been added.

**MOVED: D Wellington
SECONDED: G Harvey
CARRIED: 8-0**

4. DISCLOSURE OF INTEREST

Nil

**Bulletin Item 1.2.4-
Agenda Item 14.12.3 refers 3 pages**

CITY OF ALBANY
ALBANY TOURISM MARKETING ADVISORY COMMITTEE
Minutes for the meeting held at 4pm on Thursday, 8th April 2010

5. ITEMS FOR DISCUSSION

5.1 ULYSSES

The Coordinator Events and Tourism provided a brief overview of the Ulysses AGM and action items that had been discussed for future major events which included an Events Coordination Guide that will be developed with other key stakeholders for future events in Albany. Overall the Ulysses AGM was a success with the majority of Albany businesses happy with the amount of customers they received and the ongoing promotion for the City.

A series of debriefing sessions will enable lessons learned to be used to deliver further improvements for similar future events

5.2 2010 WINTER CAMPAIGN MARKETING ACTIVITY

It was noted in general discussion that this year's prize package should consist of 5 different packages and focus more on food and wine than accommodation and that packages should be self contained with City staff having little involvement with the prize winners once they arrive.

The committee workshopped a strategic brief and empowered staff to undertake to operational detail to the best fit.

RECOMMENDATION

- I. THAT the Winter Campaign as detailed in the tabled briefing paper is approved.**
- II. THAT City of Albany staff take into account the strategic brief developed by the committee when implementing the detail of the Winter Campaign**

**MOVED: S Lyas
SECONDED: R Harris
CARRIED: 8-0**

5.2 2011 PERTH ROYAL SHOW GUEST TOWN PROPOSAL

A draft budget was handed to the Committee for its perusal. The Committee raised that the costs for accommodation, travel and insurance appeared not to have been accounted for which meant an additional \$15,000 may be needed.

RECOMMENDATION

THAT the Committee approves continuing to proceed with the initiative and staff will input \$20,000 as the City's contribution in the 2010/11 draft budget.

**MOVED: D Wellington
SECONDED: G Harvey
CARRIED: 8-0**

NB: Staff will liaise with Simon Lyas who has information and experience with this type of initiative.

Bulletin Item 1.2.4-

Agenda Item 14.12.3 refers 3 pages

CITY OF ALBANY

ALBANY TOURISM MARKETING ADVISORY COMMITTEE

Minutes for the meeting held at 4pm on Thursday, 8th April 2010

6. OTHER ITEMS TO BE DISCUSSED

6.1 amazingalbany Map Production

The Committee discussed options of creating a better map, possibly in colour.

Staff will investigate creating another map with the Albany Advertiser and liaise with Rus Cooper Manager, Albany Advertiser.

6.2 Real Estate, Lifestyle and Investment Program

An email from MRG International was circulated to Committee members regarding the television program Real Estate, Lifestyle and Investment asking for interest from the City.

At this time as there is no budget provision available to cater for this the opportunity will not be undertaken.

7. ITEMS TO BE DISCUSSED AT NEXT COMMITTEE MEETING

7.1 The committee raised the following issues which staff will investigate and report back at the next meeting

- Budget for next year including an allocation for outside help with advertisements.

8. DATE OF NEXT MEETING

TBA

9. CLOSURE OF MEETING

Meeting closed at 5.10pm

Bulletin Item 1.3.1-
Agenda Item 15.2.5 refers 8 pages
Full Elemental Summary

Job Name : <u>A551 - EMU POINT</u>	Job Description
Client's Name: <u>CITY OF ALBANY</u>	EMU POINT ABLUTION BLOCK

Elem. Code	Elemental Description	% B.C.	Cost/m2	Elem. Qty	Elem. Unit	Elem. Rate	Sub Total	Mark Up %	Elemental Total
SB	Substructure	6.41	228.53				19,425		19,425
CL	Columns	0.70	25.06				2,130		2,130
RF	Roof	9.86	351.55				29,882		29,882
EW	External Walls	12.61	449.35				38,195		38,195
ED	External Doors	1.58	56.47				4,800		4,800
NW	Internal Walls	3.67	130.76				11,115		11,115
NS	Internal Screens	2.74	97.53				8,290		8,290
ND	Internal Doors	1.27	45.29				3,850		3,850
WF	Wall Finishes	7.00	249.53				21,210		21,210
FF	Floor Finishes	1.30	46.47				3,950		3,950
FT	Fitments	2.95	105.29				8,950		8,950
SF	Sanitary Fixtures & Plumbing	23.93	852.94				72,500		72,500
LP	Electric Light and Power	6.12	218.24				18,550		18,550
XP	Site Preparation	0.92	32.94				2,800		2,800
XR	External Alterations & Renovations	0.50	17.65				1,500		1,500
PR	Preliminaries	18.43	657.09				55,853		55,853
GFA: 85 m2.		100.00	3,564.71				303,000		303,000

Final Total \$ 303,000

Bulletin Item 1.3.1-
Agenda Item 15.2.5 refers 8 pages
Elemental Breakup

Job Name : A551 - EMU POINT

Job Description

Client's Name: CITY OF ALBANY

EMU POINT ABLUTION BLOCK

Item No.	Item Description	+/- %	Quantity	Unit	Rate	Mark Up %	Amount
<i>Trade : 1 <u>Substructure</u></i>							
1	Mass concrete pad footing including excavation, compaction & formwork		3.00	m3	1,000.00		3,000.00
2	Reinforced concrete ground slab thickening including excavation, compaction & formwork		8.00	m3	450.00		3,600.00
3	100 reinforced concrete ground slab including excavation, compaction, termite treatment, w/proof membrane & formwork		54.00	m2	100.00		5,400.00
4	Extra for wall panel rebate		56.00	m	25.00		1,400.00
5	100 reinforced coloured concrete verandah ground slab with surface laid to falls including excavation, compaction, termite treatment, w/proof membrane & formwork		35.00	m2	135.00		4,725.00
6	75 reinforced concrete shower ground slab with surface laid to falls including excavation, compaction, termite treatment, w/proof membrane, formwork & brick surround		2.00	m2	650.00		1,300.00
<u>Substructure</u> Total :							19,425.00
<i>Trade : 2 <u>Columns</u></i>							
1	150 x 150 F8 timber verandah post		21.00	m	80.00		1,680.00
2	Galv stirrup		9.00	No	50.00		450.00
<u>Columns</u> Total :							2,130.00
<i>Trade : 3 <u>Roof</u></i>							
1	CCA timber fabricated truss including paint		10.00	No	600.00		6,000.00
2	190 x 45 MGP 10 timber beam including paint		22.00	m	45.00		990.00
3	190 x 38 CCA treated timber barge board including paint		17.00	m	75.00		1,275.00
4	90 x 45 MGP 10 timber rafter		72.00	m	25.00		1,800.00
5	90 x 45 MGP 10 timber wall plate including masonry anchor fixings		10.00	m	45.00		450.00
6	70 x 45 CCA treated timber roof batten		176.00	m	17.00		2,992.00
7	Selected colorbond roof sheeting including cappings & flashings		109.00	m2	125.00		13,625.00
8	Selected polycarbonate roof sheeting		22.00	m2	125.00		2,750.00
<u>Roof</u> Total :							29,882.00

Bulletin Item 1.3.1-
Agenda Item 15.2.5 refers 8 pages
Elemental Breakup

Job Name : <u>A551 - EMU POINT</u>	Job Description
Client's Name: <u>CITY OF ALBANY</u>	EMU POINT ABLUTION BLOCK

Item No.	Item Description	+/- %	Quantity	Unit	Rate	Mark Up %	Amount
<i>Trade :</i> 4 <u>External Walls</u>							
1	125 thick reinforced concrete wall panel		103.00	m2	285.00		29,355.00
2	Extra for selected recessed motif approx 7500 x 1500 high		1.00	No	2,500.00		2,500.00
3	Extra for selected recessed international symbols approx 500 x 1500 high		2.00	No	1,000.00		2,000.00
4	90 x 45 MGP 10 timber stud framed gable insert lined with 70 x 25 CCA treated battens at 90 centres		6.00	m2	210.00		1,260.00
5	90 x 45 MGP 10 timber stud framed screen lined both sides with selected timber weatherboard cladding		8.00	m2	385.00		3,080.00
<u>External Walls</u>						Total :	38,195.00
<i>Trade :</i> 5 <u>External Doors</u>							
1	2100 x 950 timber ledge & braced door including frame, paint & hardware		2.00	No	1,700.00		3,400.00
2	2100 x 820 timber ledge & braced door including frame, paint & hardware		1.00	No	1,400.00		1,400.00
<u>External Doors</u>						Total :	4,800.00
<i>Trade :</i> 6 <u>Internal Walls</u>							
1	125 thick reinforced concrete wall panel		39.00	m2	285.00		11,115.00
2							
3							
<u>Internal Walls</u>						Total :	11,115.00
<i>Trade :</i> 7 <u>Internal Screens</u>							
1	110 thick reinforced concrete partition walls		31.00	m2	250.00		7,750.00
2	90 x 45 MGP 10 timber top plate including masonry anchor fixings		12.00	m	45.00		540.00
<u>Internal Screens</u>						Total :	8,290.00
<i>Trade :</i> 8 <u>Internal Doors</u>							
1	1800 x 820 flush panel toilet partition door including frame, hardware & paint		3.00	No	750.00		2,250.00
2	1800 x 950 flush panel toilet partition door including frame, hardware & paint		2.00	No	800.00		1,600.00

Bulletin Item 1.3.1-
Agenda Item 15.2.5 refers 8 pages
Elemental Breakup

Job Name : <u>A551 - EMU POINT</u>	Job Description
Client's Name: <u>CITY OF ALBANY</u>	EMU POINT ABLUTION BLOCK

Item No.	Item Description	+/- %	Quantity	Unit	Rate	Mark Up %	Amount
<u>Internal Doors</u>							Total : 3,850.00
<i>Trade :</i> 9 <u>Wall Finishes</u>							
1	Anti graffitti coating to concrete panels		306.00	m2	35.00		10,710.00
2	Ceramic tile splashback		30.00	m2	350.00		10,500.00
<u>Wall Finishes</u>							Total : 21,210.00
<i>Trade :</i> 10 <u>Floor Finishes</u>							
1	Concrete floor sealer		54.00	m2	25.00		1,350.00
2	Ceramic tile skirting		68.00	m	25.00		1,700.00
3	70 x 45 MGP 10 timber shower joist masonry anchored to concrete complete with nonslip timber decking		2.00	m2	450.00		900.00
<u>Floor Finishes</u>							Total : 3,950.00
<i>Trade :</i> 11 <u>Fitments</u>							
1	SS clad changing table including paint		4.00	m	1,200.00		4,800.00
2	Bench seat including paint		5.00	m	500.00		2,500.00
3	L shaped grab rail		2.00	No	350.00		700.00
4	Mini grab rail		2.00	No	100.00		200.00
5	Toilet roll holder		5.00	No	150.00		750.00
<u>Fitments</u>							Total : 8,950.00
<i>Trade :</i> 12 <u>Sanitary Fixtures & Plumbing</u>							
1	Stoddard disabled WC		2.00	No	4,600.00		9,200.00
2	Stoddard WC		3.00	No	4,500.00		13,500.00
3	Stoddard wall hung urinal		2.00	No	3,800.00		7,600.00
4	Stoddard wall hung handbasin		4.00	No	3,200.00		12,800.00
5	Stoddard outdoor shower		2.00	No	4,000.00		8,000.00
6	Floor waste		4.00	No	1,000.00		4,000.00
7	Precast concrete sand trap		2.00	No	2,000.00		4,000.00
8	External floor waste sump box		4.00	No	750.00		3,000.00

Bulletin Item 1.3.1-
Agenda Item 15.2.5 refers 8 pages
Elemental Breakup

Job Name : <u>A551 - EMU POINT</u>	Job Description
Client's Name: <u>CITY OF ALBANY</u>	EMU POINT ABLUTION BLOCK

Item No.	Item Description	+/- %	Quantity	Unit	Rate	Mark Up %	Amount
<i>Trade : 12 <u>Sanitary Fixtures & Plumbing</u></i>							<i>(Continued)</i>
9	Allowance for cold water connection			Item			1,400.00
10	Allowance for sewer connection			Item			2,500.00
11	Builder's margin & work in connection			Item			6,500.00
<u>Sanitary Fixtures & Plumbing</u>							Total : 72,500.00
<i>Trade : 13 <u>Electric Light and Power</u></i>							
1	1 x 40mm dia Cat A PVC conduit		90.00	m	100.00		9,000.00
2	1 x 36W T8 surface mounted weatherproof/vandal resistant flourescent light fitting		2.00	No	450.00		900.00
3	1 x 36W T8 surface mounted weatherproof/vandal resistant flourescent light fitting including time clock swithces		4.00	No	575.00		2,300.00
4	1 x 18W T8 surface mounted weatherproof/vandal resistant flourescent light fitting including time clock swithces		4.00	No	625.00		2,500.00
5	Weatherproof GPO		1.00	No	350.00		350.00
6	Loadcentre		1.00	No	1,500.00		1,500.00
7	Builder's margin & work in connection			Item			2,000.00
<u>Electric Light and Power</u>							Total : 18,550.00
<i>Trade : 14 <u>Site Preparation</u></i>							
1	Site clearance		140.00	m2	5.00		700.00
2	Site cut/fill		140.00	m3	15.00		2,100.00
<u>Site Preparation</u>							Total : 2,800.00
<i>Trade : 15 <u>External Alterations & Renovations</u></i>							
1	Relocate existing electric BBQ		1.00	No	1,500.00		1,500.00
<u>External Alterations & Renovations</u>							Total : 1,500.00
<i>Trade : 16 <u>Preliminaries</u></i>							
1	Allowance for preliminaries			Item			55,853.00

Bulletin Item 1.3.1-
Agenda Item 15.2.5 refers 8 pages
Elemental Breakup

Job Name :	<u>A551 - EMU POINT</u>	<u>Job Description</u>
Client's Name:	<u>CITY OF ALBANY</u>	EMU POINT ABLUTION BLOCK

Item No.	Item Description	+/- %	Quantity	Unit	Rate	Mark Up %	Amount
<i>Preliminaries</i>						Total :	55,853.00

PRE-TENDER COST ESTIMATE

EMU POINT ABLUTION BLOCK

CONCEPT BUILDING DESIGN & DRAFTING

CHRIS O'KEEFE CONSTRUCTION COST CONSULTANT

May-10

**Bulletin Item 1.3.1-
Agenda Item 15.2.5 refers 8 pages**

EMU POINT ABLUTION BLOCK

Ref : A551

PRE-TENDER COST ESTIMATE

4/05/2010

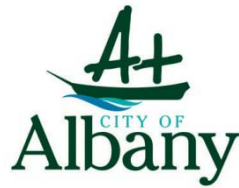
PROJECT COST SUMMARY

Total Cost from Summary	\$ 303,000
Construction Contingency	\$ 12,000
	<hr/>
	\$ 315,000
GST	\$ 31,500
	<hr/>
TOTAL INDICATIVE COST ESTIMATE	\$ 346,500
	<hr/>

Exclusions :

This estimate excludes the following costs :

- Professional fees
- Loose furniture & equipment
- Cost escalation to tender date
- Upgrade to existing services



Council Strategy

Asset Management Plan Reserves (Natural)

DRAFT

**Bulletin Item 1.3.2-
Agenda Item 15.3.1 refers 64 pages**

**City of Albany
Asset Management Plan – Reserves (Natural)**

Revision Status

Revision No.	Status	Distribution	Issue Date	Comment
0	Draft	Policy and Strategy Committee	23/04/10	For discussion

**Bulletin Item 1.3.2-
Agenda Item 15.3.1 refers 64 pages**

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Abbreviations

BCA	Building Codes of Australia
DEC	Department of Environment and Conservation
DLGRD	Department of Local Government and Regional Development
DRF	Declared Rare Flora
EPA	Environmental Protection Authority
GIS	Geographic Information System
IPWEA	Institute of Public Works Engineers Australia
ISO	International Organisation for Standardisation
LGMA	Local Government Municipal Association
PEC	Priority Ecological Community
POS	Public Open Space
PDWSA	Public Drinking Water Source Area
SCRIPT	South Coast Regional Initiative Planning Team (now known as South Coast Natural Resource Management Inc.)
TEC	Threatened Ecological Community
UCL	Unallocated or Unmanaged Crown Land
WAAMI	Western Australian Asset Management Improvement
WALGA	Western Australian Local Government Association

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EXECUTIVE SUMMARY

1.1 Introduction

The management of natural reserves is an important role for the City, and requires informed decision making and an agreed framework for the care and maintenance of reserves. This document highlights the asset management activities associated with the management of natural reserves, and sets a timeline for implementation of five (5) years, with year one (1) to be included in the 2010-2011 financial year.

The City currently manages 486 parcels of land declared as natural reserves. These areas are significant assets for the City in terms of their ecological functions, as well as generating economic, health and wellbeing benefits for the City and the broader community. This Asset Management Plan Reserves (Natural) has been developed to ensure that the long-term management of these reserves, existing and newly created, is undertaken in a systematic way.

Categories have been defined to allow for the grouping of reserves that have similar management requirements. The four categories are:

- Coastal reserves;
- Watercourse and Foreshore reserves;
- Mounts reserves; and
- Hinterland reserves.

A number of criteria will be used to score and weight the management priorities for natural reserves. This weighting system allows for certain criteria to rank more highly where they are considered to be more important, and allow prioritisation of the expenditure program. The criteria and their weighting are:

- Environmental Values – 40%
- Social and Cultural Values – 30%; and
- Economic Values – 30%.

1.2 Financial Summary

The planning, capital and maintenance costs for year 1 (one) of this Asset Management Plan Reserves (Natural) is as follows:

- Planning \$ 115,000.00
- Capital \$ 40,000.00
- Maintenance \$ 202,900.00

Funding for reserves planning is provided by Council's annual budget processes. Maintenance, renewal and the creation of reserve infrastructure is principally provided by Council's capital works program and individually identified projects. Supplementary funding may be sourced through various funding agencies. This Plan will help promote works in natural reserves and support funding submissions.

1.3 Strategic Context

The City's Strategic Plan 'Albany Insight – Beyond 2020' (City of Albany, 2008) outlines how the Council and community would like to see Albany in 2025. The City seeks to manage its natural reserves to achieve the following strategic objectives:

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Item 1 Lifestyle & Environment

Albany will be Western Australia's regional City of first choice offering a diverse range of healthy and active lifestyle opportunities, with energy efficient housing and development that respects our environment.

Albany will be a City where...

- *Young adults are well catered for.*
- *Recreation facilities provide a diverse range of sporting and exercise opportunities.*
- *Development:*
 - *responds to our unique historical and environmental values;*
 - *embraces environmentally responsible approaches to energy and water consumption; and*
 - *incorporates healthy lifestyle activities and access to green space.*
- *The long term problems of Climate Change have been recognised and responded to.*

Item 4 Governance:

The City of Albany will be an industry leader in good governance and service delivery and will:

- *Manage our municipal assets to ensure they are capable of supporting our growing community; and*
- *Deliver excellent community services that meet the needs and interests of our diverse communities.*

1.4 Plan Implementation

Given the significant gaps in our knowledge, the initial five year focus is on gathering reserve information to further develop this plan, and on implementing existing management plans for natural reserves. Additional reserves will be considered during subsequent reviews of this Plan at which point all management actions will be given a ranking and implemented accordingly.

2.0 INTRODUCTION

2.1 Purpose and Scope

The City currently manages 486 natural reserves which have significance for ecological preservation as well as contributing to the economy, community health and enjoyment. With such a large suite of reserves encompassing a variety of management issues, development of a framework to ensure appropriate long-term management is considered essential. This Asset Management Plan Reserves (Natural) provides guidance for the management of undeveloped bush reserves, for which the City either has the management orders (i.e. Crown Land) or owns freehold.

Council resolved at its Ordinary Meeting of Council on 19 February 2008 to participate in the WAAMI program which is being supported by the Western Australian Local Government Association (WALGA), Department of Local Government and Regional Development (DLGRD), Local Government Municipal Association (LGMA) and the Institute of Public Works Engineers Australia (IPWEA). This Asset Management Plan has been developed in a format consistent with the Western Australian Asset Management Improvement (WAAMI) program framework, which is being applied to other asset classes managed by the City.

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The Asset Management Plan Reserves (Natural) provides strategic guidance by outlining processes, principles and criteria to guide consideration of management issues, maintenance, upgrades and new works in natural reserves over a five year timeframe. The City has established a list of major management issues occurring in the reserves it manages, and these categories have been used as a basis for assessing management priorities.

The City has previously used a variety of approaches to asset management and prioritisation. While some aspects of these approaches have worked well, the City would prefer to adopt a systematic approach with the emphasis on the need to achieve outcomes 'on the ground', maximise time and resource efficiency and minimise the amount of superfluous administration. This will be achieved through a combination of criteria based prioritisation and issues based decision making.

The Asset Management Plan Reserves (Natural) provides the City with a clear methodology for future budgeting over the next five years. This will be achieved by focussing on the collection of information about the assets, preparation of grouped management plans and implementation of management actions based on reserve attributes including management issues, purpose, demand and environmental and community values. It will also assist in streamlining the effort invested in grant applications and other implementation opportunities.

The scope of works that have formed the framework of this Asset Management Plan include:

- Outlining a vision for the reserve network of the City.
- Developing an Asset Management Plan Reserves (Natural) that prioritises actions for the management of nominated City natural reserves for the next 5 years.
- Developing a broad medium-term financial framework for the priority actions identified in the Asset Management Plan.
- Developing a framework for the condition assessment of the reserves.
- Undertaking an assessment of 12 nominated sample reserves.
- Prioritising implementation based on management issues across multiple reserves rather than just the attributes of single reserves.
- Categorising reserves into a hierarchy (or groupings of reserves) based on the environmental standard of the reserve.

This Asset Management Plan Reserves (Natural) is to be read with the following associated planning documents:

- City of Albany Asset Management Policy (2009); and
- City of Albany Asset Management Improvement Strategy (2009).

Over the past three years, expenditure for City managed reserves has primarily been broken down into four categories. Budget allocations for natural reserves for the past three years are as follows;

	2007/08	2008/09	2009/10
Weed Strategy	\$117,500.00	\$150,000.00	\$153,000.00
Reserves Planning	\$40,000.00	\$25,000.00	\$45,000.00
Reserves Maintenance (developed and natural)	\$60,000.00	\$73,000.00	\$63,000.00
Fire Breaks on Council Land	\$60,000.00	\$60,000.00	\$60,000.00
Special Reserve Projects			\$130,000.00

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2.2 Objectives

The objectives of the Asset Management Plan Reserves (Natural) are:

- To ensure that services are delivered effectively and efficiently;
- To provide a basis for evaluating and balancing service levels with cost effectiveness and quality;
- To improve accountability through measurable performance measures;
- To improve understanding of service requirements and objectives;
- To ensure a holistic approach to asset management;
- To improve customer satisfaction;
- To reduce the risk of asset failure;
- To improve decision making based on cost effectiveness, long term benefits and sustainability;
- To justify programs and funding requirements; and
- To recognise the lifecycle costs of an asset.

2.3 Additional Objectives Relating to WAAMI Participation

The City's commitment to the WAAMI program will add value to asset management by:

- Ensuring that Councillors and staff participate in the creation of asset management strategies;
- Capitalising on the State and National frameworks;
- Using the tools and proformas offered with the program;
- Encouraging continuous improvement in processes and practices;
- Promoting informed planning and decision making; and
- Determining the gaps and developing long term strategies for service provision.

2.4 Vision

'The City of Albany will manage its Natural Reserves using sound principles of asset management, incorporating best practice methodology to support sustainable outcomes for the community, environment and ongoing Council service delivery.'

Objectives will be met through asset assessment, consideration of service delivery goals and prioritisation of implementation to meet community and environmental needs.'

2.5 Strategic Context

City of Albany Corporate Plan 'Albany Insight – Beyond 2020'

The City's Strategic Plan 'Albany Insight – Beyond 2020' (City of Albany, 2008) outlines how the Council and community would like to see Albany in 2025. The City seeks to manage its natural reserves to achieve the following strategic objectives:

Item 1. Lifestyle & Environment

Albany will be Western Australia's regional City of first choice offering a diverse range of healthy and active lifestyle opportunities, with energy efficient housing and development that respects our environment.

Albany will be a City where:

- *Young adults are well catered for.*

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- *Recreation facilities provide a diverse range of sporting and exercise opportunities.*
- *Development:*
 - *responds to our unique historical and environmental values;*
 - *embraces environmentally responsible approaches to energy and water consumption; and*
 - *incorporates healthy lifestyle activities and access to green space.*
- *The long term problems of Climate Change have been recognised and responded to.*

Item 4. Governance:

The City of Albany will be an industry leader in good governance and service delivery and will:

- *Manage our municipal assets to ensure they are capable of supporting our growing community; and*
- *Deliver excellent community services that meet the needs and interests of our diverse communities.*

Other strategies that guide the management of Assets in the City include:

- Draft Albany Local Planning Strategy (City of Albany, 2009a);
- Draft Albany Town Planning Scheme;
- City of Albany Subdivision and Development Guidelines (City of Albany, 2009b);
- Draft Albany Greenways (ATA Environmental, 2002);
- Albany Trails Masterplan (Maher Brampton Associates, 1998);
- Environmental Weeds Strategy for City of Albany Reserves (City of Albany, 2005);
- Estimation of Dieback Protectable Areas. City of Albany Reserves (Glevan Consulting, 2008)
- Estimation of Dieback Protection Areas. City of Albany Reserves (Ficifolia Consulting, 2008);
- Estimation of Dieback Protection Areas. City of Albany Sandpatch Reserves R2903, R34370 & R4732 (Ficifolia Consulting, 2009).
- Asset Management Plan - Roads (City of Albany, 2010);
- Environmental Code of Conduct – Guidelines for Works on Council Controlled Land (City of Albany, 2006);
- Southern Shores 2009 – 2030 (Coffey Environments and South Coast Management Group, 2009);
- Southern Prospects (SCRIPT, 2005); and
- Albany Regional Vegetation Assessment (Department of Environment and Conservation, in preparation).

2.6 Plan Framework

Key elements of the Asset Management Plan Reserves (Natural) include:

- Identification of levels of service to be provided;
- Identification of current demand;
- Prediction of future demand;
- Consideration of lifecycle management;
- Inclusion of a 5 year budget requirements for identified expenditure needs;

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- Outline of asset management practices;
- Outline of monitoring of the Asset Management Plan to measure outcomes against objectives;
- Inclusion of an Asset Management Improvement Plan; and
- Outline of approaches to risk assessment.

2.7 Plan Implementation

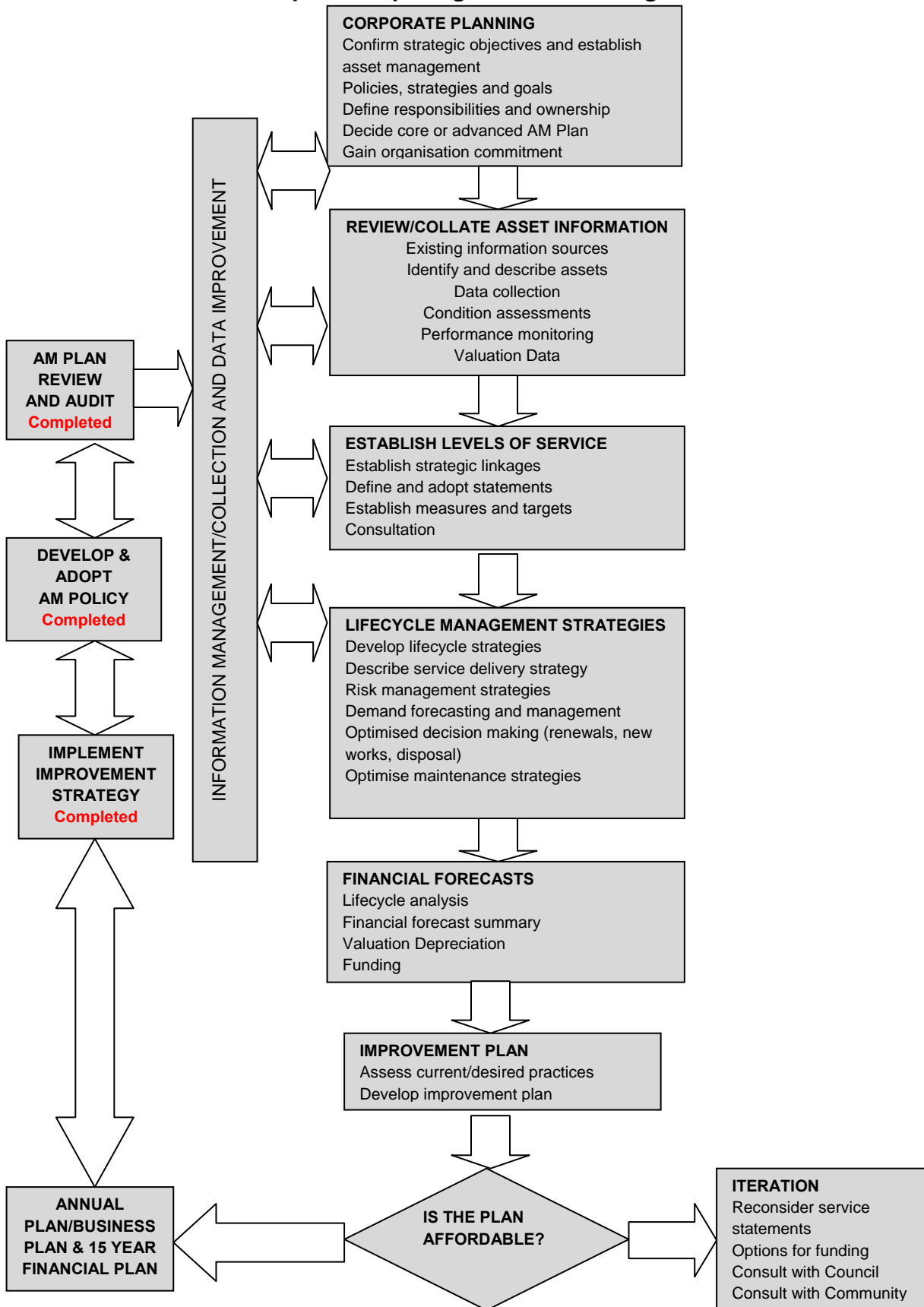
The management of natural reserves is an important role for the City and requires informed decision making and an agreed framework for the care and maintenance of the reserves. This document highlights the asset management activities associated with the management of natural reserves and sets a timeline for implementation of a five (5) year program with year one (1) to be included in the 2010-2011 financial year. Due to the resources required for assessment of all City reserves in this category, the initial focus is on reserves that already have management plans that have been adopted by Council. Additional reserves will be considered during annual reviews of this Plan.

2.8 Process Map

The City has prepared an Asset Management Improvement Strategy (City of Albany, 2009c) to guide the process of preparing asset management plans. A process map for preparing an infrastructure and asset management plan is shown below. The map shows the cycle of asset management including planning, review, collation, establishment of levels of service, lifecycle management strategies, forecasting and development of an improvement plan. The City will need to consider the affordability of the plan, with possible revisions, monitoring and audit processes.

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Road Map for Preparing an Asset Management Plan



Source: Institute of Public Works Engineering Australia, 2006.

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2.0 ASSET MANAGEMENT INFORMATION

2.1 Reserve Information Database

The City has a digital database for all City reserves which includes data from the Department of Regional Development and Lands. The main part of the database includes core information about reserves and the elements within them. The database was designed to generate priorities and rankings for action items by applying weighting to applicable reserve attributes. The existing database is supported by a Geographic Information System (GIS) which allows multiple layers of information to be viewed in a map format with aerial photos.

The information contained in the City's systems greatly increases its ability to plan for, and manage its reserve network. Information categories held in the database and/or on GIS are included in Table 1.

Table 1: Information Available for Natural Reserves

<p>Reserve Number or a unique City identifier:</p> <p>Identifier assigned to a land parcel. A single site may be made up of several land parcels (e.g. Cosy Corner). This data is provided by State Land Services (part of the Department of Regional Development and Lands).</p>
<p>Reserve Name:</p> <p>Some reserves have formal names (assigned by State Land Services Geographic Names Committee) or informal names.</p>
<p>Current Purpose:</p> <p>All Crown Land Reserves have a purpose (e.g. recreation, conservation). Reserves should be managed in accordance with their purpose, unless the purpose is deemed to be inappropriate. A reserve purpose can be reviewed by the State Land Service.</p>
<p>Area of Reserve:</p> <p>Area measured in square metres.</p>
<p>Function:</p> <p>Function is defined by major features or uses of a reserve.</p>
<p>Hierarchy:</p> <p>Natural reserves have been allocated a status that reflects the level of visitation and significance to the wider community.</p>
<p>Reserve Attributes:</p> <p>Includes physical, environmental and social attributes of reserves. The database needs to be updated and redesigned to align with the City data management standards. Attributes recorded are listed in Appendix C.</p>

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2.2 Other Reserve Information

The City has a number of management and dieback plans that contain a large amount of information about its reserves, including recommended management actions that have been adopted by Council. A summary of these recommended management actions have been used in the development of this Asset Management Plan.

2.3 Reserve Assessment

Each reserve has been (or will be), visited and assessed for a variety of parameters (Appendix B). These attributes will be incorporated into the reserves asset database and used to determine management and action priorities.

3.0 KEY PRINCIPLES AND SERVICE LEVELS

3.1 Key Principles – Natural Reserve Management

In seeking to manage natural reserves, the overarching principles which will guide management include consideration of the inherent environmental and community values of a reserve, and governance principles (cost benefits, priorities, accountability etc.). These principles are outlined below.

Principles for Management of Natural Reserves

1. Use the precautionary principle

Where there are threats of serious or irreversible damage, lack of scientific certainty should not be used as a reason for postponing measures to prevent environmental degradation. Decisions should be guided by careful evaluation and risk based assessment.

2. Use the principle of intergenerational equity

The present generation should ensure that the health, diversity and productivity of the environment is maintained or enhanced for the benefit of future generations.

3. The principle of the conservation of biological diversity and ecological integrity

Conservation of biological diversity and ecological integrity should be a fundamental consideration.

These principles guide environmental protection in the Western Australian *Environmental Protection Act 1986*, are outlined in EPA Position Statement No. 7 and are generally considered to be the most appropriate overarching statement to custodians of public property.

3.2 Legislative Requirements, Codes and Standards

The City has a number of legislative and other requirements to meet for reserve planning and management, including those listed in Table 2.

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Table 2: Legislative Requirements relating to Natural Reserve Management

Legislation	Requirement
<i>Environment Protection and Biodiversity Conservation Act 1999</i>	National legal framework to protect and manage nationally and internationally important flora, fauna, ecological communities and heritage places - defined in the Act as matters of national environmental significance.
Building Code of Australia	The Building Code of Australia (BCA) is treated as regulations in each State. The BCA contains technical provisions for the design and construction of buildings and other structures, covering such matters as structure, fire resistance, access and egress, services and equipment, and certain aspects of health and amenity.
Australian Standards	Standards are published documents setting out specifications and procedures designed to ensure products, services and systems are safe, reliable and consistently perform the way they were intended to. They establish a common language which defines quality and safety criteria.
<i>Local Government Act 1995</i>	Establishes roles, purpose, responsibilities and powers of local governments, including the preparation of long term plans.
<i>Land Administration Act 1997</i>	Regulates the tenure, land use and management of lands.
<i>Environmental Protection Act 1986</i>	This Act provides for the prevention, control and abatement of pollution and environmental harm, for the conservation, preservation, protection, enhancement and management of the environment.
<i>Occupiers Liability Act 1985</i>	This Act places responsibilities on occupiers and managers of land to show a reasonable duty of care to those who enter or use land so that they do not suffer injury or damage.
City of Albany Town Planning Scheme No. 1 and 3	Describes permitted and non permitted uses in areas reserved for Parks and Recreation.

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3.2 Consideration of Management Issues

There are a suite of issues that are considered in managing natural reserves. Many of the issues are complicated and have significant implications for the health of a reserve and its enjoyment by the community. Often there are competing and conflicting views on how these issues should be addressed.

A list of management issues and suggested goals are included in Table 3. The list is not exhaustive and one issue is not necessarily more important than another. Documents and policy statements which offer guidance in how to deal with management issues are listed in Appendix C.

Discussions with the City and other stakeholders suggest that the issues that are of greatest concern in natural reserves relate to threatening processes (weeds, dieback, fire etc.), access control (including four wheel drive and motorbike use) and signage. These issues can be managed systematically across reserves and often mitigate some of the other risks or issues listed in Table 3.

The value that a community puts on a reserve may be reflected in their interest in providing support for a particular reserve issue such as weed management. Issues that are of interest to a community are often the best ones to address, regardless of perceptions of what is the highest priority.

Table 3: Management Issues

Management Issue	Goal for Management	Comment
Reserve Tenure		
Tenure of Reserve	Ensure each reserve has tenure and purpose appropriate for its sustainable use and management with consideration for scenic amenity, level of use, fragility and different land uses.	Some areas of UCL could be incorporated into City reserves to ensure consistent management. Equally, some reserves may best be managed by other Agencies who have relevant expertise and resources.
Leasing of Reserves	Ensure that lease conditions take into account management needs, values and purpose of reserves so that management meets current best management practice expectations.	The preparation of appropriate lease documents for commercial fishing leases, other organisations and individuals will help to ensure that natural reserves are managed using current best management practices.
Purpose of Reserve	Ensure that the purpose of the reserve is appropriate for current and future needs and consistent with environmental and community values.	
Amalgamation of Reserves	Consolidate management areas by amalgamating reserves that have similar management issues and are geographically linked.	
Neighbour Issues	Ensure consistent management across boundaries to consider fire, corridors, connectivity and compatible land uses where reserves share common values (e.g. National Parks, Nature Reserves).	Liaison with other land managers (internal and external) is essential.
Land Uses	Encourage the use of reserves for educational and other compatible purposes (e.g. research, collection of seed for rehabilitation) where these activities do not compromise the values of the reserve.	Careful consideration should be given to proposed uses that may cause user conflict or potential damage to a reserve's values.

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Management Issue	Goal for Management	Comment
Management for Significant Values		
Management of Natural Values	Ensure that reserves are managed for environmental, economic and community values.	
Unauthorised or Inappropriate Use	Prevent unauthorised or inappropriate activities in reserves that are not consistent with the environmental or community values of the reserve.	This can be achieved through access control, signage and appropriate presence of Rangers and/or camp hosts.
Significant Vegetation Community, Flora or Fauna	Retain vegetation, flora and fauna values by reducing threatening processes and supporting the natural functions of the reserves.	
Linkages and Ecological Connectivity	Consider the way that reserves are integrated to preserve or enhance ecological connectivity.	
Heritage	Ensure that Aboriginal and European heritage values are considered in management decisions.	
Visual Amenity	Consider the retention or protection of significant viewsheds or scenic vistas.	
Risk Management		
Climate Change	Plan for and adapt to the impacts of climate change on natural reserves by encouraging resilience of natural systems and adaptation to possible impacts.	Sea level rise and increases in storm surge may increase coastal vulnerability and impact on coastal wetlands, estuaries, drainage and groundwater. Reduction of coastal reserve areas may occur. Neighbouring private land may be at risk. Biodiversity may be adversely affected by reduced rainfall, changed seasonality and increased temperatures (e.g. longer heat waves).
Visitor Risk	Consider and assess risk to visitors in reserves and act to manage these risks in a way that does not compromise the reserve's values.	
Fire Management	Take an integrated approach to management of fire risk by considering the environmental and community assets in reserves.	Fire risk management includes consideration of risks associated with campfires, wildfires, arson and prescribed burns. Implementation of strategic firebreaks and the control of access are the most effective ways to address fire risk.
Dieback Management	Determine priorities for dieback assessments to allow for prioritising of on-ground actions including access control.	Identification of protectable areas and vulnerable assets will assist in setting priorities for management actions such as access control and signage.

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Management Issue	Goal for Management	Comment
Rehabilitation	Identify and prioritise areas to rehabilitate based on environmental and community benefit.	Areas that are priorities for rehabilitation include degraded/multiple four wheel drive tracks and sites that have been subject to extraction of sand, gravel or limestone.
Access/Access Control	Control access within reserves (e.g. vehicles, walkers) to protect sensitive environments and reduce user conflict. Allow for emergency and maintenance access.	
User Conflict	Reduce user conflict through consultation, provision of information and delineating activities (e.g. animal exercise areas) addressing access conflict and competing uses).	
Sensitive Resources	Ensure that land uses in reserves (including leased land) do not increase the risk to sensitive resources (e.g. groundwater).	e.g. Public Drinking Water Source Areas (PDWSAs).
Community Interest and Education	Encourage community interest and participation by being responsive and approachable.	Historically, the community has been interested in reserves close to where they live. In addition, people often want to help with issues about which they feel they have some control (e.g. weed management).
Resourcing within City of Albany for Reserve Planning and Management	Allocate adequate human and monetary resources to natural reserve management to ensure sustainable management for environmental and community values.	
Facilities		
Signage	Signs to be standardised, appropriate and not visually intrusive.	Use standard such as: Australian Coastal Safety Guidelines (Surf Lifesaving Australia <i>et al.</i> , 2007), International Organisation for Standardisation (ISO Standards), Australian Standards and the National Aquatic and Recreational Signage Style Manual (Australian Water Safety Council <i>et al.</i> , 2006).
Facilities e.g. car parks, toilets, bins, lookouts, picnic facilities, black water disposal points.	Facilities need to provide essential services and be designed to reduce lifecycle costs. Excessive provision of facilities in City reserves are not encouraged due to the implications for maintenance and renewal costs.	Infrastructure needs to meet Australian Standards, where standards apply.

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Management Issue	Goal for Management	Comment
Walk Tracks and Trails	Trails are managed to retain and enhance enjoyment of natural reserves for all users, while protecting the surrounding environment.	Trails are an integral part of access (recreation and emergency) within reserves. Trails have been constructed according to the Trails Masterplan (Maher Brampton Associates, 1999). The City is now at a stage where maintenance and renewal of existing Trails should be the main focus. Trails include those used for walking, mountain bikes, four wheel drives, horse riders and motorbikes. Trails include the Stidwell Bridle Trail, Mt Clarence Circuit Trail, Mt Melville Circuit Trail and Lake Seppings Walk Trail.
Camping	Existing camping areas (formal and informal) are managed so that they provide a safe and enjoyable experience without causing damage to the surrounding environment.	Allow for formal, informal camping with an appropriate level of facilities provided.
Boat launching	Provide safe and adequate boat launching facilities to cater for recreational and emergency requirements, while ensuring that safety and environmental issues are considered.	
Man modified shorelines (e.g. groynes, rockwalls)	Extensive community consultation and reference to best practice coastal engineering to occur before a shoreline is modified	
Public Open Space	Ensure that reserves acquired by the City are in a condition that ensures they can be sustainably managed in the long term.	Guidance for POS is included in City of Albany Subdivision and Development Guidelines (2009).
Damaging Processes		Liaise with other Directorates in the City to ensure that planning and proposed works are compatible with the goals of this Asset Management Plan
Fire	Undertake fire planning and implementation for firebreaks, emergency fire events, arson mitigation, controlled burns and after fire management strategies (e.g. weed control).	
Drainage and nutrient enrichment	Consider impacts of drainage and eutrophication on reserves from surrounding land uses. Use best practice for water resource management.	
Rubbish dumping and littering	Provide refuse disposal units in high use areas, where appropriate. In other areas, encourage visitors to remove their own rubbish. Remove dumped rubbish as soon as is practicable to reduce impacts.	
Weeds	Implement the actions of the <i>Environmental Weed Strategy for City of Albany Reserves</i> (City of Albany, 2005)	

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Management Issue	Goal for Management	Comment
Erosion	Address the causes of erosion through access control and rehabilitation, where necessary.	
Dieback	Carry out assessments and implement management protocols that minimise the introduction and spread of dieback.	
Extraction of sand, lime and gravel.	Extraction activities in predominantly natural reserves will be carried out to reduce environmental impacts, with plans for rehabilitation and disease minimisation.	
Feral animal control	Implement feral animal control, where appropriate.	The City does not currently have an active feral animal program due to other priority activities.
Vandalism	Minimise the impacts of vandalism and graffiti by reinstating damaged infrastructure as quickly as possible (or consider removal).	

3.4 Management Planning for Reserves

The City is responsible for the development and implementation of management plans for natural reserves. This planning process includes interaction with internal and external stakeholders. A limitation of this process has been that the management planning process is time consuming when reserve planning is done for one reserve at a time. To simplify this process, all natural reserves will be assigned to one of four management plan categories that are likely to have similar issues. As a result, planning for several or many reserves can be carried out at once. Individual considerations for reserves can still occur through the reserve assessment and planning process to ensure that specific management requirements are addressed.

The category classifications are:

- Coastal;
- Watercourse and Foreshore;
- Mounts; and
- Hinterland.

This approach forms the basis for a 'reserve system approach' to planning and management.

To date, the following management plans have been developed:

- Betty's Beach Reserve Management Plan, including Norman's Inlet Camp Site and Walk Trail (City of Albany, 2010);
- City Mounts Management Plan. (City of Albany, 2006);
- Cosy Corner Management Plan (City of Albany, 2008);
- Lowlands Coastal Reserve Management Plan (City of Albany, 2003);
- Nanarup Beach Management Plan (City of Albany, 1999);
- Nullaki Peninsula: Coastal Foreshore and Sand Blowout Management Plan (City of Albany, 1998a); and
- Nullaki Peninsula: Wilson Inlet Foreshore Management Plan (City of Albany, 1998b).
- Woolstores to Frenchmen Bay Foreshore Management Plan (Water & Rivers Commission, 2000).

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Strategic plans have also been prepared, including:

- Environmental Weed Strategy for City of Albany Reserves (City of Albany, 2005);
- Recreation Masterplan (City of Albany, 2003).
- Draft Albany Greenways (ATA Environmental 2002);
- Visitor Safety and Hazard Assessment Geotechnical for Selected Reserves (Kevin Lodge Engineering, 2002); and
- Trails Master Plan (Maher Brampton Associates 1999).

3.5 Service Levels

3.5.1 General Management

To adequately manage natural reserves presents a considerable challenge to Council and the wider community. This makes it very important to systematically manage reserves so that they do not become degraded and continue to provide benefits for the whole community. The overall goal for management of natural reserves is to ensure that issues with the highest priority for sustainable management are undertaken on a priority basis.

3.5.2 Elements in Reserves

Currently the City does not have service levels for elements within natural reserves. Element requirements will be determined when individual reserves are assessed based on environmental priorities and visitation levels.

3.6 Current Service Levels

The City has several proactive initiatives that provide services and community input to natural reserve management. These include:

- Support of the Bushcarers Group and other community groups;
- Representation on the South Coast Management Group;
- Ongoing weed management program;
- Maintenance of trails; and
- Fire break planning and maintenance.

The City investigates and responds to community service requests within 10 working days as per the Customer Service Charter.

3.7 Key Stakeholders and Community Consultation

The management of natural reserves needs the involvement of a wide range of internal and external stakeholders. Key stakeholders for the City natural reserves (Table 4) have been identified and should be consulted as appropriate about reserve management and tenure.

The City will undertake consultation with identified key stakeholders and the wider community to seek feedback on this Asset Management Plan. The Plan will be advertised to seek community input prior to final adoption.

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Table 4: Key Stakeholders and Responsibilities

Key Stakeholders	Responsibility
Internal Stakeholders	
City of Albany Council	Sets vision, service standards and approves budgets.
Asset Management and City Services Policy and Strategy Committee	Review details of the Plan, seek community feedback and provide guidance.
City of Albany Staff- Internal Cross Functional Working Group	Create plans, review asset management operations, provide financial support and monitor performance. Ensure communication between Directorates of Council.
City of Albany – Executive Director of Works and Services	Direct asset management activities and facilitate the implementation of the Plan.
City of Albany – Manager Financial Services	Source funding, facilitate budget approvals.
City of Albany – Manager City Assets	Develop plan, set service standards, coordinate activities, estimate costs and formulate budgets. Monitor and report performance.
City of Albany – Manager City Works	Manage construction, maintenance and renewal activities. Resource, manage and report on inspection and auditing process.
Reserves Officers	Undertake planning, prepare grant applications, liaise with stakeholders, carry out project management or oversee reserve management.
Bushcare Officers	Implement reserve management for selected activities.
External Stakeholders	
Western Australian Asset Management Improvement Programme (WAAMI) Steering Group	Facilitate workshops, review plans and provide commentary and guidance on the effectiveness of the City's Asset Management Plans.
South Coast Natural Resource Management Inc., Coast West, Lotteries Commission, Caring for our Country, Department of Sport and Recreation and other funding bodies	Partner and/or source of funding for actions in natural reserves. Receive funding submissions prepared by Council staff and community groups.
State Government Agencies (e.g. Department of Environment and Conservation, Department of Water, Department of Indigenous Affairs)	State Agencies have an interest in reserve management, either as neighbours or as regulators of statutory or policy matters.
Community Groups (e.g. Progress Associations, Friends of Groups, other groups and individuals)	Provide feedback on management, represent users of reserves, often carry out supporting works in reserves.
Land Developers	Construction and ceding of new reserve assets as part of subdivision conditions in accordance with City of Albany Subdivision and Development Guidelines (2009b).
Albany Heritage Reference Group Aboriginal Corporation Inc. and South West Aboriginal Land and Sea Council	Provide feedback on cultural issues and management.

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4.0 FUTURE DEMAND AND CHANGE

4.1 Demand Forecast

Factors that are likely to influence the future demand in natural reserves are:

- A change in demographics within Albany;
- Population growth in Albany;
- Trends for recreation to occur in an outdoor environment;
- An increase in the number of visitors to Albany; and
- Planning for special events in reserves.

Albany's population at the 2006 Census was 33,144, a growth of 1,578 (4.7%) from the 2002 Census. This represents an annual growth of 1.2% per annum and is tracking between the medium and high scenario outlined in Table 5. If these growth rates continue, the City could have a population of 40,000 people by 2022. This indicates that there will be increased usage of natural reserve assets.

Population demographics by age group are shown in Table 6, which indicates that age groups between 0-4, 5-9, 25-29, 30-34 declined between 2002 and 2006 while age groups 15-19, 35-39, 45-49, 50-54 and older age groups increased.

Table 7 indicates that projected population demographics between 2009 and 2024 is likely to experience a significant decline in the 15-19 year old age bracket, but significant increases in 35-39, 45-49, 50-54 and older age brackets. These statistics indicate that there could be a need to increase services in natural reserves to cater for activities carried out by adults and seniors, many of which are active in old age.

Table 5: Population Projection for the City of Albany. Low, Medium and High Series 1996 to 2016.

Albany	1996 (a)	2001	2006	2011	2016
Low Scenario	28,148	30,000	31,400	32,800	34,000
Medium Scenario	28,148	30,200	32,200	43,300	36,500
High Scenario	28,148	30,700	33,600	37,000	40,000

(a) ABS 1996 Estimated Resident Population

Source: 1996 ABS Estimated Residential Population, 2001-2016 Ministry for Planning October 2000 projections

Table 6: Population Growth in the City of Albany 2002 to 2006 by Age Group.

Albany	2002	2003	2004	2005	2006
Persons - 0 to 4 years	2 022	1 977	1 959	1 956	2 016
Persons - 5 years to 9 years	2 326	2 317	2 293	2 291	2 252
Persons - 10 years to 14 years	2 522	2 506	2 537	2 549	2 511
Persons - 15 years to 19 years	2 341	2 382	2 392	2 461	2 521
Persons - 20 years to 24 years	1 609	1 617	1 611	1 613	1 668
Persons - 25 years to 29 years	1 722	1 705	1 704	1 674	1 658
Persons - 30 years to 34 years	2 032	2 008	1 988	2 007	1 950
Persons - 35 years to 39 years	2 197	2 180	2 198	2 204	2 223
Persons - 40 years to 44 years	2 494	2 550	2 493	2 521	2 427
Persons - 45 years to 49 years	2 239	2 296	2 405	2 480	2 548
Persons - 50 years to 54 years	2 119	2 185	2 230	2 283	2 330
Persons - 55 years to 59 years	1 761	1 802	1 872	2 005	2 130

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Persons - 60 years to 64 years	1 536	1 588	1 617	1 673	1 698
Persons - 65 years to 69 years	1 331	1 392	1 464	1 495	1 487
Persons - 70 years to 74 years	1 211	1 228	1 244	1 274	1 285
Albany	2002	2003	2004	2005	2006
Persons - 75 years to 79 years	954	974	1 011	1 054	1 087
Persons - 80 years to 84 years	648	693	741	792	794
Persons - 85 years and over	502	516	519	531	559
Persons – Total	31 566	31 916	32 278	32 863	33 144

Source: Australian Bureau of Statistics (2008). National Regional Profile, Albany 2002 to 2006

Table 7: Projected Age Demographics for the Great Southern Region 2009 – 2024

Persons by Age Groups	Predicted for 2009	Predicted for 2024	%
0 to 4	3500	3600	2.86%
5 to 9	3500	3700	5.70%
10 to 14	3800	3700	-2.65%
15 to 19	3700	3000	-18.92%
20 to 24	3500	2800	8.58%
25 to 29	3300	3400	3.03%
30 to 34	3100	4300	6.46%
35 to 39	3600	4500	30.55%
40 to 44	3800	4100	7.90%
45 to 49	4100	3500	14.00%
50 to 54	4100	3700	14.63%
55 to 59	3800	3800	0.00%
60 to 64	3400	4200	23.50%
65 to 69	2800	4100	46.45%
70 to 74	2300	3600	56.53%
75 to 79	1700	2900	70.60%
80 to 84	1200	2000	66.67%
85 plus	1000	1800	80.00%
Total	56200	62700	

Source: Australian Bureau of Statistics (2008).

4.2 Technology Changes

The City currently has the ability to record, view and manage its assets through the use of an Arc GIS database. Technology changes are forecast to have little effect on the delivery of services covered by this plan.

4.3 Demand Management Plan

Demand for new services will be managed through a combination of managing existing assets, upgrading of existing assets and providing new assets to meet demand and demand management. Demand management practices include non-asset solutions, insuring against risks and managing failures.

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4.4 New Assets From Growth (Gifted)

When land is subdivided to create new residential areas, Public Open Space (POS) is often ceded to the City as Crown Land. The City receives the management orders subject to much of the infrastructure and elements in the new reserve being established by the developer. The City sets the standard for the asset and acceptance is conditional as stated in the subdivision guidelines. POS may be established for a number of purposes, including active open space (parks) or natural areas (bushland, wetlands, foreshore). Natural areas are generally managed for conservation and passive recreation purposes. Acquiring these assets adds to the ongoing operations and maintenance costs for Council. In addition, capital upgrades may be required, depending on demand.

5.0 CRITERIA FOR PRIORITISING NATURAL RESERVE MANAGEMENT

The City will apply criteria, scoring and weighting values for existing and planned elements and activities in reserves for the following:

- Environmental Values;
- Social and Cultural Values; and
- Economic Values.

The criteria have been chosen to:

- allow prioritisation of the expenditure program by using weighted criteria;
- allow consideration of asset management principles, protection of the environment and benefit to the community; and
- allow consideration of related strategic studies and operational plans.

Reserves are complex assets, so planning, community engagement, systematic implementation and maintenance is the key to managing reserves sustainably.

Weighting factors are applied to the different criteria used to prioritise management implementation in natural reserves. The weighting allows certain criteria to rank more highly where they are considered to be more important. Weighting factors are outlined in Table 8.

Table 8: Priority Criteria and Weighting Factors

Priority Criteria	Weighting Factor	Criteria Description
Environmental Values	40%	Condition assessment of environmental values
Social and Cultural Values	30%	Condition assessment of heritage values, visitation levels and community support
Economic Values	30%	Condition assessment of existing infrastructure, management levels and industry
Total	100%	

5.1 Environmental Values (Weighting Factor 40%)

It is necessary to ascertain environmental values so that areas of importance can be protected through appropriate management. Each reserve will be assessed for its environmental value based on the criteria indicated in Table 9.

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Table 9: Environmental Value Criteria and Score

Environmental Values	Criteria	Score
Priority 1	Presence of any one of the following: <ul style="list-style-type: none"> • Declared Rare Flora (DRF) or Priority Flora or Threatened Ecological Community (TEC) or Priority Ecological Community (PEC) or Threatened Fauna • Vegetation in 'Very Good to Excellent' condition (Kaesehagen, 1995) • Well connected to other vegetated Reserves • Dieback 'protectable areas' present • Public Drinking Water Source Area (PDWSA) • Conservation category wetlands or significant water courses • Large area* • Low boundary to area ratio* 	8-10
Environmental Values	Criteria	Score
Priority 2	Presence of one of the following: <ul style="list-style-type: none"> • Vegetation in 'Fair to Good' condition (Kaesehagen, 1995) • Moderate connectivity values • Medium to large area* • Low to moderate boundary to area ratio* 	6-7
Priority 3	Presence of one of the following: <ul style="list-style-type: none"> • Vegetation in 'Poor' condition (Kaesehagen, 1995) • Moderate to poor connection values • Small to medium area* • Moderate to high boundary to area ratio* 	3-5
Priority 4	Presence of one of the following: <ul style="list-style-type: none"> • Vegetation in 'Very Poor' condition (Kaesehagen, 1995) • Low connectivity values • Small area* • High boundary to area ratio* 	0-2

*More precise parameters of these criteria will be ascertained during the reserve assessment stage.

5.2 Social and Cultural Values (Weighting Factor 30%)

Consideration of the social aspects of reserves including demographics and population growth are increasingly important considerations if reserve infrastructure is to cope with levels of visitation and still deliver a quality experience to the community and protect the values of the reserve.

Three aspects of social benefit have been considered in this section, including Aboriginal and European heritage, visitation levels and community support. Each aspect is scored for each reserve based on Tables 10, 11 and 12.

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5.2.1 Heritage Value

The presence of Aboriginal or European heritage features (i.e. present on Register of Aboriginal Sites or Heritage Council of WA Register) indicates that a higher level of management may be required, which can be reflected in presence or absence scoring (Table 10).

Table 10: Heritage Value Criteria and Score

Heritage Value (Aboriginal and European)	Criteria	Score
High	Registered Aboriginal or European sites	7-10
Medium	Unregistered Sites	4-6
Low	No known sites	0-3

5.2.2 Visitation Level

Natural reserves are subject to high variation in visitor numbers. Some reserves have many thousands of visitors in a year, while others may only have hundreds or even less. Many reserves are subject to markedly different visitation due to season influences (e.g. visiting the beach in summer). There is currently not a cost effective way to accurately measure demand or visitation in reserves. However, the City Reserves Officers have a good working knowledge of general trends for visitor demand. The criterion for demand has been kept relatively simple and is described in Table 11.

The future demand of a natural reserve has been inferred from population growth and demographics discussed in Section 4. It is presumed that with population growth, there will be a general and gradual increase in demand for use and facilities in natural reserves into the future.

Table 11: Visitation Level Criteria and Score

Visitation level	Criteria	Score
High	>10,000 people visiting per year	9-10
Medium	1,000 to 9,999 people visiting per year	6-8
Low	100 – 999 people visiting per year	3-5
Negligible	<99 people visiting per year	0-2

5.2.3 Community Support

Support from the community in terms of reserve management is a valid indicator of effort spent in reserves and often means that investment by the City is significantly magnified. Reserves where community groups are actively involved should be given a higher score for future management effort compared to reserves where there is no community support or input. The criteria and scores for community support are shown in Table 12.

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Table 12: Community Support Criteria and Score

Community Support	Criteria	Score
High	Current active involvement by community groups and individuals	7-10
Medium	Limited known involvement of community groups and individuals	4-6
Low	No known involvement of community groups and individuals	0-3

5.3 Economic Benefit (Weighting Factor 30%)

The economic value of natural reserves has been determined using three different set of criteria including presence of infrastructure, level of site management and presence of a PDWSA.

5.3.1 Community Support

The first set of criteria for determining economic benefit (Table 13) is based on the current amount and type of infrastructure within a reserve, as this is a direct indication of the City's previous investment in a reserve. The amount and type of infrastructure varies greatly between natural reserves, with some reserves having a large amount of infrastructure of various types (e.g. firebreaks, camp grounds, toilets, bins, barbeques, tables, bench seats). At the other extreme, some natural reserves have no infrastructure.

Gaps in infrastructure needs are not reflected here, but will be identified when each individual reserve is assessed during 20010/11 and 2011/12.

Table 13. Infrastructure Criteria and Score

Infrastructure	Criteria	Score
High	Significant infrastructure	8-10
Medium	Low plus limited other infrastructure	5-7
Low	Gates, firebreaks, signs only	2-4
None	No infrastructure	1

5.3.2 Site Management

The second set of criteria (Table 14) used to determine the economic value of a reserve is based on the number of days a year that the City spends within the reserve undertaking maintenance and other works (e.g. weeds control and bush rehabilitation). This criteria indicates the City's current annual investment in a reserve.

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Table 14. Site Management Criteria and Score

Site Management	Criteria	Score
High	More than 10 days a year	8-10
Medium	1-9 days a year	5-7
Low	Negligible (less than 1 day)	2-4
None	None	1

5.3.3 Public Drinking Water Source Area (PDWSA)

The third set of criteria for assessing the economic value of a reserve is based on whether the reserve is located within a PDWSA. A PDWSA is a collective description for Water Reserves, Catchment Areas and Underground Water Pollution Control Areas declared (gazetted) under the provisions of the *Metropolitan Water Supply, Sewerage and Drainage Act 1909* or the *Country Area Supply Act 1947*. This criteria reflects the importance of a reserve for the future economy and health of the community.

Table 15. Public Drinking Water Source Area (PDWSA) Criteria and Score

PDWSA	Criteria	Score
Yes	Within a PDWSA	10
No	Outside of a PDWSA	1

5.4 Calculation of Overall Priority Ranking and Flowchart

This section shows how the overall priority ranking for activities in reserves is calculated, based on criteria and scores in Section 5.

Environmental Values x Weighting Factor 40%

Priority 1 = 8-10, Priority 2 = 6-7, Priority 3 = 3-5, Priority 4 = 0-2

Plus

Social and Cultural Values x Weighting Factor 30%

Heritage Score: Registered sites = 7-10, Unregistered sites = 4-6, No known sites = 0-3

Visitation Score: High = 9-10, Medium = 6-8, Low = 3-5, Negligible = 0-2

Community Support Score: High = 7-10, Medium = 4-6, Low = 0-3

Plus

Economic Values x Weighting Factor 30%

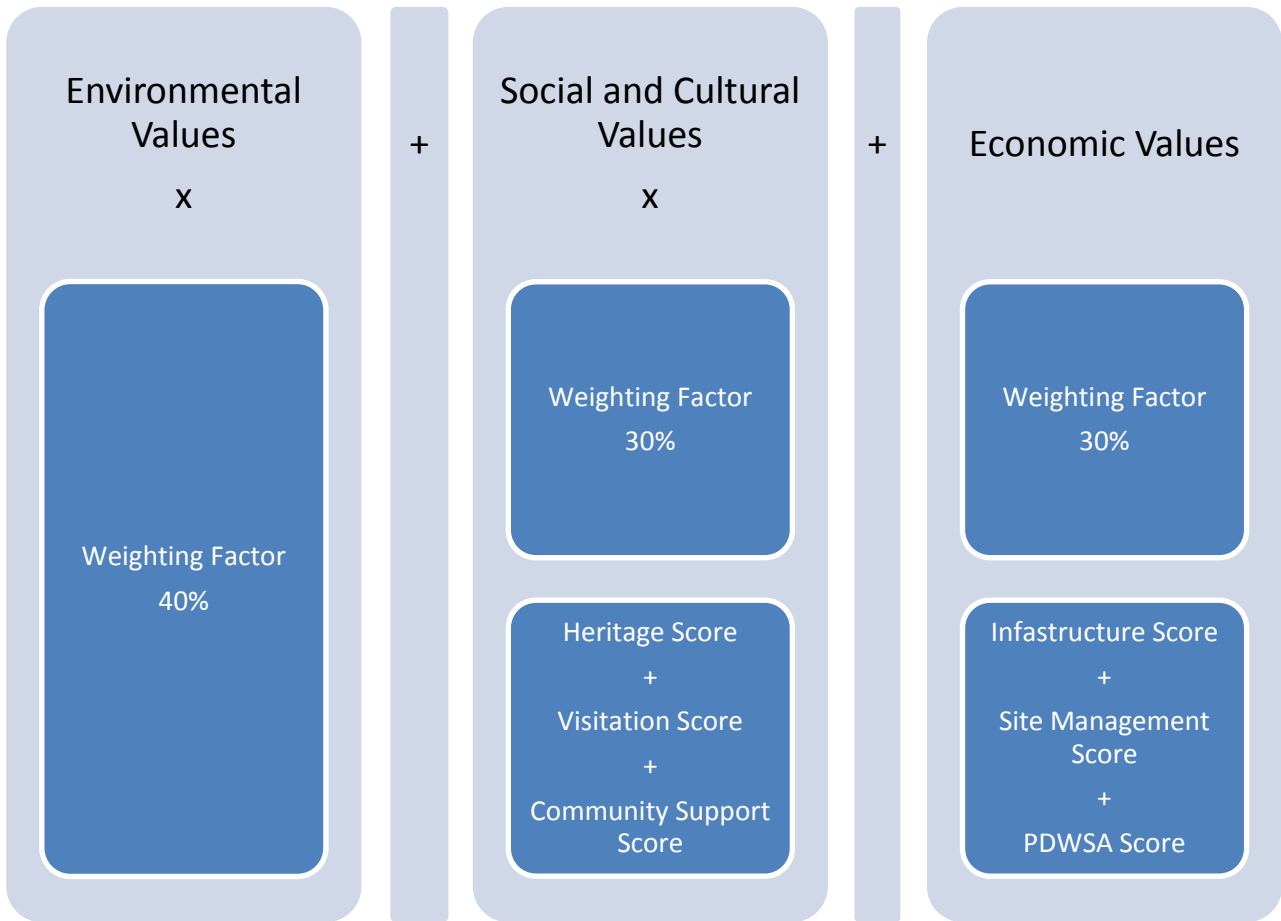
Infrastructure Score: High = 8-10, Medium = 5-7, Low = 2-4, None = 1

Site Management Score: High = 8-10, Medium = 5-7, Low = 2-4, None = 1

PDWSA Score: Within PDWSA = 10, Outside PDWSA = 1

The following flow chart shows how the overall ranking for activities in natural reserves is calculated.

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5.5 Gap Analysis

The criteria for gap analysis allows for prioritisation where elements are lacking, management issues need to be addressed or a proposed renewal or upgrade element is being considered. The gap for reserves in this case is directly linked to the overall ranking score for each reserve at the time of assessment.

5.6 Carbon Rights – Carbon Rights Act 2003

A carbon right is a new and unique form of land interest that confers upon the holder a right to the benefit of carbon sequestration on a piece of vegetated land. Carbon sequestration refers to the absorption from the atmosphere of carbon dioxide by vegetation and soils and the storage of carbon in vegetation and soils. The *Carbon Rights Act 2003* has been introduced in WA, seeking to separate the benefit of carbon sequestration from the natural rights flowing from land ownership. The fragmentation of land ownership in this way is a constituent of broader climate change strategies and is particularly important for an Australian emissions trading scheme where carbon rights will acquire value as tradable offsets.

Carbon rights provide a potential new source of income, or a way of offsetting carbon emissions for owners of land on which vegetation or soils accumulate carbon from the atmosphere. Carbon rights may have a financial value where a market exists for greenhouse gas emission offsets.

There is the potential for the City to investigate the benefits of entering into covenants relating to carbon sequestration on natural reserves. This will be done in subsequent reviews of this Asset Management Plan.

6.0 STRATEGIC APPROACH TO MANAGEMENT ISSUES

An analysis of the most pressing management issues in natural reserves indicates that some issues require specialised attention to facilitate the effective management of reserve assets. The main issues that require immediate attention include:

- Visitor risk assessment and management; and
- Standardisation of elements in reserves through the preparation of a Reserves Design Manual.

6.1 Visitor Risk Assessment and Management

In accordance with the *Occupiers Liability Act 1985*, the City is obliged to show a duty of care to visitors of land under its management. Reserves will be assessed for the need to provide maintenance, upgrades or new works based on the benefit that will be gained in terms of safety improvement. In addition, new proposals will be assessed in terms of the safety issues they may introduce, so that they are adequately planned and managed. The following information has been adapted from The City of Albany Road Asset Management Plan (City of Albany, 2010). Table 16 summarises and describes the likelihood of risk events with indicative time frames as descriptors. Table 17 lists the likely consequences of risk factors which range from relatively insignificant damage or injury, up to irreversible damage and death. Table 18 lists the different levels of risk and appropriate management action responses. Table 19 illustrates a risk indicator matrix which allows managers to calculate the appropriate action when likelihood and consequence are taken into account.

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Table 16. Likelihood of Risk and Probability of Occurrence

Likelihood of Event	Description	Probability of Occurrence
Rare	May occur in exceptional circumstances	>20 years
Unlikely	Could occur at some time	Within 10 – 20 years
Possible	Might occur at some point	Within 3 – 5 years
Likely	Will more than likely occur	Within 2 years
Almost certain	Expected to occur in most circumstances	Within 1 year

Table 17. Consequences of Risk

Consequences	Description
Insignificant	No injuries or minimal damage, low financial cost (>\$10,000)
Minor	Minor damage, first aid required
Moderate	Moderate damage, medical treatment required
Major	Extensive damage, hospitalisation required (significant costs)
Catastrophic	Irreversible damage, death, huge financial cost.

Table 18. Risk Rating and Action Required

Risk Rating	Action Required	Score	
VH	Very High	Immediate corrective action	10
H	High	Prioritised action required	7
M	Medium	Planned action required	5
L	Low Risk	Managed by routine processes	1

The risk indicator matrix (Table 19) is used to assist in the prioritisation of portions of a work program which do not include programmed maintenance. Prioritising for risk factors may vary from immediate and urgent works to forward planning for low risk, low likelihood events. Risk factors in natural reserves that are assessed as very high (VH) will require immediate attention. This may result in parts of a reserve being closed or limited in its function.

Table 19. Risk Indicator Matrix

Risk Rating					
Likelihood	Consequences				
	Insignificant	Minor	Moderate	Major	Catastrophic
Rare	L	L	M	M	H
Unlikely	L	L	M	M	H
Possible	L	M	H	H	H
Likely	M	M	H	H	VH
Almost certain	M	H	H	VH	VH

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Potential hazards in natural reserves are wide ranging, but often easily managed in terms of a risk management approach. In this section, attention is given to potential risks to visitors. However, it should be noted that hazards to the environment can also be considered (i.e. threatening processes). Some of the potential safety risks in natural reserves have been listed in Table 20.

The City has a duty of care to the community to reduce the potential for injury within a reserve. Throughout Australia there has been an increase in the number of incidents and liability payouts. The reasons for this include:

- Increasing visitation, increasing public mobility and large size of reserve areas;
- Increasing potential for claims due to heightened public awareness;
- Increasing prevalence of claims involving serious injury (e.g. quadriplegia and paraplegia) coupled with the substantial initial and continuing costs and expenses involved in funding such cases;
- Considerable emphasis is placed on the statutory responsibilities of land managers for care, control and management of public lands and there is an increasing trend towards litigation as a whole; and
- Ongoing expectation to provide some recreational experiences with elements of challenge and risk and a low level of management control.

Effective visitor risk management practices play an important role in the management of reserves. Many forms of outdoor recreation in reserves have inherent risks associated with them. For many recreational activities risk and challenge are integral components.

Visitor risk management requires the identification of safety elements, estimating their potential effect (e.g. catastrophic, minor) and then defining the potential risks in terms of frequency, severity and variability. For example, if a safety element is likely to result in death of people and is likely to occur frequently in a high use area, action to mitigate should be urgent and comprehensive. However, if the risk may cause minor injury, occurs infrequently in a area of low use, then mitigation may require little or no action.

It is recommended that the City undertake visitor risk assessments and implement visitor risk plans for major natural reserves, especially those that have a high visitation. Visitor risk assessment involves assessment, developing policies, implementing procedures and actions and monitoring outcomes.

Risk management entails:

- Risk identification,
- Risk analysis,
- Risk evaluation,
- Risk treatment, and;
- Risk monitoring, review and reporting.

A Benchmarking and Best Practice Program was established through the ANZECC Standing Committee on Conservation in 1994, and coordinated by the ANZECC Working Group on National Parks and Protected Areas Management. This Program comprises a series of Best Practice projects which aim to assist in sharing knowledge and information to improve practices and processes for a range of responsibilities undertaken by land management agencies. It is recommended that the City follow the benchmarking process to determine best practice for visitor risk management (CALM, 1998). *ANZECC Benchmarking and Best Practice Program- Visitor Risk Management and Public Liability* (CALM, 1998) outlines the steps to be taken to achieve the best practice framework of visitor risk management in outdoor environments. It also provides an example of a visitor risk management policy and guidelines which have been endorsed by ANZECC for use across Australia.

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The Department of Environment and Conservation has developed a set of visitor risk management forms that are held by the City (DEC, 2006). These forms can be used in the assessment of visitor risk issues.

Table 20: Typical Hazards in Reserves

Hazards to humans		
Tripping hazards	Mosquitoes	Dunes (e.g. sand may slump)
Cliffs (e.g. unstable limestone or granite boulders)	Water (ocean, river, pond, dam etc)	Fire
Falling tree branches	Activities such as four wheel driving, motor bikes, jet skis, surf kites, para-gliding, horse riding.	
Hazards to the Environment (Threatening processes)		
Erosion	Fire	Fragmentation
Dieback and other diseases	Feral animals	Weeds
Eutrophication	Salinisation	Acidification

6.2 Standardisation of Elements in Natural Reserve

Reserve assessments to date have revealed that there is little or no standardisation for elements or infrastructure incorporated into reserves. This has led to inconsistent use of materials and treatments across the reserve network. It is recommended that the existing City of Albany Draft Reserve Design Manual (2003) be reviewed to allow for a standard approach to elements that are installed in reserves. This will create a more uniform, high standard across all reserves and ensure that Council Officers are given adequate guidance for construction standards, sign design and furniture types. In addition, it is desirable to create a 'brand' so that the community will associate a particular (high) standard to the City. There may also be some efficiency for bulk purchase of standard materials.

Other more specific objectives of the Reserve Design Manual are outlined below.

- To provide a coherent identity for City of Albany reserves;
- To be sensitive to and enhance the appreciation of Albany's unique cultural and natural heritage reserves;
- To provide details to be used in design specifications e.g. car park treatments such as layouts, wheel stops, bollard barriers, post and rail, curbs etc;
- To promote the creation of user friendly environments, while also fitting in with the natural features of the site;
- To recognise opportunities and constraints to setting standards that are safe, cost effective, durable, attractive and meet Australian Standards and Building Code;
- Where possible, preference will be given to locally available products;
- To allow access for people with disabilities; and
- To produce a digital and paper manual that is easily used and updated, that will allow for cost estimates to be generated.

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7.0 LIFECYCLE MANAGEMENT

7.1 Lifecycle and Standards

Reserves

Reserves are usually managed by the City for the long-term. However, under some circumstances, the management order of a reserve may be relinquished if the City does not have the resources or expertise to manage the reserve.

Elements

The consideration of the lifespan of elements in reserves allows Council to manage and operate natural reserves at the defined service levels, while optimising lifecycle costs. Many factors other than age may contribute to the decline in the useful life of elements in reserves. These include level of visitor use, climatic conditions and vandalism. It is desirable to extend the lifespan of elements for as long as possible through consistent annual audits, followed up by maintenance or renewal processes. Appendix D shows an indicative lifespan of some elements in natural reserves. Regular audits will be used to estimate or determine the remaining useful life of an element.

Elements in reserves are generally provided to meet design standards where these are available. This Plan recommends the review of the City of Albany Draft Reserve Design Manual (2003) to guide the standardisation of elements in reserves.

7.2 Condition

Reserves

The existing condition of natural reserves ranges from excellent condition to poor condition. However, areas in poor condition are usually localised and the result of a damaging process. Condition can be highly variable within natural reserves.

Elements

Elements within reserves can only function adequately if they are maintained in a serviceable condition. Some elements within reserves are in poor or unserviceable condition due to vandalism, damage, age or poor design. An audit of each reserve is required to determine the condition of various elements (e.g. bollards, gates, furniture, steps, boardwalks, signs) so that a schedule of maintenance, renewal or capital upgrade can be developed and implemented.

7.3 Asset Valuations

The City's natural reserves and elements within them have not systematically been assigned values. An update of the reserves database should allow for the following to be calculated:

- Presence and condition of current elements;
- Current replacement cost of elements;
- Depreciable amounts;
- Depreciated replacement costs; and
- Annual depreciation expenses.

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7.4 Maintenance of Elements

Maintenance is the regular and ongoing work that is necessary to keep assets operating, including instances where elements of the asset fail and need repair to meet the service delivery standards. Maintenance includes reactive, planned and cyclic activities.

Reactive maintenance is unplanned works carried out in response to service requests and/or officer directives. For example, this may happen after a storm, when damage occurs.

Planned maintenance is when preventative works are undertaken according to a fixed or seasonal plan (e.g. repair of broken post and rail fences, removal of rubbish). Cyclic maintenance is replacement of higher value components of elements that is undertaken on a regular cycle (e.g. grading of gravel car parks, painting, building repairs and weed management). These works generally fall below the capital and upgrade threshold.

When scoring a natural reserve, maintenance levels are considered to be either adequate or inadequate to meet required service levels. Future revisions of this Plan will include linking required maintenance expenditure to required service levels.

It is considered that maintenance is one of the most important of Council's activities in natural reserves and should generally take priority over the installation of new elements.

Maintenance is funded from the Council's operating budget. Grant funding is rarely available for maintenance activities.

7.4.1 Standards and Specifications

The City undertook an audit of its reserves in 2004. It is recommended that regular assessments of reserves be used to audit the maintenance needs of infrastructure. This could be done by establishing an audit calendar for maintenance checks and subsequently for implementation. The Reserve Assessment Sheet in Appendix B will form the basis of an element audit checklist. Audits should be carried out by personnel who are experienced or hold qualifications in the audit area of interest.

7.4.2 Summary of Future Maintenance Expenditures

It is recommended that assessment of maintenance needs be carried out and an expenditure program for maintenance be developed.

7.5 Renewal and Replacement of Elements

Renewal expenditure comprises significant works which do not increase the value of an asset, but restores, rehabilitates, replaces or renews an existing asset to its original standard. Work over and above restoring an asset to original service potential is considered to be an upgrade or new work.

Elements requiring renewal are identified from reserve assessments where an existing element is clearly not operating at required standards (e.g. septic or drop toilets with insufficient separation from sensitive areas or that is in very poor condition). Alternatively, where the age of an element is known, an assessment can be made of its likely remaining life (refer to Appendix D for expected life of elements).

When renewal or replacement is deferred (i.e. assets which have been identified for renewal but have not been placed in the first five years of the Asset Management Program) then risks associated with this should be identified and recorded. Where risks are deemed to be unacceptably high, interim action should be initiated, or the priority of the renewal increased.

Renewal and replacement activities are to be funded from the Council's capital works program and grants sought.

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7.5.1 Standards and Specifications

It is recommended that the Draft City of Albany Reserves Design Manual (2003) be reviewed and finalised to provide consistent guidance for element standards and specifications in natural reserves. In addition, the South Coast Management Group has prepared a Coastal Management Specification Manual (Green Skills, 2010) to guide the construction of coastal management infrastructure.

7.5.2 Summary of Future Renewal Expenditure

Renewal projects are included in the initial 5 year Works Program (Appendix A). It is recommended that further assessment of renewal needs be carried out as part of the reserve assessment process and review of the expenditure program for renewal be carried out annually. Costs have been calculated using 2010 dollar values. Renewal of elements is to be funded from Council's capital works program and grants.

7.6 Upgrades or New Elements

Creation, acquisition and upgrades add new elements within natural reserves that did not previously exist, or improve an existing element beyond current capacity. Often this is necessitated because of increased demand or other environmental or social needs. POS is often ceded to Council by land developers in the creation of residential areas.

Products and methodologies chosen for upgrades should consider the lifetime cost of the element, which means that sometimes the least expensive product or methodology may not be the most cost efficient over its life.

7.6.1 Selection Criteria

The need for new elements in natural reserves is identified through the following processes:

- Individual assessment of natural reserves;
- Comparison of existing infrastructure in reserves versus service standards for elements in natural reserves;
- Preparation of management plans and other strategic documents or planning processes;
- Use of criteria, scores and weightings presented in this plan; and
- Liaison with stakeholders.

Proposals for new elements must be carefully considered to ensure that they fulfil a real and urgent need, if they are not to become a long term management burden for Council and the community. It is recommended that maintenance, replacement and renewal are given priority over the creation of new elements (except where there are special circumstances such as unacceptable risk, or a beneficial funding opportunity becomes available).

7.6.2 Standards and Specifications

It is recommended that the Draft City of Albany Reserves Design Manual (2003) be reviewed and finalised to provide consistent guidance for element standards and specifications in natural reserves. In addition, the South Coast Management Group has prepared a Coastal Management Specification Manual (Green Skills, 2010) to guide the construction of coastal management infrastructure.

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7.6.3 Summary of Future Upgrade and New Asset Expenditure

Upgrade projects and new elements are included in the initial 5 year budget requirements (Appendix A). It is recommended that further consideration of the need for new elements be carried out as part of the reserve assessment process. Review of the expenditure program for new elements will be carried out annually. Costs have been calculated using 2010 dollar values. New elements are to be funded from Council's capital works program and grants.

8.0 FINANCIAL SUMMARY

It is difficult to place a dollar value on the reserves themselves so values have only been applied to the element and infrastructure components of the reserves.

This section outlines the financial requirements to fulfil the program outlined throughout this document. Initially, the program covers natural reserves which have already had management plans completed. It is expected that annual reviews will include an increasing number of reserves as assessment and preparation of management plans continue. In addition, fine tuning for desired levels of service, priorities and gaps will occur on an annual basis.

8.1 Financial Management

Financial management of the City reserves network requires the recognition of all costs associated with asset ownership, including creation, acquisition, maintenance, renewal, depreciation and disposal. This life cycle approach to accounting for assets needs to be recorded at an element group level (e.g. signs, toilets, furniture, car parks) so the costs of managing and maintaining elements are known and understood. This data can be used to determine the future liabilities of the organisation relating to element rehabilitation or replacement.

In dealing with the economics of asset ownership, life cycle cost reduction opportunities must be understood and evaluated. Elements in reserves typically go through five major stages in their life that provide cost reduction opportunities: planning/design, construction/acquisition, maintenance, renewal and upgrade. A sample of the predicted life spans of different reserve elements is included in Appendix D.

Emphasis should be placed on an economic analysis of life cycle costs to include optimised maintenance and replacement options.

8.2 Expenditure in Reserves

Over the past three years, expenditure for City managed reserves has primarily been broken down into four categories:

Table 21: Previous Expenditure for City Reserves

	2007/08	2008/09	2009/10
Weed Strategy	\$117,500.00	\$150,000.00	\$153,000.00
Reserves Planning	\$40,000.00	\$25,000.00	\$45,000.00
Reserves Maintenance (developed and natural)	\$60,000.00	\$73,000.00	\$63,000.00
Fire Breaks on Council Land	\$60,000.00	\$60,000.00	\$60,000.00
Special Reserve Projects			\$130,000.00

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Within the financial planning process, this plan uses two indicators of cost to maintain the City's reserve infrastructure.

- Life cycle cost – being the average cost over the life of the asset; and
- The total maintenance and capital renewal cost.

Funding for maintenance renewal and creation of reserve infrastructure is principally provided by the City capital works programme and individually identified projects. Supplementary funding is sourced through South Coast Natural Resource Management Inc., Coastwest and Lotterywest. Green Corps provides labour for certain projects carried out by the Bush Care team.

Costs for individual projects are assessed as projects are identified and priorities are set through the scoring process outlined in Section 5. Expenditure may be determined through preparation of management plans, landscape design, surveys and planning for implementation. Expenditure in reserves generally falls into one of the five categories shown in Table 22.

Table 22: Expenditure Types in Reserves

Expenditure Type	Description
New	Works to create a new asset, or to upgrade or improve an existing asset beyond its original capacity or performance, in response to changes in usage, customer expectations or anticipated future need (i.e. construction of new car parks, toilet, signs or steps etc).
Operational	Activities which have no effect on asset condition but are necessary to keep the asset utilised appropriately (i.e. power costs, overhead costs, rubbish collection, etc.).
Maintenance	The ongoing day-to-day work required to keep assets operating at required service levels (i.e. repairs and minor replacements). Planned maintenance includes: Cleaning of drains, removing litter, controlling weeds, repairing paths, trails, furniture, signs and cleaning barbeques and toilets. Unplanned maintenance includes: Corrective maintenance, flood damage, wind and storm damage, repairing vandalism.
Renewal	Significant work that restores or replaces an existing asset towards its original or optimal size, condition or capacity (i.e. existing trail upgrade, replacement of existing signs, repairs of steps etc).
Disposal	Any costs associated with the disposal of an asset, e.g. revocation of management order by State Land Services. This category also covers removal of elements that are not longer required.

A value management approach will be adopted to achieve solutions by:

- Identifying unnecessary expenditure, or a service standard that may not be appropriate in a given reserve;
- Generating alternative ideas;
- Promoting innovation;
- Optimising resources by packaging appropriate scale of works, saving time, money and energy, and encourages competition; and
- Simplifying methods and procedures.

Reviewing and updating standards, criteria and objectives will occur every year as part of the reserve assessment and budget preparation process.

Unit costs for elements in natural reserves have been estimated (Appendix D). Some elements will have different costs due to the unique requirements of individual reserves.

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8.3 Financial Statements and Projections

Financial projections for the Asset Management Program Reserves (Natural) are shown in Appendix A.

8.3.1 Sustainability of Service Delivery

The purpose of this Plan is to identify levels of service that the community expects at a level of expense that can be afforded in the long term (e.g. 5 year initial time frame with a 15 year outlook). There is a balance that needs to be established between the ideal service standards, values of natural reserves that need to be preserved and the long term financial viability of reserve management. To achieve a sustainable program, this Plan identifies the estimated capital expenditure required to meet the desired level of service. It is likely that more emphasis will need to be placed on maintenance, renewal and replacement, than creation of new elements and upgrades. Acquisition must also be carefully monitored (e.g. ceding of POS and elements to Council by developers) to ensure that the wider community receives good value and enjoyment of reserve assets in the long term.

Allowing gaps in the elements/services provided in natural reserves should be considered as an option where the outcome will not increase risk to visitors, the environment or social values.

8.4 Funding Strategy

Projected expenditure is to be funded from Council's operating budget (for maintenance) and capital budget (for renewal, replacement, upgrades and new elements) as outlined in Council's Five Year Financial Plan (Appendix A).

8.5 Valuation Forecasts

Not all elements within all natural reserves have been assigned values as yet. The value of elements in reserves is likely to increase as additional elements are added to the reserves (both by Council, lessees and land developers). As the reserves are assessed and an update of the reserves database is undertaken, a clearer picture will emerge of the actual value of elements and should allow for the following to be calculated:

- Presence and condition of current elements;
- Current replacement cost of elements;
- Depreciable amounts;
- Depreciated replacement costs; and
- Annual depreciation expenses.

9.0 ASSET MANAGEMENT PROCESSES, PERFORMANCE, MONITORING, RECOMMENDATIONS AND PLAN IMPROVEMENT

9.1 Information Flow Requirements and Processes

The key information required to inform the Asset Management Plan process includes:

- Assessment of natural reserves using the Reserve Assessment Sheet in Appendix B;
- Storage of information for natural reserves in an Asset Database;
- Costs for elements in natural reserves (Appendix D);
- Consideration of issues that affect natural reserves (Section 3);
- Criteria used for calculation of priorities for management (Sections 5); and

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- Coordination between City Directorates where there are shared or overlapping responsibilities for actions and integration.

9.2 Standards and Guidelines

This Asset Management Plan is guided by the City Asset Management Improvement Strategy (2009) which incorporates WAAMI program principles.

Development of standards and guidelines to guide natural reserve management within the City would benefit the efficient management of these Council assets.

9.3 Performance Measures

The performance of this Asset Management Plan will be measured by:

- The degree with which the requested funds are made available to the program via the budgeting process (measured by number of projects funded and amount of funding allocated); and
- The degree to which the identified priorities for implementation in natural reserves are achieved on an annual, 5 year and 15 year basis (measured by number of projects funded compared to recommendations in management plans).

9.4 Monitoring and Review Procedures

This Asset Management Plan will be reviewed during the annual budget preparation period and finetuned to incorporate any necessary changes in service levels and/or resources available to provide those services as a result of the budget decision process. A major review of the plan will be undertaken once the reserve assessments and category management plans are completed in 2012/2013.

9.5 Recommendations

Recommendations for the implementation and review of the Asset Management Plan Reserves (Natural) are shown in Table 23.

Table 23: Recommendations for the Implementation, Plan Improvement and Review of the Asset Management Plan for Reserves (Natural)

Actions	Timeframe	Responsibility and Resources Required
Assign natural reserves to one of four categories for preparation of management plans.	2009/2010	City Assets
Carry out Visitor Risk Assessment Project.	2009/2010	City Assets
Establish database for storage of information and calculation of priorities. Information to be included is summarised in Appendix B.	2010/2011	City Assets
Assess first year components against actual costs and update cost estimates	2010/2011	City Assets
Assess natural reserves to determine elements, condition and physical features (based on reserve assessment sheet, Appendix B).	2011/2012	City Assets
Develop a reserve maintenance plan for all natural reserves	2011/2012	City Assets
Prepare the four category management plans.	2011/2012	City Assets
Carry out asset mapping and condition assessments on all natural reserves	ongoing	City Assets

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11.0 GLOSSARY

Annual service cost (ASC)

An estimate of the cost that would be tendered, per annum, if tenders were called for the supply of a service to performance specification for a fixed term. The Annual Service Cost includes operating, maintenance, depreciation, finance / opportunity and disposal costs, less revenue.

Asset class

Grouping of assets of similar nature and use in an entity's operations (AASB 166.37).

Asset condition assessment

The process of continuous or periodic inspection, assessment, measurement and interpretation of the resultant data to indicate the condition of a specific asset so as to determine the need for some preventative or remedial action.

Asset management

The combination of management, financial, economic, engineering and other practices applied to physical assets with the objective of providing the required level of service in the most cost effective manner.

Assets

Future economic benefits controlled by the entity as a result of past transactions or other past events (AAS27.12).

Property, plant and equipment including infrastructure and other assets (such as furniture and fittings) with benefits expected to last more than 12 month.

Capital expansion expenditure

Expenditure that extends an existing asset, at the same standard as is currently enjoyed by residents, to a new group of users. It is discretionary expenditure, which increases future operation and maintenance costs, because it increases council's asset base, but may be associated with additional revenue from the new user group, eg. extending a drainage or road network, the provision of an oval or park in a new suburb for new residents.

Capital expenditure

Relatively large (material) expenditure, which has benefits, expected to last for more than 12 months. Capital expenditure includes renewal, expansion and upgrade. Where capital projects involve a combination of renewal, expansion and/or upgrade expenditures, the total project cost needs to be allocated accordingly.

Capital funding

Funding to pay for capital expenditure.

Capital grants

Monies received generally tied to the specific projects for which they are granted, which are often upgrade and/or expansion or new investment proposals.

Capital investment expenditure

See capital expenditure definition.

Capital new expenditure

Expenditure which creates a new asset providing a new service to the community that did not exist beforehand. As it increases service potential it may impact revenue and will increase future operating and maintenance expenditure.

Capital renewal expenditure

Expenditure on an existing asset, which returns the service potential or the life of the asset up to that which it had originally. It is periodically required expenditure, relatively large (material) in value compared with the value of the components or sub-components of the asset being renewed. As it reinstates existing service potential, it has no impact on revenue, but may reduce future operating and maintenance expenditure if completed at the optimum time, eg. resurfacing or resheeting a material part of a road network, replacing a material section of a drainage network with pipes of the same capacity, resurfacing an oval. Where capital projects involve a combination or renewal, expansion and/or upgrade expenditure, the total project cost needs to be allocated accordingly.

Capital upgrade expenditure

Expenditure, which enhances and existing asset to provide a higher level of service or expenditure that will increase the life of the asset beyond that which it had originally. Upgrade expenditure is discretionary and often does not result in additional revenue unless direct user charges apply. It will increase operating and maintenance expenditure in the future because of the increase in the council's asset base, eg. widening the sealed area of an existing road, replacing drainage pipes with pipes of a greater capacity, enlarging a grandstand at a sporting facility. Where capital projects involve a combination of renewal expansion and/or upgrade expenditures, the total project cost needs to be allocated accordingly.

Carrying amount

The amount at which an asset is recognised after deducting any accumulated depreciation / amortisation and accumulated impairment losses thereon.

Class of assets

See asset class definition.

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Cost of an asset

The amount of cash or cash equivalents paid or the fair value of the consideration given to acquire an asset at the time of its acquisition or construction, plus any costs necessary to place the asset into service. This includes one off design and project management costs.

Current replacement cost (CRC)

The cost the entity would incur to acquire the asset on the reporting date. The cost is measured by reference to the lowest cost at which the gross future economic benefits could be obtained in the normal course of business or the minimum it would cost, to replace the existing asset with a technologically modern equivalent new asset (not a second hand one) with the same economic benefits (gross service potential) allowing for any differences in the quality and quality of output and operating costs.

Current replacement cost "As New" (CRC)

The current cost of replacing the original service potential of an existing asset, with a similar modern equivalent asset, i.e. the total cost of replacing an existing asset with an as NEW or similar asset expressed in current dollar values.

Cyclic Maintenance**

Replacement of higher value components/subcomponents of assets that is undertaken on a regular cycle including repainting, building roof replacement, cycle, replacement of air conditioning equipment, etc. This work generally falls below the capital / maintenance threshold and needs to be identified in a specific maintenance budget allocation.

Depreciable amount

The cost of an asset, or other amount substituted for its cost, less its residual value (AASB 116.6).

Depreciated replacement cost (DRC)

The current replacement cost (CRC) of an asset less, where applicable, accumulated depreciation calculated on the basis of such cost to reflect the already consumed or expired future economic benefits of the asset.

Depreciation / amortisation

The systematic allocation of the depreciable amount (service potential) of an asset over its useful life.

Economic life

See useful life definition.

Element

An individual part of an asset which contributes to the composition of the whole and can be separated from or attached to an asset or system.

Expenditure

The spending of money on goods and services. Expenditure includes recurrent and capital.

Fair value

The amount for which an asset could be exchanged, or a liability settled, between knowledgeable, willing parties, in an arm's length transaction.

Heritage asset

An asset with historic, artistic, scientific, technological, geographical or environmental qualities that is held and maintained principally for its contribution to knowledge and culture and this purpose is central to the objectives of the entity holding it.

Impairment loss

The amount by which the carrying amount of an asset exceeds its recoverable amount.

Infrastructure assets

Physical assets of the entity or of another entity that contribute to meeting the public's need for access to major economic and social facilities and services, eg. roads, drainage, footpaths and cycleways. These are typically large, interconnected networks or portfolios of composite assets. The components of these assets may be separately maintained, renewed or replaced individually so that the required level and standard of service from the network of assets is continuously sustained. Generally the components and hence the assets have long lives. They are fixed in place and are often have no market value.

Investment property

Property held to earn rentals or for capital appreciation or both, rather than for:

- (a) Use in the production or supply of goods or services or for administrative purposes; or
- (b) Sale in the ordinary course of business (AASB 140.5)

Level of service

The defined service quality for a particular service against which a service performance may be measured. Service levels usually relate to quality, quantity, reliability, responsiveness, environmental acceptability and cost.

Life cycle cost **

The life cycle cost (LCC) is average cost to provide the service over the longest asset life cycle. It comprises annual maintenance and asset consumption expense, represented by depreciation expense. The Life Cycle Cost does not indicate the funds required to provide the service in a particular year.

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Life cycle expenditure **

The Life Cycle Expenditure (LCE) is the actual or planned annual maintenance and capital renewal expenditure incurred in providing the service in a particular year. Life Cycle Expenditure may be compared to Life Cycle Expenditure to give an initial indicator of the life cycle sustainability.

Loans / borrowings

Loans result in funds being received which are then repaid over a period of time with interest (an additional cost). Their primary benefit is in 'spreading the burden' of capital expenditure over time. Although loans enable works to be completed sooner, they are only ultimately cost effective where the capital works funded (generally renewals) result in operating and maintenance cost savings, which are greater than the cost of the loan (interest and charges).

Maintenance and renewal gap

Difference between estimated budgets and projected expenditures for maintenance and renewal assets, totalled over a defined time (eg 5, 10 and 15 years).

Maintenance and renewal sustainability index

Ratio of estimated budget to projected expenditure for maintenance and renewal of assets over a defined time (eg 5, 10 and 15 years).

Maintenance expenditure

Recurrent expenditure, which is periodically or regularly required as part of the anticipated schedule of works required to ensure that the asset achieves its useful life and provides the required level of service. It is expenditure, which was anticipated in determining the asset's useful life.

Modern equivalent asset

A structure similar to an existing structure and having the equivalent productive capacity, which could be built using modern materials, techniques and design. Replacement cost is the basis used to estimate the cost of construction a modern equivalent asset.

Non-Feasance

A failure to act when under an obligation to do so; a refusal (without sufficient excuse) to do that which it is your legal duty to do.

Non-revenue generating investments

Investments for the provision of goods and services to sustain or improve services to the community that are not expected to generate any savings or revenue to the Council, eg. parks and playgrounds, footpaths, roads, bridges and libraries, etc.

Operating expenditure

Recurrent expenditure, which is continuously required excluding maintenance and depreciation, eg. power, fuel, staff, plant equipment, on-costs and overheads.

Planned maintenance

Repair work that is identified and managed through a maintenance management system (MMS). MMS activities include inspection, assessing the condition against failure/breakdown criteria/experience, prioritising scheduling, actioning the work and reporting what was done to develop a maintenance history and improve maintenance and service delivery performance.

Rate of annual asset consumption*

A measure of average annual consumption of assets (AAAC) expressed as a percentage of the depreciable amount (AAAC/DA). Depreciation may be used for AAAC.

Rate of annual asset renewal*

A measure of the rate at which assets are being renewed per annum expressed as a percentage of depreciable amount (capital renewal expenditure/DA).

Rate of annual asset upgrade*

A measure of the rate at which assets are being upgraded and expanded per annum expressed as a percentage of depreciable amount (capital upgrade/expansion expenditure/DA).

Reactive maintenance

Unplanned repair work that is carried out in response to service requests and managements/supervisory directions.

Recoverable amount

The higher of an asset's fair value, less costs to sell and its value in use.

Recurrent expenditure

Relatively small (immaterial) expenditure or that which has benefits expected to last less than 12 months. Recurrent expenditure includes operating and maintenance expenditure.

Recurrent funding

Funding to pay for recurrent expenditure.

Rehabilitation

See capital renewal expenditure definition above.

Remaining life

The time remaining until an asset ceases to provide the required service level or economic usefulness. Age plus remaining life is economic life.

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Renewal

See capital renewal expenditure definition above.

Residual value

The net amount which an entity expects to obtain for an asset at the end of its useful life after deducting the expected costs of disposal.

Revenue generating investments

Investments for the provision of goods and services to sustain or improve services to the community that are expected to generate some savings or revenue to offset operating costs, eg. public halls and theatres, childcare centres, sporting and recreation facilities, tourist information centres, etc.

Risk management

The application of a formal process to the range of possible values relating to key factors associated with a risk in order to determine the resultant ranges of outcomes and their probability of occurrence.

Section or segment

A self-contained part or piece of an infrastructure asset.

Service potential

The capacity to provide goods and services in accordance with the entity's objectives, whether those objectives are the generation of net cash inflows or the provision of goods and services of a particular volume and quantity to the beneficiaries thereof.

Service potential remaining*

A measure of the remaining life of assets expressed as a percentage of economic life. It is also a measure of the percentage of the asset's potential to provide services that is still available for use in providing services (DRC/DA). Documents Council objectives for a specified period (3-5 years), the principle activities to achieve the objectives, the means by which that will be carried out, estimated income and expenditure, measures to assess performance and how rating policy relates to the Council's objectives and activities.

Useful life

Either

- (a) The period over which an asset is expected to be available for use by an entity, or
- (b) The number of production or similar units expected to be obtained from the asset by the entity.

It is estimated or expected time between placing the asset into service and removing it from service, or the estimated period of time over which the future economic benefits embodied in a depreciable asset, are expected to be consumed by the council. It is the same as the economic life.

Value in use

The present value of estimated future cash flows expected to arise from the continuing use of an asset and from its disposal at the end of its useful life. It is deemed to be depreciated replacement cost (DRC) for those assets whose future economic benefits are not primarily dependent on the asset's ability to generate new cash flows, where if deprived of the asset its future economic benefits would be replaced.

Source: DVC 2006, Glossary

Note: Items shown * modified to use DA instead of CRC

Additional glossary items shown **

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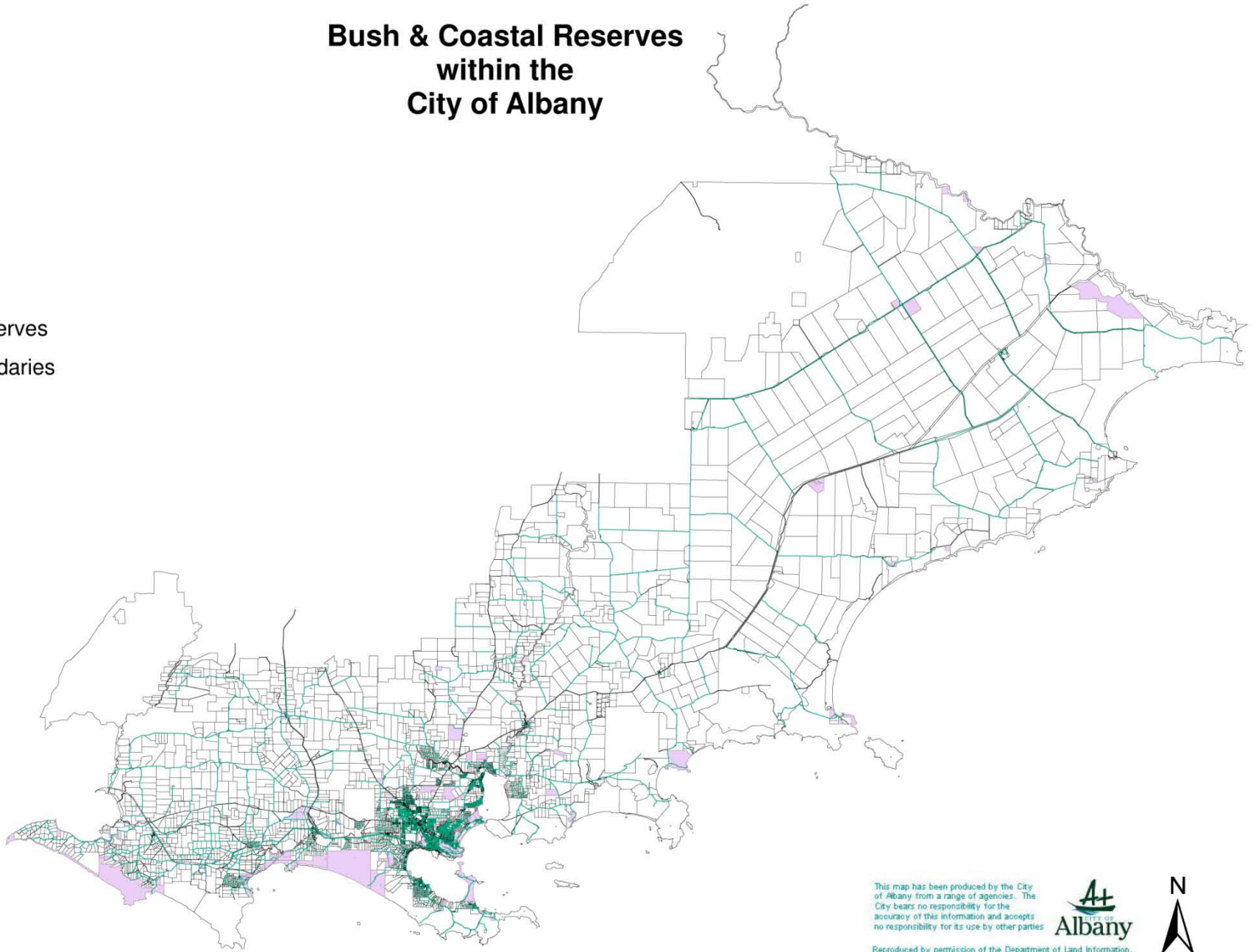
Figure 1

City of Albany - Asset Management Plan Reserves (Natural)

**Bush & Coastal Reserves
within the
City of Albany**

Legend

- Roads
- CoA Reserves
- Lot Boundaries



0 5 10 20
Kilometers

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Appendix A
5 Year Budget Requirements

City of Albany - Asset Management Plan Reserves (Natural)

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Appendix A Five-year Budget Requirements for Reserves (Natural).

Financial Year	Project Name	Budget Requirement	Total for Financial Year	Component	Comments
2010/11	Reserve Asset Mapping and Condition Rating	\$20,000		Outsourced or Contract	
	Review "Draft Reserves Design Manual"	\$20,000		Outsourced	
	Develop Natural Reserves Database	\$25,000		Outsourced	
	Natural Reserves Planning	\$10,000		Miscellaneous planning costs	
	Implement Visitor Risk Assessment Project	\$40,000		Staff time and materials	Signs etc
	Implement Stidwell Bridle Trail Maintenance Plan	\$14,400		Staff time / outsourced	
	Implement Betty's Beach/Norman's Inlet Management Plan	\$38,500		Staff time and materials	Trail management & signs
	Implement Mounts Management Plan	\$40,000		Staff time / Consultant	Trails and Signs
	Natural Reserve Maintenance	\$50,000		Staff time and Materials	
	Declared Plant Control	\$10,000		Outsourced	
	Two Natural Reserve Assistants or outsourced	\$90,000	\$357,900	Staff time or outsourced	
2011/12	Reserve Asset Mapping and Condition Rating	\$20,000		Outsourced or Contract	
	Natural Reserves Planning	\$10,000		Miscellaneous planning costs	
	Implement Visitor Risk Assessment Project	\$20,000		Staff time and materials	Signs
	Implement Stidwell Bridle Trail Maintenance Plan	\$14,400		Staff time / outsourced	
	Implement Betty's Beach/Norman's Inlet Management Plan	\$40,000		Staff time and materials	
	Implement Mounts Management Plan	\$40,000		Staff time / Consultant	Trails and Signs
	Implement Cosy Corner Management Plan	\$50,000		Staff time and materials	Track upgrades
	Natural Reserve Maintenance	\$100,000		Staff time and Materials	
	Declared Plant Control	\$10,000		Outsourced	
	Two Natural Reserve Assistants or outsourced	\$90,000	\$394,400	Staff time or outsourced	
2012/13	Reserve Asset Condition Rating	\$20,000		Outsourced or Contract	
	Natural Reserves Planning	\$10,000		Miscellaneous planning costs	

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Financial Year	Project Name	Budget Requirement	Total for Financial Year	Component	Comments
	Implement Visitor Risk Assessment Project	\$20,000		Signs	
	Implement Stidwell Bridle Trail Maintenance Plan	\$14,400		Staff time / outsourced	
	Implement Betty's Beach/Norman's Inlet Management Plan	\$180,000		Staff time and materials	Toilet replacements
	Implement Mounts Management Plan	\$40,000		Staff time / Consultant	
	Natural Reserve Maintenance	\$100,000		Staff time and materials	
	Declared Plant Control	\$10,000		Outsourced	
	Two Natural Reserve Assistants or outsourced	\$90,000	\$484,400	Staff time or outsourced	
2013/14	Reserve Asset Condition Rating	\$20,000		Outsourced or Contract	
	Natural Reserves Planning	\$10,000		Miscellaneous planning costs	
	Implement Visitor Risk Assessment Project	\$20,000		Staff time and materials	Signs etc
	Implement Stidwell Bridle Trail Maintenance Plan	\$14,400		Depot/outsourced	
	Implement Mounts Management Plan	\$40,000		Staff time / Consultant	
	Natural Reserve Maintenance	\$100,000		Staff time and materials	
	Declared Plant Control	\$10,000		Outsourced	
	Two Natural Reserve Assistants or outsourced	\$90,000	\$304,400	Staff time or outsourced	
2014/15	Reserve Asset Condition Rating	\$20,000		Outsourced or contract	
	Natural Reserves Planning	\$10,000		Consultants	Miscellaneous planning costs
	Implement Visitor Risk Assessment Project	\$20,000		Staff time and materials	Signs etc
	Implement Stidwell Bridle Trail Maintenance Plan	\$14,400		Depot/outsourced	
	Implement Mounts Management Plan	\$40,000		Staff time / Consultant	
	Natural Reserve Maintenance	\$100,000		Staff Time and Materials	
	Declared Plant Control	\$10,000		Outsourced	
	Two Natural Reserve Assistants or outsourced	\$90,000	\$304,400	Staff time or outsourced	
		TOTAL	\$1,845,500		

NOTE: This budget does not include the implementation of the *Environmental Weeds Strategy for City of Albany Reserves* or the management of firebreaks on City managed land, as these items are already covered elsewhere within the City's annual budget.

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Appendix B Reserve Assessment Sheet

City of Albany - Asset Management Plan Reserves (Natural)

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Appendix B Reserve (Natural) Assessment Sheet.

Recording Officer: _____ Date: _____

Reserve Number or Freehold: _____ Reserve Name: _____

Street Address: _____ Purpose: _____

Community Group: _____

Leased: no / yes by _____

Neighbours: _____

DESK TOP ASSESSMENT:

Reserve Category	Mounts	Coastal	Watercourse and Foreshore	Hinterland				
Hierarchy	Priority 1	Priority 2	Priority 3	Priority 4				
Area	ha	Perimeter	km	Area : Perimeter Ratio				
Other functions	Park	Sport	Hall	Other:				
Planning status	None	Management Statement	Management Plan					
DRF	Yes	No	Priority Flora	Yes	No			
TEC	Yes	No	PEC	Yes	No			
Known habitat for threatened fauna	Yes	No	Connectivity	None	Poor	Yes		
Mapped for Dieback Protectable Areas	Yes	No	Dieback Protectable Areas	Yes	No	Area (ha) Protectable from Dieback	ha	
Freshwater Lake	Yes	No						
Aboriginal Heritage Sites	Registered Site	Unregistered Site	No known sites	Other Heritage Sites	Registered Site	Unregistered Site	No known sites	
Visitation	>10,000	1,000 – 9,999	100 - 999	<100				

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Community Support	Current active involvement	Limited known involvement	No known involvement	Past City Investment	>10 days per year	1-9 days per year	< 1 day per year	None
Infrastructure Value	Significant – camp grounds, toilets, car parks etc	Medium – Low plus limited other infrastructure	Low - gates, firebreaks and signs	None – no infrastructure				
PDWSA	Yes	No	Area Name	South Coast Water Reserve	Limeburner Creek	Marbellup Brook	Angove Creek	
Visitor Risk Assessed	Yes	No	Visitor risks id as needing attention	Yes	No	Not assessed		
Fire History	Yes (provide details below)	No						

Year	Area Burnt (Ha)	Details (description of area burnt)	Source of Information

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SITE INSPECTION:

Historical Use	Not known	Recreation	Camping	Gravel extraction	Sand extraction	Rubbish tip	Other	
Current Use	No obvious use	Conservation	Recreation	Camping	Community Buildings	Commercial Fishing		
Vegetation condition (Kaesehagen 1995)	Very good to excellent	Fair to good	Poor	Very poor	No native vegetation			
Infrastructure present and number – need to GPS	Gate	Fence	Bollard	Bollard/rail	Bench/seat	Picnic table	Bin	Gas BBQ
Boat ramp	Wood BBQ	Car park	Firebreaks	4WD track	Walk trail	Boardwalk/bridge	Bird hide	Lookout
Steps/stairs	Signs (make list)	Camp site	Jetty	Shelter/pergola	Fish cleaning facility/offal pit	Access track/path	Bridle trail	Mountain bike trail
Toilets:	Composting toilet	Pit toilet	Septic toilet	Change room	Disabled access	Single unisex	Two cubicles: male & female	Other
Threatening Processes	Firewood cutting	Rubbish dumping	Off-road vehicles	Water erosion	Illegal bike jumps/trails	Uncontrolled access	Vandalism	Illegal clearing
Weeds	No significant weeds	Grasses	Sydney Golden Wattle	Victorian tea-tree	Blackberry	Arum Lily	Gorse	Taylorina
	Dolichos Pea	Pittosporum	Bridle Creeper	Pampas Grass	Watsonia	Holly-leaved Senecio	Yellow-flower Stinkwort	Other
Dieback	Evidence of Dieback infected areas	Evidence of dieback-free areas	Fire	Evidence of recent fire	Date of most recent fire/s if known			
Access to Reserve	Sealed Road	Gravel Road	Track	None				
Access Points	None	Well delineated	Controlled access	Disabled Access	Yes	No		
Number of Nodes								
Management Urgency	Urgent (within days)	Medium (within 2 months)	Low (within 12 months)	No urgency				

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Management Recommendations	Responsible City Department	Urgency

Other Notes:

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Appendix C Guidelines and Policies

City of Albany - Asset Management Plan Reserves (Natural)

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Appendix C: Guidelines and Policies for Reserve Management Issues

Subject	Reference	Comment
General Environmental Management and Policies	Environmental Protection Authority (2008) Environmental Guidance for Planning and Development. Perth, Western Australia	This document provides advice on land use planning and management, including for wetlands, foreshore and bushland.
Coastal Risk	Surf Life Saving Australia (2007) Australian Coastal Public Safety Guidelines. First Edition. Bondi Beach, NSW.	The <i>Australian Coastal Public Safety Guidelines</i> have been designed to guide coastal and beach managers and operators in providing a safe aquatic environment for all users. Also describes signage.
Coastal Management	Coffey Environments and South Coast Management Group (2009) Southern Shores 2009 – 2030: A Strategy to Guide Coastal Zone Planning and Management in the South Coast Region of Western Australia. Albany, Western Australia.	Outlines principles and strategic objectives for coastal management of the South Coast.
Visitor Risk	CALM, Department of Conservation and Land Management (1998) ANZECC Benchmarking and Best Practice Program. Visitor Risk Management and Public Liability. Prepared for ANZECC Working Group on National Parks and Protected Area Management. Perth, Western Australia.	Outlines goals, processes and benchmarking for visitor risk assessment.
Climate Change Adaptation	Coffey Environments, MP Rogers and Associates, Marsden Jacob Associates and Gaia Resources (2009) Climate Change: Whole of Landscape Analysis and Adaptation Options for the South Coast Region. Prepared for South Coast NRM Inc. Albany, Western Australia.	This document examines risks from climate change on the South Coast. It also provides recommendations for adaptation to climate change and identifies opportunities and gaps in knowledge.
Coastal Infrastructure	Green Skills (2010) Coastal Management Specification Manual: a guide for the construction of coastal management infrastructure. Prepared for South Coast Management Group, Albany, Western Australia.	

Appendix D
Cost, Construction and Expected Life of
Elements

City of Albany - Asset Management Plan Reserves (Natural)

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Appendix D: Reserve (Natural) Infrastructure Value and Depreciation

Element	Construction	Measure	Quantity	Cost	Total	Expected Life (yrs)	Depreciated Value
Bollards	CCA	Each	350	\$30.00	\$10,500.00	15	\$700.00
Boardwalk	CCA	Square Meter	120	\$250.00	\$30,000.00	15	\$2,000.00
Boardwalk	Jarrah	Square Meter	120	\$500.00	\$60,000.00	25	\$2,400.00
Car park	Asphalt	Square Meter	3642	\$80.00	\$291,360.00	25	\$11,654.40
Car park	2 coat seal	Square Meter	7778	\$66.00	\$513,348.00	15	\$34,223.20
Car park	Gravel	Square Meter	19821	\$54.00	\$1,070,334.00	10	\$107,033.40
Drinking Fountain	Metal	Each	1	\$4,000.00	\$4,000.00	10	\$400.00
Fire Breaks	Slashed	Kilometre	160	\$2400.00	\$384,000.00	2	\$192,000.00
Foot bridge	CCA	Square Meter	155	\$250.00	\$38,750.00	15	\$2,583.33
Gates	Metal	each	88	\$700.00	\$61,600.00	10	\$6,160.00
Gazebo	Timber & Iron	Each	3	\$15,000.00	\$45,000.00	15	\$3,000.00
Information Hut		Each	5	\$10,500.00	\$52,500.00	20	\$2,625.00
Lookout	CCA	Each	4	\$8,500.00	\$34,000.00	15	\$2,266.67
	Jarrah	Each	4	\$12,500.00	\$50,000.00	25	\$2,000.00
	Metal	Each	1	\$25,000.00	\$25,000.00	20	\$1,250.00
Picnic Table	Jarrah	Each	30	\$750.00	\$22,500.00	15	\$1,500.00
Post & Rail Barrier	CCA	Section, comprising 2 post and 1 rail.	650	\$85.00	\$55,250.00	15	\$3,683.33
Seats	Various	Average Each	16	\$600.00	\$9,600.00	15	\$640.00
Signs	Metal	Each	41	\$250.00	\$10,250.00	10	\$1,025.00
	Other	Each	8	\$500.00	\$4,000.00	10	\$400.00
Step / stairs	CCA	Lineal Metre	340	\$350.00	\$119,000.00	15	\$7,933.33
	Jarrah	Lineal Metre	300	\$1,000.00	\$300,000.00	20	\$15,000.00
	Concrete	Lineal Metre			\$0.00	50	\$0.00
	Stabilized Earth	Lineal Metre	290	\$200.00	\$58,000.00	15	\$3,866.67
	Sleeper retained earth	Lineal Metre	65	\$100.00	\$6,500.00	10	\$650.00
Toilets	Brick, Septic	Segregated, Double facilities	2	\$66,000.00	\$132,000.00	50	\$2,640.00
	Timber & Custom Orb, Composting	Unisex / Disabled - Single	1	\$36,000.00	\$36,000.00	20	\$1,800.00
	Timber & Custom Orb, Composting	Unisex / Disabled - Double	3	\$67,000.00	\$201,000.00	20	\$10,050.00
Trails	Natural earth	2m	14000	\$5.50	\$77,000.00	10	\$7,700.00
	Gravel	2m	4170	\$11.50	\$47,955.00	10	\$4,795.50
Total					\$3,365,447.00		\$239,979.83

Appendix E Vegetation Condition Mapping Categories

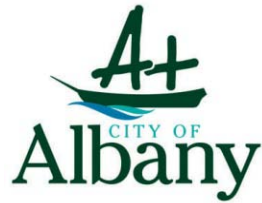
City of Albany - Asset Management Plan Reserves (Natural)

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Appendix E: Vegetation Condition Mapping Categories (Kaesehagen 1995).

Very Good - Excellent	80-100 % native flora composition. Vegetation structure intact or nearly so. Cover / abundance of weeds less than 5 %. No or minimal signs of disturbance.
Fair to Good	50-80 % native flora composition. Vegetation structure modified or nearly so. Cover / abundance of weeds 5–20 %, any number of individuals. Minor signs of disturbance.
Poor	20-50 % native flora composition. Vegetation structure completely modified. Cover / abundance of weeds 20-60 %, any number of individuals. Disturbance incidence high.
Very Poor	0-20 % native flora composition. Vegetation structure disappeared. Cover / abundance of weeds 60–100 % cover, any number of individuals. Disturbance incidence very high.

From: Kaesehagen D. 1995. Bushland Condition Mapping. Pp 33-39 In Burke G (Ed) *Invasive Weeds & Regenerating Ecosystems in Western Australia*, Murdoch University. The City of Albany uses these categories for assessment of reserves.



Council Strategy

Asset Management Plan Reserves (Developed)

DRAFT

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City of Albany

Asset Management Plan – Reserves (Developed)

Revision Status

Revision No.	Status	Distribution	Issue Date	Comment
0	Preliminary	Asset Management and City Services Strategy and Policy Committee	23/04/10	Draft

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Abbreviations

CBD	Central Business District.
M ²	Metres squared
Ha	Hectare
WAPC	Western Australia Planning Commission
P.O.S	Public Open Space
WSUD	Water Sensitive Urban Design
CPTED	Crime Prevention through Environmental Design

1.0 EXECUTIVE SUMMARY

1.1 Introduction

The City of Albany provides an extensive range of developed reserves throughout the municipality. This Asset Management Plan – Reserves (Developed) has been compiled to ensure the maintenance, renewal and creation of new reserves are undertaken in a systematic way that reflects community needs.

Traditionally known as parks and gardens, these assets have been defined into the following classifications;

Local Reserves; Services a local community and is located within 300 metres of all dwellings, the park is approximately 3000m² in areas.

Neighbourhood Reserves; Services the local community of approximately 600 to 800 houses, within 400 metres and approximately 5000m² in area.

District Reserves; A park designed for neighbourhood interaction encouraging sporting and social events. These parks are typically between 2.5 hectares and 7 hectares in area and are accessible to the community from between 600 metres and 1 kilometre.

Regional Reserves; Large parks that have significant active area for informal and formal sports, high leisure, social and tourism function, e.g. Middleton Beach and North Road Sporting Precinct.

Garden; A landscaped space designed and maintained for the display of various plants either native or exotic. A passive area utilized for relaxation and the enjoyment of the outdoors.

Street Landscape: Gardens constructed within the road reserve includes median islands, roundabouts and verge treatment.

1.2 Financial Summary

The City manages eighty (80) developed reserves with an estimated value of \$34,595,700.00

In the financial planning process, this plan uses two indicators of cost to maintain and construct the City's Parks and Gardens infrastructure.

- Life cycle cost – being the average cost over the life of the asset, and;
- The total maintenance and capital renewal cost over a 15 year period.

The maintenance, capital renewal and new costs for year one of the Asset Management Plan – Developed Reserves is as follows;

- Maintenance \$1,244,900.00
- Capital renewal \$ 250,000.00
- Capital upgrade \$ 500,000.00

Funding for maintenance renewal and creation of Parks and Gardens is principally provided by the City of Albany capital works programme.

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Supplementary funding can be possible through various agencies such as Lotteries West, Department of Sport and Recreation and 'Be Active' initiatives. These are considered one off projects and subject to evaluation from the various funding agencies. This asset management plan will help to promote our works on reserves and support funding submissions.

1.3 Strategic Context

The City's Strategic Plan Albany Insight – Beyond 2020 sets out the vision for Albany to 2025. The City plans to operate and maintain the pathways network to achieve the following strategic objectives;

Item 4 – Governance

The City of Albany will be an industry leader in good governance and service delivery.

- *Manage our municipal assets to ensure they are capable of supporting our growing community.*

To achieve this objective, the developed reserves infrastructure must be maintained in a serviced condition to ensure;

- Safe access to all parks and garden.
- The equipment provided within the reserve is serviced to a high standard,
- Gardens are maintained to an acceptable standard.
- There is regularly scheduled safety inspections carried out.

1.4 Plan Implementation

The management of developed reserves infrastructure is an important role for the City and requires informed and agreed decisions to be made on the care, maintenance and upgrade of the Parks and Gardens infrastructure. This document highlights all the asset management activities associated with Parks and Gardens infrastructure and sets a timeline for full implementation of a five (5) year programme with year one (1) to be included in the 2010/2011 financial year.

2.0 INTRODUCTION

2.1 Background

The City of Albany's strategic approach to reserves began with the implementation of the reserves management plan adopted in September 2003. Although the strategy has remained a useful document, today it is necessary to review our strategy to take into account the changes in population, demographics and the development of the city and new standards. There has also been the opportunity to review the asset management of our developed reserves with the knowledge and experience of a state wide approach, it is also proposed to separate the reserves into reserves (natural) and reserves (developed). This plan only deals with developed reserves, traditionally known as parks and gardens, although some components of the reserves contain natural components worthy of conservation.

This state wide approach has highlighted a greater emphasis on the importance and benefits of clearly defined and agreed asset management activities throughout Australia, and as a result, the Western Australian Local Government Association (WALGA) has undertaken a new initiative to assist local councils with Asset Management by launching a new programme named the Western Australian Asset Management Improvement (WAAMI) Programme. The programme aims to facilitate improvements to asset management at a local level with the combined expertise of an industry focused and state wide approach.

Council resolved at its Ordinary Meeting of Council on 19th February 2008 agreed to participate in the Western Australian Asset Management Improvement (WAAMI) Programme which is being supported by the Western Australian Local Government Association (WALGA), Department of Local Government and Regional Development (DLGRD), Local Government Municipal Association (LGMA) and the Institute of Public Works Engineers Australia (IPWEA).

During April 2008 the City staff and Councillors attended a workshop that introduced Western Australian Asset Management Initiative (WAAMI) project. Key outcomes over the following two years include;

- The development of an adopted Asset Management Policy;
- The development of an adopted Asset Management Improvement Strategy;
- The formation of a cross functional staff internal working group with set terms of reference;
- A reporting structure to be established for the Asset Management and City Services Policy and Strategy Committee, and;
- The completion of draft Asset Management Plans for all infrastructure types.

This asset management plan is to demonstrate responsive management of assets (and services provided from assets), compliance with regulatory requirements, and to communicate the funding requirements to provide the required levels of service.

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This Asset Management Plan – Reserves (Developed) is to be read with the following associated planning documents:

- The City of Albany Asset Management Interim Strategy, and
- The City of Albany Asset Management Improvement Strategy

3.0 Hierarchy Developed Reserves

The City's developed reserves need to be classified to distinguish different uses and standards of infrastructure with classifications determined by hierarchy and function.

3.1 Standards for Reserves

- Landscape designs to include native drought tolerant flora endemic to the area.
- Where drainage sumps are incorporated in the design the quality and use of local water sources to be considered for reticulation.
- Consideration for the use of pine bark, permeable pavers in passive areas of the park.
- CCA Bollards at 1.5 metre intervals to restrict vehicular access.

3.2 Local Reserves

Serves a local community and is located within 300 metres of all dwellings, the park is approximately 3000m² in area.

Minimum infrastructure requirements are.

- Connectivity to a footpath.
- Park Bench.
- A junior and senior swing combination.
- Small Playground, or a interactive discovery area.
- Landscape and gardens to enable good passive supervision.
- Sand or Pine bark soft fall with either a CCA sleeper barrier or concrete kerbing.

3.3 Neighbourhood Reserves

Serves the local community of approximately 600 to 800 houses, within 400 metres and are approximately 5000m² in area.

Minimum infrastructure requirements are:

- Connectivity to a footpath or shared path.
- Park Bench.
- A junior and senior swing set.
- Medium Playground or interactive art and play equipment.
- Picnic Table.
- Active area for ball activities or wheeled sports.
- Rubbish bin.
- Landscape and gardens to enable good passive supervision.

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- Reticulated active grassed areas within the park.
- Reconstituted Rubber soft fall.

Additional infrastructure may include:

- Gazebos.
- ½ court for basketball and netball.
- Cricket Pitch (Practice Net).
- Disabled facilities.
- Skate Board track.

3.4 District Reserves

A park designed for neighbourhood interaction encouraging sporting and social events.

These parks are to be a minimum 2.5ha to a maximum 7ha in area and are accessible to the community from between 600metres and 1 kilometre.

Minimum infrastructure requirements:

- Connectivity to a shared path network;
- Internal Path network;
- Park Benches;
- Large playground or interactive art and play equipment;
- Active area for ball activities or wheeled sports;
- Gazebos;
- Picnic tables;
- Rubbish bins;
- Landscape and gardens to enable good passive supervision and adequate shade;
- Reconstituted rubber soft fall;
- BBQ facilities, and
- Public toilets with disabled access.

Additional infrastructure may include:

- Cold shower facilities when associated with a beach, and
- Multipurpose sports ground.

District parks may also function as a picnic area with no active play areas provided; examples for this type of park would be Lower King Bridge or Vancouver ponds.

3.5 Regional Facility

Large parks that have significant active area for informal and formal sports, high leisure, social and tourism function. Examples of this type of park would be Middleton Beach, North Road Sporting Precinct and ANZAC Peace Park.

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3.6 Garden

A landscaped space designed and maintained for the display of various plants either native or exotic. A passive area utilized for relaxation and the enjoyment of the outdoors. A garden may include:

- Manicured Gardens;
- Lawn Area;
- Seats;
- Fountains;
- Arbours;
- Internal paths, and
- Public art.

3.7 Street Landscaping

Street landscaping includes those areas within a constructed road which is landscaped; they include median strips, verges and roundabouts. Street landscaping is an area within the road network designed to soften the harsh environment typically associated with roads. Plants and the design of median and verge spaces shall be constructed and maintained with urban sensitive water principles. Where existing median and verge gardens exist upon upgrade of these areas water sensitive urban design (WSUD) principles shall be considered.

All gardens within the road environment shall maintain good sight clearances for motorist.

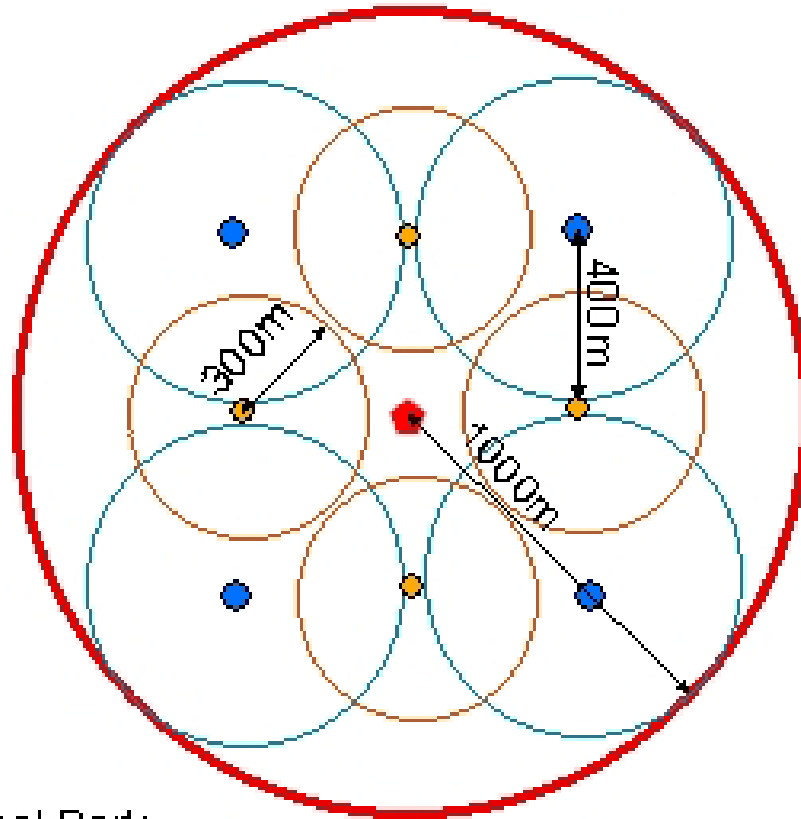
These areas may include:

- Public Art.
- Low growing ground covers, sedges and shrubs.
- Rain harvesting basins.
- Specimen trees with a clear trunk to maintain sight lines.

3.8 Park Hierarchy Model

District Parks notionally serve 3 neighbourhoods (Livable Neighbourhood Element 4 R17) we propose that they serve 4 neighborhoods as in model 3.8.1.

Having a district park serve four (4) neighbourhoods will not lessen the level of service provided within these parks, it will however reduce the City's number of parks and therefore reducing the maintenance effort and cost associated with extra parks. This will enable the City to provide a higher level of service in existing and future parks.



- Local Park
- Neighbourhood Park
- District Park

Model 3.8.1 A Preferred district park design

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4.0 Key Stakeholders

Key stakeholders in the preparation and implementation of this asset management plan are:

Key Stakeholders	Role
Council – City of Albany	To set vision, service standards and approve budgets
Asset Management and City Services Policy and Strategy Committee	Review details of Plan, provide community feedback and provide guidance.
City of Albany Staff – Internal Cross Functional Working Group.	Create plans, review asset management operations, provide financial support and monitor performance.
City of Albany – Executive Director Development Services	Direct and plan for future growth within the City of Albany Local Government area.
City of Albany – Executive Director Works and Services	Direct asset management activities and facilitate the implementation of plan.
City of Albany – Manager Financial Services	Source funding, facilitate budget approvals.
City of Albany – Manager City Assets	Develop plan, set service standards, coordinate activities, estimate costs and formulate budgets. Monitor and report performance.
City of Albany – Manager City Works	Manage construction, interventional maintenance and renewal activities. Resource, manage and report on inspection and auditing processes.
Western Australian Asset Management Improvement Programme (WAAMI)Steering Group	Facilitate workshops, review plans and provide commentary and guidance on the effectiveness of the City's Asset Management Plans.
Department of Sport and Recreation	Jointly fund trails with Lottery West.
Lottery West	Funding for Parks and Garden specific projects such as the Liberty Swing in Eyre Park.
Department of Education Local schools	Coordination and planning of safe routes to schools.
Local Progress Associations	Local suburb and town site feedback
Youth Advisory Council Corporate and Community Services	Provide feedback on youth activities and needs.
Seniors Advisory Committee Corporate and Community Services	Provide feedback on senior's activities and needs.
Disability Technical Committee	Provide advice on feedback on the networks universal access performance.
Subdivisional Developers	Construct new gift assets in accordance the City's subdivision guidelines.
Kid safe WA & Park Watch	Volunteers monitor parks 2 days a week to providing a safe and welcoming environment for children to recreate after school.
Heritage Council of WA	Input to areas of historical significance

4.0.1 Key Stakeholders and Responsibilities

5.0 Objectives of Asset Management Plan – Reserves (Developed)

The City constructs, maintains and set standards for developed reserve infrastructure for community recreational needs. The continual management of this infrastructure must meet community standards and ensure that funds for new, renewal and maintenance are directly focussed on need and therefore must:

- Offer the City the best life cycle cost outcome;
- Develop cost effective management strategies for the long term;
- Define the level of service and performance monitoring;
- Understand and meet demand for reserve infrastructure and resources;
- Manage risks associated with asset condition;
- Apply physical resources sustainably, and;
- Continually seek to improve practices associated with reserves management including playgrounds.

5.1 Additional Objectives Relating to WAAMI Participation

The City's commitment to the WAAMI programme will add value by:

- Ensuring Councillors and staff participate in the creation of asset management strategies;
- Capitalising on the state wide and national framework;
- Using the tools and preformed offered with the programme;
- Encourage continuous improvement in the processes and practices;
- Promote informed planning and decision making, and;
- Determine the gaps and develop long term strategies.

5.2 Strategic Vision

This Asset Management Plan – Reserves (Developed) meets the City's Albany Insight – Beyond 2020. By 2025 Albany will be...

Lifestyle and Environment

Albany will be Western Australia's regional City of first choice offering a diverse range of healthy and active lifestyle opportunities, with energy efficient housing and development that respects our environment.

1.3 Recreation facilities provide a diverse range of sporting and exercise opportunities.

Governance

The City of Albany will be an industry leader in good governance and service delivery

4.2 Manage our municipal assets to ensure they are capable of supporting our growing community.

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5.3 Plan Framework

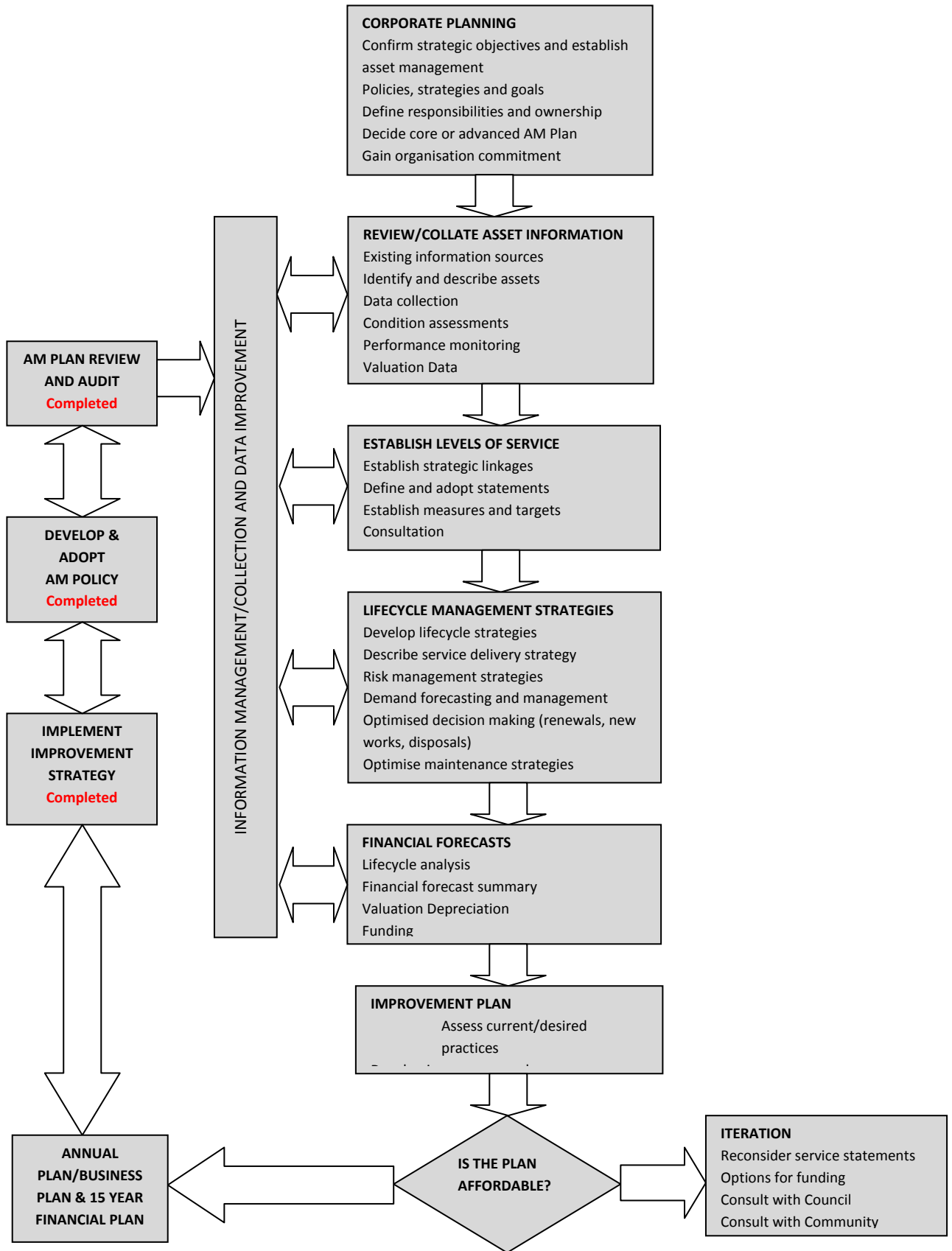
Key elements of the plan are:

- Levels of service – specifies the services and levels of service to be provided;
- Future demand – how this will impact on future service delivery and how this is to be met;
- Life cycle management – how Council will manage its existing and future assets to provide the required services;
- Financial summary – what funds are required to provide the required services;
- Asset management practices;
- Monitoring – how the plan will be monitored to ensure it is meeting Council's objectives;
- Asset management improvement plan, and;
- Risk assessment.

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6.0 Process Map

Road Map for Preparing an Asset Management Plan



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7.0 SERVICE LEVELS

7.1 Community Consultation

The City will undertake community consultation with all the key stakeholders listed in Item 4.0 along with advertising of the proposed plan for feedback prior to final adoption.

7.2 Management Key Principles

This Asset Management Plan – Reserves (Developed) currently involves applying the need for passive and active spaces as set out in Liveable neighbourhood’s (Element 4) and the City of Albany’s Subdivision and Development Guidelines. While this document is being reviewed in accordance with the WAAMI programme, the fundamental principles below are proposed to remain the same.

No.	Key Principles
1.	Identify areas where public parks and playgrounds are lacking.
2.	Aim to provide a neighbourhood park for each neighbourhood A neighbourhood structure as defined by liveable neighbourhoods, “a neighbourhood is contained within a 5 minute walk to the neighbourhood centre, typically 400m from the perimeter and containing 22 dwellings per site hectare.”
3.	Identify Parks and Gardens requiring upgrades to a world class standard.
4.	Identify areas that are oversubscribed for asset disposal or reclassification.
5.	Partnership with community groups
6.	Identification of individual POS requirements.

Table 7.2.1 Key Management Principles

7.3 Design Assumptions

No	Assumptions
1.	Every local park requires an active play area to cater for children up to 12 years of age. A passive area for parents to relax while children play and a small portion of bushland to provide shade and shelter.
2.	Neighbourhood park designs should contain all the aspects of a Local Park with added infrastructure to accommodate teenage development and activities such as a half court or a skate park.
3.	District Park designs may contain some or all of the aspects of a neighbourhood park with addition of toilets, picnic and BBQ facilities.
4	Regional parks are general associated with major sporting or tourist precincts such as Albany Sporting Complex and ANZAC Peace Park.
5.	Gardens contained within the road reserve shall be designed for the ease of maintenance, use of water wise or drought tolerant species and maintain adequate sight lines for the motorist.
6.	Gardens contained within Public Open Space in a commercial environment shall be designed as a passive area with visual aesthetics, shaded areas and the use of public art.

Table 7.3.1 Design Assumptions

8.0 Gap Score and Priority Criteria

The City will follow where possible the procedures set out in Liveable Neighbourhoods Element 4 and The City of Albany’s Subdivision and Development Guidelines part 14 Public open space.

The following proposed Parks & Gardens hierarchy and associated priority criteria have been developed in line with Liveable Neighbourhoods to meet the current and future needs of the City of Albany. The “Parks & Gardens Hierarchy” consists of six levels as follows;

No	Classification	Description
1.	Regional facility	Regional facilities are provided for local and regional visitors, this class of parks is usually associated with another attraction to the area such as a lake, beach or a major regional facility such as Middleton Beach or the North Road Sporting Precinct.
2.	District Park	“These parks are to be a minimum 2.5ha to a maximum 7ha in area. They service approximately an area of between 600 metres and 1kilometre for approximately 1500 dwellings.”
3.	Neighbourhood park	“Services the local community of approximately 600 to 800 houses, within 400 metres and approximately 5000m ² in area.”
4.	Local park	“Services a local community and is located within 300 metres of all dwellings, park is approximately 3000m ² in area.”
5.	Garden	A landscaped space designed and maintained for the display of various plants either native or exotic. A passive area utilized for relaxation and the enjoyment of the outdoors.
6.	Street Landscaping	A landscaped area within the road network designed to soften the harsh environment typically associated with roads This includes Verge treatments, median strips and roundabouts.

Table 8.0.1 Table Classifications and Description

8.1 Developed Reserves Criteria

Developed Reserves Priority Criteria			
No	Criteria	%	Rationale
1.	Strategic Significance		
	Social	10	Relationship between neighbourhoods. Encouraging community activities.
	Safety	10	Focus on passive supervision from neighbouring properties and street view.
	Demographics of users	10	Range of age groups impacting on lifestyle and universal access.
	Economic benefit	10	Reserve has the potential to attract tourists and or regional sporting pursuits.
	Environmental	10	Reserve offers an area for the preservation of natural or unique flora.
	Gap to complete service	20	Where strategic infill in the network is required.
2.	Reserve Characteristics		
	Classification and hierarchy	10	Priority ranking based on the hierarchy.
	Potential use	10	Location of reserve and facilities provided.
	Hazard Risk and Safety	10	Survey results indicating safety of infrastructure.

Table 8.1.2 Criteria Breakdown and Scoring Method

8.2 Strategic Significance

Social Activity (max score 10%).

- (1-2) Nil rating - Park offers no benefit to group activities.
- (3-4) Little Benefit. - Park caters for a select group within the community.
- (5-6) Some Benefit. – Park provides infrastructure for neighbourhood activities.
- (7-8) Beneficial - Park provides infrastructure for district activities and sporting events.
- (9-10) Highly Beneficial. – Park provides for regional activities.

Safety (max score 10%).

- (1-2) No Benefit – Park meets all safety standards.
- (3-4) Some Benefit – Minor improvements required to bring park up to standard.
- (5-6) Highly Beneficial – Several components of the developed reserve needs upgrading.
- (7-8) Beneficial – A major component of the developed reserve needs upgrading.
- (9-10) Extremely Beneficial – Developed reserve needs a major upgrade to bring it back to meet safety standards.

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Demographics of Users (max score 10%)

- (1-2) Minor Range of Users - Park caters for Children up to 12 years of age or a select group of users;
- (3-4) Small Range of Users - Park caters for Children and young teenagers;
- (5-6) Range of Users - Park caters for families groups;
- (7-8) Wide Range of Users - Park caters for neighbourhood interaction, and
- (9-10) Extreme Range of Users - Park provides disabled facilities and or activities.

Recreational Potential (max score 10%).

- (1-2) No Benefit - Gardens areas providing passive areas only.
- (3-4) Little Benefit. - Park caters for a select group within the community;
- (5-6) Some Benefit - Park provides for a range of activities;
- (7-8) Beneficial - Park provides infrastructure that encourages ball or wheeled sports, and
- (9-10) Highly Beneficial - Park caters for district events.

Gap (score max 20%).

Score a value to a maximum of 20 upgrading to a higher level of park or providing a service where there is currently a gap.

- (1-2) Minor upgrade required with the addition of 1 required element;
- (3-4) Upgrade required with the addition of 2 required elements;
- (5-6) Upgrade from a local park to a Neighbourhood park required;
- (7-8) Upgrade from a Neighbourhood park to a District park required, and
- (9-10) Installation of a new park where there is nothing provided within the local area.

8.3 Developed Reserve Characteristics

Hierarchy (max score 10%)

- (1-2) An unconstructed reserve.
- (3-4) Local Park or Street Landscape on a minor road
- (5-6) Neighbourhood Park, Streetscape or Garden in a local area.
- (7-8) District Park, streetscape or Garden in close proximity to a neighbourhood centre.
- (9-10) Regional Facility, streetscape or garden within the CBD

Potential Volume (max score 10%).

- (1-2) Very low local park only no room for expansion.
- (3-4) Low potential volume serving only one neighbourhood.
- (5-6) Medium potential volume serving two neighbourhoods
- (7-8) High potential volume; catering for district events.
- (9-10) Very High potential; volume catering for local and regional visitors.

Hazard Risk and Safety

- (1-2) Very low - No risks identified.
- (3-4) Low – Small risk identified, can be rectified by routine maintenance.
- (5-6) Medium – A number of small risks identified, can be maintained by routine maintenance
- (7-8) High - Potential to cause an injury needing first aid, item needs major maintenance to bring park up to the required level of service
- (9-10) Very High - Potential to cause an injury requiring hospitalisation. Instant removal of hazard.

9.0 Legislative Requirements

The City has to meet many legislative requirements including federal and State legislation.

Legislation	Requirement
Local Government Act 1995 and associated regulations	Establishes role, purpose, responsibilities and powers of local governments including the preparation of a long term plans
Land Administration Act 1997 and associated regulations	Regulations for the acquisition lands for the pathway purposes
City of Albany Local Law – Activities in Thoroughfares and Public Places and Trading Local Law 2001	Create plans, review asset management operations, provide financial support and monitor performance.
Building Code of Australia	Set standards on access type and design
City of Albany Town Plan Scheme 1A and 3	Identifies need for pathways and location

9.0.1 Table Legislative Requirements

9.1 Current Levels of Service

All developed reserves are maintained to a level which is determined by location and function. The City responds to customer service requests within 10 working days including evaluation and rectification works if required.

9.2 Desired Levels of Service

There is a need to increase the level of service in some areas and to cut back in others. There is currently an over supply of services in Lockyer and Spencer Park and a lack of services in the Orana, Bayonet Head and Lower King areas. In the five year works plan (Appendix A) it is planned to dispose of Drummond St Park in Lockyer and upgrade Lake Weerlara, dispose of Mokare Park and upgrade Eco Park, Upgrade McConnell Park to a Neighbourhood Park and construct two new parks one in Allwood Parade Bayonet Head and one in Flemington St Orana.

10.0 Future Demand

10.1 Demand Forecast

It is envisaged that as the city grows through the development process that the need for more resources will be required to maintain and improve the current levels of service.

Gifted Assets through the subdivisional process

Under Section 153 of the Planning and Development Act 2005, contributions for Public Open Space (POS) cannot be requested where a subdivision seeks to create less than 3 lots. If a subdivision creates in excess of 5 lots it has been a consistent policy and practice of the Western Australian Planning Commission and their predecessors, since the 1950's, that 10% of the land be set aside as POS.(Public Open Space Contribution Policy (3 to 5 Lots) Document Reference: MAN186/NP086671).

Any Public Open Space gifted to the City through the subdivision process must comply with the Subdivision and Development Guidelines page 61 Part 14.0 PUBLIC OPEN SPACE (Synergy Reference No: NG073369)

In addition to Subdivision and Development Guidelines the gifted asset shall be of the highest standard free of environmental weeds and shall be rehabilitated using species endemic to the area. Where an area has been rehabilitated a contribution may be sought for the purpose of managing the seed bank set down from the weed infestation in the POS.

Developments of between 3 and 5 lots are not required to hand over 10% of the development as POS but are required to make a contribution towards the upgrade of existing infrastructure. The contribution amount is a calculation of the property's value post development.

Where there is a regional or Neighborhood Park existing or planned within a locality there may not be the need for additional parks within a proposed development application of over 5 lots.

This being the case 10% cash in lieu from the developer for the purpose of purchasing land or equipment to further develop the Cities reserve or infrastructure will be required.

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10.2 Demand Factors, Projections and Impact on Services

Albany	1996 (a)	2001	2006	2011	2016
Low Scenario	28,148	30,000	31,400	32,800	34,000
Medium Scenario	28,148	30,200	32,200	43,300	36,500
High Scenario	28,148	30,700	33,600	37,000	40,000
(a) ABS 1996 Estimated Resident Population					
Source: 1996 ABS Estimated Residential Population, 2001-2016 Ministry for Planning October 2000 projections					

Albany	2002	2003	2004	2005	2006
Persons - 0 to 4 years	2 022	1 977	1 959	1 956	2 016
Persons - 5 years to 9 years	2 326	2 317	2 293	2 291	2 252
Persons - 10 years to 14 years	2 522	2 506	2 537	2 549	2 511
Persons - 15 years to 19 years	2 341	2 382	2 392	2 461	2 521
Persons - 20 years to 24 years	1 609	1 617	1 611	1 613	1 668
Persons - 25 years to 29 years	1 722	1 705	1 704	1 674	1 658
Persons - 30 years to 34 years	2 032	2 008	1 988	2 007	1 950
Persons - 35 years to 39 years	2 197	2 180	2 198	2 204	2 223
Persons - 40 years to 44 years	2 494	2 550	2 493	2 521	2 427
Persons - 45 years to 49 years	2 239	2 296	2 405	2 480	2 548
Persons - 50 years to 54 years	2 119	2 185	2 230	2 283	2 330
Persons - 55 years to 59 years	1 761	1 802	1 872	2 005	2 130
Persons - 60 years to 64 years	1 536	1 588	1 617	1 673	1 698
Persons - 65 years to 69 years	1 331	1 392	1 464	1 495	1 487
Persons - 70 years to 74 years	1 211	1 228	1 244	1 274	1 285
Albany	2002	2003	2004	2005	2006
Persons - 75 years to 79 years	954	974	1 011	1 054	1 087
Persons - 80 years to 84 years	648	693	741	792	794
Persons - 85 years and over	502	516	519	531	559
Persons – Total	31 566	31 916	32 278	32 863	33 144

Table 10.2.1 Forecast population growth.

10.3 Technology Changes

Technology changes are forecast to have little effect on the delivery of services covered by this plan.

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10.4 Demand Management Plan

Demand for new services will be managed through a combination of managing existing assets, upgrading of existing assets and providing new assets to meet demand and demand management. Demand management practices include non-asset solutions, insuring against risks and managing failures.

11.0 New Assets from Growth

The new assets required to meet growth through the subdivisional process will be acquired from land developments and maintained by Council. The new asset values for the past 3 years are summarised below.

Park	Area m2	Value
Moon Park	6547	\$132,840.00
Leo Park	4115	\$45,666.00
Scorpion Park	9891	\$101,875.00
Lake McKail Park	45892	\$459,750.00
Callistemon Park	10827	\$215,899.00
Total	77272	\$956,030.00

Table 11.0.1 New Assets from Growth

Acquiring new assets will commit Council to fund ongoing operations and maintenance costs for the period that the service provided from the assets is required. These future costs are identified and considered in developing forecasts of future operating and maintenance costs.

11.1 Forecast Growth

It is estimated on the current growth rate for the City of Albany (500 persons per year) and that within 20 years there will be approximately 3846 lots developed to house an extra 10,000 people (Average of 2.6 persons per dwelling).

Using Liveable neighbourhoods as a guide for POS requirements (refer page 9 developed reserves hierarchy) this equates to 3 additional district reserves with an estimated area of 123,500 m2, 5 additional neighbourhood reserves with an estimated area of area of 24,000 m2 and 10 additional local reserves with an estimated area of 29,000 m2.

Forecast Growth for the next three years.

Park	Area m2
Oyster Harbour stage 1	3440
Oyster Harbour stage 2	13534
Clydesdale Road	29622
Cull Road	7406
Lancaster Road	15654
Willung Road	29141
Total Area	98797

Table 11.1.1 Forecast growth for the next 3 years

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12.0 LIFECYCLE MANAGEMENT PLAN

The lifecycle management plan is to be review over the next 12 months once a full safety and infrastructure audit has been carried out.

12.1 Asset capacity and performance

Council's services are generally provided by Works and Services Parks and Garden team. The service level is prioritized by park location and the amount of use it receives. Gardening and mowing schedules range from weekly to monthly. The maintenance of gazebos, Toilets and boardwalks is carried out by the Trades team as required.

12.2 Asset valuations

The value of assets as at March 2010 covered by this asset management plan is summarised below. As there are a number of asset type under the 1 asset class cost have been averaged. Assets were last re-valued at February 2010.

Item	Measure	Count	Value	Life	Depreciation
BMX Track	ea	2	\$30,000.00	10	\$3,000.00
Boardwalk	m2	139	\$46,975.84	15	\$2,731.72
Bollards	ea	2588	\$77,633.53	15	\$7,138.81
Chain Mesh Fence	lm	1680	\$126,007.32	20	\$4,200.24
Garden Kerbing	lm	2489	\$42,320.00	10	\$4,232.00
Half Courts	ea	8	\$90,500.00	20	\$4,525.00
Post & Rail	ea	722	\$61,356.68	15	\$4,090.45
Retaining Wall	lm	556	\$278,127.32	30	\$5,562.55
Safety Fence	lm	91	\$12,000.00	20	\$5,562.55
Skate Board Tracks	ea	4	\$590,000.00	50	\$11,800.00
Soft fall (Sand)	m2	4144	\$12,847.01	5	\$2,569.40
Soft fall Rubber	m2	2393	\$622,143.55	15	\$41,476.24
Arbour	Av	2	\$8,000.00	15	\$533.33
BBQ	Av	12	\$172,500.00	20	\$8,625.00
Bike Racks	Av	12	\$3,000.00	10	\$300.00
Climbing Frames	Av	7	\$460,000.00	30	\$25,333.33
Small Playground	Av	19	\$332,500.00	10	\$26,250.00
Medium Playground	Av	6	\$150,000.00	10	\$10,000.00
Large Playground	Av	9	\$315,000.00	10	\$24,500.00
Single Rocker	Av	13	\$45,500.00	5	\$7,700.00
Double rocker	Av	6	\$8,750.00	5	\$1,050.00
Drinking Fountain	Av	4	\$16,000.00	5	\$1,066.67
Gates	Av	18	\$13,500.00	20	\$675.00
Gazebo	Av	19	\$310,000.00	25	\$12,400.00
Miscellaneous	Av	8	\$95,000.00	10	\$9,500.00
Information Huts	Av	4	\$18,000.00	10	\$900.00
Seats	Av	101	\$60,600.00	10	\$6,060.00
Public Art	Av	13	\$189,000.00	10	\$6,300.00
Beach Shower	Av	3	\$3,600.00	10	\$240.00
Picnic tables	Av	57	\$42,750.00	10	\$2,850.00
Slides	Av	6	\$54,000.00	10	\$5,400.00
Spinna	Av	5	\$3,000.00	10	\$300.00
Supanova	Av	2	\$20,000.00	10	\$2,000.00
Swing	Av	49	\$98,000.00	30	\$9,800.00
Signs	Av	38	\$10,650.00	30	\$1,065.00
Toilets	Av	6	\$1,001,000.00	30	\$31,475.00
Water Fountains	Av	4	\$110,000.00	30	\$3,678.43
Total		15240	\$5,530,261.25		\$294,890.72

Table 12.2.1 Asset Valuations

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12.3 Developed Reserves Infrastructure

Current Replacement Cost \$5,530,261.00

Annual Depreciation Expense \$289,921.00

Particulars	09/10	10/11	11/12	12/13	13/14	14/15	Total
Staff	0.5						0.5
Vehicle	0.5						0.5
Percentage increase	3%	\$1,590	\$1,638	\$1,687	\$1,737	\$1,789	\$8,441
Net Effect	\$53,000	\$54,590	\$56,227	\$57,914	\$59,651	\$61,440	\$61,440

Table 12.3.1 Current and Forecast Expenditure (infrastructure)

12.4 Gardens

Gardens \$12,095,700.00

Particulars	Current	10/11	11/12	12/13	13/14	14/15	Total
Staff	5	7	8	8	8	8	8
Vehicle	3	3	4	4	4	4	4
Percentage increase	3%	\$12000	\$17160	\$21274	\$1,737	\$1,789	\$8,441
Net Effect	\$400,000	\$572,090	\$709,160	\$730,434	\$752,347	\$774,917	\$774,917

Table 12.3.2 Current and Forecast Expenditure (reserves)

12.5 Lawns & Mowing

Current Replacement Cost \$16,700,000.00

Particulars	Current	10/11	11/12	12/13	13/14	14/15	Total
Staff	6	6	6	6	6	6	6
Utes	4	4	4	4	4	4	4
O/fronts	4	4	4	4	4	4	4
Mowers	2	3	3	3	3	3	3
Tractors	3	3	3	3	3	3	3
B/Hec	4						
Slashers							
Percentage increase	3%	\$16,110	\$16,593	\$17,091	\$17,603	\$18,131	\$85,528
Net Effect	\$537,000	\$553,110	\$569,703	\$586,794	\$604,389	\$622,530	\$622,530

Table 12.5.1 Current and Forecast Expenditure (lawns & mowing)

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12.6 Reticulation

Current replacement Cost \$1,220,580.00
Annual depreciation Expense \$ 61,029.00

Particulars	Current	10/11	11/12	12/13	13/14	14/15	Total
Staff	1	2	2	2	2	2	2
Vehicle	1	1	1	2	2	2	2
Percentage increase	3%	\$4410	\$6942	\$8050	\$8292	\$8541	\$36,235
Net Effect	\$147000	\$231410	\$268352	\$276402	\$284694	\$293235	\$293235

Table 12.6.1 Current and Forecast Expenses (reticulation)

Current replacement Cost

Council’s sustainability reporting reports the rate of annual asset consumption and compares this to asset renewal and asset upgrade and expansion.

13.0 Risk Management Plan

An assessment of risks associated with service delivery from infrastructure assets has identified critical risks to Council. The risk assessment process identifies credible risks, the likelihood of the risk event occurring, the consequences should the event occur, develops a risk rating, evaluates the risk and develops a risk treatment plan for non-acceptable risks.

14.0 Routine Maintenance Plan

Routine maintenance is the regular on-going work that is necessary to keep assets operating, including instances where portions of the asset fail and need immediate repair to make the asset operational again.

15.0 Maintenance plan

Maintenance includes reactive, planned and cyclic maintenance work activities.

Reactive maintenance is unplanned repair work carried out in response to service requests and management/supervisory directions.

Cyclic maintenance is replacement of higher value components/sub-components of assets that is undertaken on a regular cycle including repainting, building, weed spraying etc. This work generally falls below the capital/maintenance threshold.

Maintenance expenditure levels are considered to be adequate OR inadequate to meet required service levels. Future revision of this asset management plan will include linking required maintenance expenditures with required service levels.

Assessment and prioritisation of reactive maintenance is undertaken by Council staff using experience and judgement.

16.0 Standards and specifications

Specifications and plans of typical details are being developed and will be included within a future review of this document.

Deferred maintenance, i.e. works that are identified for maintenance and unable to be funded are to be included in the risk assessment process in the infrastructure risk management plan.

Maintenance is funded from Council’s operating budget and grants where available. This is further discussed in Section 6.2.

16.1 Renewal/Replacement Plan

Renewal expenditure is major work which does not increase the asset's design capacity but restores, rehabilitates, replaces or renews an existing asset to its original service potential. Work over and above restoring an asset to original service potential is upgrade/expansion or new works expenditure.

17.0 ASSET MANAGEMENT PRACTICES

17.1 Information Flow Requirements and Processes

The key information flows into this asset management plan are:

- The asset register data on infrastructure, age, value, remaining life of the item;
- The unit rates for individual items;
- The adopted service levels;
- Projections of various factors affecting future demand for services;
- Data on new assets acquired by council.

The key information flows from this asset management plan are:

- The assumed Works Program and trends;
- The resulting budget, valuation and depreciation projections;
- The useful life analysis.

These will impact the Long Term Financial Plan, Strategic Business Plan, annual budget and departmental business plans and budgets.

17.2 Performance Measures

The effectiveness of the Asset Management Plan can be measured in the following ways:

- The degree to which the required cash flows identified in this asset management plan are incorporated into the City's long term financial plan and Strategic Management Plan;
- The degree to which 1-5 year detailed works programs, budgets, business plans and organisational structures take into account the 'global' works program trends provided by the Asset Management Plan.

17.3 Improvement Plan

The Asset Management Improvement Plan generated from this Asset Management Plan is shown in Table 8.2.

**Bulletin Item 1.3.3-
Agenda Item 15.3.2 refers 35 pages**

Improvement Plan

Activities	Timeline
Financial Year 2010/11	
Undertake an inventory condition inspection and update data	March 2011
Assess the first year against actual costs.	March 2011
Incorporate risk management	March 2011
Include specifications and update cost estimates	March 2011
Update Parks and Garden data in Hufner Asset Management database	March 2011

17.3.1 Table Improvement Plan

18.0 Monitoring and Review Procedures

This asset management plan will be reviewed during annual budget preparation and amended to recognise any changes in service levels and/or resources available to provide those services as a result of the budget decision process.

Bulletin Item 1.3.3- Agenda Item 15.3.2 refers 35 pages

Glossary

Annual service cost (ASC)

An estimate of the cost that would be tendered, per annum, if tenders were called for the supply of a service to a performance specification for a fixed term. The

Annual Service Cost includes operating, maintenance, depreciation, finance/ opportunity and disposal costs, less revenue.

Asset class

Grouping of assets of a similar nature and use in an entity's operations (AASB 166.37).

Asset condition assessment

The process of continuous or periodic inspection, assessment, measurement and interpretation of the resultant data to indicate the condition of a specific asset so as to determine the need for some preventative or remedial action.

Asset management

The combination of management, financial, economic, engineering and other practices applied to physical assets with the objective of providing the required level of service in the most cost effective manner.

Assets

Future economic benefits controlled by the entity as a result of past transactions or other past events (AAS27.12).

Property, plant and equipment including infrastructure and other assets (such as furniture and fittings) with benefits expected to last more than 12 month.

Average annual asset consumption (AAAC)*

The amount of a local government's asset base consumed during a year. This may be calculated by dividing the Depreciable Amount (DA) by the Useful Life and totalled for each and every asset OR by dividing the Fair Value (Depreciated Replacement Cost) by the Remaining Life and totalled for each and every asset in an asset category or class.

Brownfield asset values**

Asset (re)valuation values based on the cost to replace the asset including demolition and restoration costs.

Capital expansion expenditure

Expenditure that extends an existing asset, at the same standard as is currently enjoyed by residents, to a new group of users. It is discretionary expenditure, which increases future operating, and maintenance costs, because it increases council's asset base, but may be associated with additional revenue from the new user group, eg. extending a drainage or road network, the provision of an oval or park in a new suburb for new residents.

Capital expenditure

Relatively large (material) expenditure, which has benefits, expected to last for more than 12 months. Capital expenditure includes renewal, expansion and upgrade. Where capital projects involve a combination of renewal, expansion and/or upgrade expenditures, the total project cost needs to be allocated accordingly.

Capital funding

Funding to pay for capital expenditure.

Capital grants

Monies received generally tied to the specific projects for which they are granted, which are often upgrade and/or expansion or new investment proposals.

Capital investment expenditure

See capital expenditure definition

Capital new expenditure

Expenditure which creates a new asset providing a new service to the community that did not exist beforehand. As it increases service potential it may impact revenue and will increase future operating and maintenance expenditure.

Capital renewal expenditure

Expenditure on an existing asset, which returns the service potential or the life of the asset up to that which it had originally. It is periodically required expenditure, relatively large (material) in value compared with the value of the components or sub-components of the asset being renewed. As it reinstates existing service potential, it has no impact on revenue, but may reduce future operating and maintenance expenditure if completed at the optimum time, eg. resurfacing or resheeting a material part of a road network, replacing a material section of a drainage network with pipes of the same capacity, resurfacing an oval. Where capital projects involve a combination of renewal, expansion and/or upgrade expenditures, the total project cost needs to be allocated accordingly.

Bulletin Item 1.3.3- Agenda Item 15.3.2 refers 35 pages

Capital upgrade expenditure

Expenditure, which enhances an existing asset to provide a higher level of service or expenditure that will increase the life of the asset beyond that which it had originally. Upgrade expenditure is discretionary and often does not result in additional revenue unless direct user charges apply. It will increase operating and maintenance expenditure in the future because of the increase in the council's asset base, eg. widening the sealed area of an existing road, replacing drainage pipes with pipes of a greater capacity, enlarging a grandstand at a sporting facility. Where capital projects involve a combination of renewal, expansion and/or upgrade expenditures, the total project cost needs to be allocated accordingly.

Carrying amount

The amount at which an asset is recognised after deducting any accumulated depreciation / amortisation and accumulated impairment losses thereon.

Class of assets

See asset class definition

Component

An individual part of an asset which contributes to the composition of the whole and can be separated from or attached to an asset or a system.

Cost of an asset

The amount of cash or cash equivalents paid or the fair value of the consideration given to acquire an asset at the time of its acquisition or construction, plus any costs necessary to place the asset into service. This includes one-off design and project management costs.

Current replacement cost (CRC)

The cost the entity would incur to acquire the asset on the reporting date. The cost is measured by reference to the lowest cost at which the gross future economic benefits could be obtained in the normal course of business or the minimum it would cost, to replace the existing asset with a technologically modern equivalent new asset (not a second hand one) with the same economic benefits (gross service potential) allowing for any differences in the quantity and quality of output and in operating costs.

Current replacement cost "As New" (CRC)

The current cost of replacing the original service potential of an existing asset, with a similar modern equivalent asset, i.e. the total cost of replacing an existing asset with an as NEW or similar asset expressed in current dollar values.

Cyclic Maintenance**

Replacement of higher value components/sub-components of assets that is undertaken on a regular cycle including repainting, building roof replacement, cycle, replacement of air conditioning equipment, etc. This work generally falls below the capital/ maintenance threshold and needs to be identified in a specific maintenance budget allocation.

Depreciable amount

The cost of an asset, or other amount substituted for its cost, less its residual value (AASB 116.6)

Depreciated replacement cost (DRC)

The current replacement cost (CRC) of an asset less, where applicable, accumulated depreciation calculated on the basis of such cost to reflect the already consumed or expired future economic benefits of the asset

Depreciation / amortisation

The systematic allocation of the depreciable amount (service potential) of an asset over its useful life.

Economic life

See useful life definition.

Expenditure

The spending of money on goods and services. Expenditure includes recurrent and capital.

Fair value

The amount for which an asset could be exchanged, or a liability settled, between knowledgeable, willing parties, in an arms length transaction.

Greenfield asset values **

Asset (re)valuation values based on the cost to initially acquire the asset.

Heritage asset

An asset with historic, artistic, scientific, technological, geographical or environmental qualities that is held and maintained principally for its contribution to knowledge and culture and this purpose is central to the objectives of the entity holding it.

Impairment Loss

The amount by which the carrying amount of an asset exceeds its recoverable amount.

Bulletin Item 1.3.3- Agenda Item 15.3.2 refers 35 pages

Infrastructure assets

Physical assets of the entity or of another entity that contribute to meeting the public's need for access to major economic and social facilities and services, eg. roads, drainage, footpaths and cycleways. These are typically large, interconnected networks or portfolios of composite assets. The components of these assets may be separately maintained, renewed or replaced individually so that the required level and standard of service from the network of assets is continuously sustained. Generally the components and hence the assets have long lives. They are fixed in place and are often have no market value.

Investment property

Property held to earn rentals or for capital appreciation or both, rather than for:

- (a) use in the production or supply of goods or services or for administrative purposes; or
- (b) sale in the ordinary course of business (AASB 140.5)

Level of service

The defined service quality for a particular service against which service performance may be measured. Service levels usually relate to quality, quantity, reliability, responsiveness, environmental, acceptability and cost).

Life Cycle Cost **

The life cycle cost (LCC) is average cost to provide the service over the longest asset life cycle. It comprises annual maintenance and asset consumption expense, represented by depreciation expense. The Life Cycle Cost does not indicate the funds required to provide the service in a particular year.

Life Cycle Expenditure **

The Life Cycle Expenditure (LCE) is the actual or planned annual maintenance and capital renewal expenditure incurred in providing the service in a particular year. Life Cycle Expenditure may be compared to Life Cycle Expenditure to give an initial indicator of life cycle sustainability.

Loans / borrowings

Loans result in funds being received which are then repaid over a period of time with interest (an additional cost). Their primary benefit is in 'spreading the burden' of capital expenditure over time. Although loans enable works to be completed sooner, they are only ultimately cost effective where the capital works funded (generally renewals) result in operating and maintenance cost savings, which are greater than the cost of the loan (interest and charges).

Maintenance and renewal gap

Difference between estimated budgets and projected expenditures for maintenance and renewal of assets, totalled over a defined time (eg 5, 10 and 15 years).

Maintenance and renewal sustainability index

Ratio of estimated budget to projected expenditure for maintenance and renewal of assets over a defined time (eg 5, 10 and 15 years).

Maintenance expenditure

Recurrent expenditure, which is periodically or regularly required as part of the anticipated schedule of works required to ensure that the asset achieves its useful life and provides the required level of service. It is expenditure, which was anticipated in determining the asset's useful life.

Materiality

An item is material if its omission or misstatement could influence the economic decisions of users taken on the basis of the financial report. Materiality depends on the size and nature of the omission or misstatement judged in the surrounding circumstances.

Modern equivalent asset.

A structure similar to an existing structure and having the equivalent productive capacity, which could be built using modern materials, techniques and design. Replacement cost is the basis used to estimate the cost of constructing a modern equivalent asset.

Non-revenue generating investments

Investments for the provision of goods and services to sustain or improve services to the community that are not expected to generate any savings or revenue to the Council, eg. parks and playgrounds, footpaths, roads and bridges, libraries, etc.

Operating expenditure

Recurrent expenditure, which is continuously required excluding maintenance and depreciation, eg power, fuel, staff, plant equipment, on-costs and overheads.

Pavement management system

A systematic process for measuring and predicting the condition of road pavements and wearing surfaces over time and recommending corrective actions.

Planned Maintenance**

Repair work that is identified and managed through a maintenance management system (MMS). MMS activities include inspection, assessing the condition against failure/breakdown criteria/experience, prioritising scheduling, actioning the work and reporting what was done to develop a maintenance history and improve maintenance and service delivery performance.

PMS Score

A measure of condition of a road segment determined from a Pavement Management System.

Bulletin Item 1.3.3- Agenda Item 15.3.2 refers 35 pages

Rate of annual asset consumption*

A measure of average annual consumption of assets (AAAC) expressed as a percentage of the depreciable amount (AAAC/DA). Depreciation may be used for AAAC.

Rate of annual asset renewal*

A measure of the rate at which assets are being renewed per annum expressed as a percentage of depreciable amount (capital renewal expenditure/DA).

Rate of annual asset upgrade*

A measure of the rate at which assets are being upgraded and expanded per annum expressed as a percentage of depreciable amount (capital upgrade/expansion expenditure/DA).

Reactive maintenance

Unplanned repair work that carried out in response to service requests and management/supervisory directions.

Recoverable amount

The higher of an asset's fair value, less costs to sell and its value in use.

Recurrent expenditure

Relatively small (immaterial) expenditure or that which has benefits expected to last less than 12 months. Recurrent expenditure includes operating and maintenance expenditure.

Recurrent funding

Funding to pay for recurrent expenditure.

Rehabilitation

See capital renewal expenditure definition above.

Remaining life

The time remaining until an asset ceases to provide the required service level or economic usefulness. Age plus remaining life is economic life.

Renewal

See capital renewal expenditure definition above.

Residual value

The net amount which an entity expects to obtain for an asset at the end of its useful life after deducting the expected costs of disposal.

Revenue generating investments

Investments for the provision of goods and services to sustain or improve services to the community that are expected to generate some savings or revenue to offset operating costs, eg public halls and theatres, childcare centres, sporting and recreation facilities, tourist information centres, etc.

Risk management

The application of a formal process to the range of possible values relating to key factors associated with a risk in order to determine the resultant ranges of outcomes and their probability of occurrence.

Section or segment

A self-contained part or piece of an infrastructure asset.

Service potential

The capacity to provide goods and services in accordance with the entity's objectives, whether those objectives are the generation of net cash inflows or the provision of goods and services of a particular volume and quantity to the beneficiaries thereof.

Service potential remaining*

A measure of the remaining life of assets expressed as a percentage of economic life. It is also a measure of the percentage of the asset's potential to provide services that is still available for use in providing services (DRC/DA).

Strategic Management Plan (SA)**

Documents Council objectives for a specified period (3-5 yrs), the principle activities to achieve the objectives, the means by which that will be carried out, estimated income and expenditure, measures to assess performance and how rating policy relates to the Council's objectives and activities.

Sub-component

Smaller individual parts that make up a component part.

Useful life

Either:

- (a) the period over which an asset is expected to be available for use by an entity, or
- (b) the number of production or similar units expected to be obtained from the asset by the entity.

It is estimated or expected time between placing the asset into service and removing it from service, or the estimated period of time over which the future economic benefits embodied in a depreciable asset, are expected to be consumed by the council. It is the same as the economic life.

Value in Use

The present value of estimated future cash flows expected to arise from the continuing use of an asset and from its disposal at the end of its useful life. It is deemed to be depreciated replacement cost (DRC) for those assets whose future economic benefits are not primarily dependent on the asset's ability to generate new cash flows, where if deprived of the asset its future economic benefits would be replaced.

Source: DVC 2006, Glossary

Note: Items shown * modified to use DA instead of CRC

Additional glossary items shown **

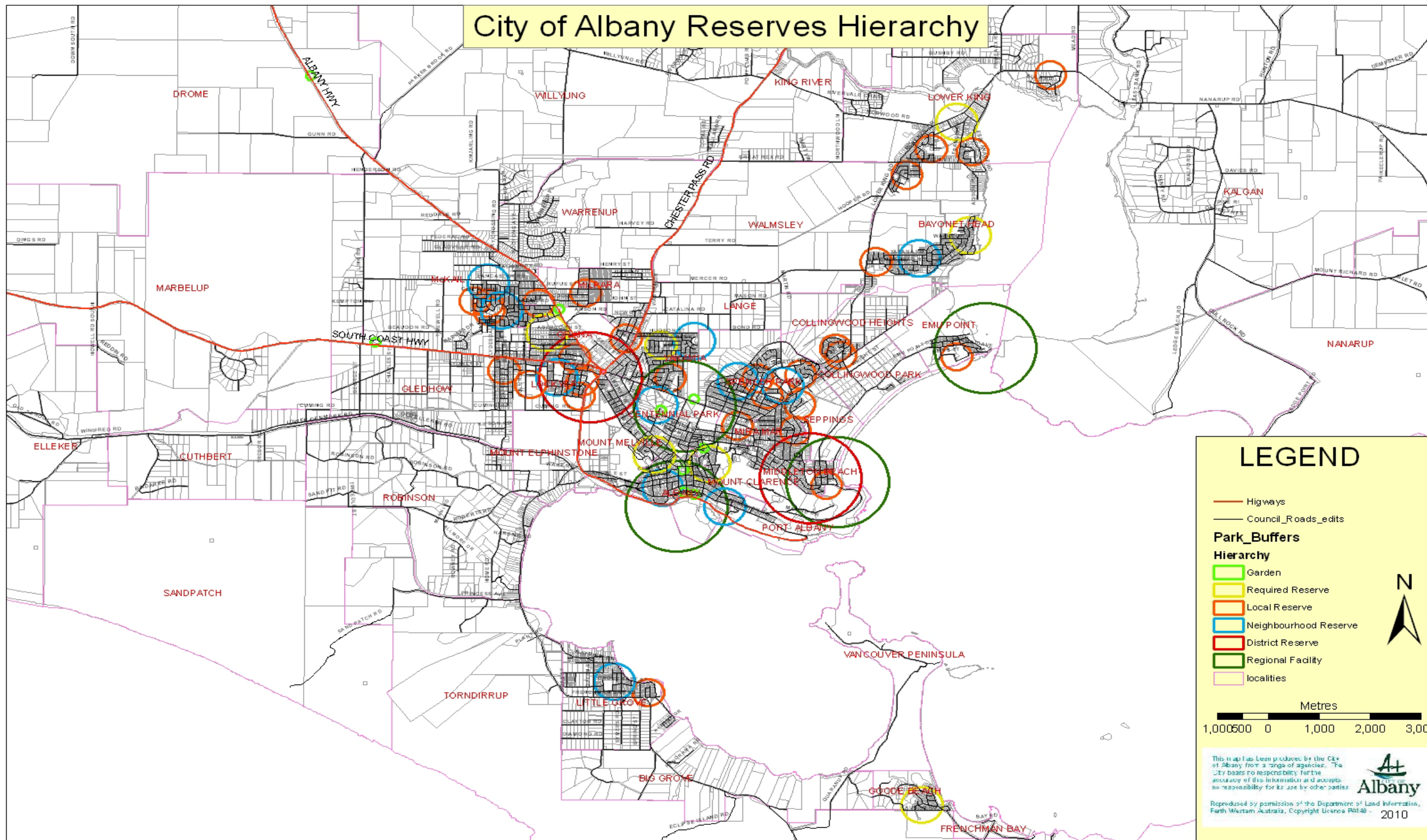
APPENDICES

Appendix A Planned 5 year Capital Renewal Works Program

Appendix A - 5 Year Capital Works Plan

Park / Garden Name	Proposed Works	Year	Estimated Cost	Total
Bob Thompson Gardens	Stage2	2010/11	\$100,000.00	\$100,000.00
Queen Victoria Gardens	Gazebo and Seating	2010/11	\$20,000.00	\$120,000.00
Eco Park	Stage 2 Car	2010/11	\$125,000.00	\$245,000.00
Lawely Park	Play ground equipment	2010/11	\$85,000.00	\$330,000.00
Middleton Beach	Landscape plan including Dune protection	2010/11	\$50,000.00	\$380,000.00
Eyre Park	Review Existing Plans & New Design	2010/11	\$50,000.00	\$430,000.00
Ellen Cove	Landscape plan for renewal of steps and retaining walls	2010/11	\$15,000.00	\$445,000.00
Various	Up grade Central Control Units for reticulation systems	2010/11	\$55,000.00	\$500,000.00
Bob Thompson Gardens	Internal path Upgrade	2011/12	\$100,000.00	\$100,000.00
Queen Victoria Gardens	Drinking Fountain and Lighting	2011/12	\$20,000.00	\$120,000.00
Eco Park	Stage 3 Internal paths and barriers	2011/12	\$75,000.00	\$195,000.00
Middleton Beach	Stage 1	2011/12	\$70,000.00	\$265,000.00
Eyre Park	Stage 1	2011/12	\$100,000.00	\$365,000.00
Ellen Cove	Renew steps and picnic tables	2011/12	\$80,000.00	\$445,000.00
Various	Up grade Central Control Units for reticulation systems	2011/12	\$55,000.00	\$500,000.00
Bob Thompson Gardens	New Kerb and Gardens	2012/13	\$100,000.00	\$100,000.00
Queen Victoria Gardens	Lawn refurbishment	2012/13	\$20,000.00	\$120,000.00
Eco Park	Stage 4 BBQ's, Gazebos and Power	2012/13	\$90,000.00	\$210,000.00
Weerlara Park	Install Play Equipment & Reticulation	2012/13	\$90,000.00	\$300,000.00
New Neighbourhood Park	Design a new neighbourhood park (Bayonet Head)	2012/13	\$45,000.00	\$345,000.00
Eyre Park	Stage 2	2012/13	\$55,000.00	\$400,000.00
McGonnell Park	Landscape design inc parking, drainage & Reticulation	2012/13	\$45,000.00	\$445,000.00
Various	Up grade Central Control Units for reticulation systems	2012/13	\$55,000.00	\$500,000.00
Bob Thompson Gardens	Pergolas, Lighting & Seating	2013/14	\$100,000.00	\$100,000.00
Eco Park	Stage 5, Space net's 1 large & 1 small (similar to ALAC)	2013/14	\$100,000.00	\$200,000.00
New Park	Stage 1 (Bayonet Head)	2013/14	\$100,000.00	\$300,000.00
New Neighbourhood Park	Design a new neighbourhood park(Orana)	2013/14	\$45,000.00	\$345,000.00
McGonnell Park	Stage 1	2013/14	\$100,000.00	\$445,000.00
Various	Up grade Central Control Units for reticulation systems	2013/14	\$55,000.00	\$500,000.00
Bob Thompson Gardens	Refurbish water fall and pump	2014/15	\$100,000.00	\$100,000.00
Mills Park	Bore & Reticulation	2014/15	\$60,000.00	\$160,000.00
Dunn St Park	Design upgrade to Neighbourhood Park	2014/15	\$45,000.00	\$205,000.00
New Park	Stage 2 (Bayonet Head)	2014/15	\$80,000.00	\$285,000.00
New Neighbourhood Park	Stage 1 (Orana)	2014/15	\$80,000.00	\$365,000.00
McGonnell Park	Stage 2	2014/15	\$80,000.00	\$445,000.00
Various	Up grade Central Control Units for reticulation systems	2014/15	\$55,000.00	\$500,000.00

Appendix B Map of Parks & Gardens

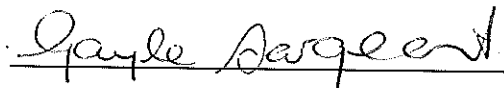


CITY OF ALBANY

REPORT

To : His Worship the Mayor and Councillors
From : Administration Officer - Planning
Subject : Planning Scheme Consents – April 2010
Date : 3rd May, 2010

1. The attached report shows Planning Scheme Consents issued under delegation by a planning officer for the month of April 2010.
2. Within the period there was a total of twenty (20) decisions made on active Planning Scheme Consents ;
 - Six (6) Planning Scheme Consents approved;
 - Thirteen (13) Planning Scheme Consents approved under delegated authority;
 - One (1) Planning Scheme Consent conditionally approved



Gayle Sargeant
Administration Officer (Planning)

PLANNING SCHEME CONSENTS ISSUED UNDER DELEGATED AUTHORITY

Applications determined for April 2010

Application Number	Application Date	Applicant	Street Address	Locality	Description of Application	Decision	Decision Date	Assessing Officer
295280	24/09/2009	T Docking	Stirling Tce	Albany	Restaurant (Change of Use & internal fit out)	Approved	29/04/2010	Tom Wenbourne
105014	22/01/2010	Outdoor World	Lower Stirling Tce	Albany	Office (Additions)	Approved	16/04/2010	Tom Wenbourne
295372	9/12/2009	Willcox & Assoc	Lower King Rd	Bayonet Head	Group Dwelling x 12	Delegate Approved	16/04/2010	Graeme Bride
105079	26/03/2010	WA Country Builders	Grenfell Dve	Bayonet Head	Single House	Delegate Approved	28/04/2010	Taylor Gunn
105057	26/02/2010	V Josway	Shoal Bay St	Big Grove	Single House - Outbuilding	Delegate Approved	22/04/2010	Craig McMurtrie
105050	22/02/2010	Hobbs Smith & Holl	Ashford St	Centennial Park	Warehouse (Additions)	Delegate Approved	19/04/2010	Taylor Gunn
295168	22/06/2009	Ken Paterson Arch	Middleton Rd	Centennial Park	Signage (7 x signs)	Conditionally Approved	19/04/2010	Tom Wenbourne
105027	3/02/2010	C Ladwig	Hercules St	Centennial Park	Private Recreation	Approved	13/04/2010	Tom Wenbourne
105064	5/03/2010	Creative Landscapes	South Coast Hwy	Gledhow	Front Boundary Fence - not visibly permeable above 1.2m	Delegate Approved	30/04/2010	Craig McMurtrie
105076	23/03/2010	A De Vos	Pearson Rd	Gledhow	Single House	Delegate Approved	19/04/2010	Craig McMurtrie
295384	17/12/2009	R & B Haese	McBride Rd	Goode Beach	Single House (additions)	Delegate Approved	30/04/2010	Tom Wenbourne
105072	17/03/2010	WA Country Builders	Mason Rd	Lange	Single House - setback relaxations and earthworks in excess of 600mm (retaining walls)	Approved	17/04/2010	Tom Wenbourne
105070	16/03/2010	A Joyce	Wilson St	Little Grove	Single House Outbuilding cut and fill greater than 600mm (retaining wall adjacent to western side boundary)	Delegate Approved	19/04/2010	Craig McMurtrie

Application Number	Application Date	Applicant	Street Address	Locality	Description of Application	Decision	Decision Date	Assessing Officer
105087	1/04/2010	T & H Bratby	Lancaster Rd	McKail	Development - front boundary fence (wall) solid above 1.2m in height	Delegate Approved	28/04/2010	Taylor Gunn
105039	11/02/2010	Urban Homes	Middleton Rd	Middleton Beach	Single House - overlooking boundary setback cut & fill in excess of 600mm	Delegate Approved	20/04/2010	Taylor Gunn
105038	11/02/2010	Urban Homes	McKenzie St	Middleton Beach	Single House - overlooking & boundary setback relaxation	Delegate Approved	20/04/2010	Taylor Gunn
295364	2/12/2009	S Slater	Seymour St	Mira Mar	Holiday Accommodation (4 Units)	Approved	13/04/2010	Tom Wenbourne
295295	13/10/2009	C Daniele	Middleton Rd	Mt Clarence	Grouped Dwelling (x2)	Delegate Approved	20/04/2010	Taylor Gunn
105016	27/01/2010	B Murphy	Serpentine Rd	Mt Melville	Single Dwelling (Addition & Outbuilding)	Approved	12/04/2010	Tom Wenbourne
105060	2/03/2010	Ironmonger Building	Robinson St	Mt Melville	Single House - Additions	Delegate Approved	20/04/2010	Jan Van Der Mesch

CITY OF ALBANY
REPORT

To : His Worship the Mayor and Councillors
From : Administration Officer - Building
Subject : Building Activity – April 2010
Date : 3 May 2010

1. In April ninety one (91) building licences were issued for building activity worth \$6,448,722.00. This included three (3) demolition licences.
2. The two (2) attached graphs compare the current City activity with the past three (3) fiscal years. One compares the value of activity, while the other compares the number of dwelling units.
3. A breakdown of building activity into various categories is provided in the Building Construction Statistics form.
4. Attached are the details of the licences issued for April 2010, the tenth month of activity in the City of Albany for the financial year 2009/2010.

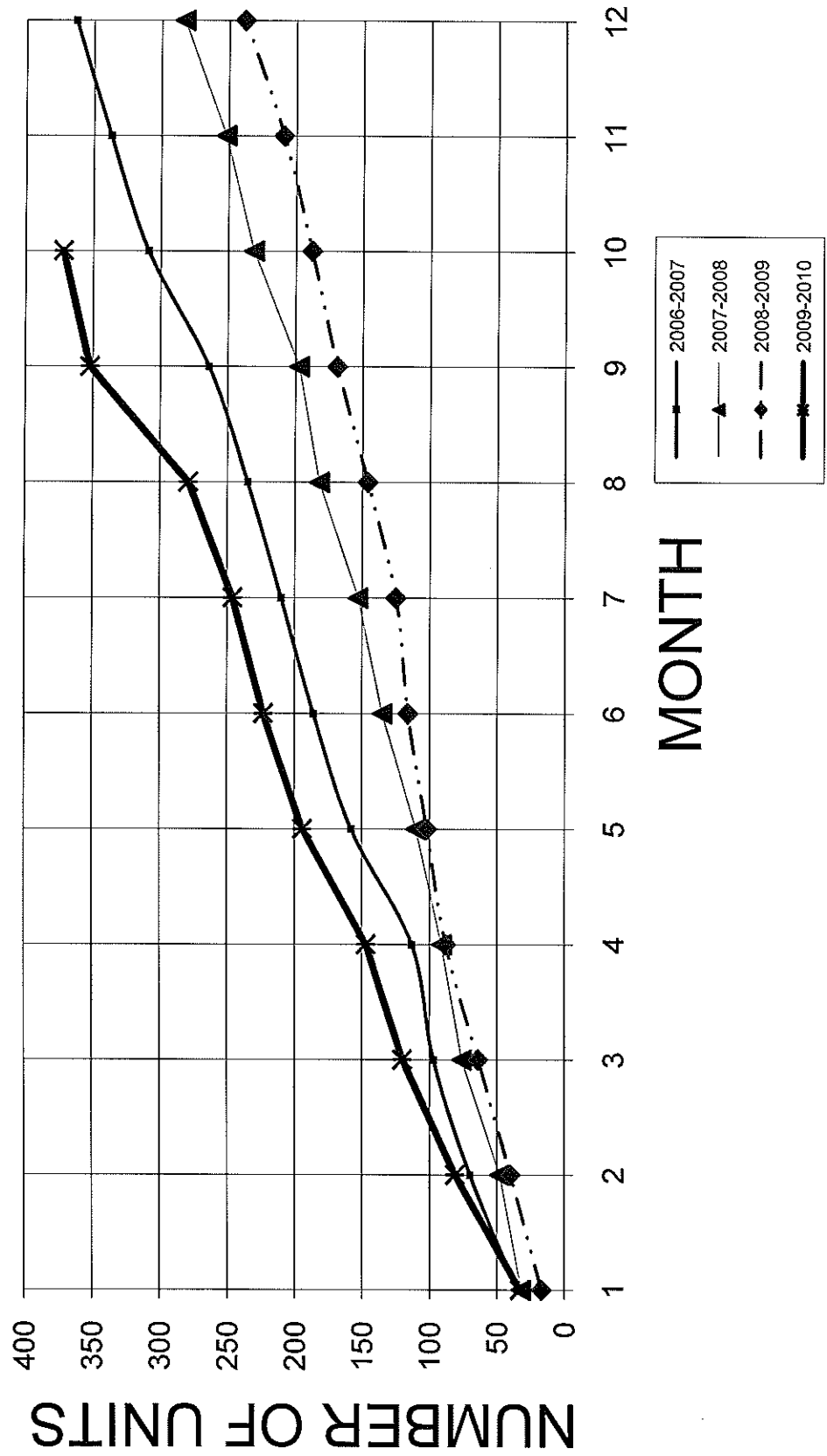

Kerry Cox
Administration Officer – Building

CITY OF ALBANY

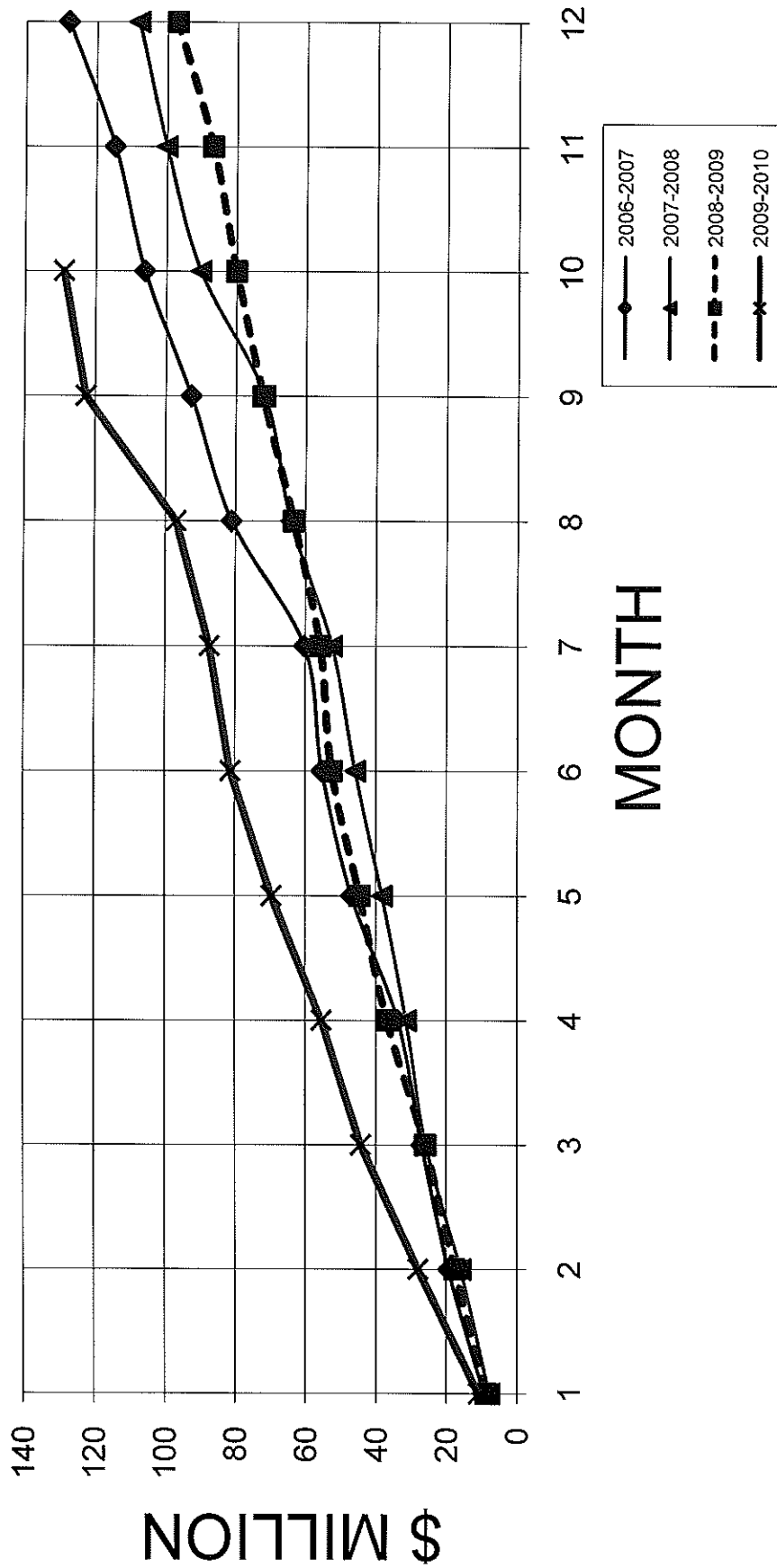
BUILDING CONSTRUCTION STATISTICS FOR 2009 - 2010

2009/2010	SINGLE DWELLING		GROUP DWELLING		DOMESTIC/ OUTBUILDINGS	ADDITIONS/ DWELLINGS		HOTEL/ MOTEL	NEW COMMERCIAL		ADDITIONS/ COMMERCIAL		OTHER	TOTAL \$ VALUE			
	No	\$ Value	No	\$ Value		No	\$ Value		No	\$ Value	No	\$ Value			No	\$ Value	
JULY	31	6,894,101	2	363,500	16	258,102	40	864,472	0	0	1	1,000,000	8	1,042,946	13	388,290	10,811,411
AUGUST	37	7,803,923	11	2,007,784	17	400,128	21	1,008,076	0	0	2	1,557,000	7	4,367,595	9	49,836	17,194,342
SEPTEMBER	39	13,956,728	0		21	326,526	37	607,000	0	0	1	187,140	7	977,595	11	165,807	16,220,796
OCTOBER	26	6,734,277	1	169,836	22	361,251	34	1,538,977	0	0	2	1,950,000	1	180,000	10	255,900	11,190,241
NOVEMBER	39	10,718,277	8	1,598,156	17	190,053	40	927,236	0	0	2	233,750	3	385,000	11	110,948	14,163,420
DECEMBER 2010	29	6,619,849	0	0	12	170,243	32	954,308	0	0	2	1,571,104	6	2,176,183	11	247,329	11,739,016
JANUARY	23	4,126,381	0	0	10	207,863	19	425,278	0	0	1	100,000	3	1,103,088	6	81,769	6,044,379
FEBRUARY	32	7,375,806	1	220,000	16	168,612	23	1,089,843	0	0	1	90,687	5	496,750	7	56,100	9,497,798
MARCH	52	12,662,021	21	5,019,502	24	295,259	37	1,305,192	0	0	0	0	5	6,187,000	18	298,832	25,767,806
APRIL	19	4,671,105	1	170,000	23	408,307	37	756,801	0	0	0	0	2	138,000	9	304,509	6,448,722
MAY				0					0	0							0
JUNE				0					0	0							0
TOTALS TO DATE	327	81,562,468	45	9,548,778	178	2,786,344	320	9,477,183	0	0	12	6,689,681	47	17,054,157	105	1,959,320	129,077,931

DWELLING UNITS



BUILDING ACTIVITY
\$M Value



BUILDING, SIGN & DEMOLITION LICENCES ISSUED UNDER DELEGATED AUTHORITY

Applications determined for April 2010

Application Number	Builder	Owner	Description of Application	Street #	Property Description	Street Address	Suburb
300258	MEUZELAAR	Owner's Name & Address	TWO STOREY DWELLING	391	Location AT332	EARL STREET	ALBANY
300264	ENTERPRISES PTY LTD OWNER BUILDER	not shown at their request Owner's Name & Address	DECKING	14	Lot 28 Location ALBAN T	EARL STREET	ALBANY
300265	OWNER BUILDER	not shown at their request Owner's Name & Address	ENCLOSED GAZEBO TO	14	Lot 169 Location ALBAN T	EARL STREET	ALBANY
291236	OUTDOOR WORLD	not shown at their request Owner's Name & Address	EXISTING DECK CARPORT	191	Lot 169 Location ATL 1017	LOWER STIRLING TERRACE	ALBANY
300289	OUTDOOR WORLD	not shown at their request Owner's Name & Address	SHED	203	Lot 302 Location ALBAN T	GREY STREET	ALBANY
300367	PULS PATIOS	not shown at their request Owner's Name & Address	PATIO	32	Lot 249 Location ATL 370	SERPENTINE ROAD	ALBANY
300076	K & T CASTLEHOW	not shown at their request Owner's Name & Address	DWELLING ALTERATIONS &	38	Lot 31 Location 1196 Lot	KURANNUP ROAD	BAYONET HEAD
300201	BUILDERS TECTONICS CONTRUCTIONS GROUP	not shown at their request L W & C A HARLAND	ADDITIONS SHED	40	159 Location 359 Lot	ALISON PARADE	BAYONET HEAD
300312	STATEWIDE DEMOLITION	ALBANY LIFESTYLE VILLAGE	DEMOLITION 6 CHALETs &	34	Location 359 Lot	ALISON PARADE	BAYONET HEAD
300231	ANNE BROUN	PTY LTD Owner's Name & Address	AMENITIES DWELLING GARAGE &	12	500 Location 3040 Lot	PAUL TERRY DRIVE	BAYONET HEAD
300291	OWNER BUILDER	not shown at their request M E T I O N	ALFRESCO RETAINING WALL	38	450 Location 3470 Lot	RANGE COURT CRESCENT	BAYONET HEAD
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Application Number	Builder	Owner	Description of Application	Street #	Property Description	Street Address	Suburb
300303	OUTDOOR WORLD	Owner's Name & Address	SHED	46	Location 3470 Lot	YATANA ROAD	BAYONET HEAD
300307	TERRY ANDERSON	not shown at their request Owner's Name & Address	SHED	33	335 Location 4790 Lot	WATERS ROAD	BAYONET HEAD
300313	OUTDOOR WORLD	not shown at their request J T & P A HAYES	PATIO	24	630 Location 285 Lot	ANCHORAGE VISTA	BAYONET HEAD
300326	RG GLIOSCA	Owner's Name & Address	DWELLING & RETAINING	1	904 Location 1196 Lot	THISTLE STREET	BAYONET HEAD
300333	APH CONTRACTORS	not shown at their request Owner's Name & Address	WALL RETAINING WALLS TO	23	Location 4790 Lot	LOWER KING ROAD	BAYONET HEAD
300356	L J BRENTON	not shown at their request Owner's Name & Address	MULTIPLE LOTS SHED	12	9001 Location 359 Lot 2	SIMMONS STREET	BAYONET HEAD
300197	VW JOSWAY	not shown at their request P HIND	SHED		Location 374 Lot 411	SHOAL BAY RETREAT	BIG GROVE
300037	R & E SCHLAGER	Owner's Name & Address	ADDITIONS TO MEDICAL	2-18	Location ALBAN S	PIONEER ROAD	CENTENNIAL PARK
300306	OUTDOOR WORLD	not shown at their request Owner's Name & Address	CENTRE PATIO X 2	234-242	Lot 14 Location ALB	ALBANY HIGHWAY	CENTENNIAL PARK
300360	KOSTERS STEEL	not shown at their request R M MORDY	PATIO	280	TOWN Lot P1 Location SL 59 Lot	MIDDLETON ROAD	CENTENNIAL PARK
300304	CONSTRUCTION PTY LTD OUTDOOR WORLD	Owner's Name & Address	SHED	51	51 Location 525 Lot	BINDAREE ROAD	CUTHBERT
300244	LUKE SHUTTLEWORTH	not shown at their request Owner's Name & Address	DWELLING GARAGE	30	Location 487 Lot 1	MUTTON BIRD ROAD	ELLEKER
		not shown at their request	VERANDAH				

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300263	KOSTERS STEEL	M W SEVERIN	SHED	31	Location ALB	MERMAID AVENUE	EMU POINT
300361	CONSTRUCTION PTY LTD KOSTERS STEEL	K J & M W SEVERIN	PATIO	31	TOWN Lot 950 Location ALB	MERMAID AVENUE	EMU POINT
300173	CONSTRUCTION PTY LTD KYLE & RENAE ROACH	Owner's Name & Address	DWELLING ADDITION &	8	TOWN Lot 950 Location 366 Lot	HOLBORN STREET	GLEDHOW
300261	ANTONIE DE VOS	not shown at their request Owner's Name & Address	GARAGE DWELLING	66 1	66 Location 811 Lot	PEARSON PLACE	GLEDHOW
300332	OUTDOOR WORLD	not shown at their request R E & B A HAESE	SHED	66	200 Location 2471 Lot	MCBRIDE ROAD	GOODE BEACH
300187	BUNBURY POOL CENTRE PTY LTD	M I TWENTYMAN	SWIMMING POOL	419	12 Location 5826 Lot	DOUGLAS ROAD	KALGAN
300267	MICHELLE WOOLHOUSE	Owner's Name & Address	DWELLING	39	1 Location 1569 Lot	OSPREY HEIGHTS	KALGAN
300245	DAVID JOHNS	not shown at their request D H JOHNS	DWELLING & VERANDAH	508	508 Location 4378 Lot	BON ACCORD ROAD	KALGAN
300268	OWNER BUILDER	D H JOHNS	CARPORT	201	201 Location 4378 Lot	BON ACCORD ROAD	KALGAN
300281	KOSTERS STEEL	M J A HODGE & T S HODGE	SHED	16	201 Location 1569 Lot	SWAN POINT ROAD	KALGAN
300292	CONSTRUCTION PTY LTD PW NORMAN	J M HAWKINS	DWELLING ADDITION &	203	118 Location 24 Lot 2	BAY VIEW DRIVE	LITTLE GROVE
300271	OWNER BUILDER	Owner's Name & Address	RELOCATION OF PATIO VERANDAH	55	55 Location 226 Lot 1	PARKER STREET	LOCKYER
300294	KOSTERS STEEL	not shown at their request G R MCMORRAN	PATIO	11	11 Location 228 Lot	HUMPHREYS STREET	LOCKYER
	CONSTRUCTION PTY LTD			333	333		

Application Number	Builder	Owner	Description of Application	Street #	Property Description	Street Address	Suburb
300282	KOSTERS STEEL CONSTRUCTION PTY LTD	L M & B R IRELAND	SHED		Location 520 Lot 21	RIVERVALE CHASE	LOWER KING
300260	CHESTERS CONSTRUCTIONS	Owner's Name & Address not shown at their request	SHED		Location 28 Lot 26	MORILLA ROAD	LOWER KING
300302	OUTDOOR WORLD	Owner's Name & Address	PATIO	475	Location 520 Lot 3	LOWER KING ROAD	LOWER KING
300138	RYDE BUILDING	not shown at their request Owner's Name & Address	DWELLING GARAGE &	83	Location 381 Lot	LANCASTER ROAD	MCKAIL
300269	COMPANY PTY LTD OUTDOOR WORLD	not shown at their request C J SCOTT	ALFRESCO GARAGE	9000	Location 492 Lot 261	DORADO BEND	MCKAIL
300284	OUTDOOR WORLD	LS & K I ARCHBOLD	SHED	10	Location 399 Lot 716	GODDARD WAY	MCKAIL
300296	FORMATION HOMES PTY LTD	Owner's Name & Address	DWELLING	26	Location 492 Lot	DORADO BEND	MCKAIL
300301	GREAT SOUTHERN HORTICULTURAL SERVICES	not shown at their request J A WELLSTEAD	GARAGE	19	Location 381 Lot	LANCASTER ROAD	MCKAIL
300075	KOSTERS STEEL	CITY OF ALBANY (VESTED)	ADDITIONS TO SPEEDWAY	12	Location RES	REDDALE ROAD	MCKAIL
300236	CONSTRUCTION PTY LTD WA COUNTRY BUILDERS PTY LTD	CROWN LAND D A SCOTT	CLUB DWELLING CARPORT & ALFRESCO	28	Location 2174 Lot 274	DONALD DRIVE	MCKAIL
300341	OUTDOOR WORLD	Owner's Name & Address	SHED	19	Location 492 Lot	DORADO BEND	MCKAIL
300345	CHESTERS	not shown at their request S M KOLANEK & F TUPLUK	SHED	140	Location 377 Lot 288	GLADVILLE ROAD	MCKAIL
300058	CONSTRUCTIONS WA COUNTRY BUILDERS PTY LTD	Owner's Name & Address not shown at their request	DWELLING GARAGE COURTYARD & RETAINING WALL	11	Location 2174 Lot 258	WITHERS WAY	MCKAIL

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300110	KENT HOLLAND	K D HOLLAND	DWELLING GARAGE &	15	Location 492 Lot	MOON PARADE	MCKAIL
300347	OWNER BUILDER	Owner's Name & Address	ALFRESCO PATIO	170	Location 492 Lot	MILKY WAY	MCKAIL
300270	OUTDOOR WORLD	not shown at their request S B & T J MYERS	SHED & PATIO	285	Location 399 Lot	STODDART CORNER	MCKAIL
300357	METROOF ALBANY	Owner's Name & Address	SHED	735	Location 399 Lot	GREGORY DRIVE	MCKAIL
300327	G SUTTON	not shown at their request CITY OF ALBANY (VESTED CROWN LAND)	TOILET BLOCK DEMOLITION	468	Location RES	FLINDERS PARADE	MIDDLETON BEACH
300279	OWNER BUILDER	Owner's Name & Address	CARPOT PERGOLA	45	Location 240 Lot	COOGEE STREET	MILPARA
300169	OUTDOOR WORLD	not shown at their request Owner's Name & Address	VERANDA & PORTICO SEMI ENCLOSED CARPORT	135	Location 240 Lot	COOGEE STREET	MILPARA
300309	PULS PATIOS	not shown at their request Owner's Name & Address	& PATIO PATIO & CARPORT	37	Location 418 Lot 4	ALBANY HIGHWAY	MILPARA
300324	PULS PATIOS	not shown at their request T R JOHNSON	PATIO	81	Location 368 Lot	RUFUS STREET	MILPARA
300079	JOHN A GREY	L J & J A BAIRSTOW	PATIO	107	Location PL44 Lot	NELSON STREET	MIRA MAR
300317	A1 DEMOLITION & CONTRACTING	B W SHEPHERDSON	DEMOLITION OF DWELLING	300	Location 44 Lot 28	SEYMOUR STREET	MIRA MAR
300329	J & TW DEKKER PTY LTD	Owner's Name & Address	DWELLING GARAGE	11	Location 45 Lot	HENLEY GROVE	MIRA MAR
300328	JR GOMM	not shown at their request L F HEFFERNAN	ALFRESCO DWELLING GARAGE	221 35C	Location ASL 376 Lot 154	DREW STREET	MIRA MAR

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300293	COLIN BRINHAM	W H & S L SHAKESPEARE	RETAINING WALL	16	Location SB 06 Lot 808	SHORTS PLACE	MIRA MAR
300334	LEIGH SELEPAK	L A SELEPAK	CARPORT	14	Location 44 Lot 1	CHAMPION STREET	MIRA MAR
300177	T & W BRADE	Owner's Name & Address	DWELLING ADDITIONS	14	Location ALBAN T	WELLINGTON STREET	MT MELVILLE
300288	OUTDOOR WORLD	not shown at their request C J GLAZEBROOK	PATIO	362	Location ASL 117 Lot 17	SERPENTINE ROAD	MT MELVILLE
300251	OUTDOOR WORLD	Owner's Name & Address	CARPORT	6	Location 384 Lot 71	BROUGHTON STREET	ORANA
300287	OUTDOOR WORLD	not shown at their request Owner's Name & Address	PATIO	33	Location 222 Lot 153	DROME ROAD	ORANA
300339	TURPS STEEL FABRICATIONS	not shown at their request A C BURKING	PATIO	34	Location PL222 Lot 42	SIERRA CRESCENT	ORANA
300384	KOSTERS STEEL	B R & L E SIMMONS	PATIO	16	Location PL222 Lot 33	SIERRA CRESCENT	ORANA
300351	CONSTRUCTION PTY LTD OWNER BUILDER	Owner's Name & Address	CARPORT	56	Location 383 Lot 22	BRUNSWICK ROAD	PORT ALBANY
300286	CHESTERS CONSTRUCTIONS	not shown at their request R C & A J PIERCEY	SHED	120	Location 289 Lot 181	HOME ROAD	ROBINSON
300209	ANTHONY PERRELLA	Owner's Name & Address	PATIO & DECK	85	Location 42 Lot 108	DAVID STREET	SPENCER PARK
291074	GEOFFREY ST CLAIRE	not shown at their request Owner's Name & Address	DWELLING CARPORT &	41A	Location 42 Lot 128	HILLMAN STREET	SPENCER PARK
300239	HOLMES R & E SCHLAGER	not shown at their request Owner's Name & Address	ALFRESCO DWELLING GARAGE &	128	Location 42 Lot 655	ANGOVE ROAD	SPENCER PARK
		not shown at their request	ALFRESCO				

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300308	PULS PATIOS	Owner's Name & Address	CARPORT	156	Location 42 Lot	ULSTER ROAD	SPENCER PARK
300325	PULS PATIOS	not shown at their request Owner's Name & Address	PATIO	332	88	LANGOVE ROAD	SPENCER PARK
300335	ST JACK STEEL CONSTRUCTION	not shown at their request O & M ANDREOTTI	CARPORT	680	70	PREMIER CIRCLE	SPENCER PARK
300104	OUTDOOR WORLD	Owner's Name & Address	PATIO	12	Location 42 Lot	CLINT TERRACE	SPENCER PARK
300277	DIANA NESOSSI	not shown at their request D NESOSSI	DWELLING	566	65	JARMAN ROAD	TORBAY
300163	OUTDOOR WORLD	Owner's Name & Address	SHED	5492/5493 Lot	Location	WARRENUP PLACE	WARRENUP
300255	TIMOTHY HARRISON	not shown at their request Owner's Name & Address	DWELLING CARPORT &	259	115	DELORAINE DRIVE	WARRENUP
291151	OUTDOOR WORLD	not shown at their request Owner's Name & Address	VERANDAH SHED	176	18	KENDELL COURT	WARRENUP
300285	CHESTERS	not shown at their request Owner's Name & Address	SHED	219	5	MEARS ROAD	YAKAMIA
300338	CONSTRUCTIONS TURPS STEEL FABRICATIONS	not shown at their request G P THORNTON	PATIO	127	54	ERINDALE COURT	YAKAMIA
300158	OWNER BUILDER	S J RAMSLEY	FRONT FENCE	42	Location AT177 Lot 21	CHESTER PASS ROAD	YAKAMIA
300349	SCOTT PARK HOMES GREAT SOUTHERN PTY LTD	Owner's Name & Address	DWELLING & GARAGE	12	Location 243 Lot	GREVILLE WAY	YAKAMIA
300331	CAMERON & ELAINE MITCHELL	not shown at their request C E & E MITCHELL	1 X GROUPED DWELLING	648	16	LESLIE STREET	YAKAMIA
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300373	KOSTERS STEEL	A C HALLOWS & J E	PATIO	49	Location 356 Lot	BUTTS ROAD	YAKAMIA
300374	CONSTRUCTION PTY LTD KOSTERS STEEL	MORGAN P & S LADKIN	PATIO & CARPORT	32	568 Location PL474	ERINDALE COURT	YAKAMIA
300330	CONSTRUCTION PTY LTD OWNER BUILDER	B N & L ROBSON	SHED	21	Lot 197 Location 356 Lot 163	HUME CORNER	YAKAMIA