



ATTACHMENTS

Ordinary Meeting of Council

Tuesday 23 June 2015

6.00pm

City of Albany Council Chambers

ORDINARY COUNCIL MEETING
ATTACHMENTS –23/06/2015

TABLE OF CONTENTS

Attachment	Report No.	Description	Page No.
A	ED	Economic Development Committee	
	ED023	<ul style="list-style-type: none"> • Albany Visitor Centre-Operation and Performance Review Terms of Reference 	1
B	CS	Community Services Committee Nil	
C	PD	Planning & Development Committee	
	PD082	<ul style="list-style-type: none"> • Planning and Building Reports May 2015 	7
	PD083	<ul style="list-style-type: none"> • Proposed Review of Memorandum of Agreement and Planning Controls for the Albany Waterfront Precinct 	22
D	WS	Works & Services Committee	
D	CSF	Corporate Services & Finance Committee	
	CSF171	<ul style="list-style-type: none"> • Financial Activity Statement-April 2015 	113
	CSF172	<ul style="list-style-type: none"> • List of Accounts for Payment-May 2015 	122
	CSF173	<ul style="list-style-type: none"> • Delegated Authority Reports 	143
	CSF174	<ul style="list-style-type: none"> • Council Policy-Payments to Employees Above Contract or Award 	148
	CSF175	<ul style="list-style-type: none"> • Proposed Resumption-Lot 15 No 411 Collingwood Road CONFIDENTIAL 	151
	CSF177	<ul style="list-style-type: none"> • Albany Agricultural Society-Future Use and Tenure in Centennial Park 	159
E	WS	Works & Services Committee	
	WS074	<ul style="list-style-type: none"> • Eyre Park All Abilities Regional Play Space 	168
EE	BFAC	Bush Fire Advisory Committee	
	BFAC001	<ul style="list-style-type: none"> • Council Policy-Radio Communication Allocation to Brigade Members 	174



Terms of Reference Albany Visitor Centre Review

Prepared by: Dean M Lee

Date: 1 April 2015

Project Title

Operational and Performance Review of Albany Visitor Centre

Project Purpose

At the request of Council, the Chief Executive Officer has directed that a review of the Albany Visitor Centre is made to assess alignment with industry best practice and identify opportunities for optimising financial performance in the delivery of services to satisfy contemporary visitor expectations.

Background

The Albany Visitor Centre (AVC) was established in the 1960s to perform the visitor service function within the tourism development trilogy of product development, destination marketing, and visitor service. The City of Albany became involved in operations around 2003/4 and assumed full operational control of the AVC in 2011.

Tourism is the fourth largest industry in Albany in terms of Regional GDP, and the City's entry to visitor centre management was predicated on its recognition of both the significance of this industry sector and the strategic opportunity it provides to serve economic development objectives. This view has subsequently been substantiated in strategic planning work undertaken by the City, Great Southern Development Commission and Regional Development Australia.

Since opening, the AVC has undergone a series of changes in management, whilst its processes and deliverables have remained largely unchanged: i.e., visitor information services, accommodation and tour booking sales, tourism promotion and retail sales. Causal in each of the management transitions has been the challenge of achieving and maintaining a sustainable financial business model.

In 2013, Tourism Western Australia engaged Haeberlin Consulting to undertake a comprehensive review of visitor centres within Western Australia. The purpose of this review was to identify key factors for success and operational modalities consistent with efficient operation in response to changes in visitor expectations and behaviour coincident with transformations in the tourism industry related to the advent and growing dominance of web-based platforms for the delivery of booking services and tourism information. The resultant 'The Future of Visitor Centres in WA' report - hereafter referred to as the Haeberlin Report - was publically released in August 2014.

Project Rationale

The CoA recognises the significance of the tourism sector in its local economy and the importance of visitor servicing in supporting demand.

Prior to, and during, the City's management of the AVC, operating revenues achieved through the sales of services and retail products have been insufficient to offset operating costs; and the City has provided subsidy funding in each year of operations.

To fulfil its charter and accountability to the community, the City must periodically review business practices within each area of its activities to ensure it is - to the greatest extent possible - operating at, or close to, industry best practice, and the expenditure of stakeholders' funds is optimised.

With fresh insights to the Western Australian visitor centre sector available through the Haerberlin Report, the City has been provided with a benchmark for best practice and may now consider opportunities for reviewing the sustainable financial operation of the AVC.

Project Objectives

The objectives of the Project are:

1. to critically evaluate the nature and range of services provided by AVC and their congruence with the contemporary expectations of visitors
2. to objectively establish the financial performance of each of the revenue generating activities: i.e., retail sales, accommodation booking sales, tour sales and advertising sales
3. to identify positive changes to the operating model to align with industry best practice
4. to recommend an optimal operational and financial model - inclusive of resourcing - for the continued, sustainable operation of AVC

Project Constraints

The Project will be undertaken utilising the internal resource of the General Manager Business and Economic Development (GMBED). This is not an exclusive resource as the GMBED holds additional, competing responsibilities.

The future operation of the AVC is to be consistent with the City's Community Strategic Plan. The Centre's operations are included within Strategic Objective One: to be 'Smart Prosperous and Growing', and more specifically, in action item 1.3 'To develop and promote

Albany as a unique and sought-after visitor destination.’ The provision of visitor servicing must consequently be maintained as an essential function in delivering growth and development of Albany’s tourism industry, and its economy.

Project Principles

The Project will be undertaken objectively with no preconceived outcome or hypotheses to be tested or proven. It will consider both quantitative and qualitative information including the views of relevant stakeholders. In analysis, development of conclusions and making recommendations, objective framing will be adopted and maintained.

Governance and Authority

The Council of the CoA has directed the CEO to undertake the Project. The CEO has delegated this task to the GMBED who holds executive management responsibility for the AVC. The GMBED will undertake the Project on behalf of the CEO and report his findings to the CEO. Once satisfied with the deliverables produced through the Project, the CEO will cause this information to be reported to Council.

Identified Project Stakeholders

Both internal and external stakeholders will be consulted during the Project. Internally, these will include executive officers of the CoA and staff of the AVC. As a formal review can cause a degree of employee uncertainty, it is imperative that staff of the AVC is fully briefed as to the nature and intent of the review prior to, and throughout, the Project process.

Principal external stakeholders whose views will be sought are:

- Current and past AVC managers
- Tourism Western Australia
- Tourism Council Western Australia
- Haeberlin Consulting
- Key AVC clients

Scope

The Project will solely consider and make recommendations based on analysis of the current and recent past performance of the AVC. This will be accomplished through reference to CoA financial and related reports, the Haeberlin Report and consultation with identified

stakeholders The Project will not consider the potential imposts or benefits of closure or a transition in management responsibility for the AVC to a third party.

Target Project Benefits

The anticipated benefits of the Project are to identify an optimal model for sustainable operation of the AVC and to ensure that the nature and delivery of services are best aligned with the contemporary expectations of visitors to Albany in keeping with strategic action 1.3: "To develop and promote Albany as a unique and sought-after visitor destination.'

Resource Requirement

The Project is being undertaken utilising internal resources of the CoA. No dedicated budget is required to undertake the Project.

Reference Documents

- City of Albany Community Strategic Plan: Albany 2023
- City of Albany Corporate Business Plan 2014-2018
- City of Albany Economic Development Strategy 2013-2017
- City of Albany internal Financial Reports
- Haeberlin Consulting Report, 'The Future of Visitor Centres in WA' 2014

Timing

	Action	Deliverable	Effort	Due	Comment
1	CEO instructs GMBED to prepare terms of reference for the review of the Albany Visitor Centre	Terms of reference	4 hours	7 April 15	To be provided to Council by the CEO for review and acceptance.
2	Brief Staff of AVC	N/A	1 hour	13 April 15	GMBED on leave until 12 April 15
3	The GMBED undertakes preliminary activities to observe the operations of the AVC, review and analyse the Haeberlin Report, financial and business plans of the AVC and confer with identified stakeholders.	Summary of preliminary findings	40 hours	15 May 15	Not a formal report to the CEO or Council. Due date subject to acceptance date of TORs by Council
4	Prepare draft report of findings and present to EMT and CEO for consideration and direction.	Draft report	20 hours	1 June 15	At the direction of the CEO the draft report may be circulated to other stakeholders including Councillors. Should this occur, additional time may be allowed for Councillors to consider and provide feedback.
5	Prepare final report and supporting presentation materials	Final report	8 hours	12 June 15	Subject to the above review of the draft report, presentation of the final report may be extended.

CITY OF ALBANY

REPORT

To : His Worship the Mayor and Councillors
From : Administration Officer - Planning
Subject : Planning Scheme Consents – May 2015
Date : 3 June 2015

1. The attached report shows Planning Scheme Consents issued under delegation by a planning officer for the month of May 2015.
2. Within this period 61 Planning Scheme Consent applications were determined, of these;
 - 56 Planning Scheme Consent applications were approved under delegated authority;
 - 2 Planning Scheme Consent application was approved by Council; and
 - 3 Planning Scheme Consent applications were withdrawn.



Kandi Smith
Administration Officer – Planning

PLANNING SCHEME CONSENTS ISSUED UNDER DELEGATED AUTHORITY

Applications determined for MAY 2015

Application Number	Application Date	Applicant	Street Address	Locality	Description of Application	Decision	Decision Date	Assessing Officer
P2150184	10/04/2015	Realforce Pty Ltd	Stirling Terrace	Albany	Development - Refurbishment of Internal Walkway	Delegate Approved	5/05/2015	Taylor Gunn
P2150226	5/05/2015	M Randall	York Street	Albany	Development - Refurbishment of existing Public Toilets/Amenities	Delegate Approved	22/05/2015	Taylor Gunn
P2150246	13/05/2015	Ironmonger Building Company	Parade Street	Albany	Single House - Design Codes Assessment	Delegate Approved	26/05/2015	Jessica Anderson
P2150040	30/01/2015	Schlager Homes	Houghton Boulevard	Bayonet Head	Single House - Design Codes Assessment	Delegate Approved	28/05/2015	Taylor Gunn
P2150216	24/04/2015	Downunder Contracting Pty Ltd	Albatross Drive	Bayonet Head	Development - Earthworks Greater Than 600mm (Retaining Walls on Boundaries)	Delegate Approved	19/05/2015	Taylor Gunn
P2150241	11/05/2015	Pocock Building Company	Dyer Court	Bayonet Head	Single House (Design Codes Assessment)	Delegate Approved	22/05/2015	Alex Bott
P2150244	12/05/2015	WA Country Builders	Berliner Street	Bayonet Head	Single House - Design Codes Assessment	Delegate Approved	26/05/2015	Taylor Gunn
P2150231	6/05/2015	R Taylor	Lockyer Avenue	Centennial Park	Development - Community Recreation Facilities (Stadium Buildings Changes Rooms Grandstand)	Delegate Approved	26/05/2015	Alex Bott
P2150236	8/05/2015	Harley Dykstra Pty Ltd	Albany Highway	Centennial Park	Change of Use - Shop	Delegate Approved	25/05/2015	Alex Bott
P2150252	18/05/2015	Metro Signs	Albany Highway	Centennial Park	Development - Monolith Signs x 2 - (Policy Variation)	Delegate Approved	25/05/2015	Jessica Anderson
P2150243	12/05/2015	Albany Construction & Maintenance	Ulster Road	Collingwood Heights	Club Premises (Amended Plans P2115214) Shed	Delegate Approved	28/05/2015	Alex Bott
P2150260	20/05/2015	Desmond Ross Chapman	Breaksea Crescent	Collingwood Heights	Single House - Addition (Garage) - Design Codes Assessment	Delegate Approved	22/05/2015	Alex Bott
P2150043	2/02/2015	F Liva	Emu Point Drive	Collingwood Park	Single House - Outbuilding	Delegate Approved	25/05/2015	Alex Bott
P2150141	23/03/2015	Ironmonger Building Company	Griffiths Street	Collingwood Park	Single House - Additions (Design Codes Assessment)	Delegate Approved	18/05/2015	Taylor Gunn

REPORT ITEM PD 082 REFERS

Application Number	Application Date	Applicant	Street Address	Locality	Description of Application	Decision	Decision Date	Assessing Officer
P2150215	24/04/2015	J & L Draper	Old Elleker Road	Gledhow	Single House - Outbuilding (New Shed to Replace Existing)	Delegate Approved	7/05/2015	Taylor Gunn
P2150227	5/05/2015	Powerhouse Architectural Drafting	St Georges Crescent	Goode Beach	Single House - Additions to existing decks (Design Codes Assessment)	Delegate Approved	8/05/2015	Taylor Gunn
P2150160	27/03/2015	Benson Design	Watari Rise	Kalgan	Single House and detached Studio and Outbuilding	Delegate Approved	15/05/2015	Taylor Gunn
P2150223	1/05/2015	JR Boon	Two Peoples Bay Road	Kalgan	Caravan Park - Sea Container (Storage)	Delegate Approved	6/05/2015	Alex Bott
P2150247	13/05/2015	K Rost	Two Peoples Bay Road	Kalgan	Prop 304 Lot 200 Two Peoples Bay Rd Kalgan	Withdrawn	28/05/2015	Deb Delury
P2150083	19/02/2015	P Severin	Norwood Road	King River	Bed & Breakfast	Delegate Approved	7/05/2015	Alex Bott
P2150213	23/04/2015	Palmer Earthmoving (Australia) Pty Ltd	Bon Accord Road	King River	Development - Dam	Delegate Approved	20/05/2015	Tom Wenbourne
P2150179	8/04/2015	B & R Hook	Bandicoot Drive	Lange	Single House- Outbuilding & Retaining Walls (Design Codes Assessment)	Delegate Approved	14/05/2015	Taylor Gunn
P2150192	15/04/2015	IF Howard	Chipana Drive	Little Grove	Public Recreation - Additions to Sailing Club (new cool room & boat storage shed)	Delegate Approved	7/05/2015	Alex Bott
P2150210	21/04/2015	Bastillegreat Southern	Gordon Street	Little Grove	Single House - Outbuilding (Overheight)	Delegate Approved	21/05/2015	Craig McMurtrie
P2150211	21/04/2015	Powerhouse Architectural Drafting	Paulas Way	Little Grove	Single House - Additions (Convert existing garage to bedrooms;new garage at front)	Delegate Approved	1/05/2015	Craig McMurtrie
P2150237	8/05/2015	South Coast Sheds	Grove Street West	Little Grove	Single House - Outbuilding (Overheight)	Delegate Approved	22/05/2015	Taylor Gunn
P2150201	16/04/2015	B & M Henke	Cull Road	Lockyer	Single House - Design Codes Assessment	Delegate Approved	21/05/2015	Jessica Anderson
P2150162	30/03/2015	R Mcleish	Lower King Road	Lower King	Family Day Care	Delegate Approved	28/05/2015	Alex Bott
P2150253	18/05/2015	C Armstrong	Lower King Road	Lower King	Home Occupation - (Cake Baking)	Delegate Approved	28/05/2015	Taylor Gunn
P2150267	22/05/2015	A Probert	Hillview Rise	Lower King	Single House - Outbuilding	Delegate Approved	27/05/2015	Alex Bott
P2150224	4/05/2015	A Pilgrim	Lower Denmark Road	Lowlands	Change of Use - Chalet (extension of existing approval)	Delegate Approved	14/05/2015	Tom Wenbourne
P2150097	26/02/2015	I Attwell	South Coast Highway	Marbelup	Industry - Extractive (Sand & Gravel)	Delegate Approved	12/05/2015	Jessica Anderson

REPORT ITEM PD 082 REFERS

Application Number	Application Date	Applicant	Street Address	Locality	Description of Application	Decision	Decision Date	Assessing Officer
P2150181	9/04/2015	Koster's Outdoor Pty Ltd	Scorpio Drive	Mckail	Single House - Outbuilding & Patio (Design Codes Assessment)	Delegate Approved	6/05/2015	Taylor Gunn
P2150193	15/04/2015	South Coast Sheds	Gladville Road	Mckail	Single House - Outbuilding (Side Setback Variation)	Delegate Approved	14/05/2015	Alex Bott
P2150222	1/05/2015	WJ Lee	Bylund Way	Mckail	Single House - Outbuilding	Delegate Approved	8/05/2015	Taylor Gunn
P2150240	11/05/2015	Matson Fabrications	Orion Avenue	Mckail	Single House - Outbuilding (Overheight)	Delegate Approved	21/05/2015	Jessica Anderson
P2150249	15/05/2015	Vrban Homes	Bylund Way	Mckail	R and S Webb Property: 30b Bylund Way	Withdrawn	28/05/2015	Deb Delury
P2150248	15/05/2015	Koster's Outdoor Pty Ltd	Garden Street	Middleton Beach	Club Premises - Additions (Shade Shelters x 2)	Delegate Approved	22/05/2015	Craig McMurtrie
P2150204	17/04/2015	W & T Spaanderman	Newbey Street	Milpara	Storage - Additions	Delegate Approved	14/05/2015	Jessica Anderson
P2150127	16/03/2015	Dunkeld Construction	Cockburn Road	Mira Mar	Light Industry - Additions	Delegate Approved	19/05/2015	Alex Bott
P2150233	7/05/2015	Hobbs Smith And Holmes Pty Ltd	Middleton Road	Mira Mar	Single House - Design Codes Assessment	Withdrawn	14/05/2015	Jessica Anderson
P2150269	25/05/2015	T Douglas	Nelson Street	Mira Mar	Single House - Design Codes Assessment	Delegate Approved	27/05/2015	Taylor Gunn
P2140555	1/12/2014	J & R Blyth	Mindijup Road	Napier	Recreation - Private (Motocross Track and Associated Earthworks; Sea Container)	Delegate Approved	11/05/2015	Jessica Anderson
P2150205	20/04/2015	H Marshall	Eden Road	Nullaki	Home Occupation (Baking & Food Products)	Delegate Approved	6/05/2015	Taylor Gunn
P2150251	18/05/2015	Puls Patios	Mckail Street	Orana	Single House - Additions (Carport) - Design Codes Assessment	Delegate Approved	21/05/2015	Alex Bott
P2140269	7/07/2014	Concept Building Design And Drafting	Minor Road	Orana	Grouped Dwellings x 3	Delegate Approved	4/05/2015	Jessica Anderson
P2150158	26/03/2015	B Byl	Gledhow South Road	Robinson	Single House - Addition (Masonary fence around house & retaining wall)	Delegate Approved	14/05/2015	Alex Bott
P2150221	29/04/2015	R Parker & C Bennett	Gledhow West Road	Robinson	Single House - Additions	Delegate Approved	7/05/2015	Taylor Gunn
P2150232	7/05/2015	MCB Construction Pty Ltd	Monroe Court	Robinson	Development (Outbuilding - Storage) & Rain Water Tank`	Delegate Approved	14/05/2015	Taylor Gunn
P2150238	11/05/2015	GS Hughes	Roberts Road	Robinson	Single House & Ancillary Accommodation (change of use of existing house)	Delegate Approved	26/05/2015	Jessica Anderson
P2150254	18/05/2015	M Tomkinson	Lower Denmark Road	Robinson	Single House - Outbuilding	Delegate Approved	22/05/2015	Alex Bott

REPORT ITEM PD 082 REFERS

Application Number	Application Date	Applicant	Street Address	Locality	Description of Application	Decision	Decision Date	Assessing Officer
P2150259	11/05/2015	KCG & TN Meuzelaar	Frenchman Bay Road	Robinson	Addition to Non-Conforming Use - Agriculture - Intensive; (Market Garden Packing Shed) - Extension of previous Planning Consent	Delegate Approved	25/05/2015	Jessica Anderson
P2150209	20/04/2015	M Wilson	David Street	Spencer Park	Single House - Outbuilding (Overheight) & Retaining Walls on Boundary (Design Codes Assessment)	Delegate Approved	4/05/2015	Jessica Anderson
P2150262	21/05/2015	T Douglas	Deloraine Drive	Warrenup	Single House and Outbuilding	Delegate Approved	27/05/2015	Taylor Gunn
P2150268	25/05/2015	Koster's Outdoor Pty Ltd	Deloraine Drive	Warrenup	Single House - Outbuilding (Boundary Setback Relaxation)	Delegate Approved	29/05/2015	Taylor Gunn
P2150173	2/04/2015	Powerhouse Architectural Drafting	Greenwood Drive	Willyung	Single House	Delegate Approved	22/05/2015	Craig McMurtrie
P2150212	23/04/2015	Pocock Building Company	Weston Ridge	Willyung	Single House & Water Tank	Delegate Approved	12/05/2015	Jessica Anderson
P2150197	15/04/2015	M & R Smith	Minerva Street	Yakamia	Grouped Dwelling x2	Delegate Approved	26/05/2015	Taylor Gunn
P2150220	29/04/2015	The Plunkett Group	Baltic Ridge	Yakamia	Single House - Design Codes Assessment	Delegate Approved	14/05/2015	Jessica Anderson
P2140492	27/10/2014	MGA Town Planners	Range Road	Yakamia	Single House	Approved	28/05/2015	Jan Van Der Mescht
P2140497	27/10/2014	Martin Goff And Associates	Range Road	Yakamia	Single House	Approved	28/05/2015	Adrian Nicoll

CITY OF ALBANY

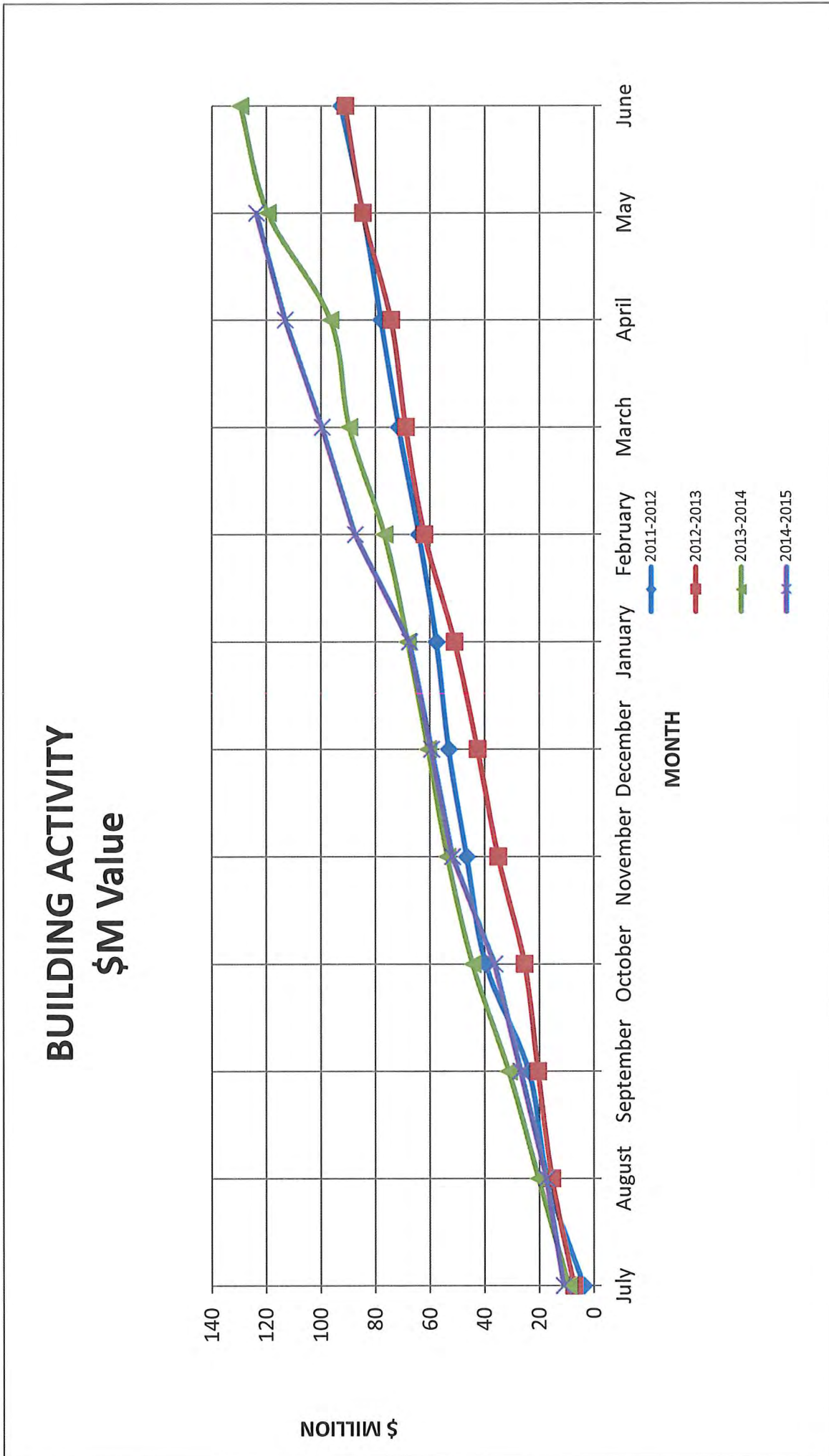
REPORT

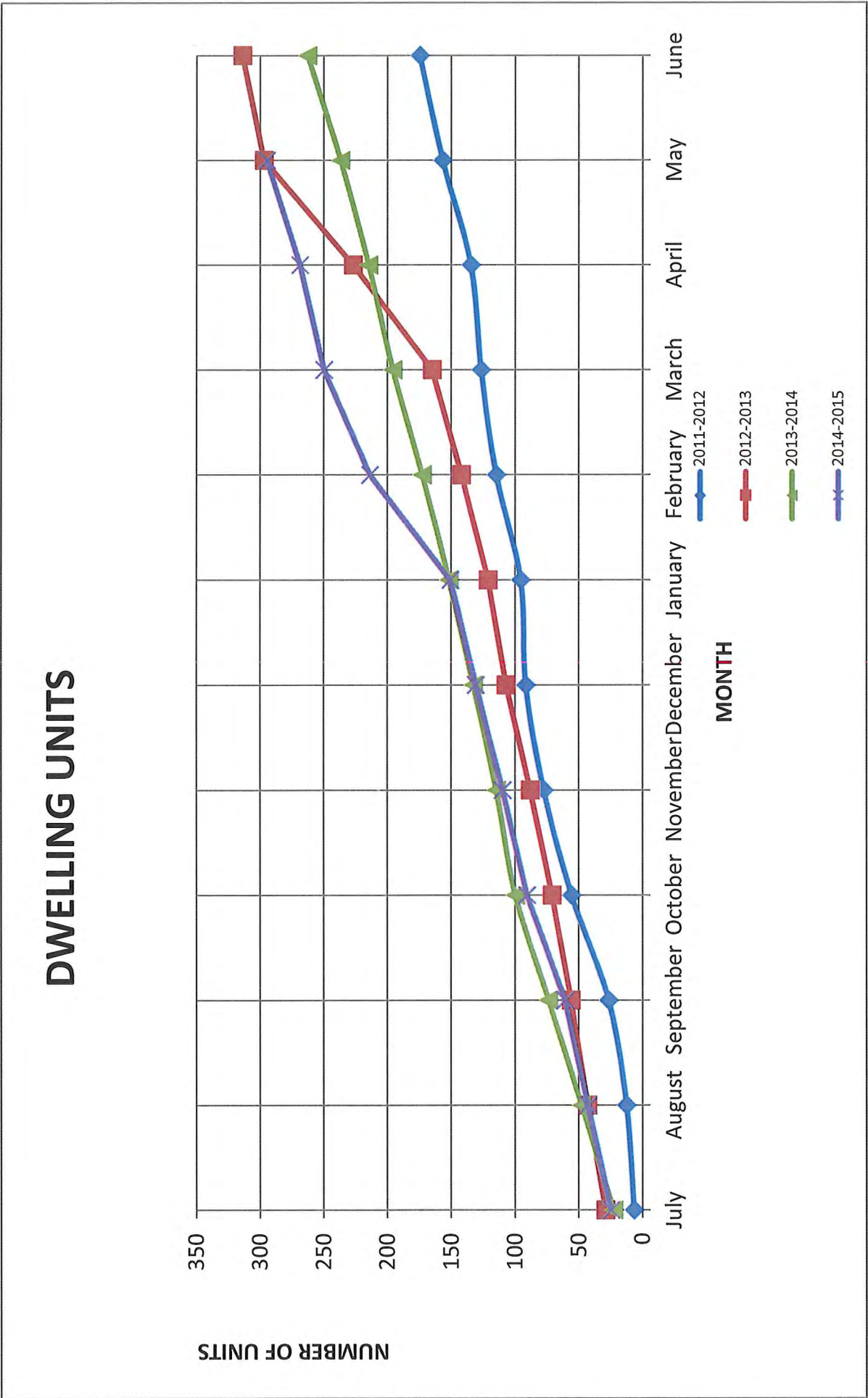
To : His Worship the Mayor and Councillors
From : Administration Officer - Development
Subject : Building Activity – May 2015
Date : 2 June 2015

1. In May, 2015 seventy seven (81) building permits were issued for building activity worth \$10,518,430.00. This includes four (4) demolition licences and one (1) sign licence.
2. The two (2) attached graphs compare the current City activity with the past three (3) fiscal years. One compares the value of activity, while the other compares the number of dwelling units.
3. A breakdown of building activity into various categories is provided in the Building Construction Statistics form.
4. Attached are the details of the permits issued for May, the 2015, the eleventh month of activity in the City of Albany for the financial year 2014/2015.



Deb Delury
**Team Leader – Planning & Building
Information Service**





CITY OF ALBANY

BUILDING CONSTRUCTION STATISTICS FOR 2014 - 2015

2014-2015	SINGLE DWELLING		GROUP DWELLING		TOTAL	DOMESTIC/ OUTBUILDINGS		ADDITIONS/ DWELLINGS		HOTEL/ MOTEL		NEW COMMERCIAL		ADDITIONS/ COMMERCIAL		OTHER		TOTAL \$ VALUE
	No	\$ Value	No	\$ Value		No	\$ Value	No	\$ Value	No	\$ Value	No	\$ Value	No	\$ Value	No	\$ Value	
JULY	24	6,129,910	1	275,000	25	19	452,292	34	916,879	0	0	2	1,392,677	9	1,273,004	17	712,190	11,151,952
AUGUST	18	4,891,437	0	0	18	16	316,435	19	215,747	0	0	1	310,000	4	279,820	7	353,555	6,366,994
SEPTEMBER	18	5,917,349	0	0	18	16	272,242	30	1,359,029	0	0	1	550,000	14	1,215,237	7	99,075	9,412,932
OCTOBER	26	5,897,038	4	692,803	30	20	495,380	27	715,299	0	0	1	680,826	5	888,594	6	128,200	9,498,140
NOVEMBER	17	6,207,864	2	2,723,700	19	15	382,564	28	1,045,029	0	0	2	4,789,494	5	267,632	2	11,000	15,427,283
DECEMBER	21	6,539,198	0	0	21	10	125,950	20	695,609	0	0	0	0	2	55,100	11	238,660	7,654,517
JANUARY	20	5,925,396	0	0	20	14	270,767	30	921,542	0	0	1	200,000	6	621,719	10	129,079	8,068,503
FEBRUARY	28	7,416,904	35	7,699,311	32	12	245,251	28	933,900	0	0	1	3,542,710	1	24,500	3	40,250	19,902,826
MARCH	35	9,310,326	1	120,000	36	13	280,881	28	656,698	0	0	3	1,425,000	7	292,855	9	121,000	12,206,760
APRIL	19	6,104,482	0	0	19	22	489,776	27	1,162,785	0	0	4	2,561,000	5	3,061,620	13	204,545	13,584,208
MAY	25	6,950,795	1	37,000	26	14	295,540	20	2,062,513	0	0	1	500,000	6	550,018	10	122,584	10,518,430
JUNE																		
TOTALS TO DATE	251	71,290,699	44	11,547,814	295	171	3,627,078	289	10,685,030	0	0	17	15,951,707	64	8,530,099	95	2,160,118	123,792,545

BUILDING, SIGN & DEMOLITION LICENCES ISSUED UNDER DELEGATED AUTHORITY

Applications determined for May 2015

Application Number	Builder	Description of Application	Street #	Property Description	Street Address	Suburb
141292	R CHARLES	BALCONY ADDITION - UNCERTIFIED	4	Lot 14	CLIFF WAY	ALBANY
141388	D LEWIS	INTERNAL FIT-OUT - FIREARMS AND ARCHERY - CERTIFIED	290-300	Lot 11	YORK STREET	ALBANY
141279	REALFORCE PTY LTD	UPGRADE PAVING BRICKS TO CONCRETE AND TILES	96-102	Lot 123	STIRLING TERRACE	ALBANY
141368	AUSTEC BUILDING & ALTERATIONS	ADDITION S TO EXISTING RESIDENCE & PRIVATE & SHED	57	Lot 2	SPENCER STREET	ALBANY
141400	CONSTRUCTIONS P/L AR & DA DOCKING	ALTERATIONS & ADDITIONS - UNCERTIFIED	52	Lot 250	DUKE STREET	ALBANY
141419	OCCUPANCY PERMIT	OCCUPANCY PERMIT - CAFE	52-70	Location Lot 19	STIRLING TERRACE	ALBANY
141443	NEWMAN'S CONCRETE	RETAINING WALL - UNCERTIFIED	106-108	Lot 14	BURGOYNE ROAD	ALBANY
141446	ICI NOMINEES PTY LTD	INTERNAL FIT-OUT - CLASS 5 BUILDING - CERTIFIED	5	Lot 1	SAINT EMILIE WAY	ALBANY
141377	ECOFIT HOMES	CARPORT - UNCERTIFIED	SITE 46,	Lot 501	ALISON PARADE	BAYONET HEAD
141378	ECOFIT HOMES	PARK HOME - SITE 46 - UNCERTIFIED	120	Lot 501	ALISON PARADE	BAYONET HEAD
141381	KOSTERS OUTDOOR PTY LTD	PATIO - UNCERTIFIED	120	Lot 602	ELIZABETH STREET	BAYONET HEAD
141386	ECOFIT HOMES	CARPORT/VERANDAH AND ALFRESCO - SITE 107 - UNCERTIFIED	SITE 107,	Lot 501	ALISON PARADE	BAYONET HEAD
141387	ECOFIT HOMES	PARK HOME - SITE 107 - UNCERTIFIED	20	Lot 501	ALISON PARADE	BAYONET HEAD

Application Number	Builder	Description of Application	Street #	Property Description	Street Address	Suburb
141297	RYDE BUILDING COMPANY PTY LTD	NEW DWELLING - UNCERTIFIED	20	Lot 63	ALBATROSS DRIVE	BAYONET HEAD
141361	RYDE BUILDING COMPANY PTY LTD	NEW DWELLING - UNCERTIFIED	26	Lot 419	GREEN ISLAND CRESCENT	BAYONET HEAD
141393	WA COUNTRY BUILDERS PTY LTD	NEW DWELLING - UNCERTIFIED	24	Lot 65	ALBATROSS DRIVE	BAYONET HEAD
141392	GLEEDER	NEW DWELLING - UNCERTIFIED	10	Lot 718	DYER COURT	BAYONET HEAD
141409	RYDE BUILDING COMPANY PTY LTD	NEW DWELLING - UNCERTIFIED	26	Lot 66	ALBATROSS DRIVE	BAYONET HEAD
141410	SIGNMANAGER	4X SIGNS - WOOLWORTHS/BWS SIGNS BAYONET HEAD SHOPPING CENTRE	206	Lot 508	LOWER KING ROAD	BAYONET HEAD
141420	WA COUNTRY BUILDERS PTY LTD	NEW DWELLING - UNCERTIFIED	25	Lot 78	ALBATROSS DRIVE	BAYONET HEAD
141454	BYL FENCING CONTRACTOR	RETAINING WALL - UNCERTIFIED	28	Lot 67	ALBATROSS DRIVE	BAYONET HEAD
141455	KOSTERS OUTDOOR PTY LTD	SHED - UNCERTIFIED	LOT 117	Lot 117	MOUNTAIN ROAD	BORNHOLM
141406	RANBUILD GREAT SOUTHERN	SHED - UNCERTIFIED	33	Lot 14	PIONEER ROAD	CENTENNIAL PARK
141432	TOWNER BUILDER	SHED - UNCERTIFIED	9	Lot 64	BREAKSEA CRESCENT	COLLINGWOOD
141427	RANBUILD GREAT SOUTHERN	SHED - UNCERTIFIED	35554	Location 5633	ALBANY HIGHWAY	HEIGHTS DROME
141417	CO-OPERATIVE BULK	2X GARNER BINS - CBH - UNCERTIFIED	486	Location 5778	DOWN ROAD	DROME
141424	HANDLING LIMITED TOWNER BUILDER	UNCERTIFIED GARAGE - UNCERTIFIED	22	Lot 4	OLD ELLEKER ROAD	GLEDHOW
141369	WA COUNTRY BUILDERS PTY LTD	NEW DWELLING & RETAINING WALLS - UNCERTIFIED	1	Lot 97	CALEDONIA CRESCENT	GOODE BEACH
141418	AD CONTRACTORS PTY LTD	FULL DEMOLITION - DWELLING & SHED	32	Lot 324	KARRAKATTA ROAD	GOODE BEACH

Application Number	Builder	Description of Application	Street #	Property Description	Street Address	Suburb
141422	MELIADOR (WA) PTY LTD	DWELLING / VERANDA / ALTERATION - WC AND SHOWER ROOM	45	Location 517 Lot 1 840	RIVERVIEW ROAD	KALGAN
141435	OWNER BUILDER	CARPOT - UNCERTIFIED	LOT 157	Lot 157	WALFORD ROAD	KALGAN
141445	S MCKINVEN	INSTALLED IN SHED - DWELLING - CERTIFIED	36	Lot 140	WALFORD ROAD	KALGAN
141411	P & G THOMPSON	AMENDMENT TO ORIGINAL BP #140804 - CHANGE TO FLOOR PLAN	47	Lot 204	MIGO PLACE	KRONKUP
141423	BUILDING APPROVAL	BUILDING APPROVAL	26	Lot 98	STIRLING VIEW DRIVE	LANGE
141398	CERTIFICATE OWNER BUILDER	CERTIFICATE - STRATA 2X RETAINING WALL -	9	Lot 239	LORIKEET WAY	LITTLE GROVE
141428	K SMITH	UNCERTIFIED NEW DWELLING -	8	Lot 101	BAY VIEW DRIVE	LITTLE GROVE
141069	BUILDING APPROVAL	CERTIFIED BUILDING APPROVAL	8	Lot 25	MARINE TERRACE	LITTLE GROVE
141447	CERTIFICATE K SMITH	CERTIFICATE - STRATA DWELLING - CERTIFIED	7	Lot 250	RUSHY LANE	LITTLE GROVE
141262	KOSTERS OUTDOOR PTY LTD	GABLE SHED - UNCERTIFIED	1	Lot 121	ALBERT STREET	LITTLE GROVE
141449	SOUTH COAST SHEDS	SHED - UNCERTIFIED	8	Lot 101	BAY VIEW DRIVE	LITTLE GROVE
141364	WA COUNTRY	AMENDMENT TO ORIGINAL BUILDING PERMIT 141118 - UNCERTIFIED	55A	Lot 2	PARKER STREET	LOCKYER
141360	BUILDERS PTY LTD DUNKELD CONSTRUCTION PTY LTD	UNCERTIFIED SHED - UNCERTIFIED		Lot 46	RIVERVALE CHASE	LOWER KING
141405		BUILDING APPROVAL CERTIFICATE - CONVERT CLASS 10A TO 1A	16	Lot 135	WINDERMERE ROAD	LOWER KING
141412	D HOLLOWAY	DWELLING & SHED - UNCERTIFIED	LOT 10	Lot 10	NORWOOD ROAD	LOWER KING

Application Number	Builder	Description of Application	Street #	Property Description	Street Address	Suburb
141404	PLUNKETT HOMES	AMENDMENT TO ORIGINAL BUILDING PERMIT 141117 FOR BED & BREAK SHED - UNCERTIFIED	217	Location 6621 Lot 12	HUNWICK ROAD	MARBELUP
141383	(1903) PTY LTD RYDE BUILDING	NEW DWELLING & CARPORT - UNCERTIFIED	24	Lot 695	O'KEEFE PARADE	MCKAIL
141143	COMPANY PTY LTD RYDE BUILDING	NEW DWELLING & CARPORT - UNCERTIFIED	33	Lot 204	JUNCTION STREET	MCKAIL
141346	COMPANY PTY LTD RYDE BUILDING	NEW DWELLING - UNCERTIFIED	6	Lot 312	BYLUND WAY	MCKAIL
141407	COMPANY PTY LTD MODERN ROOFING	UNCERTIFIED RE-ROOF - REMOVE ASBESTOS & REPLACE WITH COLOURBOND - UNCERTIFIED	637	Lot 15	ALBANY HIGHWAY	MCKAIL
141426	KOSTERS STEEL CONSTRUCTION PTY LTD	UNCERTIFIED SHED - UNCERTIFIED	18	Lot 33	SCORPIO DRIVE	MCKAIL
141430	RYDE BUILDING	NEW DWELLING - UNCERTIFIED	31	Lot 203	JUNCTION STREET	MCKAIL
141429	COMPANY PTY LTD RYDE BUILDING	UNCERTIFIED NEW DWELLING - UNCERTIFIED	7	Lot 659	CENTAURUS TERRACE	MCKAIL
141439	COMPANY PTY LTD OWNER BUILDER	UNCERTIFIED SHED - UNCERTIFIED	29	Lot 308	BYLUND WAY	MCKAIL
141451	PLUNKETT HOMES	NEW DWELLING - UNCERTIFIED	141	Lot 384	LANCASTER ROAD	MCKAIL
141384	(1903) PTY LTD JR GOMM	UNCERTIFIED ENCLOSURE OF COURTYARDS - ALTERATIONS	14	Lot 300	GARDEN STREET	MIDDLETON
141376	G WILLOX & LM	ALTERATIONS/ADDITION S TO DWELLING - CERTIFIED	54	Lot 46	WYLIE CRESCENT	BEACH MIDDLETON
141362	CARLYLE DA & AM HOLLAND	ALTERATIONS/ADDITION S TO EXISTING RESIDENCE - UNCERTIFIED	31	Lot 2	ADELAIDE CRESCENT	BEACH MIDDLETON
141434	BUILDING APPROVAL CERTIFICATE	UNCERTIFIED DECKING - BUILDING APPROVAL CERTIFICATE	23	Lot 650	WYLIE CRESCENT	BEACH MIDDLETON

Application Number	Builder	Description of Application	Street #	Property Description	Street Address	Suburb
141461	KOSTERS OUTDOOR PTY LTD	PATIOS X 2 - UNCERTIFIED	15-25	Lot 2	GARDEN STREET	MIDDLETON
141431	BAROVEN PTY LTD	AMENDMENT TO ORIGINAL BUILDING PERMIT 141070 - UNCERTIFIED	30	Lot 241	NEWBEY STREET	BEACH MILPARA
141437	D HOLLOWAY	INCLUSION OF SHED - UNCERTIFIED	4	Lot 82	STEPHEN STREET	MILPARA
141450	WISHART HOMES PTY LTD	ADDITIONS TO DWELLING - UNCERTIFIED	16	Lot 29	BONDI STREET	MILPARA
141302	J BOCCAMAZZO	NEW DWELLING - UNCERTIFIED	30	Lot 230	HENLEY GROVE	MIRA MAR
141402	AD CONTRACTORS	FULL DEMOLITION - UNCERTIFIED	36A	Lot 1	WAKEFIELD COURT	MIRA MAR
141394	K & P COUNTRY PTY LTD	DWELLING ALTERATIONS/ADDITION IS TO EXISTING RESIDENCE - UNCERTIFIED	55	Lot 35	DREW STREET	MIRA MAR
141421	CARPENTRY CITY OF ALBANY	CULL PARK ABLUTION - CERTIFIED	36-42	Lot 80	CAMPBELL ROAD	MIRA MAR
141390	D FRASER	ALTERATIONS/ADDITION S - EXTEND EXISTING	7	Lot 17	RANFORD STREET	MOUNT
141408	OWNER BUILDER	DECK - AND NEW CARPO ADDITIONS - ROOF OVER DECK & HOUSE - UNCERTIFIED	54	Lot 7	ROBINSON STREET	MELVILLE MOUNT
141442	BRAJKOVICH	FULL DEMOLITION	36-40	Lot 130 23 24 47	SOUTH COAST HIGHWAY	MELVILLE ORANA
141391	K SMITH	DEMOLITIONS RECONSTRUCTION OF FIRE DAMAGED RESIDENCE - CERTIFIED	75	Lot 51	HOME ROAD	ROBINSON
141444	MCB CONSTRUCTION	SHED AND RAINWATER	8	Lot 2	MONROE COURT	ROBINSON
141397	G LEEDEER	TANK - UNCERTIFIED 2X 9000L TR RAINWATER TANKS - UNCERTIFIED	26	Lot 158	TRIMMER ROAD	SPENCER PARK

Application Number	Builder	Description of Application	Street #	Property Description	Street Address	Suburb
141331	L BRENTON	SHED EXTENSION -	72	Lot 164	DELORAINE DRIVE	WARRENUP
141415	JAM & LR SPRIGG	UNCERTIFIED NEW DWELLING -	130	Lot 312	DELORAINE DRIVE	WARRENUP
141414	G LEEDER	CERTIFIED NEW DWELLING -	LOT 701	Lot 701	GREENWOOD DRIVE	WILLYUNG
141433	POCOCK BUILDING	UNCERTIFIED DWELLING / VERANDAH X2 / CARPORT / WATER	LOT 805	Lot 805	WESTON RIDGE	WILLYUNG
141374	COMPANY PTY LTD TOP OF THE HILL	TANK - UNCERTIFIED PARTIAL DEMOLITION - REMOVE EXISTING	18	Lot 9	CHESTER PASS ROAD	YAKAMIA
141375	CARPENTRY TOP OF THE HILL	CLADDING/ASBESTOS REMOVE EXISTING	18	Lot 9	CHESTER PASS ROAD	YAKAMIA
141359	CARPENTRY PLUNKETT HOMES	CLADDING AND REPLACE WITH COLOURBOND - ALBAN	6	Lot 108	HUME CORNER	YAKAMIA
141385	(1903) PTY LTD N MANNING	NEW DWELLING - UNCERTIFIED ADDITION HABITABLE	12	Lot 74	BOHEMIA ROAD	YAKAMIA
141416	TECTONICS CONSTRUCTIONS GROUP PTY LTD	ROOM - UNCERTIFIED CITY OF ALBANY NORTH ROAD CUSTOMER SERVICE AREA REFURBISHMEN	102	Lot 4743	NORTH ROAD	YAKAMIA

Albany Waterfront Planning Framework Report

2nd Edition



CONTENTS



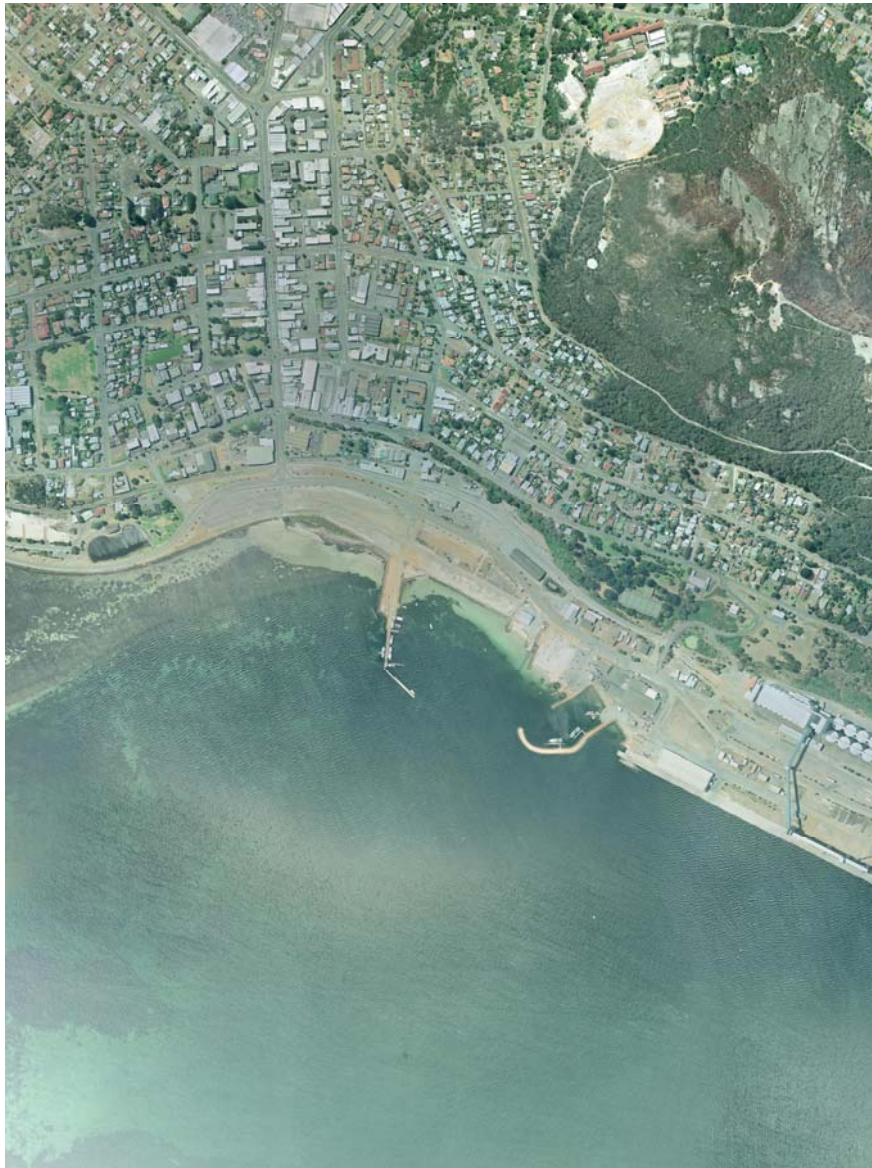
INTRODUCTION	3
STATUTORY PLANNING	6
STRUCTURE PLAN	
Key Determinants	7
Objectives	8
Design Overview	9
Precincts	13
Uses	14
Parking	15
Built Form	16
Public Spaces	18
Landscape	20
Pedestrian Movement and Access	22
Traffic	23
Services	24
Subdivision	26

Submitted by Hames Sharley on behalf of LandCorp in February 2006 and revised for incorporation into public advertising in July 2011 to include changes involving an increase in area of the hotel, short-stay and mixed-use components of the waterfront development.

INTRODUCTION

The Structure Plan prepared for the Albany Waterfront is intended to guide development in the Albany Foreshore Development Zone and is based on the Concept Plan accepted by the City in June 2005. The Concept Plan outlines the broad layout of the foreshore by identifying the size and shape of various potential uses without being prescriptive.

This Structure Plan provides more specific details and a framework for the proposed pattern of land use and development. It also guides the coordinated provision of infrastructure and services within the foreshore area to support the development and link with the CBD.



The Structure Plan differs from the Concept Plan in the following ways:



- The new marina has been enlarged to allow for 130 pens
- The proposed reactivation of the civic spine providing an at grade pedestrian link across the railway tracks has been deleted (the view corridor has however been maintained) and an overpass has been included
- The site for the Albany Entertainment Centre (AEC) has been repositioned eastward to abut the central Toll Place spine
- The site for the proposed hotel and serviced apartments has been repositioned to the eastern side of the central Toll Place spine and will accommodate between 120 to 145 hotel rooms plus 80 to 90 short-stay apartments, depending on room sizes
- Surface parking for approximately 792 cars has been provided
- Parking and landscape have been provided as a buffer to Princess Royal Drive

Rev

Rev

Rev: Number of potential hotel rooms and short-stay apartments has been increased from 125 hotel rooms and 50 short-stay apartments.

Rev: Number of car parking bays has been increased from 700 to meet the requirements of the increase in hotel and short-stay apartments

REPORT ITEM PD 083 REFERS
Structure Plan Report



The site is one of the most outstanding in the region not only because of its stunning outlook but also due to its prominence from the CBD of Albany. From the site visitors are able to look across the picturesque expanse of Princess Royal Harbour to a horizon of undulating hills. This harbour view is at the very essence of the Albany experience and there are no other development sites in this dress circle location.

An added dimension of richness is brought to the site due to its close proximity to Albany's unique collection of historical buildings and streetscapes.



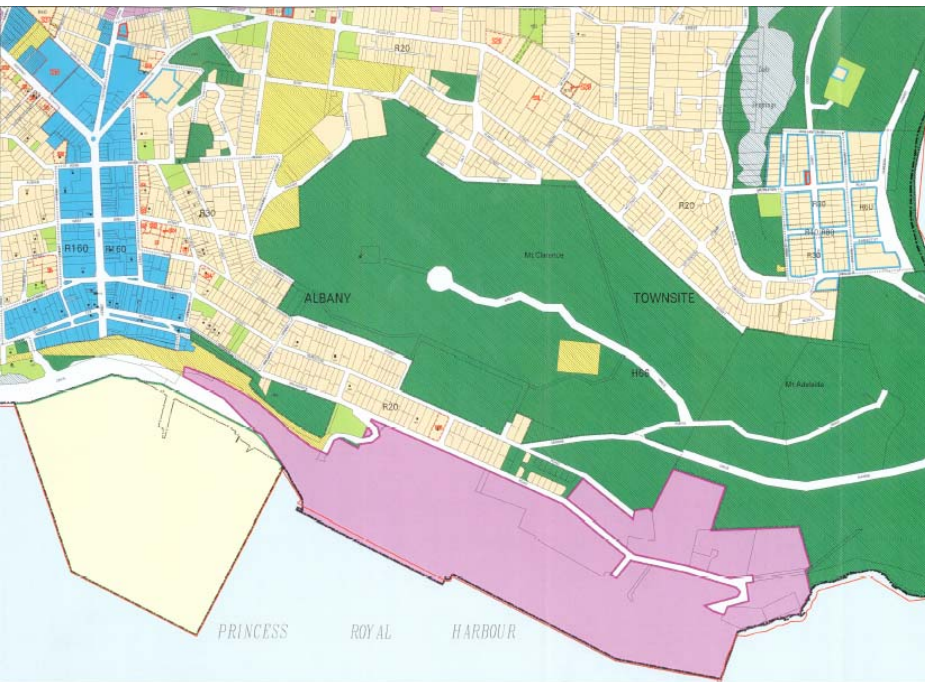
The site is very visible from the CBD and its surrounds due to the fact that Albany rises from its shore line. When the development is complete it will make a significant positive contribution to the overall townscape and act as a magnet drawing people to the foreshore area.



STATUTORY PLANNING

The site lies within the Foreshore Development Zone. The northern boundary abuts Princess Royal Drive, the western boundary abuts the new Anzac Peace Park. (While the Anzac Peace Park is shown on the Structure Plan it is not part of the plan). The eastern boundary abuts the Albany Port. The southern boundary abuts and extends into Princess Royal Harbour and Location 7601 in Princess Royal Harbour forms part of this Structure Plan.

Appropriate land uses within this zone will be determined through the Structure and Precinct Planning process. The Scheme requires that a Structure Plan show the general distribution of land uses within the plan area. It requires that a subsequent Precinct Plan show the proposed use of all land within that precinct. Once adopted by Council, the Precinct Plan will become binding on development within that precinct.



STRUCTURE PLAN

Key determinants

There are four key determinants that are reflected in the Structure Plan:

- Port access - The project area is traversed by the two primary freight access routes to the Albany Port, these being Princess Royal Drive and the railway line. The Structure Planing recognises and protects this infrastructure to ensure that freight access to the port is not obstructed or impeded
- Short stay accommodation - Residential uses is restricted to short stay tourist accommodation only. Permanent residential development is not included
- Views and vistas - Views and vistas of Princess Royal Harbour are maintained through view corridors
- Public access to the foreshore - Public access to the foreshore is maintained



Objectives

The principal planning and design objectives reflected in the Structure Plan are:

- To extend the Albany CBD to the waterfront via strong pedestrian, cycle and vehicular connections
- To create a viable mixed use development that attracts residents and visitors
- To establish an iconic focal point for the Albany Waterfront
- To provide a variety of public open spaces capable of use throughout the year
- To enable development to occur progressively and logically as demand increases
- To satisfy parking demands
- To enable local views to be maintained
- To provide an attractive new marina as the central element of the development
- To provide workable and efficient spaces for marine based activities



Design Overview

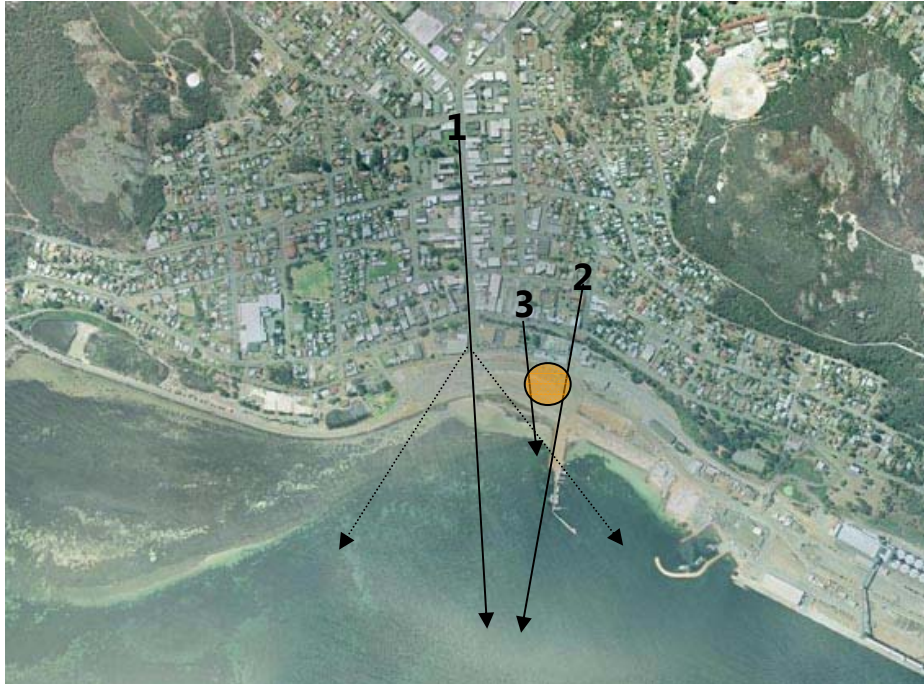
The Structure Plan sits within a site envelope of approximately 17.3 hectares (inclusive of the marina, development sites along the new breakwater and fishing industry hard stand areas and boat trailer parking). The total building area, when fully developed will be in the order of 31,000m².

Rev



The proposed buildings shown in the Structure Plan are arranged in a linear formation along the existing sea wall edge to Princess Royal Harbour. They overlook the new 130 pen marina which reinforces the strong maritime character of the development. The buildings are set back from the sea wall edge sufficient to create a promenade linking one end of the development to the other. At the centre of the development are Toll Place and the protruding Town Jetty which acts as a central spine about which buildings can be grouped. On one side of the spine will be the new AEC. Facing it on the other side will be a hotel and serviced apartment complex.

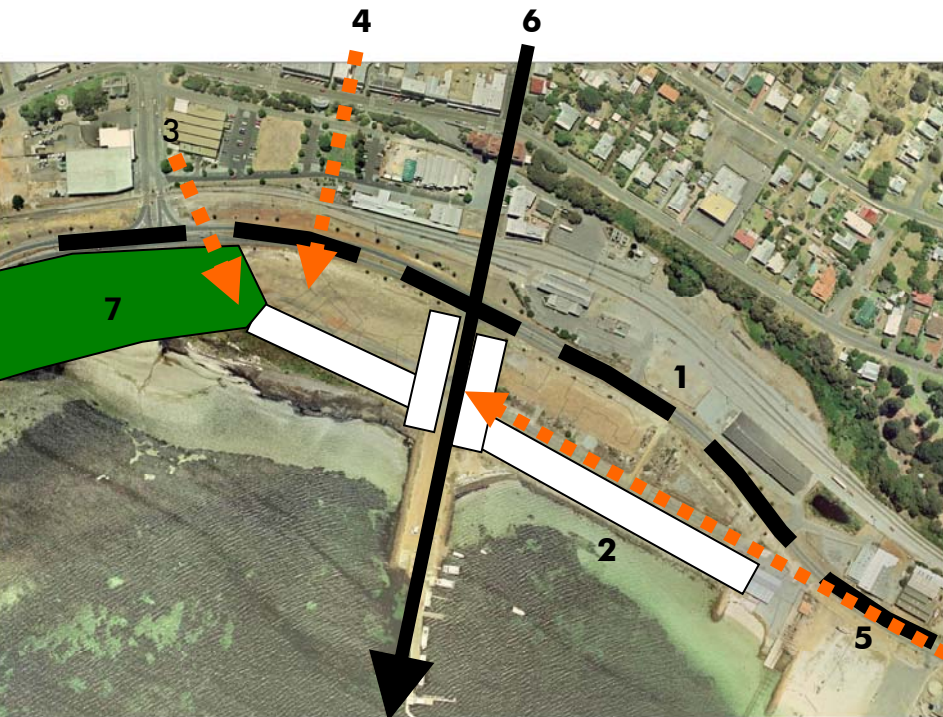
Rev: The total building area has been increased from 23,000m² to 31,000m² due to an increase in potential area of hotel, short-stay apartments and mixed use buildings



Preserving existing view lines has been a major determinant in the planning of the Albany Waterfront.

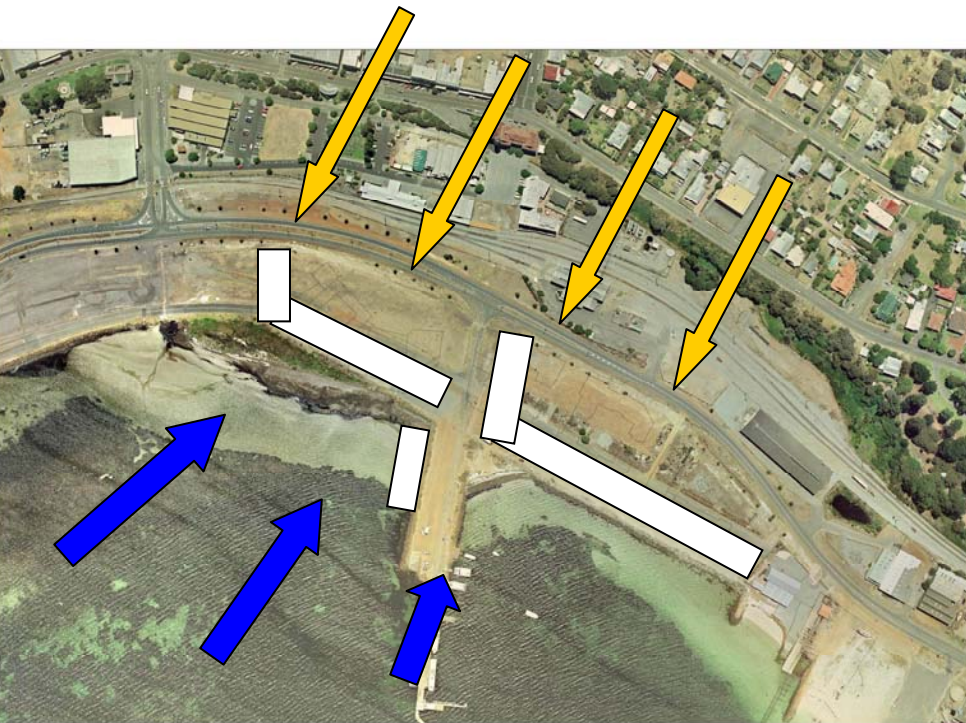
The York Street [1] and the Spencer Street [2] axes have been shown on this photograph. Both of these axes impact on the design because each defines a view which must not be blocked. At the base of York Street a view shed to Princess Royal Harbour occurs which begins to define the positioning of buildings on the western side of the site. Another viewing point occurs from the Rotunda in Stirling Terrace [3]. This view shed determines the maximum building heights to the western edge of the development. At the Rotunda the height difference between the foreshore and Stirling Street is approximately 6.5 metres thus limiting the height of any buildings in front of the Rotunda to two storeys. The position of the theatre fly tower, which is the highest element of the development, is shown with an orange circle.





There are a number of topographic and contextual issues driving the site planning outcomes.

- Princess Royal Drive [1] is the main vehicular access to the Port and therefore a significant buffer zone is desirable
- The existing sea wall to Princess Royal Harbour is strikingly linear which suggests it be reinforced with a linear built edge [2]
- Pedestrian flow from the CBD is to be facilitated. This will occur along York Street [3] and across the new pedestrian bridge [4]
- Pedestrian flows from tourist-bearing cruise ships are to be facilitated [5]
- The Spencer Street view corridor should be reinforced [6]
- An appropriate interface with the Anzac Peace Park is to be provided [7]

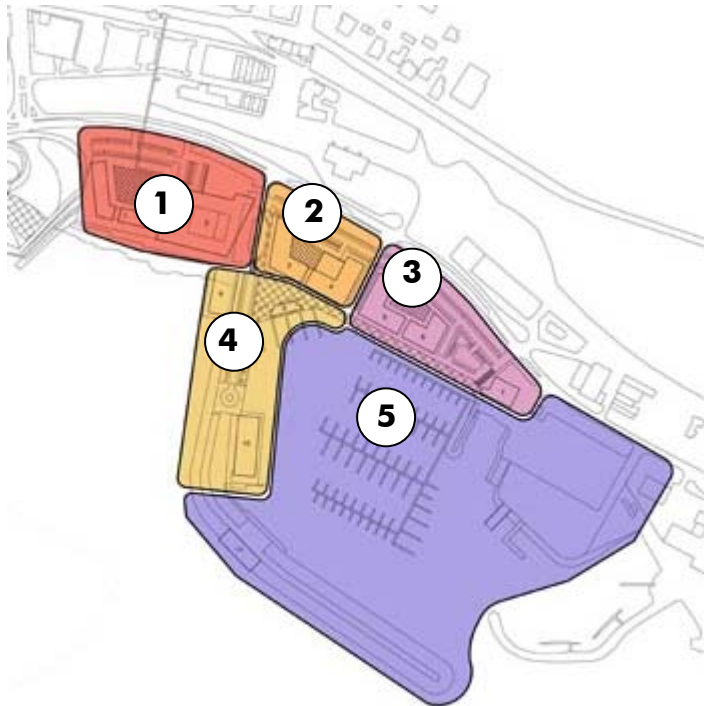


In addition to the above landside drivers, there is a very strong climatic determinant imposing itself on the design of this development. This figure shows the site being impacted by cold sea winds blowing across Princess Royal Harbour. A logical design response is to use buildings as a wind break and thus provide protected public spaces on the leeward side. The open spaces on the protected side of the buildings will enjoy warm northern sun. This provides a unique opportunity to design buildings with glass frontages on both sides. Building users can enjoy the dramatic harbour view while at the same time they can enjoy the warmth of the northern sun.

Precincts

The Structure Plan comprises the following five precincts:

- Entertainment Precinct [1] is to the western side of the Toll Place spine comprising the AEC, mixed use retail and commercial, public open space
- Accommodation Precinct [2] is to the eastern side of the Toll Place spine comprising two sites for a hotel and short stay/serviced apartments
- Commercial Precinct [3] is to the east of the Accommodation Precinct comprising maritime focussed mixed commercial and retail uses with capacity for short-stay apartments on the third floor
- Town Jetty Precinct [4] is centrally located comprising mixed use maritime, retail and commercial uses
- Harbour precinct [5] comprises maritime based light industrial uses complementing the uses of the Port and of Albany and the Town Jetty. This precinct also includes the marine, fishing industry hard stand, boat ramp and trailer parking.



Rev

Rev: Inclusion of possible short-stay apartments on level three in the Commercial Precinct

Uses

The Structure Plan indicates approximate building footprints and areas within the five precincts as tabled below. The areas and footprints are approximations only. The intent is to demonstrate the likely built form characteristics in each precinct. The Precinct Plan will follow these approximations when developing the design guidelines.

Rev: GFAs for the hotel, short-stay apartments and mixed use buildings has been increased due to increased building heights

Rev: Short-stay apartments added as suitable use in commercial precinct

Precinct	Uses	Approximate GFAs (m2)
Entertainment Precinct	Mixed use commercial and retail	2,200
	Albany Entertainment Centre	3,300
Accommodation Precinct	Hotel	10,500
	Short stay serviced apartments	6,800
Commercial Precinct	Mixed use commercial, retail and short-stay apartments	6,750
Town Jetty Precinct	Retail (Café, restaurant, shops)	1,800
Harbour Precinct	Concession offices	200
	Duyfken Workshop	660
	Boat ramp and trailer parking	6,500
	Fishing industry hardstand	5,500
	Marina for 150 boats	
	Fishing platforms	60

Rev

Rev

Parking

The vehicle parking standards applicable to the Foreshore Development zone will be determined as part of the Precinct Planning process. The parking standards will generally be as tabled below.

Use	Parking bays /m2 NLA
Mixed use	1 / 30m2
Retail	1 / 15m2
Serviced apartments	1 / unit
Hotel	1 / room 1 / 3m2 in bar areas 1 / 4m2 in eating areas
Entertainment Centre	1 / 4 seats the facility is designed to accommodate
Marina	1 / 5 pens

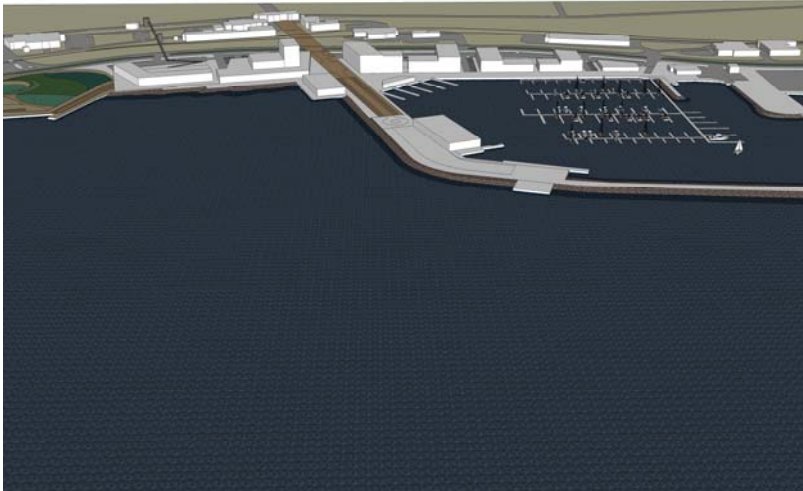
Rev: Car parking bays increased by 92 to meet the requirements of additional hotel rooms and short-stay apartments

The Structure Plan indicates area for 792 parking bays on site with additional overflow being accommodated after dark in the boat trailer car park.

Rev

Built form

The Structure Plan shows a number of buildings in each precinct. These building footprints are approximate, their main purpose being to show the relationship between future buildings, car parking, public open space and site limitations.



Height limits have been placed on buildings within each precinct as tabled below:

Precinct	Uses	Heights
Entertainment Precinct	Mixed use commercial and retail	2 storeys with potential to use roof volume
	Albany Entertainment Centre	Variable with fly tower being limited to 7 storeys
Accommodation Precinct	Hotel	5 storeys
	Short stay serviced apartments	6 storeys
Commercial Precinct	Mixed use commercial, retail and short-stay apartments	3 storeys
Town Jetty Precinct	Retail (Café, restaurant, shops)	1 storey
	Concession offices	1 storey
Harbour Precinct		1 storey

Rev

Rev: Remove reference to potential use of roof volume and increase height of short-stay apartments to 6 storeys and mixed-use to 3 storeys

The overall character of the buildings within the development will be diverse mainly due to the range of uses. The AEC will, because of its mass and public function, be quite different to its neighbouring buildings.



The new AEC has created a distinct landmark in the Waterfront development due to its striking roof lines. Other buildings in the development should therefore minimise the use of large, dominant roofs to ensure the primacy of the AEC. Low pitched roofs would be suitable. The use of green roofs is encouraged. On single storey buildings, low-pitched pitched roofs would be suitable.

Rev

An important design principle adopted in the Structure Plan has been to avoid facing the backs of buildings to Princess Royal Drive. All buildings within the development will have two frontages and design guidelines will be produced in association with the Precinct Plan which will determine the appropriate ways for buildings such as the hotel to accommodate their services areas without jeopardising the double fronted principle. This is particularly important when considering service access to the AEC.

Rev: Reference to the use of large pitched roofs has been removed and replaced with advice to reduce impact of roof forms.

Public spaces

The three major public open spaces in the development are:

- Entertainment forecourt [1]
- Waterside promenade [2]
- Toll Place [3]



Entertainment forecourt – this is a large open space protected from the prevailing weather and facing north. It is protected by built form edges to the south. This area also acts as the termination point for the new pedestrian bridge and therefore provides a generous movement space allowing large numbers of people to enter and leave the development.



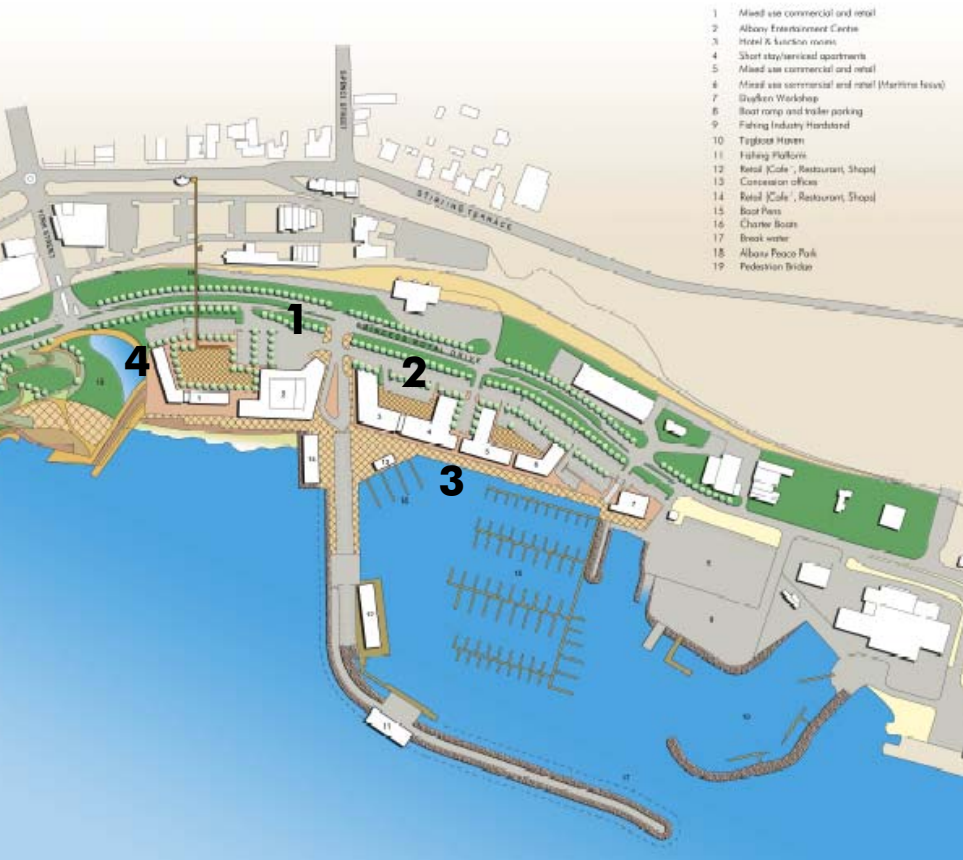
The forecourt can have several useful functions including:

- Open space for family and social gatherings
- A large pre-performance gathering space associated with the AEC
- A potential 'market-style' area which could be used for community based markets

Waterside promenade – this is the key open space in the development as it provides the interface between the water and land-based facilities. The promenade is a linear open space with a generous width. It is envisaged that the promenade will be a highly activated part of the development facilitated mainly by the ground level retail activities associated with the various precinct buildings.

REPORT ITEM PD 083 REFERS
Structure Plan Report

At the water's edge the promenade will step down to enable people to be more closely related to the water. The promenade fronts the new marina which further enhances the activity and interest of the place.



Toll Place – this is the open space located between the AEC and the proposed hotel/serviced apartments. It could be seen as the principal entrance point to the development coming off Princess Royal Drive. It not only provides a main entry to the site but accommodates the pedestrian and vehicular movements associated with the main entries to the theatre and hotel. This space also reinforces the harbour vista and leads visitors to the various activities located along the new break water.

Landscape

The important landscape areas within the development are:

- Princess Royal Drive [1]
- Internal car parks [2]
- Waterside Promenade [3]
- Interface between the Waterfront and the Peace Park [4]

Princess Royal Drive - the verge treatment to Princess Royal Drive will be landscaped to provide a softer edge and to create an appropriately scaled interface between the development and Princess Royal Drive.

Internal car parks - will be landscaped to soften the spaces and to break down the expanse of parking. Design guidelines will be prepared to ensure the selection of trees appropriate to the environment and adjacent buildings.

Waterside Promenade - will be treated with primarily hard landscape in the form of paving, artwork, bollards, lighting and edge treatments suitable to endure the marine environment while creating an exciting visual experience for visitors.

Interface between the Waterfront and the Peace Park – this is an important aspect of the development and will be detailed during the Precinct Planning process to ensure an appropriate union occurs between the two spaces.

All landscaping proposals in the following Precinct Plans will reflect the reality of the marine environment in which living landscape must grow.

Pedestrian movement and access

The two principal pedestrian patterns linking the Waterfront to the CBD are:

York Street link – this link occurs at the end of York Street where pedestrians will cross Princess Royal Drive and enter the Waterfront development where the development and the Peace Park abut. From this point pedestrians will access the promenade. One of the important features of this link is the presence of the AEC. As pedestrians arrive at the end of York Street they will be greeted by the presence of the AEC which will act as a strong attractor and draw pedestrians to the Waterfront.

Pedestrian bridge link – this link facilitates pedestrian flow from Stirling Terrace to the Waterfront. The bridge enables pedestrians to cross above the railway and Princess Royal Drive. The Stirling Terrace end of the walkway is at grade and suitably graded ramps at the Waterfront end ensure accessibility for disabled pedestrians.

In addition to the links with the CBD there are important pedestrian links within the development. These links occur between buildings in the

development and enable pedestrians to move from the car parks facing Princess Royal Drive to the waterfront promenade. Some areas of parking are located in close proximity to the promenade to provide convenient access for people with penned boats.

The promenade extends to include the existing Duyfken workshop thus ensuring that this facility and the maritime based uses beyond are conveniently linked.

Traffic

The following traffic management principles have been adopted in the Structure Plan:

- All car parking is located within the development and in close proximity to the facilities.
- The number of entry points from Princess Royal Drive have been minimised

- The distance between entry points from Princess Royal Drive have been maximised in accordance with Option 1 in the Traffic Report titled "Albany Waterfront Traffic Assessment" by Riley Consulting, attached in Appendix 1
- Access and turning circles for large articulated vehicles servicing the AEC have been considered in the intersection designs shown in the Traffic Report

The Precinct Plan will acknowledge the detailed proposal for traffic management outlined in the Traffic Report.

Services

The following major services will be provided in the following manner:

Sewer - This development will be served via an existing 300 diameter gravity sewer in Princess Royal Drive, which is immediately adjacent to the project. This sewer discharges north along York Street to the existing pumping station north of the rail. Internal sewer will be via a gravity extension of this sewer.

Water - Water supply for the project will come from the existing 150 diameter water main in Princess Royal Drive. Some realignment of this will be required as part of the construction.

Underground Power - There is no capacity in the existing adjacent power system to handle this project. Underground Power will subsequently be arranged for the project via Western Power extensions and upgrades of the existing infrastructure some 10 km to the North. Internal distribution will be then achieved by standard practice.

Subdivision

It is proposed to subdivide the Waterfront development site. A notional subdivision layout is shown below to demonstrate the following subdivision principles:



- Establish a site area for the Albany Entertainment Centre which includes the Entertainment Forecourt and frontage to Princess Royal Drive
- Establish a number of sites for private commercial development (hotel, mixed use buildings) fronting car park along Princess Royal Drive
- Reserve an area for public access
- Establish site areas for commercial development along the Town Jetty spine (services easements and vehicle access within public use reserve)
- Establish areas for public parking



PRECINCT PLANS

INTRODUCTION	28
VISION	29
OVERALL DESIGN OBJECTIVES	30
STATUTORY REQUIREMENTS	31
PLANNING AND DESIGN PRINCIPLES	33
PRECINCTS:	
Entertainment Precinct	56
Accommodation Precinct	57
Commercial Precinct	58
Town Jetty Precinct	59
Harbour Precinct	60
LAND USE TABLES	61
IMPLEMENTATION	65
ADDENDUM 1	66
Accommodation and Commercial Precincts	

Revised in July 2011 to include changes involving an increase in area of the hotel, short-stay and mixed-use components of the Albany Waterfront

Precinct Plan Report



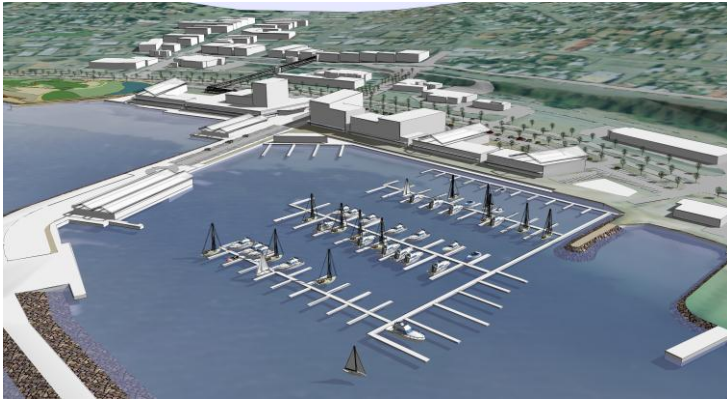
INTRODUCTION

The Precinct Plan identifies five distinct precincts within the Albany Waterfront area and outlines a vision, objectives and detailed planning and design guidelines for each. The Precinct Plan represents a logical extension of the endorsed Concept Plan and Structure Plan and also takes into account the comments received during community consultation.

The preparation of a Precinct Plan for the Albany Waterfront is a vital part of the planning process for the locality. By outlining the land use, zoning and development controls that apply to each precinct, the vision and objectives for each can be realised.

Council is to have regard for the Precinct Plan when assessing applications, and in doing so, it will guide Council's decision making for development applications and infrastructure provision within the area.

Precinct Plan Report



VISION

The Albany Waterfront will actively link the CBD to Princess Royal Harbour by providing a people-focused development with a strong sense of vibrancy and excitement with a unique combination of entertainment, accommodation and mixed-use buildings facing a wide waterside promenade overlooking an active public marina.



Precinct Plan Report



OVERALL DESIGN OBJECTIVES

- Overall theme of development is to reflect its maritime context.
- Provision of unhindered port access via Princess Royal Drive.
- Provision of appropriate pedestrian flows from the CBD and within the development.
- Provision of adequate onsite parking and vehicle access.
- Provision of a safe and secure environment for all members of the community at all times of the day and night.
- Ensure building scale, materials and colours complement the Stirling Terrace interface with the Albany CBD.
- Provision of an attractive, open and consistent streetscape to Princess Royal Drive.
- Provision of an active edge to the waterside Promenade.
- Design quality that reflects the significance of this precinct as a key destination in Albany and the broader region.

Precinct Plan Report

STATUTORY REQUIREMENTS

The requirement for producing Precinct Plans is contained in Town Planning Scheme No. 1A.

Upon adoption, all development is required to comply with the Precinct Plans and any development that is deemed not to be consistent with the intention of the Precinct Plans may be refused by Council.

In accordance with Appendix III of the Scheme all development standards applicable within this zone are to be in accordance with the adopted Structure and Precinct Plans.

In accordance with TPS 1A requirements, Appendix IV contains numerous development standards for the types of uses which may be accommodated within the Waterfront development area, including parking, minimum lot area, plot ratio, boundary setbacks and landscaping, although the development standards contained within the adopted Precinct Plan take precedence under the provisions of Clause 4.1.

Precinct Plan Report

The Structure and Precinct Plans therefore contain all the relevant statutory planning requirements for the Foreshore Development area, including all use permissibility and development standards.

Precinct Plan Report

PLANNING AND DESIGN PRINCIPLES

A number of planning and design principles are to be adhered to in all proposed developments in the Albany Waterfront. Proponents submitting development applications to the City of Albany must demonstrate a sound understanding of these principles. The following section outlines these planning and design principles.

- | | | | |
|-----|---------------------------------|-----|--------------------------------------|
| 1. | Materials | 18. | Traffic Noise |
| 2. | Setbacks | 19. | Safety and Security |
| 3. | Elevations | 20. | External Lighting |
| 4. | Parking | 21. | Environment |
| 5. | Roofscape | 22. | Marina and Water's Edge |
| 6. | Active Frontages | 23. | Site Facilities |
| 7. | Northern Orientation | 24. | Short-Term Residential Site Planning |
| 8. | Signage | 25. | Site Planning |
| 9. | Pedestrian Access and Bicycles | | |
| 10. | Awnings, Canopies and Balconies | | |
| 11. | Levels and Height Management | | |
| 12. | Public Art | | |
| 13. | Vehicle Management | | |
| 14. | Landscape | | |
| 15. | Resource Efficiency | | |
| 16. | Colours | | |
| 17. | Services | | |

1.0 MATERIALS

- 1.1 Building enclosure materials will generally complement the quality of those used in the Albany CBD, in particular the buildings fronting Stirling Terrace.
- 1.2 Finishes and materials used for external walls will be of a quality sufficient to reflect the important public nature of the development.
- 1.3 Examples of suitable finishes are faced limestone or painted render. Rendered and painted concrete panel is acceptable provided its detailing, particularly at pedestrian level, is appropriately refined.
- 1.4 Face brickwork, corrugated steel and timber are suitable for feature panels to external walls however these materials should not represent more than 10% to 15% of the total elevation.
- 1.5 Corrugated steel sheeting is not a suitable wall material but is acceptable in gables and spandrels.

- 1.6 Paving materials will be of a quality usually associated with high traffic civic precincts.
- 1.7 Materials and detailing will ensure longevity in a harsh marine environment.
- 1.8 Roof tiles and unpainted or 'brilliant' white metal sheet roofing materials are not acceptable.
- 1.9 Use of highly reflective glazing will not be permitted. Samples of any reflective or tinted coatings to glazed areas will need to accompany any development application and will be to the satisfaction of the COA.

2.0 SETBACKS

- 2.1 All buildings will be set back a minimum of 25m from the Princess Royal Drive road reserve boundary.
- 2.2 Buildings fronting the Promenade may have a zero setback from the Promenade.

Precinct Plan Report

2.3 The AEC and adjacent hotel building shall generally be built up to Toll Place. The actual location of these buildings in relation to Toll Place shall be determined by the spatial requirements associated with vehicle set down areas, road widths and pedestrian paths.

2.4 At the boundary between the Albany Peace Park and the Albany Waterfront Development, the buildings will be set back from the boundary sufficient to enable an unobstructed 5.0m minimum width paved pedestrian way linking the Promenade to Princess Royal Drive. The boundary treatment shall include complementary landscaping to interface harmoniously with the Albany Peace Park.

3.0 ELEVATIONS

3.1 The Albany Waterfront Development effectively has two main frontages and each must be treated appropriately.

3.2 Elevations facing Princess Royal Drive are to be regarded as main street elevations.

3.3 Elevations facing the Promenade and Toll Place are to be treated as building frontages displaying the quality of detailing appropriate for the public nature of the location.

3.4 Service access to the AEC shall be designed to prevent it appearing as 'the rear' of the AEC.

3.5 Air conditioners must not feature on any walls facing Princess Royal Drive, the Promenade or Toll Place and should be screened from the public realm to the satisfaction of COA.

3.6 Elevations of all building while being contemporary will complement the general characteristics of buildings in the CBD and adjacent environs without attempting to copy or replicate their historical architectural style.

Precinct Plan Report

3.7 Suitable characteristics that could be used in combination include:

- Front facades being as continuous as possible
- Well defined and recessed (750mm minimum) front entries to all entries facing the Promenade
- Construction to lot boundaries facing the Promenade
- Provision of linear cantilevered awnings
- Creating a 'building base' or plinth using a change of material, colour or multiple horizontal banding at the ground floor level
- Verge and eaves overhangs sufficient to create strong shadow lines
- Windows, other than window walls and large shop fronts, to be taller than they are wide and well recessed
- Horizontally projected banding at logical intervals (floors, window heads, sills) to increase the continuous linearity of the façade
- Openings, windows, columns where possible to be logically and rhythmically arranged
- Windows at ground floor level along all active frontages to be at least 2.4m high.



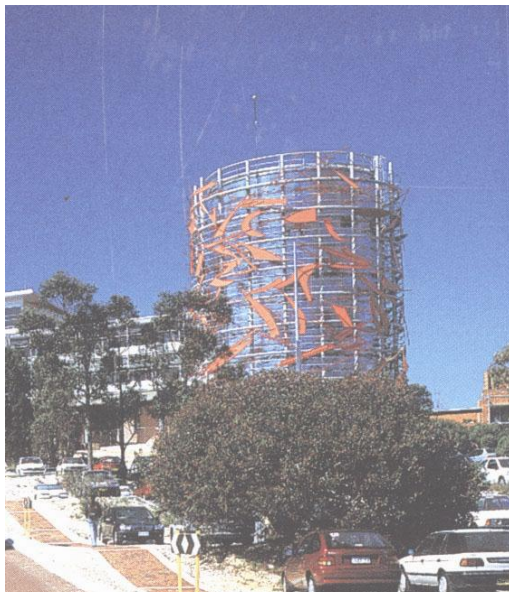
These images of buildings in Stirling Terrace and the adjacent railway station are examples of buildings exhibiting some of the design characteristics which should be reflected in the new Albany Waterfront buildings. The simple yet strong roof forms, linearity reinforced by continuous awnings, subtle background colours, regularity of fenestration arrangement are compositional elements well used in these buildings.



These images of buildings within the same overall precinct are examples of buildings exhibiting some of the design characteristics which should NOT be reflected in the Albany Waterfront buildings. Roof pitches are too steep, elevations are too eclectic and complex, background colours are too intense, signage is inappropriate.

Precinct Plan Report

3.7 The fly tower associated with the AEC will be a very visible component and will provide a central focus for the development. The fly tower shape and form is derived from functional needs this element should be treated in an inspirational way. This could be achieved in a number of ways including the use of transparent cladding materials, creative illumination, sloping of the roof, attachment of creative and inspiring three dimensional art works, colour and so forth.



This image shows how a tall functional building element without windows can be creatively treated.

4.0 PARKING

4.1 The Albany Waterfront development when complete will generate a need for 792 car bays. The Precinct Plan indicates how these car bays are to be distributed across the development. The car parking plan for each site is to be adhered to in order to satisfy the overall parking requirements.

Rev

4.2 The parking requirements for specific uses shall be determined in accordance with the following table:

Use	Parking bays/m2 NLA
Mixed Use	1/30m2
Retail	1/15m2
Serviced Apartments	1/unit
Hotel	1/room 1/3m2 in bar areas 1/4m2 in eating areas
Entertainment Centre	1/4 seats the facility is designed to accommodate
Marina	1/5 pens

Rev: Increase car bay numbers from 700 to 792 to meet requirements of additional building area associated with the hotel and short-stay apartments.

Precinct Plan Report

- 4.3 Reciprocal rights of access will be required for parking areas fronting Princess Royal Drive.
- 4.4 Dimensions and layout of parking areas will be in accordance with AS 2890 "Parking facilities-Off-street car parking". One parking space in every ten shall be planted with trees or shrubs and these bays will be included as parking and not landscaping.
- 4.5 Joint use of parking areas will be encouraged.
- 4.6 No basement or part basement parking is permitted.

5.0 ROOFSCAPE

- 5.1 Due to Albany's hilly terrain parts of the City centre will look down upon the Albany Waterfront. The roofscape is therefore considered to be a 'fifth elevation' and its design will be treated accordingly.
- 5.2 Simple roof forms complementing the linearity of the buildings are desirable.

5.3 Roofs on single storey and two storey buildings should have substantial overhangs creating strong shadow lines. Minimum 800mm to verges and 1200mm eaves is suggested. Rev

5.4 Strutting of overhangs is not encouraged.

5.5 Low pitch roofs ($10-15^{\circ}$) are to be used on taller buildings such as the hotel and short-stay apartments. Consideration should be given to the use of green roofs on these buildings. Rev

5.6 Roof pitches on lower buildings should not be steeper than the roof pitch on the adjacent railway station building. Rev

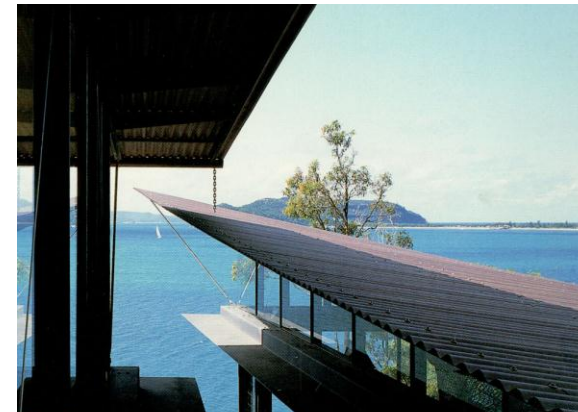
5.7 The visual depth of roofs at all overhangs will be minimised.

Rev: Pitched roofs with eaves restricted to single and perhaps two storey buildings.
 Low pitch roofs required for hotel and short-stay apartments.
 Green roofs are encouraged.

Precinct Plan Report

- 5.8 No plant and equipment associated with air conditioning will be mounted on the roof of any buildings in the development.
- 5.9 Aerials, antennas, masts, may be roof mounted provided it is satisfactorily demonstrated that they are an integral part of the design and contribute to the character and interest of the development. Mounting of large dishes on roofs is not permitted.
- 5.10 If buildings with lifts require a lift overrun then it should be satisfactorily demonstrated that the element containing the overrun does not compromise the quality of the 'fifth elevation'. It is preferable to contain any overrun within the roof space.

Rev: Low pitch, parapet roof illustration added for hotel and short-stay apartments.
Pitched roof illustration suitable for single or two storey buildings



The image above illustrates strong, simple, and 'thin' roof forms that would be suitable for single and perhaps two storey developments.



The image above illustrates the type of roof treatment expected for the hotel and short-stay apartments

Precinct Plan Report

6.0 ACTIVE FRONTAGES

- 6.1 The pedestrian-level experience along the Promenade is to be stimulating and vibrant. Blank walls at this level are not permitted. The upper levels of the hotel and short-stay serviced apartments, where they face the Promenade should include functional size balconies.
- 6.2 Elevations facing the Promenade will have a minimum of 80% windows at pedestrian level.
- 6.3 All designated active frontages will be well illuminated.
- 6.4 Window sill heights along all active frontages will generally not be more than 200mm above floor level. Some areas may have small sections of higher sills provided the overall interior/exterior sight lines are not compromised.
- 6.5 Where cafes, restaurants, coffee shops and the like front the Promenade and Toll Place the capacity to open up these facilities to provide an alfresco area will be strongly encouraged.

- 6.6 In alfresco areas along the Promenade wind mitigation devices such as glass screens are to be incorporated thus preserving views to Princess Royal Harbour.
- 6.7 Unscreened air conditioning plant is not permitted at ground level along any designated active frontages.



This image shows how a glass frontage at pedestrian level can offer so many opportunities to visually link internal and external areas. Note also the strong horizontality which is a desirable characteristic of buildings in the Albany Waterfront.

Precinct Plan Report

7.0 NORTHERN ORIENTATION

- 7.1 The north facing side of all buildings is protected from the prevailing southerly winds arising from Princess Royal Harbour. Designing buildings with ground floor spaces that flow into this protected northerly space is strongly encouraged.
- 7.2 The inclusion of useful north-facing balconies in buildings associated with the Accommodation Precinct is strongly encouraged.

8.0 SIGNAGE

- 8.1 Pylon signs erected by individual land owners will not be permitted. Combined signage themed to complement the development is acceptable provided it is designed as part of an entry statement located at the intersection of Princess Royal Drive and Toll Place.
- 8.2 If a building has numerous tenants, consolidated signage is preferred.

- 8.3 All building signage will be of a high standard and generally not exceed 10% of the building wall to which it is fixed, except for larger walls associated with the hotel and serviced apartments where signage will not exceed 5%.
- 8.4 Signage suspended below awnings, canopies or balconies or cantilevered will have a minimum clearance above footpath level of 2.75m.
- 8.5 Illuminated signage (not pulsating or flashing) is preferred to externally lit signs.
- 8.6 Signage will be maintained in good order for the life of the development.
- 8.7 Signage erected above rooflines will not be permitted.

Precinct Plan Report

8.8 Windows facing Princess Royal Drive, the Promenade, and Toll Place shall not obscure more than 25% of their area with painted or installed signage.

9.0 PEDESTRIAN ACCESS AND BICYCLES

9.1 North-south pedestrian access points are to be permanently provided in the locations indicated on the Precinct Plan. These points provide important linkages for pedestrians to access the Promenade.

9.2 Maximising pedestrian access and circulation throughout the whole development will be a priority.

9.3 Consideration generally must be given to designing access around the Waterfront suitable for people with impaired mobility. In particular, changes in level must include provision of ramps as well as steps.

9.4 All tourist, residential, commercial, entertainment and mixed-use developments must take account of disabled access as required by the Building Code of Australia.

9.5 Clearly defined pedestrian pathways will be provided from the base of the pedestrian bridge to the Promenade.

9.6 In areas where there is a potential conflict between pedestrian and vehicular movement consideration must be given to ensuring the safety of pedestrians. Bollards and railings designed to complement the marine theme of the development are a suitable management device.

9.7 Provision should be made for secure bike parking and racks should be provided in appropriate locations within the developments.

10.0 AWNINGS, CANOPIES AND BALCONIES

10.1 Pedestrian pathways along building edges facing the Promenade, Toll Place and Princess Royal Drive will be protected by continuous cantilevered canopies. Provision and maintenance of canopies and awnings is the responsibility of the building owner.

Precinct Plan Report

to prevent undue shadowing of this area and the use of support columns is to be minimised.

- 10.2 The use of balconies associated with the hotel and short stay serviced apartments is encouraged.
- 10.3 The minimum height for a canopy (or balcony) overhanging a public pedestrian access way will be 2.75m above the access way or footpath.
- 10.4 Where zero setbacks occur, in particular along the Promenade, cantilevered awnings and balconies may project up to 2.5m beyond the building face.
- 10.5 Balcony balustrades comprising solid materials such as brick or concrete or other obscure materials are generally not permissible and all balustrade material is to be capable of withstanding the harsh marine environment.
- 10.6 Balustrade detailing reinforcing the maritime context is encouraged.
- 10.7 Large scale canopies associated with the vehicle drop off areas adjacent to the AEC and Hotel are to be generally transparent

- 10.8 Canopies are to read as thin, lightweight elements.

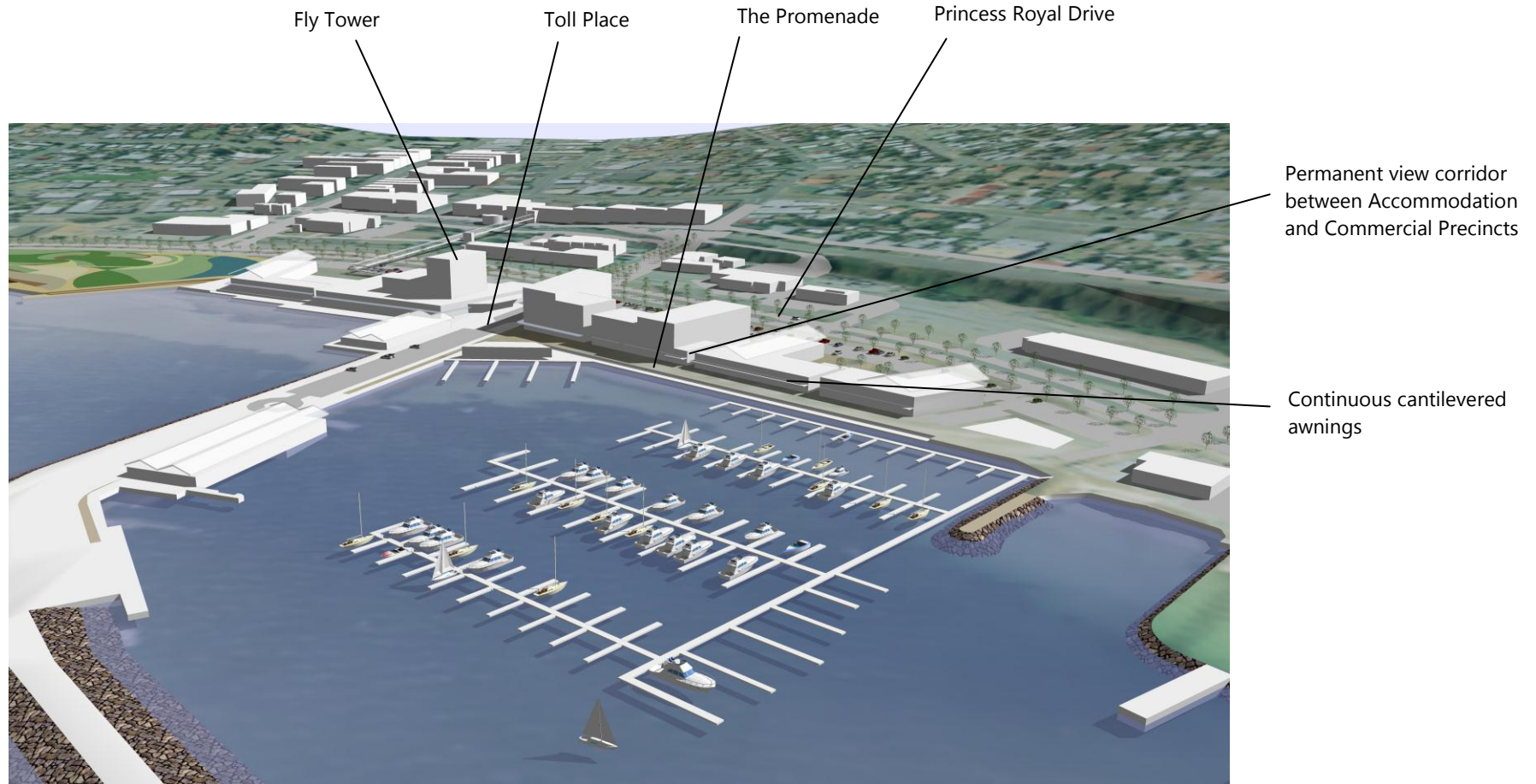
11.0 LEVELS AND HEIGHT MANAGEMENT

- 11.1 In order to maximise viewing potential from Stirling Terrace, the tallest elements of all buildings will be orientated approximately north-south.
- 11.2 The view corridor aligning with Spencer Street must not be obstructed.
- 11.3 The fly tower associated with the AEC is the highest element permitted in the development and will be positioned to minimise interruption of views from Stirling Terrace. Its preferred position is shown on the Precinct Plan.

Precinct Plan Report

- 11.4 Maximum permissible building heights progressively reduce both in an east and west direction away from the AEC's fly tower.
- 11.5 Ground floor ceiling heights throughout the development should generally be higher than minimum to reflect the ceiling heights associated with historical buildings in Albany. Minimum ceiling heights in the order of 3.0 to 3.5m are suggested. The AEC will have a ground level ceiling height commensurate with its public function.
- 11.6 Floor to floor levels, excluding the ground floor, in the Hotel and short-stay serviced apartment buildings should be limited to 3.0m.
- 11.7 Floor to floor levels, excluding the ground floor, in mixed use buildings should be limited to 3.5m.
- 11.8 Finished ground floor levels for all buildings fronting the Promenade and Toll Place will be no more than 200mm above the finished level of external paving.
- 11.9 All buildings will be constructed with a minimum ground floor level of 2.5m AHD.

Precinct Plan Report



The image above demonstrates the height management principles associated with the Albany Waterfront. Note in particular: steady reduction, in an easterly and westerly direction, of building height from the highest allowable point at Toll Place; the higher portions of buildings orientated normal to Stirling Terrace; lower sections parallel to the Promenade; the position of the AEC fly tower; breaks in buildings fronting the Promenade to provide view corridors to the marina.

Precinct Plan Report

12.0 PUBLIC ART

- 12.1 Public art will be provided as part of the development of each site in the Albany Waterfront.
- 12.2 Permanent public art work should be durable and complement the maritime theme.
- 12.3 Public art will be appropriate for use in an urban public space and it should not compromise public safety.
- 12.4 Public art in the Albany Waterfront development may be freestanding objects located on the ground, on a support structure, on a wall or suspended in the air.
- 12.5 Opportunities for public art include: murals, tiles, mosaics or bas-relief to walkways and walls; unique, artistically devised elements which also have a functional role eg bollards, gates, light poles, bench seating, drinking fountains.

13.0 VEHICLE MANAGEMENT

- 13.1 Parking is to be located in the positions indicated on the Precinct Plan.
- 13.2 Provision must be made for large articulated vehicles to enter from Princess Royal Drive, service the delivery dock area associated with the AEC and return in a forward direction to Princess Royal Drive.
- 13.3 Provision must be made for coaches to enter Toll Place, unload passengers and return in a forward direction to Princess Royal Drive.
- 13.4 General vehicle access to the Promenade is not permitted however emergency vehicles, particularly fire fighting vehicles must be able to access the southern sides of all buildings fronting the Promenade.
- 13.5 The boat trailer hardstand area and the Fishing Industry Hardstand area will be designed to ensure the safe and efficient manoeuvring and parking of vehicles and trailers.

Precinct Plan Report

14.0 LANDSCAPE

14.1 Design of landscape in the Albany Waterfront will:

- Complement the function of the streets
- Reinforce desired traffic speed behaviour
- Be appropriately scaled relative to both street reserve widths and the building bulk and scale
- Take into account the image and role of the development, solar access requirements, soils, selection of appropriate species and services
- Assist where possible in micro climate management, particularly on the northern side of the development
- Enhance pedestrian comfort and safety
- Include 'water wise' strategies that assist to reduce long-term water consumption

14.2 A continuous two metre wide landscape strip will be provided between the Princess Royal Drive road reserve boundary and car parking areas facing Princess Royal Drive.

14.3 Trees planted in the car park aisles may be protected with kerbed landscape strips or tree grates and bollards.

14.4 Trees planted in the car park will be installed as mature specimens no less than three metres in height. Large trees are preferred in order to allow canopies to be managed in such a way that they are elevated and allow visibility to building facades and signage.

14.5 Materials and detailing associated with paving in important public areas such as the Promenade, the Public Open Space adjacent to the AEC and Toll Place will make strong reference to the materials used in York Street. This may be achieved through the use of stone kerbs and gutters, stone walls, and carefully detailed bollards and rails.

Precinct Plan Report

15.0 RESOURCE EFFICIENCY

- 15.1 All buildings are to conform to the energy efficiency requirements of the Building Code of Australia.
- 15.2 Building envelopes and internal layouts will be designed to minimise energy consumed for heating, cooling and artificial light where:
- Window design facilitates good thermal and daylight performance
 - Building materials and insulation assist in providing comfortable thermal conditions
 - Air movement within buildings is designed to provide comfortable thermal conditions and appropriate air quality
 - Building materials, appliances and fuel sources are selected to minimise energy requirements and greenhouse gas emissions.

- 15.3 Building services are designed to minimise energy and resource use in the following way:
- Maximise use of natural light
 - Utilise energy efficient lighting control systems, fittings and appliances
 - Utilise energy efficient motors and equipment
 - Maximise use of natural ventilation
 - Utilise energy efficient air conditioning and mechanical ventilation systems and controls where appropriate
 - Minimise water use and waste
 - Utilise energy efficient hot water systems
 - Utilise water efficient taps and fittings.
- 15.4 All building services are to be designed and maintained to minimise energy use over the life of the development.
- 15.5 Building designs should maximise use of renewable energy sources and utilise fuels that minimise greenhouse gas emissions.
- 15.6 Landscape design should assist microclimate management to conserve energy and water.

Precinct Plan Report

16.0 COLOURS

16.1 The Albany Waterfront is to be a harmonious grouping of buildings each with a different role and potentially a different character. A limited pallet of external colours and building materials is to be used to ensure building harmony eventuates.

16.2 The following colour-related principles and guides will apply:

- Colours of external walls and building structure are not to be dominant.
- Roof colours will closely relate to wall colours. Strong coloured roofs (red, green, blue) will not be acceptable unless the proponent can satisfy Council that it makes a positive contribution to the whole development.
- Highlighting colours are strongly encouraged to add vibrancy and contrast. These colours should be strong warm colours (red, red-orange, orange, yellow-orange) or strong cool colours (yellow-green, green, blue-green, blue, blue-violet).

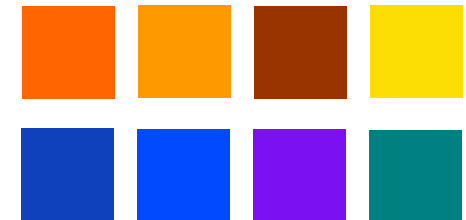
- Highlighting colours could be applied to screens, attached panels, spandrels, gables, selected integrated panels, coloured glass, and vertical support elements.



An example of neutral background colours, strong paving colour and some highlight colour for vibrancy.



Above are examples of suitable types of non dominant background colours for walls, roofs and external structure. Pure whites are not recommended background colours.



Above are examples of suitably strong and vibrant highlight colours.

Precinct Plan Report

17.0 SERVICES

- 17.1 All plant and equipment associated with mechanical services will be housed either within the building or its roof space or well screened at ground level.
- 17.2 All waste storage and delivered goods will be contained within the associated buildings.
- 17.3 Doors providing access to internal waste/storage or loading dock areas will be the minimum width and height possible to serve the required loading/unloading function and be constructed of aesthetically pleasing materials.
- 17.4 Awnings or canopies associated with loading doors will be designed to complement the scale, material and style of other awnings used elsewhere on the building.

18.0 TRAFFIC NOISE

- 18.1 The development will be subjected to noise from traffic on Princess Royal Drive and the railway therefore the design of any accommodation buildings should include devices or systems to ameliorate problems arising from airborne sound. The use of double glazing is recommended.
- 18.2 All accommodation buildings are to be detailed and/or designed so that internal noise levels in bedroom areas will be in the range of 30 to 35dB.

Rev

19.0 SAFETY AND SECURITY

- 19.1 Provide appropriate lighting to all pedestrian paths, parking areas and building entries.
- 19.2 Buildings are to be designed to overlook public spaces.
- 19.3 Building entries are to be clearly visible from public spaces.

Rev: Use of double glazing recommended.

Precinct Plan Report

19.4 Materials vulnerable to graffiti and vandalism are to be avoided and robust materials which are aesthetically pleasing are to be used in all public places.

19.5 In mixed-use developments a diversity of complementary uses should be provided to encourage a public presence at different times of the day and night.

19.6 Landscaping, walls and fencing will be designed to maintain clear visibility to and from doors, windows, and pedestrian ways.

20.0 EXTERNAL LIGHTING

20.1 Exterior lighting will minimise skyward light spill.

20.2 All external lighting will be robust and themed to complement the development as a whole.

21.0 ENVIRONMENT

21.1 All stormwater to be contained on site or connected to drainage points where supplied.

21.2 To minimise the nutrient run-off to Princess Royal Harbour, all private and public open spaces should be designed and maintained to minimise fertilising and excess watering.

22.0 MARINA AND WATER'S EDGE

22.1 Breakwaters will be designed to provide appropriate protection to the boat facilities and land development from the action of the ocean in Princess Royal Harbour. The breakwaters will be constructed in the conventional method used throughout Western Australia using quarried rock with large stones as armour on both the inside and outside faces. There will be a maintenance road way on the top of each breakwater. Maintenance campaigns are expected to take only a month or

Precinct Plan Report

so to complete and be required about every 5 years or so. The actual timing will depend on the storm activity experienced.

- 22.2 The development includes a number of simple rock revetments and a marina edge walling used to stabilise the land / water interface. These structures will be constructed from quarried rock and reconstituted limestone blocks. Over the lifetime of these structures, there will be the need for some minor maintenance. This is expected to be needed about every 5 to 10 years and will require access for the equipment, materials and workmen.
- 22.3 The marina will include a number of floating pens for the mooring of recreational and fishing industry vessels. The pens will be held in place by a number of guide piles driven into the seabed and floating pens will rise and fall with the tide. The pen operator will need to carry out minor routine maintenance on the pens on a monthly basis and probably complete significant maintenance campaigns every 10 years. The access for these maintenance activities will be from the commercial boating areas.

- 22.4 A portion of the existing Town Jetty is to be retained within the proposed new breakwater. A building is proposed to be developed in close proximity to the jetty. An important part of the design of this building will be the inclusion of a continuous timber walkway facing the marina. This walkway is to be approximately 5m wide and tie in with the existing jetty.
- 22.5 Pedestrian access to the marina pens is to be controlled via lockable gates. These gates will be designed to complement the general aesthetics of the development.
- 22.6 Any gates and fencing to be constructed in the Town Jetty Precinct will be designed to complement the general aesthetics of the development.

Precinct Plan Report

23.0 SITE FACILITIES

- 23.1 Garbage collection methods will comply with the general requirements of the City of Albany and will be efficient, convenient and allow for collection of recyclable material if possible.
- 23.2 Refuse and bin storage areas will be provided at the Boat Trailer Hard Stand area and the Fishing Industry Hardstand area. These facilities will be screened from public view using materials and forms that complement the development.

24.0 SHORT-STAY RESIDENTIAL

- 24.1 No permanent residential developments are permitted in the Albany Waterfront.

- 24.2 Short-stay serviced apartment buildings shall conform to the standards and requirements applicable to the R-IC provisions of the Residential Planning Codes.

- 24.3 Serviced apartments must not front the Promenade at ground level and are not generally encouraged at ground level unless it can be demonstrated that satisfactory private open space provisions can be achieved.

25.0 SITE PLANNING

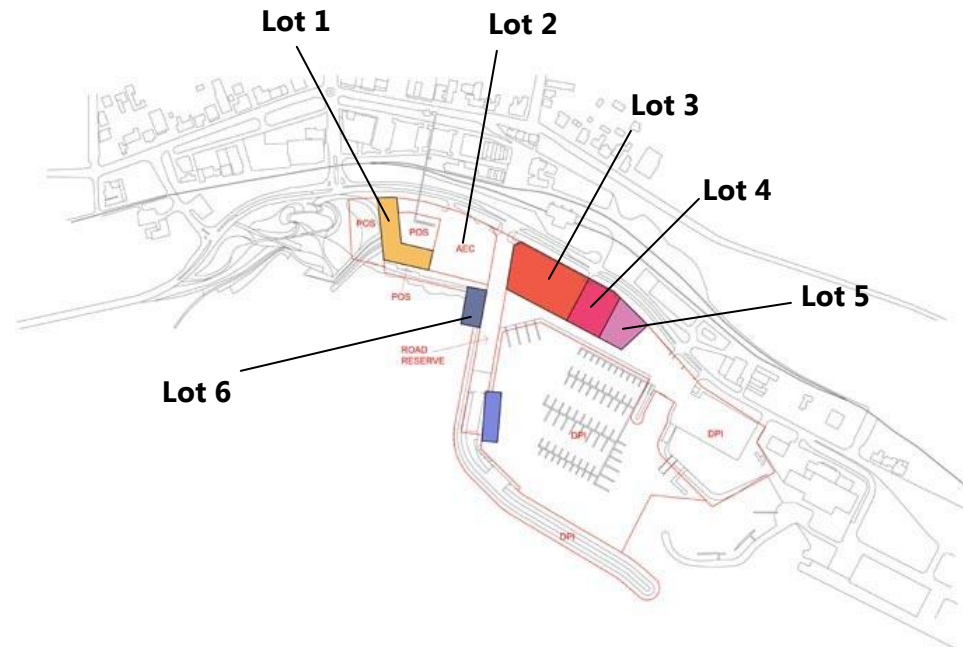
- 25.1 The Structure and Precinct Plans provide approximate footprints for buildings on all sites. These footprints, while being only notional, are an indication of the general plan form desired for each building in the development.

- 25.2 Lot 2, containing the AEC, has the potential to vary its footprint considerably depending on the final design of this facility however, the siting and design principles outlined elsewhere are to be adhered to.

Precinct Plan Report

25.3 Lots 1, 3, 4 and 5 show combinations of 'L' shaped plan forms which are intended to enable buildings to address the Promenade on the south and at the same time provide wind protection for outdoor spaces on the north side.

25.4 Lots 6 shows a rectangular plan forms intended to maximise frontages to the marina and Toll Place.



Precincts

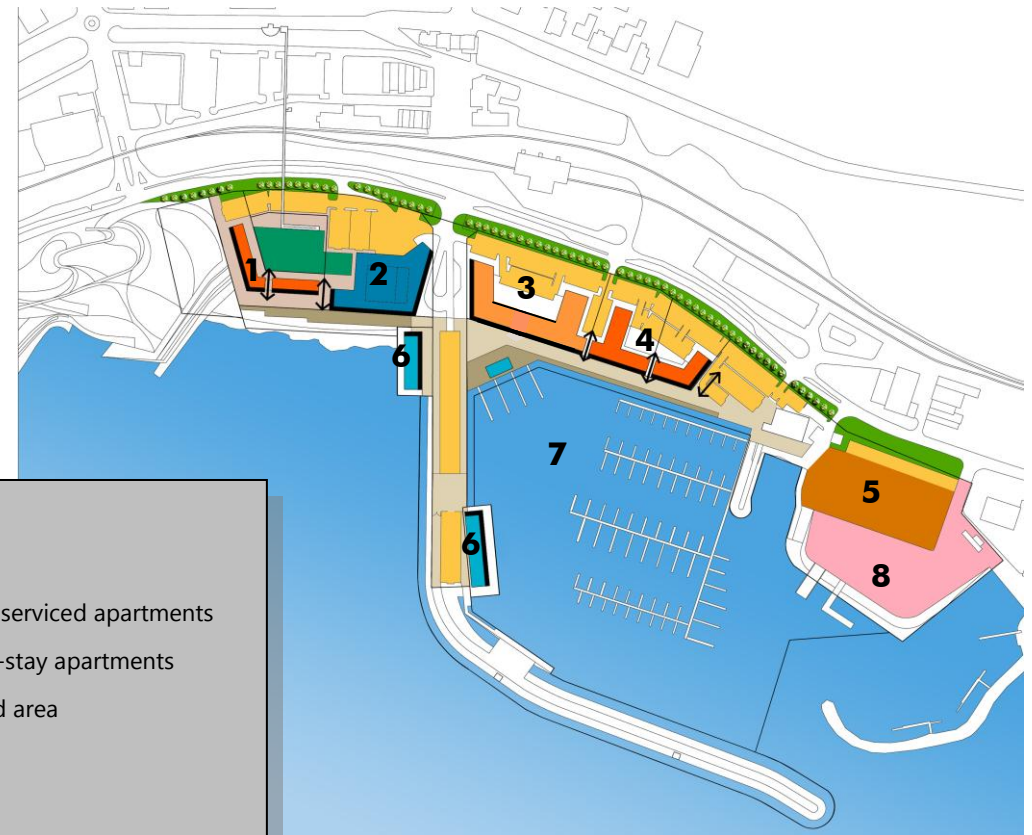
The Albany Waterfront has been broken into five precincts which are characterised primarily by different land uses. Planning provisions for each precinct are described in the following section.

Precincts



- 1. Entertainment Precinct
- 2. Accommodation Precinct
- 3. Commercial Precinct
- 4. Harbour Precinct
- 5. Town Jetty Precinct

Development Uses

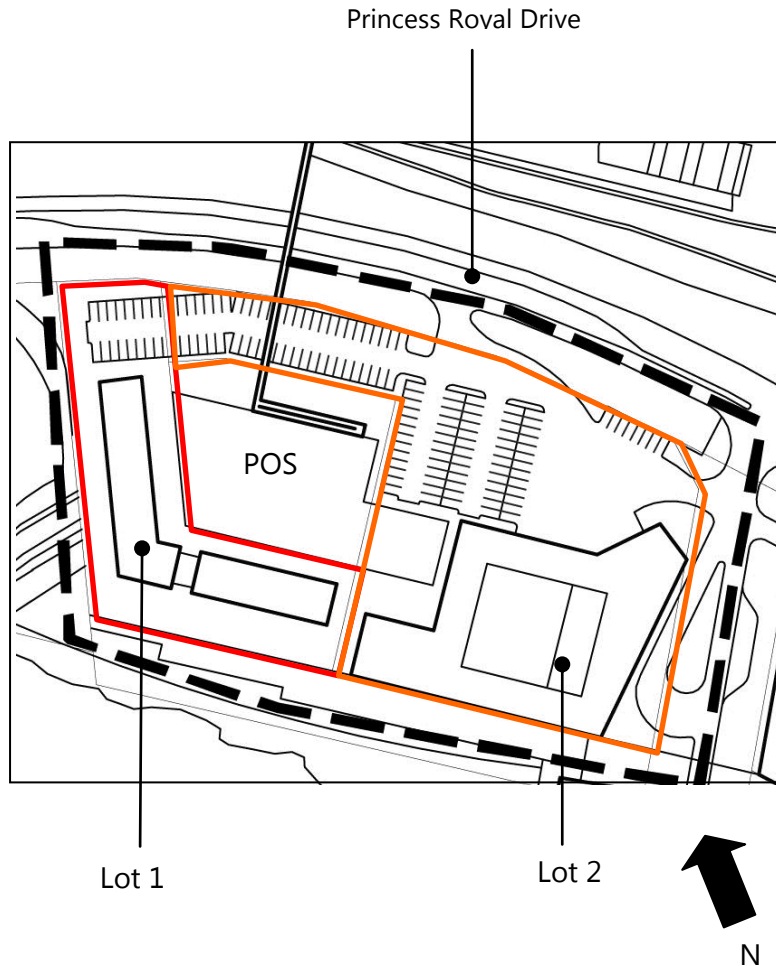


- 1. Mixed use
- 2. AEC
- 3. Hotel and short-stay serviced apartments
- 4. Mixed-use and short-stay apartments
- 5. Boat trailer hardstand area
- 6. Retail
- 7. Marina
- 8. Fishing area hardstand

Rev: Inclusion of short-stay apartments in item 4

Precinct Plan Report

Entertainment Precinct

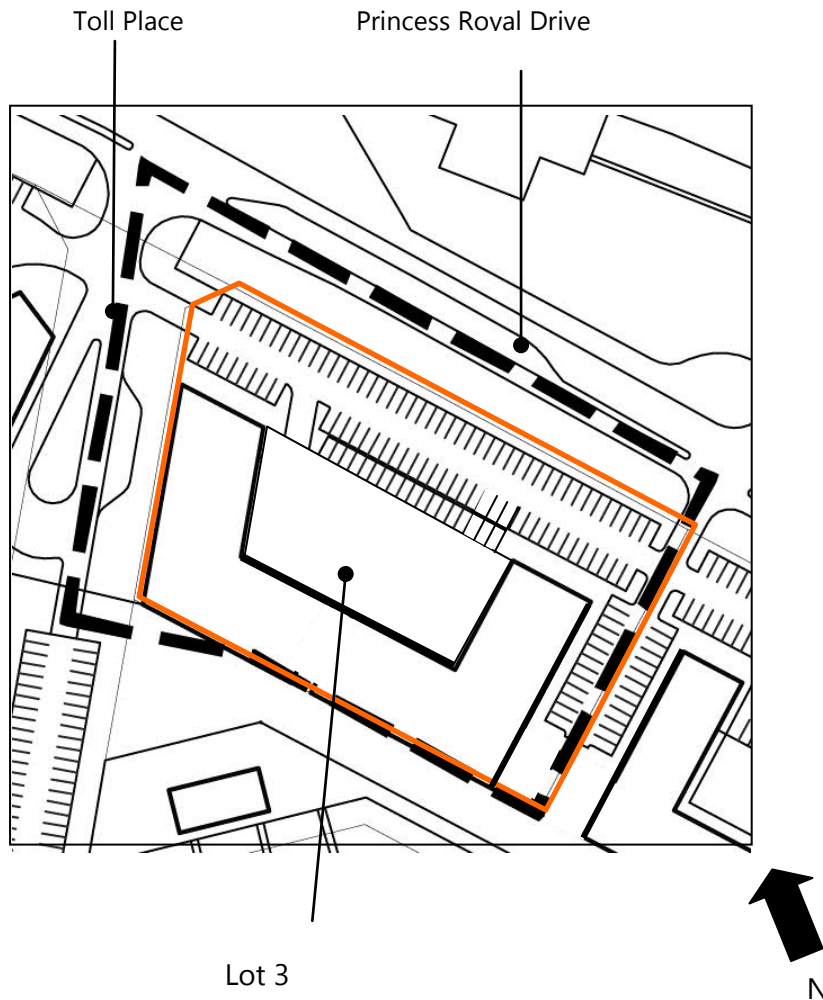


Note: "Potential to use roof volume" means using the available roof volume to provide the spaces below with mezzanine floors or loft spaces.

Building height	On Lot 1 to be 2 storeys with potential to use roof volume. Albany Entertainment Centre will have variable heights determined according to the function of particular zones within the centre. The fly tower is the tallest component at 37m.
Plot ratio	Plot ratio shall be a maximum of 0.5 for all lots in the precinct
Parking	15 car bays shall be provided on Lot 1 130 car bays shall be provided on Lot 2
Setbacks	<p>Lot 1:</p> <ul style="list-style-type: none"> 25m minimum from Princess Royal Drive. 5m minimum from western boundary. 5m minimum from the Promenade. 4m minimum from POS boundaries. 4m minimum from eastern boundary. <p>Lot 2:</p> <ul style="list-style-type: none"> 25m minimum from Princess Royal Drive. 4m minimum from POS. 4m minimum from western boundary. Nil setbacks from all other boundaries.

Precinct Plan Report

Accommodation Precinct

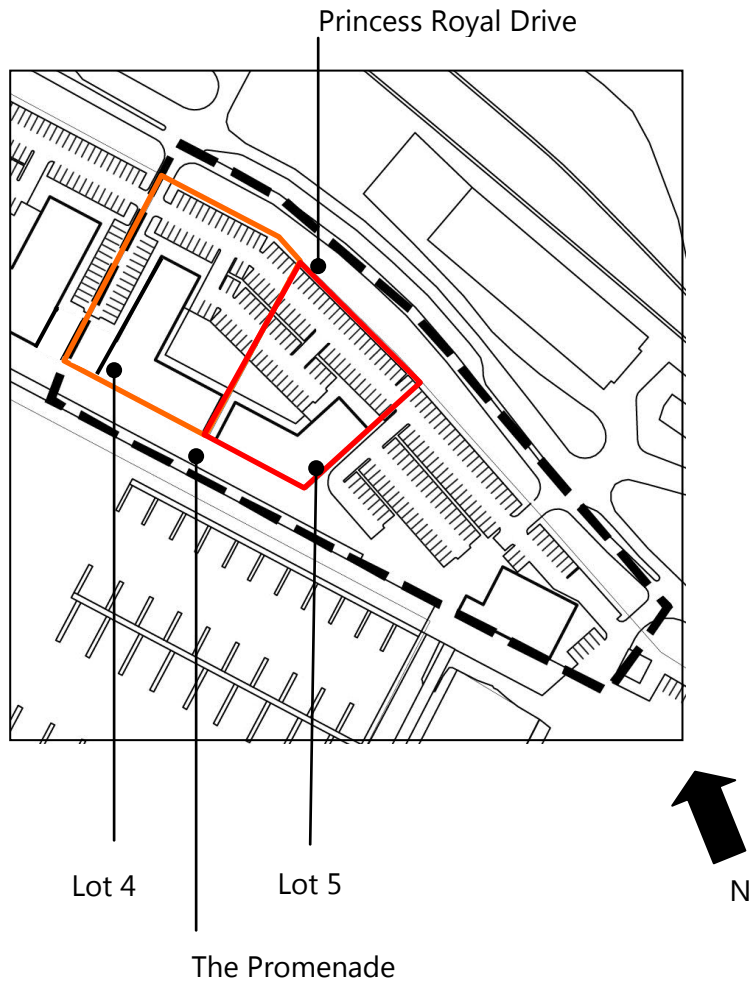


Building height	The hotel building facing Toll Place to be 5 storeys. The adjacent serviced apartment building to be 6 storeys. A building element used to signify the entry points may project beyond the roof to a maximum of 3 metres.	Rev
Plot ratio	Plot ratio shall be a maximum of 2.5:1 for all lots in the precinct.	
Parking	A minimum of 222 car bays to be provided on Lot 3. This comprises approximately 83 open bays and a minimum of 139 undercover bays.	
Setbacks	25m minimum from Princess Royal Road. 12m minimum from eastern boundary to 6 storey wall of serviced apartment building. Nil setbacks from all other boundaries.	

- Rev:
- Increase in plot ratio and car parking requirements.
 - Deleted reference to use of roof spaces.
 - Increase in permitted building height.
 - Plan updated to show undercover parking area on northern side.
 - Deleted required break in building edge facing promenade.
 - Deleted single storey portion on south east corner.

Precinct Plan Report

Commercial Precinct



Building height	3 storeys, provided the third floor is used exclusively for short-stay accommodation, otherwise height is limited to 2 storeys.	Rev
Plot ratio	Plot ratio shall be a maximum of 0.5 for all lots in the precinct.	
Parking	65 car bays to be provided on Lot 4. 65 car bays to be provided on Lot 5. 105 car bays to eastern side of Lot 5.	
Setbacks	<p>Lot 4:</p> <p>25m minimum from Princess Royal Road. 12m minimum from western boundary wall. Nil setback from the Promenade.</p> <p>Lot 5:</p> <p>25m minimum from Princess Royal Road. 2.5m minimum from western boundary. Nil setback from all other boundaries.</p>	

Rev: Building height increased to 3 storeys provided third floor is exclusively used for short-stay accommodation.

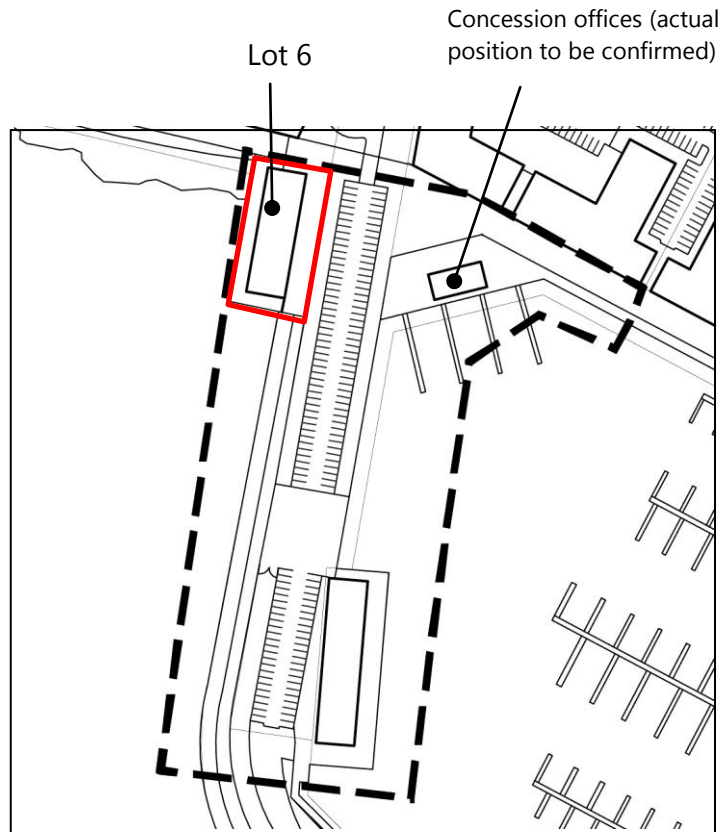
Deleted reference to use of roof spaces.

Rev: Delete reference to setback from single storey

wall on western boundary of Lot 4

Precinct Plan Report

Town Jetty Precinct

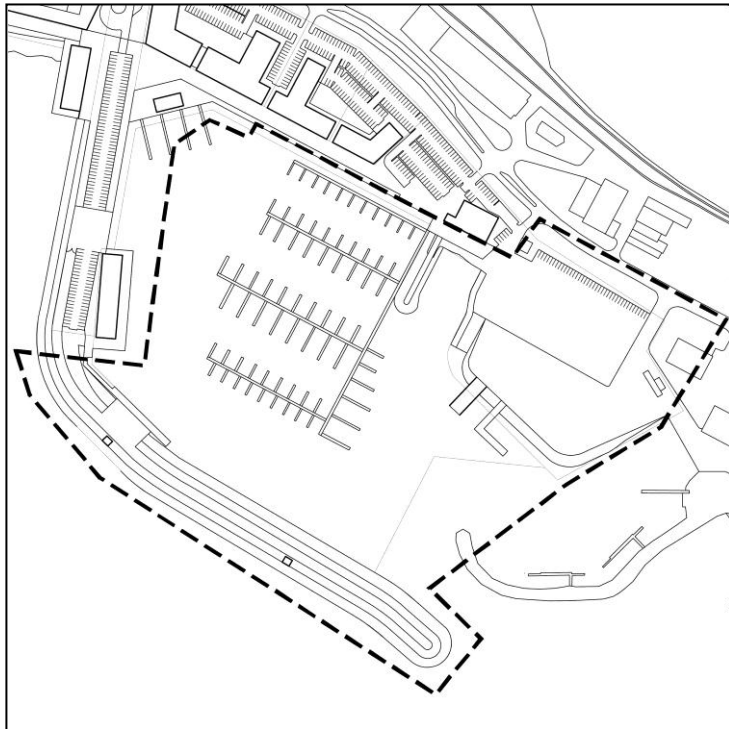


Building height	Lot 6 is to be single storey. Concession offices associated with charter boats to be single storey.
Plot ratio	Plot ratio to lot 6 shall be a maximum of 0.35.
Parking	145 cars to be provided along the old Town Jetty.
Setbacks	No required setbacks.



Precinct Plan Report

Harbour Precinct



Building height	Any buildings in this precinct to be single storey.
Plot ratio	Not applicable.
Parking	45 permanent car bays to boat trailer hard stand area.
Setbacks	Minimum set backs for any new buildings in the fishing industry hardstand area will be 2.5m from eastern boundaries. If buildings are used to store hazardous materials then the setbacks will be determined according to safety requirements.



Precinct Plan Report

Land Use Tables

Entertainment Precinct

Land Table	Use	Use Class	Definition	Permissibility
Refer to Clause 3.4 of TPS1A for the meaning of the symbols		Theatre/Entertainment Centre (on Lot 2 only)	being premises used by the public to view a theatrical or similar productions or for the display, or display and sale, of materials of an artistic, cultural or historic nature	P
		Market	See TPS1A	AA
		Shop	See TPS1A	P
		Restaurant	See TPS1A	P
		Office	See TPS1A	AA
		Other minor or incidental uses within the precinct may be permitted at the discretion of Council		n/a

Precinct Plan Report

Accommodation Precinct

Land Use Table	Use Class	Definition	Permissibility
Refer to Clause 3.4 of TPS1A for the meaning of the symbols	Hotel	See TPS1A	P
	Motel	See TPS1A	P
	Residential Building (short-stay accommodation only)	See TPS1A	AA
	Reception Centre	being premises used for functions on formal or ceremonial occasions but not for un-hosted use for general entertainment purposes	IP
	Shop	See TPS1A	IP
	Restaurant	See TPS1A	IP
	Office	See TPS1A	IP
	Other minor or incidental uses within the precinct may be permitted at the discretion of Council	n/a	SA

Precinct Plan Report

Commercial Precinct

Land Use Table	Use Class	Definition	Permissibility
Refer to Clause 3.4 of TPS1A for the meaning of the symbols	Shop	See TPS1A	P
	Office	See TPS1A	AA
	Restaurant	See TPS1A	AA
	Museum	See TPS1A	AA
	Residential Building (short-stay accommodation only)	See TPS1A	AA
	Other minor or incidental uses within the precinct may be permitted at the discretion of Council	n/a	SA

Rev: Addition of residential use

Town Jetty Precinct

Land Use Table	Use Class	Definition	Permissibility
Refer to Clause 3.4 of TPS1A for the meaning of the symbols	Restaurant	See TPS1A	P
	Shop	See TPS1A	P
	Office	See TPS1A	IP
	Other minor or incidental uses within the precinct may be permitted at the discretion of Council	n/a	SA

Precinct Plan Report

Harbour Precinct

Land Use Table	Use Class	Definition	Permissibility
Refer to Clause 3.4 of TPS1A for the meaning of the symbols	Marina	See TPS1A	P
	Marine Filling Station	See TPS1A	P
	Marine Services Facilities	See TPS1A	P
	Other minor or incidental uses within the precinct may be permitted at the discretion of Council	n/a	SA

Rev

Rev: Marine Services Facilities added as a permissible use

Precinct Plan Report

Implementation

Structure Plan

The Structure Plan upon which this Precinct Plan is based was adopted by Council on the 16th May 2006.

The Precinct Plan complies with and is substantially in accordance with the Structure Plan.

Commitments

- 1) The landowner lodged applications for subdivision and development and commenced development of the site in late September 2006. Rev

- 2) The preliminary subdivision plan showing all boundaries and dimensions of all lots to be created is submitted with this Precinct Plan.

- 3) Development is anticipated to be staged in accordance with a program to be lodged with future development applications.

- 4) A detailed Landscape Master Plan has been completed. Rev

- 5) Princess Royal Drive has been be modified during the development process in accordance with the Albany Waterfront Traffic Assessment report prepared by Riley Consulting and included in the Structure Plan. Rev

- 6) Details describing type and colour of paving materials proposed for construction of roads, paths and public open spaces have been submitted and approved. Rev

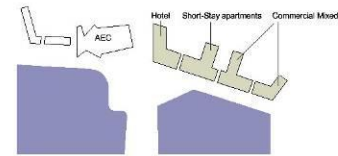
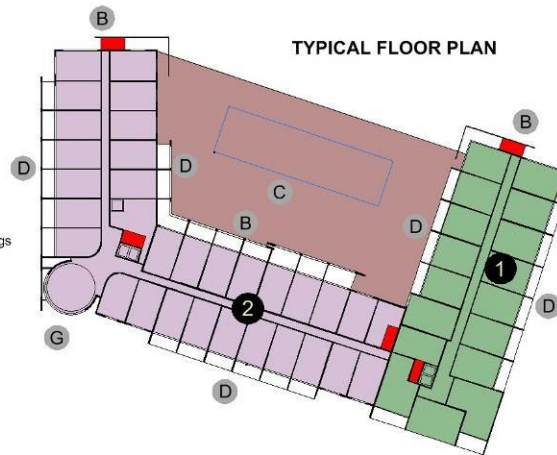
Rev: Updated to reflect status of commitments

Precinct Plan Report

Addendum 1

Supporting information associated with proposed amendments to structure and precinct plans initiated by Landcorp in 2011.

- Hotel Lobby
- Covered parking
- Amenity area on covered parking
- Meeting rooms
Approximately 400m² shown
- Apartment lobby
- Back of house
- Short-stay apartments on five floors
(60m² average apartment size shown)
- Hotel rooms on four floors
55m² average room size shown
- Egress points
- Tavern, bar, restaurant
Approximately 600m² shown
- Short-stay apartments above commercial mixed-use buildings



DEVELOPMENT GUIDELINES

- A** All building frontages to maximize glazing and allow for visual permeability and where appropriate should flow out to encourage public activity at promenade level
- B** All building ends facing Stirling Terrace are to maximize glazing and use of balconies in order to articulate and 'enliven' these building faces
- C** Maximize vegetation on deck over parking area to soften view from Stirling Terrace and to reduce heat sink effects. Vegetation is to be in the form of ground cover rather than scattered trees in planters in order to cover as much of the paved surface as possible
- E** All delivery points to service back of house facilities must not be within sight of Stirling Terrace
- D** All apartments must include balconies in order to modulate building facades and ensure buildings reflect human scale
- F** Consideration should be given to using 'green roofs' on these buildings as they could be viewed from some portions of Stirling Terrace
- G** Entrances to these buildings must be well defined and in keeping with the very public nature of the Promenade

SUMMARY

Buildings within the Accommodation and Commercial Precincts of the Albany Waterfront Development are proposed to be increased to enable a higher development yield to occur. This is in response to feedback from potential operators/owners who advise the current capacity of these buildings is too low for viable operation.

The following increases to the Hotel, Short-stay Apartments and the Commercial Mixed-use buildings are proposed:

- Increase Short-stay Apartments from four to six floors
- Increase Commercial Mixed-use buildings from two to three floors

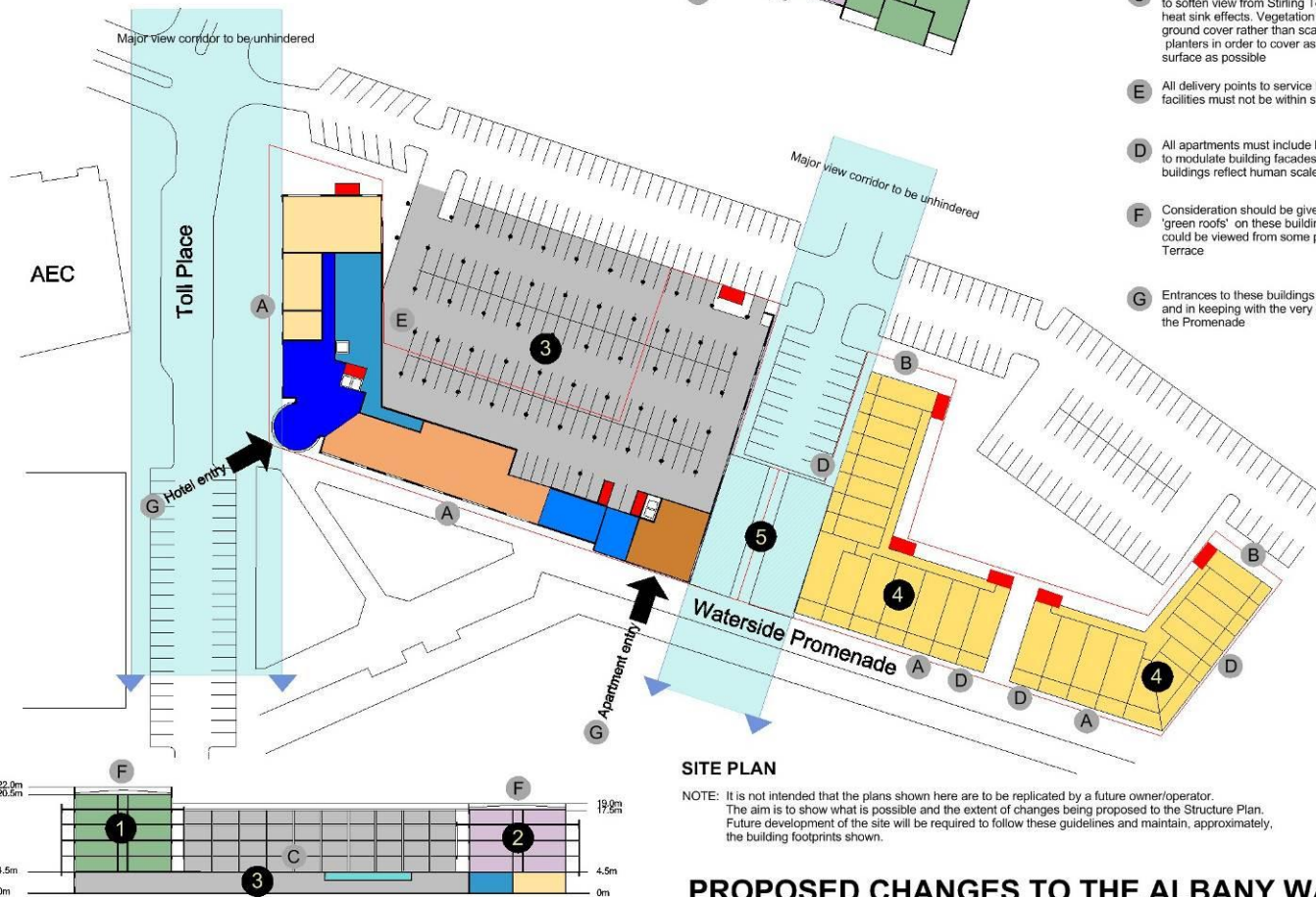
These height increases result in the following:

120 to 145 hotel rooms
134 to 144 short-stay apartments
A GFA increase from 16,600m² to 24,050m²

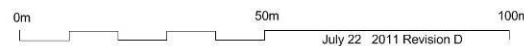
	Current	Proposed
Hotel building	7,500m ² GFA	10,500m ² GFA
Short-stay apartment building	4,600m ² GFA	6,800m ² GFA
Commercial Mixed-use building	4,000m ² GFA	6,750m ² GFA
Car parking	700 bays	792 bays

PROPOSED CHANGES TO STRUCTURE PLAN

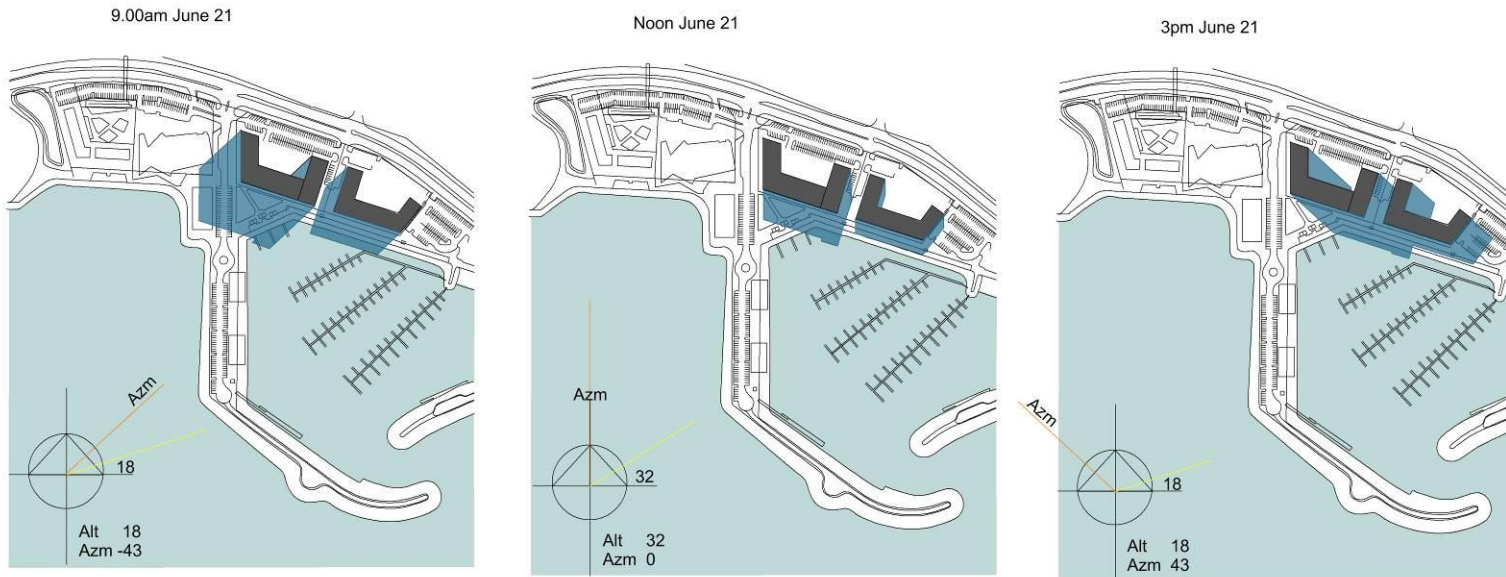
- 1** The short-stay apartments in the accommodation precinct increased from four to six floors. This increase will take the GFA from 4,600m² as noted in the Structure Plan to 6,800m². The configuration shown here is capable of providing 80 to 90 short-stay apartments depending on mix of apartment sizes.
- 2** The hotel portion of the accommodation precinct is shown here as a continuous building adjoining the short-stay apartments. The footprint shown produces a hotel with a GFA of 10,500m² which is 3,000m² larger than the estimated hotel area noted in the Structure Plan. The hotel in this configuration is capable of providing 120 to 145 rooms depending on the mix of room sizes.
- 3** Covered parking for 130 cars can be provided on this site. There are presently 38 car bays in this area which have reciprocal use arrangements and must maintain this status. The additional 92 bays will be for the exclusive use of hotel and short-stay apartment guests.
- 4** These two buildings in the commercial precinct are increased from two to three floors provided the top floor is used as short-stay accommodation. These buildings are designated mixed-use in the Structure Plan. Their approximate GFA is currently 4,500m² which will increase to 6,750m² with an additional floor. As a mixed-use development the current building would require 150 car bays. If the development became mixed-use at ground level and short-stay apartments above the car bays required would reduce to approximately 130 bays, depending on the number of apartments (54 apartments are shown as only a suggestion of potential numbers).
- Mixed-use at ground level may be concentrated to the waterside promenade and the rear portions can be ancillary to the short-stay apartments. No apartments are to be at ground level
- 5** The area between these 2 buildings is to be used for public purposes and cannot be built upon



PROPOSED CHANGES TO THE ALBANY WATERFRONT STRUCTURE PLAN



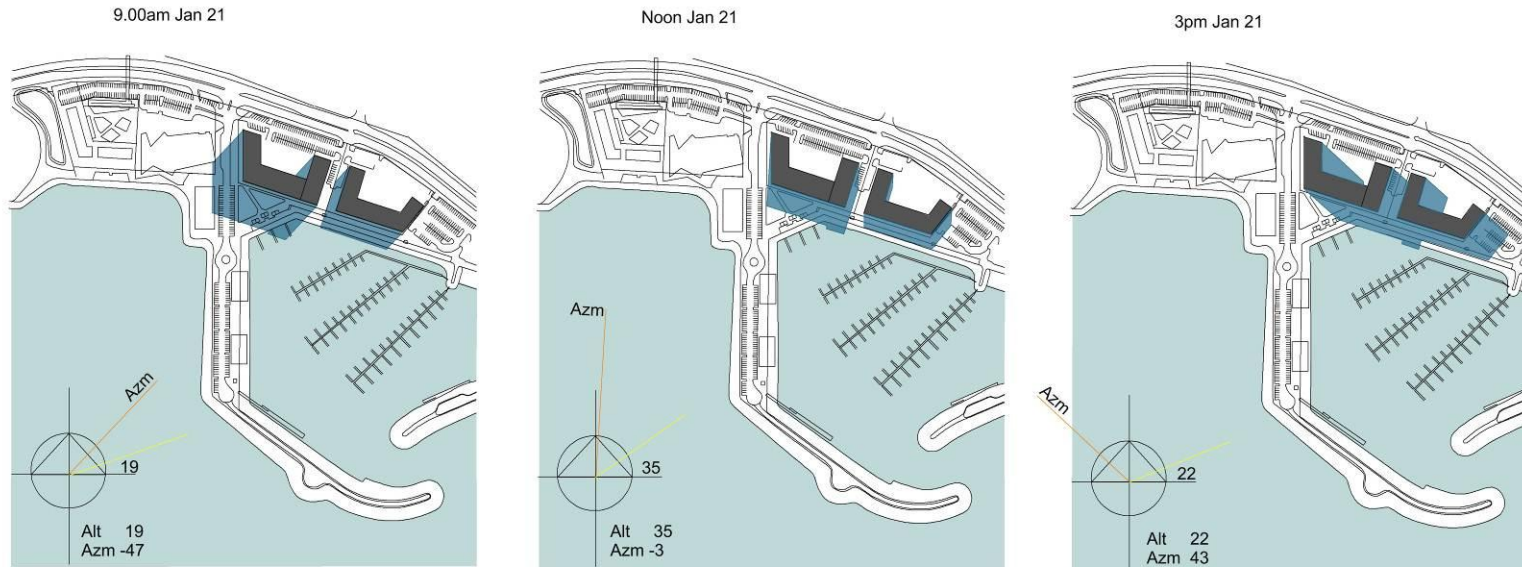
LANDCORP



This shadow study produced at the request of the City of Albany. The diagrams show that shadows cast during summer and winter have a negligible impact on the shoreline.

At 35deg South the sun's path differs little between summer and winter.

Albany Waterfront 35 deg South Mid Winter



SHAPING OUR HABITAT



urbanixdesign.com.au

Albany Waterfront 35 deg South Mid Summer

Precinct Plan Report

VIEW FROM PEDESTRIAN BRIDGE



Above - Possible development scale currently achievable



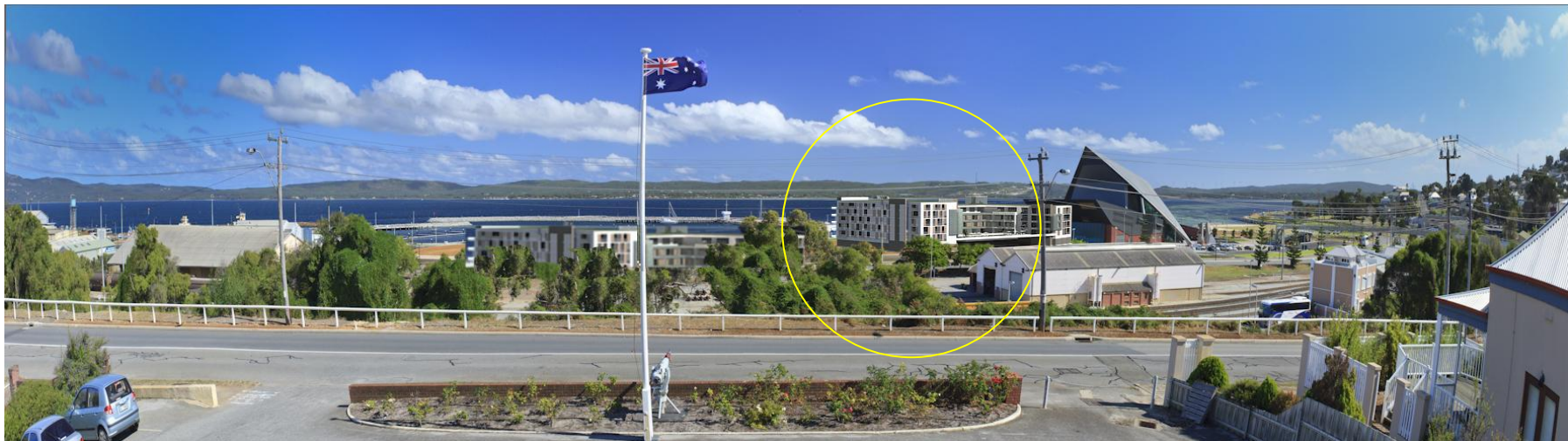
Above - Possible development scale under proposed amendments

The following series of images show the mass and scale of buildings achievable under the current approved development framework compared with the mass and scale achievable under the proposed changes. Please note that the purpose of these images is not to convey building design. The actual appearance of these buildings will ultimately depend on the individual developers who will be required to develop buildings in accordance with the Precinct Plan design guidelines.

Precinct Plan Report

VIEW FROM STIRLING TERRACE

Below - Possible development scale currently achievable



Above - Possible development scale under proposed amendments

Precinct Plan Report

VIEW FROM STIRLING TERRACE

Below - Possible development scale currently achievable



Above - Possible development scale under proposed amendments

Precinct Plan Report

VIEW ALONG THE SPENCER STREET VIEW CORRIDOR

Below - Possible development scale currently achievable



Above - Possible development scale under proposed amendments

Precinct Plan Report



The use of green roofs is encouraged if suited to future proposed developments. These images show how green roofs provide softening to large roof areas.

CITY OF ALBANY

TOWN PLANNING SCHEME NO. 1

GAZETTED 28 APRIL 2014

Excerpt

SU15	Albany Royal Foreshore	Princess Harbour	<p>Entertainment Precinct</p> <p>Within the Entertainment Precinct (1) shown on the Guide Plan adopted for the zone the following land uses and permissibility apply:</p> <p>Entertainment Centre 'P'</p> <p>Market 'D'</p> <p>Restaurant 'P'</p> <p>Shop 'P'</p> <p>Office 'A'</p> <p>Accommodation Precinct</p> <p>Within the Accommodation Precinct (2) shown on the Guide Plan adopted for the zone the following land uses and permissibility apply:</p> <p>Motel 'P'</p> <p>Shop 'D'</p> <p>Office 'A'</p> <p>Restaurant 'D'</p> <p>Commercial Precinct</p> <p>Within the Commercial Precinct</p>	<p>1. Purpose</p> <p>The purpose of the Albany Princess Royal Harbour Foreshore Special Use Zone is to manage the development and use of the area in such a way that the surrounding marine environment and port and transport land uses is not impacted upon.</p> <p>2. Development Objectives</p> <p>All development within the zone is to:</p> <p>(a) Reflect a maritime context;</p> <p>(b) Cater for pedestrian flow;</p> <p>(c) Provide adequate onsite parking and vehicle access;</p> <p>(d) Provide a safe and secure environment for all members of the community;</p> <p>(e) Ensure building scale, materials, and colours which complement the existing CBD building stock;</p> <p>(f) Use materials that ensure longevity in a harsh marine environment;</p> <p>(g) Not use roof tiles;</p> <p>(h) Not use low pitch roofs concealed by parapet walls;</p> <p>(i) House mechanical services within the building or roof space;</p> <p>(j) Mitigate traffic noise in accommodation buildings;</p>
------	------------------------------	---------------------	--	---

	<p>(3) shown on the Guide Plan adopted for the zone the following land uses and permissibility apply:</p> <p>Shop 'P' Office 'D' Restaurant 'D' Museum 'D'</p> <p>Harbour Precinct</p> <p>Within the Harbour Precinct (4) shown on the Guide Plan adopted for the zone the following land uses and permissibility apply:</p> <p>Marina 'P' Harbour Installations 'P' Marine Filling Station 'D'</p> <p>Town Jetty</p> <p>Within the Town Jetty (5) shown on the Guide Plan adopted for the zone the following land uses and permissibility apply:</p> <p>Restaurant 'D' Shop 'D' Office 'A'</p>	<p>(k) Be set back a minimum of 25 metres from princess royal drive;</p> <p>(l) Contain all waste storage and delivered goods within the associated buildings;</p> <p>(m) Position car parking on the northern side;</p> <p>(n) Not utilise basement parking;</p> <p>(o) Provide disability access; and</p> <p>(p) Provide public art to complement the maritime theme.</p> <p>3. Individual Precinct Requirements</p> <p>Within the individual precincts contained on the Guide Plan adopted for the zone, the following requirements and standards shall apply:</p> <p>(a) Entertainment Precinct (1)</p> <p>(i) Building Height</p> <p>1. The Entertainment Centre is located on the eastern half of Precinct 1. The fly tower is the tallest component of the Entertainment centre and is not to exceed 24 metres.</p> <p>2. Development on the western half of this precinct (Lot 2) is not to exceed two storeys.</p> <p>(ii) Plot Ratio</p> <p>Maximum plot ratio shall be 0.5.</p> <p>(iii) Car Parking</p> <p>Fifteen car bays shall be provided on Lot 1 and 130 car bays shall be provided on Lot 2.</p> <p>(iv) Setbacks (Lot 1)</p> <p>The following minimum setbacks apply:</p> <ul style="list-style-type: none"> • 25 metres from Princess Royal Drive; • 5 metres from western boundary; • 5 metres from promenade; • 4 metres from POS boundaries; and • 4 metres from eastern boundary. <p>(v) Setbacks (Lot 2)</p> <p>The following minimum setbacks apply:</p> <ul style="list-style-type: none"> • 25 metres from Princess Royal Drive; • 4 metres from POS boundaries; • 4 metres from western boundary; and • Nil setbacks from all other boundaries. <p>(b) Accommodation Precinct</p> <p>(i) Land Use</p>
--	---	---

			<p>Despite anything contained in the Zoning Table, Shop, Office and Restaurant may only be permitted by the Local Government subject to that land use being incidental to an approved Motel use.</p> <p>(ii) Building Height</p> <p>Buildings are to be at a maximum height of 5 metres.</p> <p>(iii) Plot Ratio</p> <p>Maximum plot ratio shall be 1.5.</p> <p>(iv) Car Parking</p> <p>Car parking is to be provided at the following ratio:</p> <ul style="list-style-type: none"> • One per employee +; • One per 3m² bar area +; • One per 4 seats in dining area +; • One per bedroom +; • One per 4m² other public areas; and • One bicycle parking facility for every 10 car bays. <p>(v) Setbacks</p> <p>The following minimum setbacks apply:</p> <ul style="list-style-type: none"> • 25 metres from Princess Royal Drive; • 12 metres from eastern boundary; and • Nil setbacks from all other boundaries. <p>(c) Commercial Precinct</p> <p>(i) Building Height</p> <p>Buildings are to be a maximum height of two storeys.</p> <p>(ii) Plot Ratio</p> <p>Maximum plot ratio shall be 0.5.</p> <p>(iii) Car Parking</p> <p>Car parking is to be provided at the ratio of one bay per 20m² gross floor area.</p> <p>(iv) Setbacks</p> <p>The following minimum setbacks apply:</p> <ul style="list-style-type: none"> • 25 metres from Princess Royal Drive; • 12 metres from eastern boundary; • 2.5 metres from western boundary; and • Nil setbacks from all other boundaries. <p>(d) Harbour Precinct</p> <p>(i) Building Height</p>
--	--	--	---

REPORT ITEM PD 083 REFERS

			<p>Buildings are to be a maximum height of one storey.</p> <p>(ii) Car Parking</p> <p>Car parking shall incorporate 45 permanent car bays to boat trailer hard stand area.</p> <p>(iii) Setbacks</p> <p>The following minimum setbacks apply:</p> <ul style="list-style-type: none"> • 2.5 metres from eastern boundary. <p>(e) Town Jetty Precinct</p> <p>(i) Land Use</p> <p>Despite anything contained in the Zoning Table, Office may only be permitted subject to that land use being incidental to an approved Shop or Restaurant use.</p> <p>(ii) Building Height</p> <p>Buildings are to be a maximum height of one storey.</p> <p>(iii) Plot Ratio</p> <p>Maximum plot ratio shall be 0.35.</p> <p>(iv) Car Parking</p> <p>Car parking shall incorporate 145 car parking bays to be provided along the old Town Jetty.</p> <div style="border: 1px solid black; padding: 5px; margin-top: 10px;"> <p><i>Note: The Minister for the Environment has placed ministerial conditions that apply to this area and any future development is required to comply with those conditions (Minister of Environment Statement 787 - issued 19 February 2009).</i></p> </div>
--	--	--	--

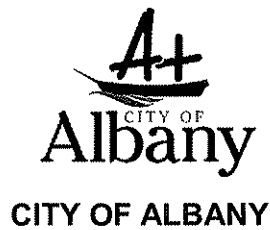
ALBANY WATERFRONT
MEMORANDUM OF AGREEMENT

September 2007



STATE OF WESTERN AUSTRALIA

And



CONTENTS

1. PURPOSE
 2. BACKGROUND – KEY MILESTONES
 3. PROJECT VISION
 4. PROJECT OBJECTIVES
 5. COMMITMENTS TO THE COMMUNITY
 6. PROJECT SCOPE
 7. ASSOCIATED LAND TRANSACTIONS
 8. ROLES & RESPONSIBILITIES
 9. FINANCING
 10. PROGRAM
 11. FUTURE AGREEMENTS
- THE AGREEMENT

ALBANY WATERFRONT MEMORANDUM OF AGREEMENT

1. PURPOSE

This document represents an agreement between the State of Western Australia and City of Albany in planning, funding, constructing and managing the Albany Waterfront Project.

The key stakeholders involved in the implementation of the project are:

- LandCorp
- City of Albany
- Great Southern Development Commission (GSDC)
- Department for Planning & Infrastructure (DPI)
- Department of Housing and Works

The Albany Waterfront has the approval of State Cabinet and the City of Albany, and has the support of the key stakeholder agencies.

The project also carries strong and well-demonstrated support from the community at large.

This document replaces the previous memoranda of agreement relating to the waterfront executed in December 2002 and September 2005 respectively and serves to confirm and identify the strategic alliance that exists between the key stakeholders and the roles and responsibilities each organisation has in bringing the project to fruition. It introduces the Department of Housing & Works as project manager for the Albany Entertainment Centre.

This Memorandum of Agreement is intended to be a high level document and not to resolve all project details. It is anticipated that as the project progresses, further supplementary agreements will be entered into serving the intent of this agreement.

2. BACKGROUND – KEY MILESTONES

- The Albany Waterfront project dates back to 1983 with early planning driven by the Great Southern Development Commission and the then Town of Albany.
- In April 2001 the State Government approved in principle a marina based waterfront precinct known as the Albany Boat Harbour Project and allocated \$12.7 million in funding.
- In August 2002 a Management Steering Committee was formed consisting of the GSDC, DPI and the City of Albany which developed a design concept that was subsequently approved by the City of Albany in March 2004.

ALBANY WATERFRONT MEMORANDUM OF AGREEMENT

- In September 2004 the Minister for Planning and Infrastructure advised that LandCorp would work with the other stakeholders to review the design concept to give greater focus to the land development.
- In February 2005 the State Government announced a \$14.9m funding contribution towards the proposed Albany Entertainment Centre (AEC) planned for construction in York Street next to the Albany Town Hall Theatre.
- In March 2005 the Member for Albany and the Minister for Planning and Infrastructure proposed that consideration be given to co-locating the AEC with the Waterfront Development.
- In May 2005 the City of Albany appointed 7 Councillors to the newly constituted Albany Waterfront Development Committee to work with LandCorp officers and City staff in recommending preferred design options and concepts to the City Council.
- On 21 June 2005 the City of Albany gave approval to a concept plan which incorporated the relocation of the AEC from the York St Civic precinct to the western portion of the waterfront development site.
- On 19 July 2005 the State Government announced the allocation of additional funding for the Albany Waterfront bringing the total allocation to \$27.8m including a \$1m contribution from the City of Albany.
- On 16 May 2006 the City of Albany approved the structure plan for the development.
- On the 19 September 2006 the City of Albany adopted the precinct plan that will be used to guide and facilitate development at the Albany Waterfront.
- On the 11 October 2006 the Premier of Western Australia announced funding for up to a further \$19.95 million for the Albany Entertainment Centre project with a total project cost of \$37.55 million. *Includes \$1.2m commitment from the City of Albany and \$1.5m funding being sought by the City of Albany from the Australian Government's Regional Partnerships program of the Department of Transport and Regional Services. (Funding unconfirmed at time of Agreement).*
- The Department of Housing and Works was also appointed as project managers and coordinators for the development of the Albany Entertainment Centre. In December 2007, the Department of Housing and Works appoint Cox, Howlett Bailey Woodland to undertake the detailed design of the Albany Entertainment Centre.
- On 25 July 2007, the Premier of Western Australia announced additional \$10.5 million funding, taking the total project cost to \$49 million. The additional allocation was to cater for increased building

ALBANY WATERFRONT MEMORANDUM OF AGREEMENT

costs and the costs associated with the crystalline concept design, a design in keeping with the iconic location.

- On 14 August 2007 the City of Albany endorsed the concept design.

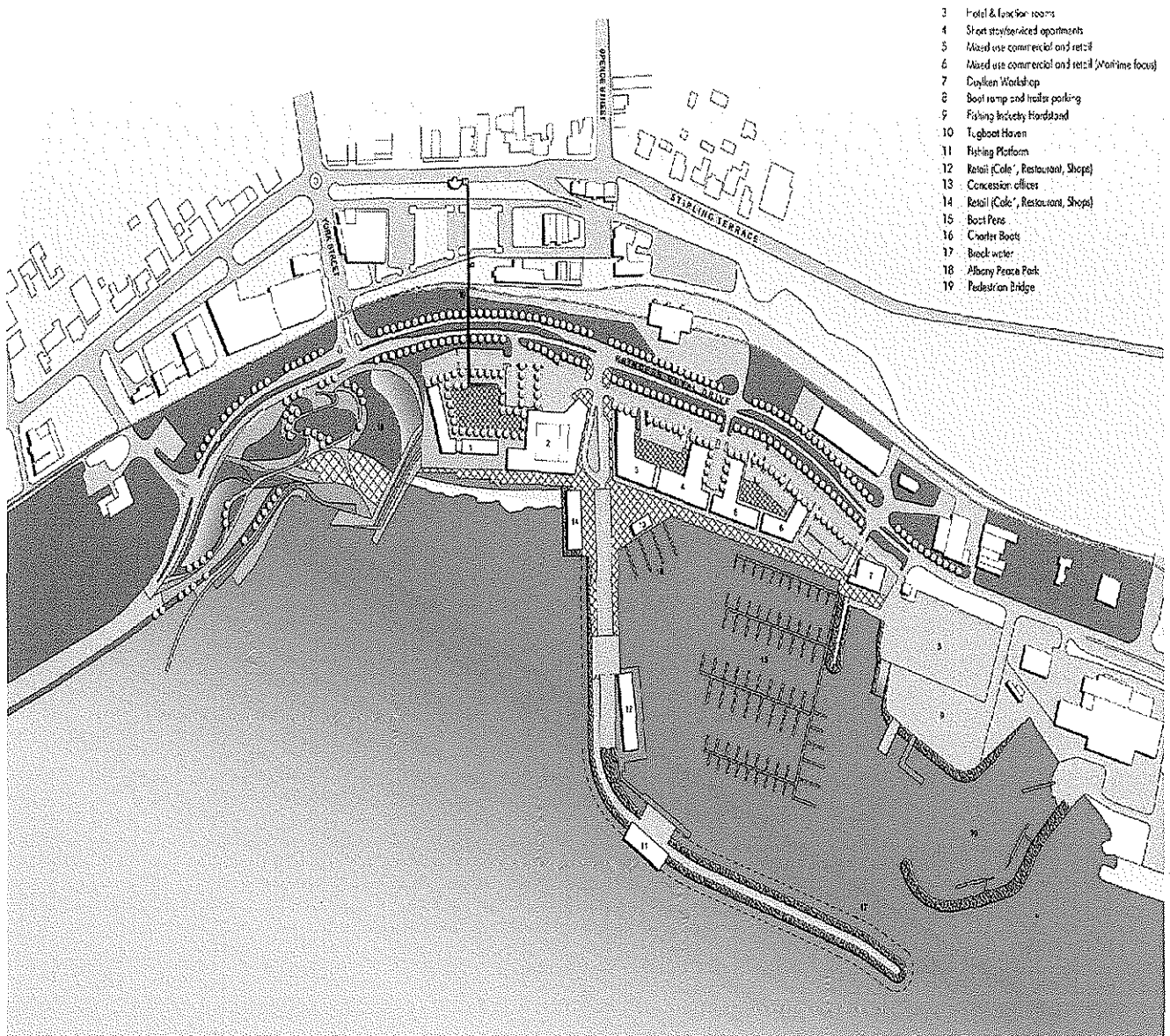


Fig1 Structure Plan – approved by City of Albany in May 2006

3. PROJECT VISION

The vision is to create a sustainable, attractive and exciting world-class waterfront precinct for the Albany community, the Great Southern Region, and visitors to the region.

ALBANY WATERFRONT MEMORANDUM OF AGREEMENT

The Albany Waterfront will provide a protected boat harbour serving the recreational, fishing and tourism industries together with land-based development adjacent to the town jetty providing a range of tourist accommodation, maritime servicing, entertainment, recreational and community based facilities.

4. PROJECT OBJECTIVES

- Extend the Town to the Waterfront
- Create a New Focus for the Town by creating a tourism and entertainment precinct
- Capitalise on the location and its surrounds:
Port – Harbour – Anzac Park – Town – Tourism
- Create New Maritime Facilities:
Recreation – Fishing – Charter – Support Industries
- Build a New Entertainment Centre in keeping with the Waterfront Development and iconic nature of Princess Royal Harbour.
- Create a vibrant Activity Mix
Tourism – Retail – Commercial – Maritime – Entertainment-
Public Facilities
- Respect Port Access

5. COMMITMENTS TO THE COMMUNITY

The State of Western Australia and the City of Albany are committed to the following underlying principles regarding the development and ongoing operation of the Albany Waterfront:

- Acknowledgement and respect of 24 hour a day, 7 day a week heavy haulage access to the Port of Albany.
- Prohibition of permanent residential activity.
- Unfettered community access to the foreshore.
- Maintenance of the iconic Princess Royal Harbour vista as seen from the York Street Commercial Precinct.

6. PROJECT SCOPE

This agreement consists of the following components (refer figure 2 & 3):

6.1 Albany Waterfront, Boat Harbour & Pedestrian Bridge

- Albany Waterfront - The appropriate remediation and development of approximately 5.5 hectares of waterfront land

ALBANY WATERFRONT MEMORANDUM OF AGREEMENT

into subdivided lots and civic space to accommodate and service the Albany Entertainment Centre, tourism accommodation, retail, commercial, maritime, parking and public facilities.

- Boat Harbour - The development of a marina immediately to the east of the Jetty for approximately 70-80 vessels.
- Pedestrian Bridge - The construction of a pedestrian bridge linking the Albany Waterfront Project to Stirling Terrace and the Albany Railway Station Precinct has been completed.

6.2 Purchase of Waterfront Land

- The provision of \$1 million in revenue to the waterfront project from the City of Albany for the purchase of land to accommodate the Albany Entertainment Centre.

6.3 Albany Entertainment Centre

- Construction of a 620 seat Albany Entertainment Centre, architecturally compatible with, and complementary to, the future development of contiguously located hotel and convention/function facilities.
- The City of Albany will work to facilitate, in conjunction with LandCorp, an appropriately scaled and sufficient standard of convention/function facilities in the proposed hotel development which can link to and synergise with the Albany Entertainment Centre.

6.4 Anzac Peace Park

- The appropriate remediation and development of the 1.4Ha waterfront land approximately west of York St for public parkland purposes.

6.5 Emu Point Land Development

- The development of lots 1512 and 1523 at Emu point with associated funding linkages to the Waterfront project (refer fig 3).

7. ASSOCIATED LAND TRANSACTIONS

- The transfer in freehold to the City of Albany a parcel of land excised from the Albany Waterfront project site sufficient in area to construct the Albany Entertainment Centre and curtilage.

ALBANY WATERFRONT MEMORANDUM OF AGREEMENT

- The City of Albany has relinquished the Management Order over Lot 1512 Emu Point. (refer fig 3).

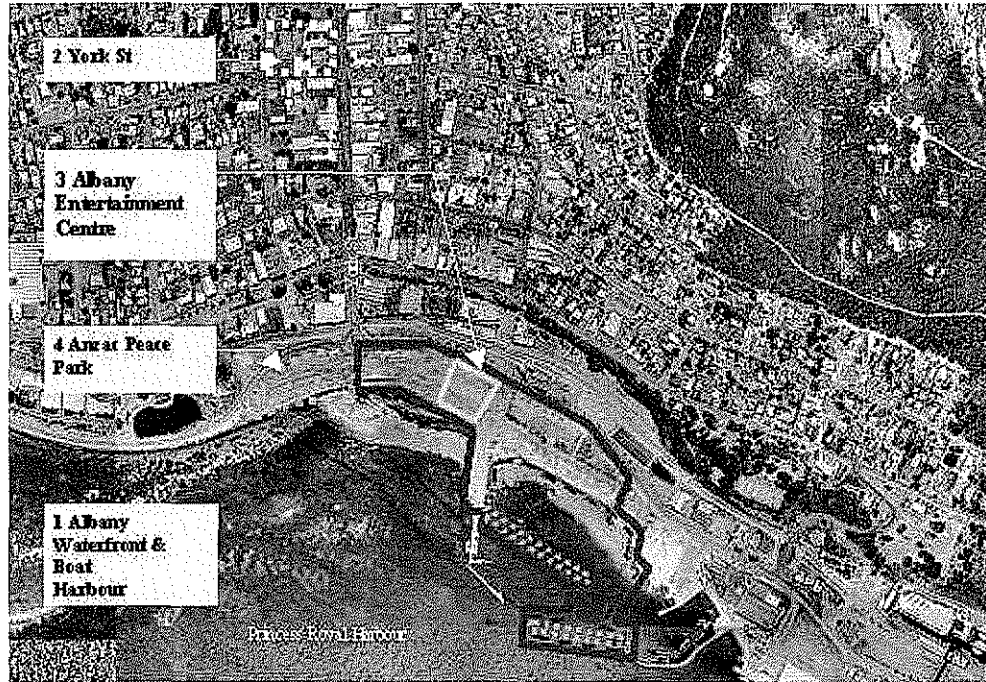


Fig2 Location Plan

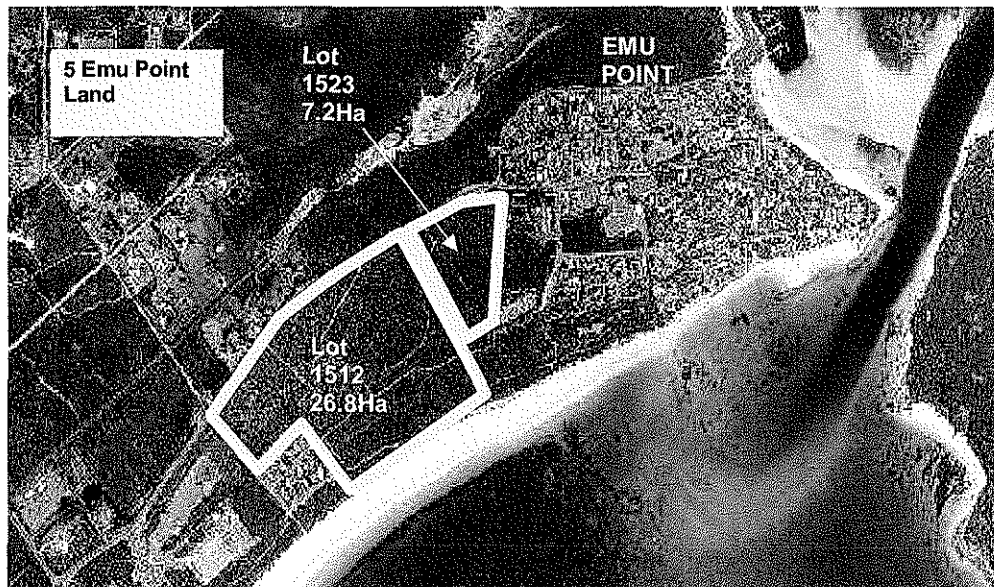


Fig3 Emu Point Land

8. ROLES & RESPONSIBILITIES

8.1 Overall Co-ordination - Stakeholder Reference Group

A group consisting of representatives of the key stakeholders will meet at least bi-annually to facilitate coordination and timely delivery of the project components at an operational level. This group will consist of:

- Member for Albany (Chairman)
- LandCorp
- City of Albany
- Great Southern Development Commission (GSDC)
- Department of Planning & Infrastructure
- Department of Housing and Works

The group will be advisory in nature and will not hold any specific decision-making powers. The Stakeholder Reference Group will be chaired by the Member for Albany or his representative.

If appropriate the Stakeholder Reference Group may invite other agencies or parties to participate in meetings on matters of common interest.

8.2 Project Roles and Responsibilities

Roles and responsibilities for the delivery of the various project outcomes are as follows:

8.2.1 The Albany Waterfront, Boat Harbour & Pedestrian Bridge

- *LandCorp* will be principally responsible for and project manage the urban design, statutory approvals process, construction of infrastructure, and subdivision and release of land.
- *The City of Albany* will be responsible for the care and management of all road reserves, the pedestrian bridge, civic spaces, waterfront promenades and all fixtures and improvements coming into its control as a result of the subdivision process.
- *The Department of Planning and Infrastructure* will be responsible for the management of the Marina and the care and management of maritime infrastructure and any leasehold land coming into its control as a result of the subdivision process.

8.2.2 The Albany Entertainment Centre

The Department of Housing and Works will be responsible for constructing the Albany Entertainment Centre including the project management, design, statutory approval processes, construction and commissioning.

The Great Southern Development Commission will oversee and administer the project capital works budget.

The Department of Housing and Works and the *Great Southern Development Commission* will provide the *City of Albany* with the opportunity to contribute to the design and selection of fitout for the facility and the endorsement of the selection of the architect and the final design and statutory approval (as necessary).

The Department of Housing and Works, Great Southern Development Commission and *City of Albany* will establish a Project Control Group (PCG) to provide strategic leadership and direction to the project.

The PCG will establish, as required, reference groups to input into the project, for example

- a design review committee to oversee the design phase of the project,
- a local reference group comprising of appropriately qualified *City* personnel to liaise with the project architect on matters relating to interior fitout, landscaping and public art

The City of Albany will own and operate the Albany Entertainment Centre and be responsible for the ongoing, care, control and management of the facility which includes any annual operating deficit.

The City of Albany will work to facilitate, in conjunction with LandCorp, an appropriately scaled and sufficient standard of convention/function facilities in the proposed hotel development which can link to and synergise with the Albany Entertainment Centre.

8.2.3 Anzac Peace Park

The City of Albany will be principally responsible for and project manage the design, statutory approvals process,

ALBANY WATERFRONT MEMORANDUM OF AGREEMENT

development, commissioning and ongoing care, control and management of the facility.

The City of Albany will collaborate with *LandCorp* in undertaking coordinated environmental investigations of the Anzac Peace Park site and Albany Waterfront site. *The City of Albany* will be the proponent for the environmental assessment and any resulting conditions pertaining to the development of the Anzac Peace Park.

The City of Albany will use best endeavours to construct the Anzac Peace Park project in the same timeframe as the Albany Waterfront project.

8.2.4 Emu Point

LandCorp will seek approvals to develop of lots 1512 and 1523 at Emu point these lots primarily for residential purposes with development proceeds to be allocated to the waterfront project and any surplus development profits are to be returned to the State Government.

8.2.5 Associated Land Transactions

LandCorp will transfer land excised from the Albany Waterfront project site sufficient in area to construct the Albany Entertainment Centre and curtilage to the City of Albany upon the creation of the new lot. *LandCorp* may consider a development lease to the City of Albany to allow construction of the Albany Entertainment Centre Facility to commence prior to the creation of the new lot.

The City of Albany has advised the Department of Land Administration that it has relinquished the Management Order over Lot 1512 Emu Point.

9. FINANCING

- 9.1** The State of Western Australia will contribute \$38 million to the Albany Waterfront Project.
- 9.2** The State of Western Australia will contribute a maximum of \$46.3 million to the Albany Entertainment Centre Project.
- 9.3** The City of Albany will contribute \$1.0 million to the Albany Waterfront project in the 2007-08 financial year as payment for the land necessary to accommodate the Albany Entertainment Centre Project.

ALBANY WATERFRONT MEMORANDUM OF AGREEMENT

- 9.4 The City of Albany will contribute \$1.2 million plus any Federal grant monies obtained in the order of \$1.5million to the Albany Entertainment Centre Project.
- 9.5 The City of Albany is responsible for financing and obtaining further funding for the design and development of Anzac Peace Park.
- 9.6 The City of Albany acknowledges that the proceeds of the development of Lots 1512 and 1523 Emu Point are to be applied by the State Government to the Albany Waterfront Project.
- 9.7 Project Cash Flow table: – Albany Waterfront, Albany Entertainment Centre and Anzac Park.

FORECAST CASHFLOW (\$million)	2005-06	2006-07	2007-08	2008-09	2009-10	2010-11	TOTAL
ALBANY WATERFRONT (PROJECT)							
State of Western Australia							
Capital works allocation and land sales from the Waterfront and Emu Point	5.4	5.2	7.0	1.7	18.7		38.0
City of Albany							
City of Albany Contribution from development of the York St site			1.0				1.0
TOTAL	5.4	5.2	8.0	1.7	18.7		39.0
ALBANY ENTERTAINMENT CENTRE							
City of Albany Contribution			0.4	0.8			1.2
State Government through GSDC		0.68	0.42	25.46	15.44	4.3	46.3
Australian Government (unconfirmed)			1.5				1.5
TOTAL		0.68	2.32	26.26	15.44	4.3	49
ANZAC PEACE PARK (Notional In Negotiation)							
Australian Government Veterans Affairs			0.45				0.45
Australian Government DoTARS			0.44				0.44
City of Albany			0.68				0.68
Lotterywest			0.72				0.72
Premier and Cabinet (175 th Anniversary Fund)			0.25				0.25
TOTAL			2.54				2.54

ALBANY WATERFRONT MEMORANDUM OF AGREEMENT

10. PROGRAM

The following timeframes are estimates only and subject to statutory approvals and more detailed planning.

Albany Entertainment Centre Program

ID	Task Name	2007				2008				2009				2010			
		Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4
1	Schematic Drawing	Schematic Drawing															
2	Design Detail					Design Detail											
3	Construction									Construction							
4	Completion													Completion			

Albany Waterfront Program

ID	Task Name	2007				2008				2009				2010	
		Qtr 4	Qtr 1	Qtr 2	Qtr 3	Qtr 4	Qtr 1	Qtr 2	Qtr 3	Qtr 4	Qtr 1	Qtr 2	Qtr 3	Qtr 4	Qtr 1
1	Structure Plan Approval by WAPC														
2	Subdivision Approval														
3	Design Detail - Stage 1														
4	Tender Stage 1														
5	Award and Constuction - Stage 1														
6	Environmental Approval - Stage 1 and 2														
7	Design - Stage 2														
8	Tender - Stage 2														
9	Award and Construction - Stage 2														
10	Completion and Opening														

11. FUTURE AGREEMENTS

It is anticipated that as the project progresses, further supplementary agreements, partnerships, contracts and leases will emerge between project stakeholders and other parties serving the intent of this document.

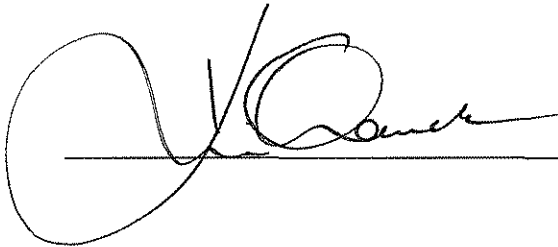
ALBANY WATERFRONT MEMORANDUM OF AGREEMENT

THE AGREEMENT

THE PARTIES HERETO AGREE TO THE FORMATION OF THIS PARTNERSHIP TO GUIDE THE PLANNING AND DELIVERY OF THE ALBANY WATERFRONT PROJECT AS EXPRESSED ABOVE.

Executed on behalf of the State of Western Australia

KIM CHANCE MLC
MINISTER FOR THE GREAT SOUTHERN



25, 09, 2007

ALANNAH MACTIERNAN MLA
MINISTER FOR PLANNING AND INFRASTRUCTURE



24, 09, 07

Executed on behalf of the City of Albany

HER WORSHIP THE MAYOR ALISON GOODE



8, 10, 07

City of Albany
MONTHLY FINANCIAL REPORT
For the Period Ended 30th April 2015

TABLE OF CONTENTS

Compliance Report

Statement of Financial Activity

Note 1 Major Variances

Note 2 Net Current Funding Position

Note 3 Cash and Investments

Note 3A Cash and Investments- Graphical Representation

Note 4 Receivables

Note 5 Capital Acquisitions

City of Albany
Compilation Report
For the Period Ended 30th April 2015

Report Purpose

This report is prepared to meet the requirements of Local Government (Financial Management) Regulations 1996, Regulation 34 .

Overview

No matters of significance are noted.

Statement of Financial Activity by reporting nature or type

Is presented on page 3 and shows a surplus For the Period Ended 30th April 2015 of \$13,449,722.

Note: The Statements and accompanying notes are prepared based on all transactions recorded at the time of preparation and may vary.

Preparation

Prepared by: S Beech
Reviewed by: D Olde
Date prepared: 15/05/2015

REPORT ITEM CSF 171 REFERS

City of Albany
STATEMENT OF FINANCIAL ACTIVITY
 (Nature or Type)
 For the Period Ended 30th April 2015

Note	Original Annual Budget	Revised Annual Budget	YTD Budget (a)	YTD Actual (b)	Var. \$ (b)-(a)	Var. % (b)-(a)/(b)	
Operating Revenues							
	5,254,693	6,332,546	4,851,028	5,197,357	346,329	6.7%	▲
	925,356	1,121,421	1,082,252	873,730	(208,522)	(23.9%)	▼
	0	0	0	85,123	85,123	100.0%	▲
	16,639,898	17,040,244	15,261,237	15,648,578	387,341	2.5%	▲
	1,209,085	1,209,085	976,317	1,055,870	79,553	7.5%	▲
	389,000	389,000	328,934	389,836	60,902	15.6%	▲
	24,418,032	26,092,296	22,499,768	23,250,494	750,726		
Operating Expense							
	(22,274,383)	(22,376,599)	(18,911,559)	(18,765,994)	145,565	0.8%	▼
	(18,931,907)	(20,609,000)	(17,111,488)	(14,898,145)	2,213,343	14.9%	▼
	(1,840,608)	(1,840,608)	(1,459,639)	(1,257,249)	202,391	16.1%	▼
	(12,672,381)	(12,672,381)	(10,560,330)	(10,560,330)	0	0.0%	
	(974,068)	(974,068)	(580,829)	(515,238)	65,591	12.7%	▼
	(792,644)	(792,644)	(792,644)	(771,227)	21,417	2.8%	
	(305,592)	(305,592)	0	(127,925)	(127,925)	(100.0%)	▲
	(2,513,073)	(2,475,506)	(2,209,353)	(1,897,618)	311,735	16.4%	▼
	917,410	922,435	852,270	1,051,856	199,586	(19.0%)	▲
	(59,387,246)	(61,123,963)	(50,773,573)	(47,741,870)	3,031,703		
Contributions for the Development of Assets							
	13,178,927	13,697,994	9,205,377	5,565,176	(3,640,201)	(65.4%)	▼
	13,170,000	13,552,509	812,509	1,040,456	227,947	21.9%	▲
	(8,620,287)	(7,781,164)	(18,255,919)	(17,885,744)	142,228		
Funding Balance Adjustment							
	12,672,381	12,672,381	10,560,330	10,560,330	0	0.0%	
	305,592	305,592	0	42,802	42,802	100.0%	
	4,357,686	5,196,809	(7,695,589)	(7,282,612)	412,977		
Capital Revenues							
	912,250	1,162,250	854,490	780,336	(74,154)	(9.5%)	▼
	912,250	1,162,250	854,490	780,336	(74,154)		
Acquisition of Fixed Assets							
	(16,979,242)	(18,794,384)	(5,799,265)	(3,273,566)	2,525,699	77.2%	▼
	(4,745,398)	(5,344,372)	(3,681,364)	(1,998,384)	1,682,980	84.2%	▼
	(921,464)	(1,309,415)	(1,147,753)	(655,829)	491,924	75.0%	▼
	(6,126,682)	(6,309,199)	(4,689,239)	(3,260,897)	1,428,342	43.8%	▼
	(17,757,789)	(18,707,818)	(14,237,901)	(8,469,818)	5,768,083	68.1%	▼
	(46,530,575)	(50,465,188)	(29,555,522)	(17,658,494)	11,897,028		
Financing/Borrowing							
	(1,518,357)	(1,518,357)	(885,870)	(879,132)	6,738	0.8%	
	1,220,000	1,970,000	0	0	0		
	(298,357)	451,643	(885,870)	(879,132)	6,738		
	(41,558,996)	(43,654,486)	(37,282,491)	(25,039,902)	12,242,589		
Restricted Funding Movements							
	3,764,746	5,016,315	5,016,315	5,016,318	3	0.0%	
	3,008,924	3,510,182	2,889,754	2,889,754	0	0.0%	
	(13,069,934)	(13,489,934)	0	0	0		
	17,187,240	18,080,778	0	0	0		
	30,668,026	30,668,026	30,641,356	30,583,551	(57,805)	(0.2%)	▼
	0	130,875	1,264,934	13,449,722	12,184,787		

REPORT ITEM CSF 171 REFERS

City of Albany
NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
For the Period Ended 30th April 2015

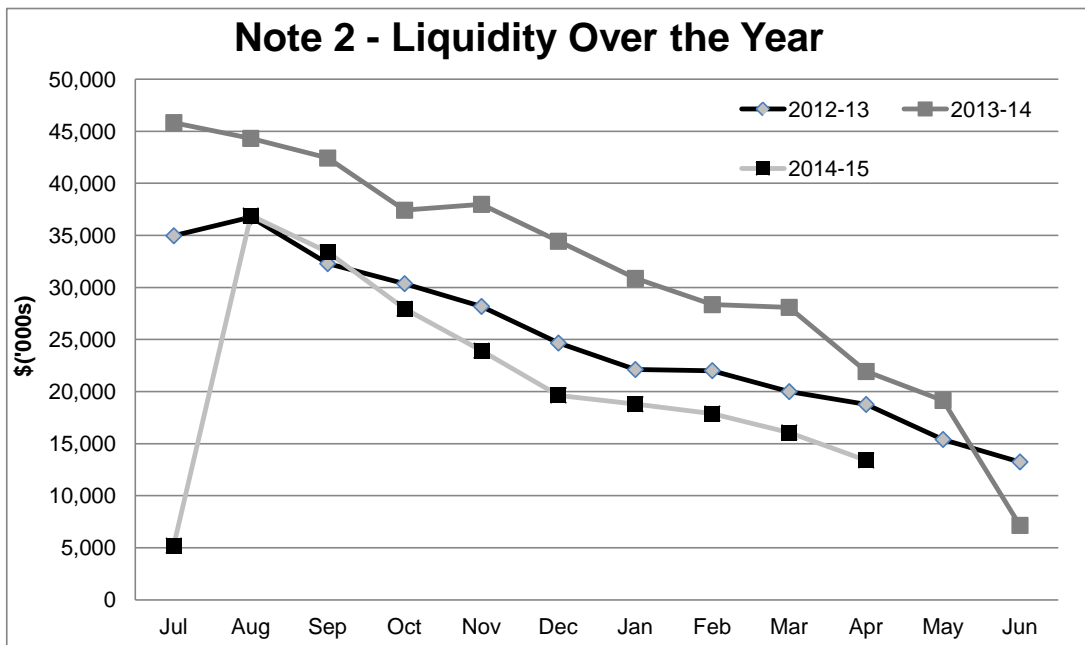
Note 1: EXPLANATION OF MATERIAL VARIANCES IN EXCESS OF \$50,000

	Var.	Var.	Timing/ Permanent	Explanation of Variance
	\$			
1.1 Operating Revenues				
Grants & Subsidies	346,329	▲	Timing	Timing receipt of several grants including Anzac grants.
Contributions, Donations & Reimbursements	(208,522)	▼	Timing	Budgeted for, not yet received, contribution from Wesfarmers.
Profit on Asset Disposal	85,123	▲	Permanent	Favourable prices for sale of some equipment, compared to budget.
Fees and Charges	387,341	▲	Permanent	NAC income, planning and building fees continue to be strong. Difficult to determine if all areas will exceed budget, as subject to seasonal influences. However, predicting this will exceed budget at year end.
Interest Earnings	79,553	▲	Timing	Expect interest to be to budget over the whole year. Interest rates for 2015 look to be very low, and anticipate interest earnings to decrease.
Other Revenue	60,902	▲	Timing	Number of smaller variances. AVC commissions above year-to-date budget, private works income above year-to-date budget.
1.2 Operating Expense				
Employee Costs	145,565	▼	Timing	Slightly under budget year to date (0.8%), likely to be close to budget at year end.
Materials and Contracts	2,213,343	▼	Timing	Number of areas under budget. Legal expenses (general and rating) under budget - \$84 000, waste services, primarily timing receipt of invoices - \$435 000, feasibility & business case - surf reef and innovation park - \$110 000, Anzac 2015 Event - \$360 000, reserves/verge/asset maintenance and assessment - \$323 000, balance small variance across all areas. Forecast to be under budget at year end, however, not by the current variance.
Utilities Charges	202,391	▼	Permanent	Some timing of invoices, however, likely to be under budget at year end.
Depreciation (Non-Current Assets)	0			No material variance.
Interest Expenses	65,591	▼	Timing	When year end accounts completed, will be to budget.
Insurance Expenses	21,417			No material variance.
Loss on Asset Disposal	(127,925)	▲	Permanent	Primarily loss on turnover of emergency vehicles with DFES. Non-cash transactions.
Other Expenditure	311,735	▼	Timing	No single variance of major significance. Numerous small variances spread across many areas of the City. Likely to be close to budget at year end.
Less Allocated to Infrastructure	199,586	▲	Timing	Increased allocation of works to capital works.
1.3 Contributions for the Development of Assets				
Grants & Subsidies	(3,640,201)	▼	Timing	Budget timing part receipt of Centennial Park grants. Budgeted YTD \$3.7 million, received \$1.1 million. Number of other smaller grants budgeted, not yet received.
Contributions, Donations & Reimbursements	227,947	▲	Timing	Timing of receipt for gifted assets.
1.4 Funding Balance Adjustment				
Add Back Depreciation	0			No material variance.
Adjust (Profit)/Loss on Asset Disposal	42,802			No material variance.
1.5 Capital Revenues				
Proceeds from Disposal of Assets	(74,154)	▼	Timing	Timing of plant replacement program. Expect to be to budget over the year.
1.6 Acquisition of Fixed Assets				
Land and Buildings	2,525,699	▼	Timing	Budget timing of carried forward project - Buildings within Centennial Park project., Airport carpark, land resumption/purchase
Plant and Equipment	1,682,980	▼	Timing	Timing of plant replacement program. Expect to be to budget over the year. A number of large value purchase orders have been issued, waiting for delivery.
Furniture and Equipment	491,924	▼	Timing	Primarily IT upgrade to VOIP and software updates. Some to be carried forward to next year.
Infrastructure Assets - Roads	1,428,342	▼	Timing	Expect road project activity to increase post-Anzac, and with expected better weather.
Infrastructure Assets - Other	5,768,083	▼	Timing	Primarily timing of Centennial Park Project. Multi year project to be carried forward.
1.7 Financing/Borrowing				
Debt Redemption	6,738			No material variance.
Loan Drawn Down	0			No material variance.
1.8 Restricted Funding Movements				
Opening Funding Surplus(Deficit)	3			
Restricted Cash Utilised - Loan	0			
Transfer to Reserves	0			
Transfer from Reserves	0			
Rate Revenue	(57,805)	▼	Timing	Change in methodology in accounting for prepaid rates. Expect to be budget over the whole year.

City of Albany
NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
 For the Period Ended 30th April 2015

Note 2: NET CURRENT FUNDING POSITION

		Positive=Surplus (Negative=Deficit)		
		2014-15		
Note	This Period	Last Period	Same Period Last Year	
	\$	\$	\$	
Current Assets				
	13,922,655	17,389,216	23,405,798	
	13,335,715	13,333,884	13,190,484	
4	1,687,267	2,121,535	1,610,645	
	2,506,609	1,834,014	1,676,795	
	232,551	232,551	0	
	132,534	249,033	0	
	9,012	9,012	28,624	
	359,512	359,512	812,773	
	688,475	727,182	852,344	
	32,874,331	36,255,939	41,577,463	
Less: Current Liabilities				
	(1,660,244)	(1,995,965)	(4,595,385)	
	(38,337)	(38,337)	(423,880)	
	(3,350,459)	(3,543,225)	(3,062,651)	
	(260,441)	(264,278)	(122,638)	
	(5,309,480)	(5,841,805)	(8,204,554)	
	642,804	669,404	2,047,558	
	(13,108,475)	(13,108,475)	(12,679,319)	
	(620,428)	(873,960)	0	
	(359,512)	(359,512)	(812,773)	
	(232,551)	(232,551)	0	
	(436,967)	(436,967)	0	
Net Current Funding Position	13,449,722	16,072,073	21,928,375	



Comments - Net Current Funding Position

City of Albany
NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
For the Period Ended 30th April 2015

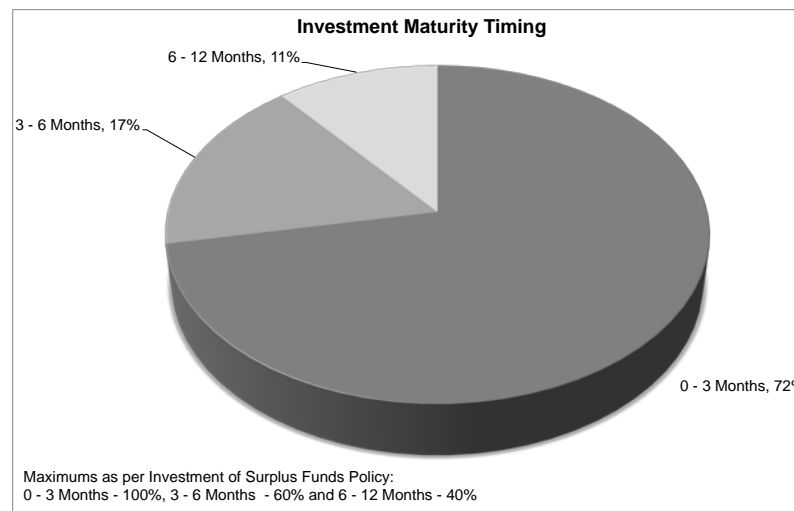
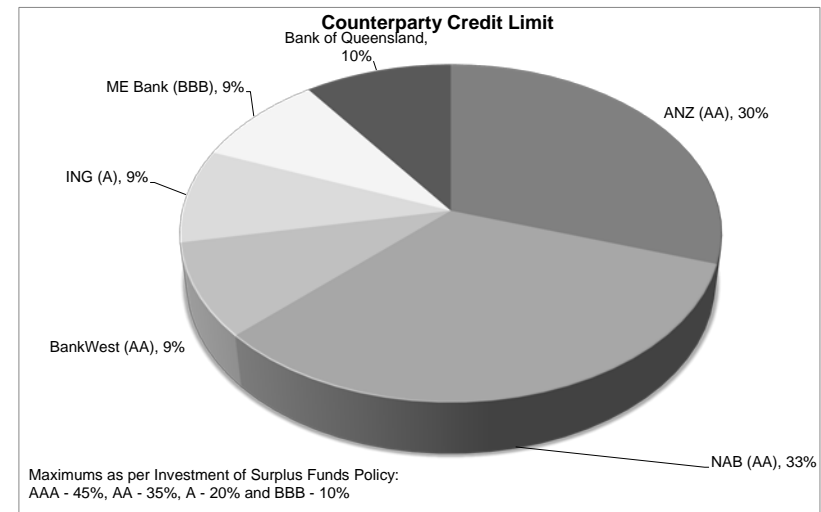
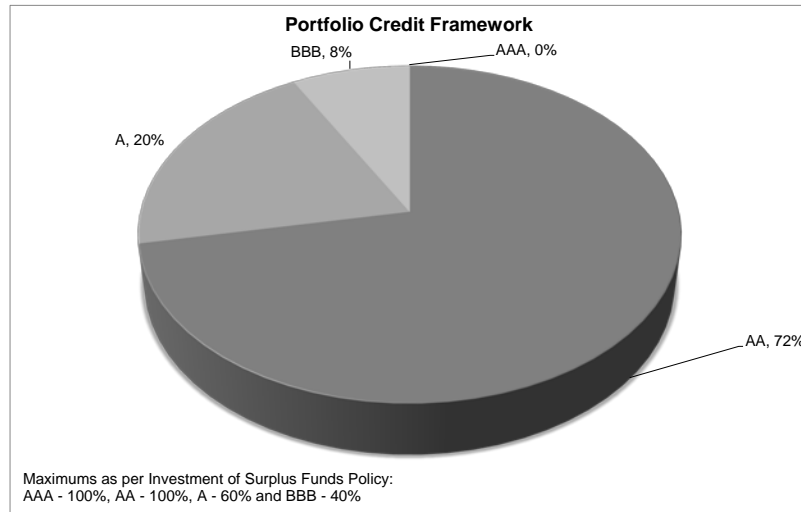
Note 3: CASH INVESTMENTS

Deposit Ref	Institution	Rating	Deposit Date	Term (Days)	Invested Interest rates	Amount Invested	Expected Interest	Amount Invested (Days)			Comparative rate		Budget v Actual				
								0 - 3 Months	3 - 6 Months	6 - 12 Months	Prior Month Interest Rate	Interest Rate at time of Report	Year to Date Budget	Year to Date Actual	Var.\$		
General Municipal																	
TD 6781	ANZ	AA	5/03/2015	90	2.80%	1,000,000	6,904	1,000,000			2.80%	2.80%					
TD 69827	ANZ	AA	1/04/2015	30	2.20%	3,000,000	5,425	3,000,000			3.49%	2.20%					
TD 1116	NAB	AA	30/03/2015	60	2.77%	3,000,000	13,660	3,000,000			2.77%	2.77%					
TD 9049	NAB	AA	4/02/2015	90	3.23%	2,000,000	15,929	2,000,000			3.23%	3.23%					
TD 64724	ME Bank	BBB	26/03/2015	60	2.80%	2,000,000	9,205	2,000,000			2.80%	2.80%					
						Subtotal	11,000,000	51,123	11,000,000	-	-			542,125	382,023	160,102	
Restricted																	
TD 322626	Bank of Queensland	A	6/11/2014	270	3.50%	2,500,000	64,726			2,500,000	3.50%	3.50%					
TD 128398	ING	A	9/03/2015	180	3.04%	2,000,000	29,984		2,000,000		3.04%	3.04%					
TD 69843	ANZ	AA	1/04/2015	90	2.60%	3,000,000	19,233	3,000,000			3.49%	2.60%					
TD 4271047	BankWest	AA	3/12/2014	180	3.50%	2,000,000	34,521		2,000,000		3.50%	3.50%					
TD 3749	NAB	AA	28/04/2015	90	2.93%	2,500,000	18,062	2,500,000			2.85%	2.93%					
						Subtotal	12,000,000	166,525	5,500,000	4,000,000	2,500,000			194,511	354,455	(159,944)	
						Total Funds Invested	23,000,000	217,648	16,500,000	4,000,000	2,500,000			736,636	736,478	158	

Comments/Notes - Cash Investments

City of Albany
 Monthly Investment Report
 For the Period Ended 30th April 2015

Note 3A: GRAPHICAL REPRESENTATION - CASH INVESTMENTS



City of Albany
NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
For the Period Ended 30th April 2015

Note 4: RECEIVABLES

Receivables - Rates and Refuse

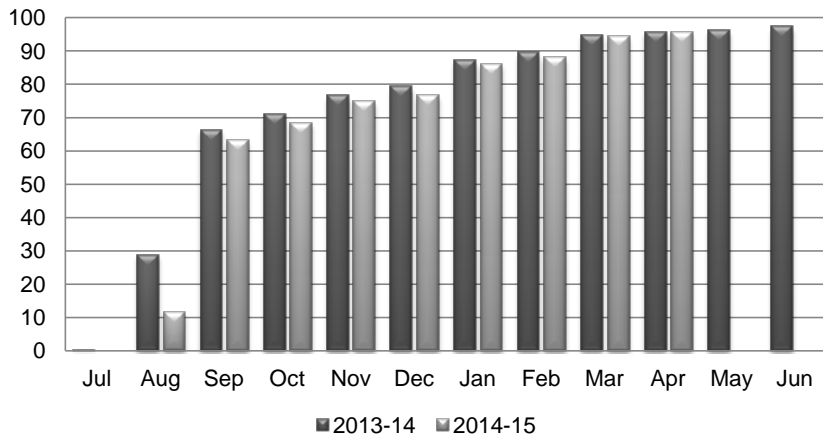
	Current 2014-15	Previous 2013-14	Total
	\$	\$	\$
Opening Arrears Previous Years		1,061,056	1,061,056
Rates Levied this year	30,583,551		30,583,551
Refuse Levied	5,369,764		5,369,764
ESL Levied	2,310,527		2,310,527
Other Charges Levied	416,186		416,186
<u>Less</u> Collections to date	(37,364,693)	(689,124)	(38,053,817)
Equals Current Outstanding	1,315,335	371,932	1,687,267
Total Rates & Charges Collectable			1,687,267
% Collected			95.75%

Receivables - General

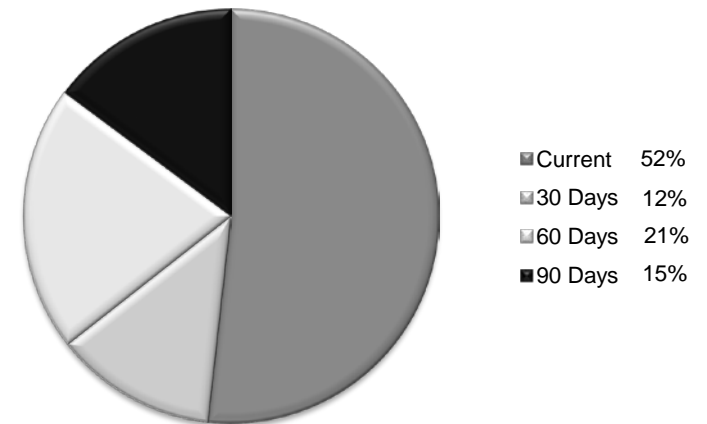
	Current	30 Days	60 Days	90 Days
	\$	\$	\$	\$
	1,155,023	282,027	463,319	330,790
Total Outstanding				<u>2,231,158</u>

Amounts shown above include GST (where applicable)

Note 4 - Rates & Refuse % Collected



Note 4 - Accounts Receivable (non-rates)



Comments/Notes - Receivables Rates and Refuse

Comments/Notes - Receivables General

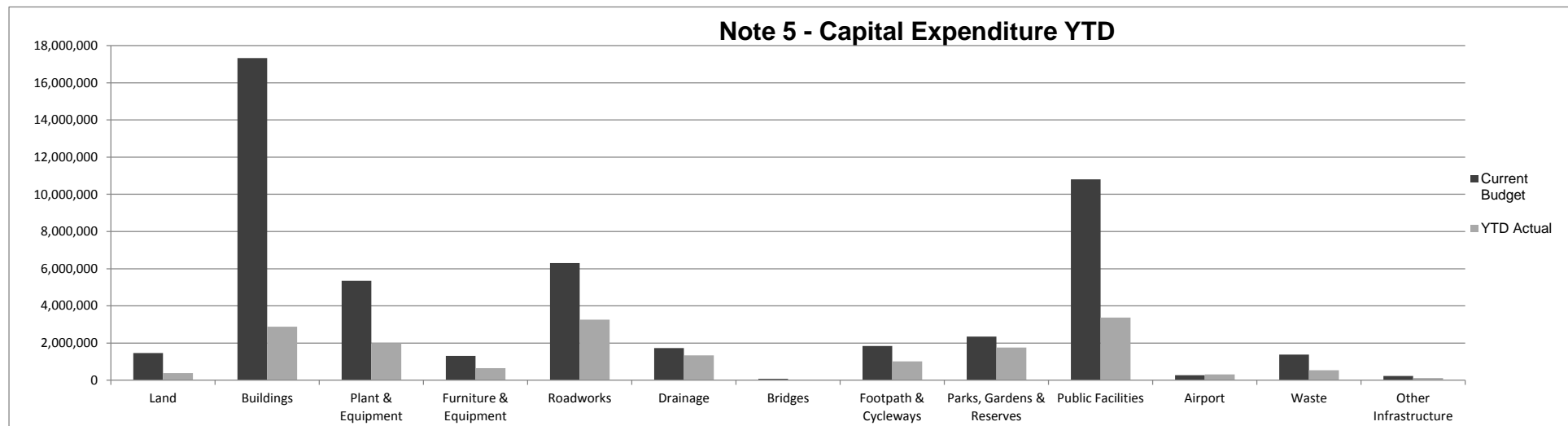
City of Albany
NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
 For the Period Ended 30th April 2015

REPORT ITEM CSF 171 REFERS

Note 5: CAPITAL ACQUISITIONS

Contributions Information					Summary Acquisitions	Original Budget	Current Budget	YTD Budget	Actual	Variance
Grants	Reserves	Borrowing	Restricted	Total						
\$	\$	\$		\$		\$			\$	\$
					Property, Plant & Equipment					
0	0	0	0	0	Land	398,952	1,466,486	1,268,500	386,483	(882,017) ▼
11,981,357	964,629	0	515,000	13,460,986	Buildings	16,580,290	17,327,898	4,530,765	2,887,083	(1,643,682) ▼
0	1,454,455	520,000	0	1,974,455	Plant & Equipment	4,745,398	5,344,372	3,681,364	1,998,384	(1,682,980) ▼
0	151,710	0	0	151,710	Furniture & Equipment	921,464	1,309,415	1,147,753	655,829	(491,924) ▼
					Infrastructure					
4,229,698	208,000	0	100,000	4,537,698	Roadworks	6,126,682	6,309,199	4,689,239	3,260,897	(1,428,342) ▼
0	271,500	0	0	271,500	Drainage	1,608,836	1,736,835	1,736,835	1,341,540	(395,295) ▼
0	81,000	0	0	81,000	Bridges	81,000	81,000	81,000	0	(81,000) ▼
847,160	0	0	0	847,160	Footpath & Cycleways	1,842,760	1,843,359	1,788,359	1,016,531	(771,828) ▼
556,698	0	0	400,000	956,698	Parks, Gardens & Reserves	1,845,674	2,352,950	2,232,950	1,760,733	(472,217) ▼
8,603,790	68,858	700,000	1,993,924	11,366,572	Public Facilities	9,783,941	10,810,345	6,715,680	3,375,331	(3,340,349) ▼
0	371,846	0	0	371,846	Airport	721,846	270,000	270,000	311,077	41,077 ▲
0	1,423,732	0	0	1,423,732	Waste	1,423,732	1,378,329	1,248,077	540,935	(707,142) ▼
70,000	100,000	0	0	170,000	Other Infrastructure	450,000	235,000	165,000	123,671	(41,330) ▼
26,288,703	5,095,730	1,220,000	3,008,924	35,613,357	Totals	46,530,575	50,465,188	29,555,522	17,658,494	(11,897,028)

Comments - Capital Acquisitions



TRUST CHEQUES AND ELECTRONICS FUNDS TRANSFER PAYMENTS

EFT/CHQ	Date	Name	Description	Amount
			Total	\$ -

MASTERCARD TRANSACTIONS - APRIL

Date	Payee	Description	Amount
14/04/15	Rose and Crown Hotel	Accommodation - J. van der Mescht - State Heritage Conference	535.00
14/04/15	Rose and Crown Hotel	Accommodation - T. Wenbourne - State Heritage Conference	535.00
28/03/15	Ocean Beach Hotel	Accommodation - D. Kinnear - Pool Management Course	686.00
15/04/15	Virgin Australia	Flights - C. Crane - Albany to Perth Return - EA Training	511.26
15/04/15	Think Tank Media	EA Training Course - C. Crane	764.50
16/04/15	Dylans Albany	Executive Management Strategic Workshop	392.40
16/04/15	Frasers Suites	Accommodation - C. Crane - Perth - EA Training	430.36
28/03/15	Mt Bay Apartments	Accommodation - A. McEwan - WA Major Projects Conference	288.77
28/03/15	Mt Bay Apartments	Accommodation - N. Walker - WA Major Projects Conference	280.65
28/03/15	Lanai Luxury Apartments Mackay	Accommodation - G. Foster - Regional Capitals Australia Conference	420.00
31/03/15	Grace Hotel Sydney	Accommodation - G. Foster - Sydney	812.00
31/03/15	Royce Hotels Melbourne	Accommodation - G. Foster - Melbourne	524.28
2/04/15	Bureau Meteorology	Data for artificial surf reef	255.17
8/04/15	Ibis Hotel Perth	Accommodation - A. McEwan	430.40
10/04/15	Try Booking	Government Communications Conference Registration - K. Tunbridge & Y. Welsh	1,980.60
16/04/15	Virgin Australia	Flights - K. Tunbridge - Government Communications Conference Registration	1,280.20
16/04/15	Virgin Australia	Flights - Y. Welsh - Government Communications Conference Registration	1,428.49
15/04/15	Qantas Airways	Flights - A. Page - Perth to Sydney return	637.00
15/04/15	Virgin Australia	Flights - A. Page - Albany to Perth return	581.20
15/04/15	Adina Apartment Hotel Sydney	Accommodation - A. Page - Sydney	448.20
28/03/15	Team Viewer	Software Licence - IT Remote Connection Software	808.00
30/03/15	Conference Design	LGMA Congress Association	1,375.00
31/03/15	Aussie Telecom	Deep Freeze Program Licence & Maintenance Agreements	665.00
10/04/15	Akolade Pty Ltd - Sydney	C. Hannan - Cloud Services Conference	2,748.90
10/04/15	The Grace Hotel Sydney	Accommodation - C. Hannan - Sydney - Cloud Services Conference	945.03
10/04/15	Flight Centre	Flights - C. Hannah - Albany to Sydney Return - Cloud Services Conference	1,129.75
22/04/15	Virgin Australia	Flights - G. Brownhill - OSH Course	354.11
28/03/15	Virgin Australia	Flights - Mayor Wellington - Albany to Perth Return - WA Tourism Meeting	458.13
9/04/15	Last Minute	Accommodation - Mayor Wellington - State Heritage Awards	264.50
13/04/15	Last Minute	Accommodation - Mayor Wellington - Library Forum	423.50
16/04/15	Jamies Italian	Dinner for Mayor & staff following State Heritage Awards	241.05
24/04/15	Hertz Australia	Car Hire - Mayor Wellington - Murray Bridge SA - CMCA Event	332.18
28/03/15	Rendezvous Hotel Perth	Accommodation - Joshua Pearson - Perth	878.99
28/03/15	Rendezvous Hotel Perth	Accommodation - Kenna Sutherland - Perth	974.40
1/04/15	Virgin Australia	Flights - Matthew Thomson - Albany to Perth Return	458.38
1/04/15	Disputed Transaction	Disputed Transaction	250.95
Various	Sundry < \$ 200.00		2,652.51
		Total	\$ 28,181.86

PAYROLL 16/04/2015-15/05/2015

Date	Description	Amount
16/04/2015	Pay	\$ 562,470.65
21/04/2015	Sundry Pay	\$ 1,086.58
29/04/2015	Pay	\$ 569,106.52
30/04/2015	Sundry Pay	\$ 2,308.62
1/05/2015	Sundry Pay	\$ 245.48
14/05/2015	Pay	\$ 555,212.59
	Total	\$ 1,690,430.44

REPORT ITEM CSF 172 REFERS

Chq	Date	Name	Description	Amount
30518	16/04/2015	COLLYN GAWNED	Evolution Of The Surfboard - Hanging Photographic Component	225.00
30519	16/04/2015	DEPARTMENT OF TRANSPORT	Amazing Albany Number Plates	200.00
30520	16/04/2015	SUSAN CAROL ANGWIN	Tutoring At The VAC March 13, 20 & 27, April 3 & 10	1,800.00
30521	16/04/2015	TARGET AUSTRALIA PTY LTD	Cricket Bats For Neighbour Day	62.50
30522	16/04/2015	WATER CORPORATION	Water Consumption	11,328.08
30523	17/04/2015	DEPARTMENT OF TRANSPORT	Vehicle Registration	24.95
30524	23/04/2015	SHEILA A REALINI	Building Permit Refund	160.00
30525	23/04/2015	ROSS TEMBY	Land Owner Compensation	3,750.00
30526	23/04/2015	DEPARTMENT OF AGRICULTURE AND FOOD	Re-Registration Of Stock Ownership	69.00
30527	23/04/2015	DAMON ANNISON	Visitors Centre Merchandise	197.70
30528	23/04/2015	MAXWELL ARTHUR BENNETT	Rates Refund	100.53
30529	23/04/2015	CHESTER PASS LUNCH BAR	Catering	168.40
30530	23/04/2015	DEPARTMENT OF TRANSPORT	Amazing Albany Number Plates	200.00
30531	23/04/2015	DEPARTMENT OF TRANSPORT	Community Jetty Renewal Fee For Nullaki Drive, Nullaki Peninsula	74.40
30532	23/04/2015	KEVIN DRAPER	Great Southern Art Award Judging	150.00
30533	23/04/2015	DEPARTMENT OF JUSTICE - FINES ENFORCEMENT	Parking - Legal Fees - Unpaid Infringements	1,165.00
30534	23/04/2015	SENSIS PTY LTD	Sensis Value Package - Business Essentials - ALAC	41.80
30535	23/04/2015	PETTY CASH - VANCOUVER ARTS CENTRE	Petty Cash Reimbursement	87.10
30536	23/04/2015	PETTY CASH - VISITORS CENTRE	Petty Cash Reimbursement	233.75
30537	23/04/2015	PETTY CASH - PLANNING AND DEVELOPMENT SERVICES	Petty Cash Reimbursement	218.50
30538	23/04/2015	PIVOTEL SATELLITE PTY LIMITED	Satellite Phone Charges	250.00
30539	23/04/2015	TARGET AUSTRALIA PTY LTD	Pool Noodles	109.20
30540	23/04/2015	TELSTRA CORPORATION LIMITED	Telephone Charges	589.34
30541	23/04/2015	WATER CORPORATION	Water Consumption	1,561.56
30542	23/04/2015	TELSTRA CORPORATION LIMITED	Telephone Charges	19,057.84
30543	30/04/2015	PAUL AND TINA HANCOCK-COFFEY	Crossover Subsidy	143.82
30544	30/04/2015	TEGAN STALLEBRASS & GRAHAM LAUDEHR	Crossover Subsidy	167.38
30545	30/04/2015	CHRISTINE WILLIS	Crossover Subsidy	214.50
30546	30/04/2015	CASH	Float For The Vancouver St Festival	200.00
30547	30/04/2015	DEPARTMENT OF TRANSPORT	Vehicle Registration	293.80
30548	30/04/2015	PETTY CASH - ALBANY PUBLIC LIBRARY	Petty Cash Reimbursement	301.60
30549	30/04/2015	PETTY CASH - CITY OF ALBANY	Petty Cash Reimbursement	432.75
30550	30/04/2015	PETTY CASH - NATIONAL ANZAC CENTRE	Petty Cash Reimbursements	179.70
30551	30/04/2015	PIVOTEL SATELLITE PTY LIMITED	Satellite Phone Charges - Trak Spot	97.06
30552	30/04/2015	TELSTRA CORPORATION LIMITED	Telephone Charges	16,575.60
30553	30/04/2015	VODAFONE PTY LTD	SMS Services	48.99
30554	30/04/2015	WATER CORPORATION	Water Consumption	2,314.13
30555	30/04/2015	WESTERN AUSTRALIAN GENEALOGICAL SOCIETY INCORPORATED	Annual Subscription As Associate Member For 2015-16	110.00
30556	30/04/2015	RODER HTS HOCKER GMBH	Completion Payment - HTS Bigtent Complete	78,386.00
30557	07/05/2015	POCOCK BUILDING COMPANY	Crossover Subsidy	185.05
30558	07/05/2015	MICHELLE BURTON	Refund Swim Lessons	150.70
30559	07/05/2015	TAM BUTTON	Refund Of Term 2 Swim Lessons	135.30
30560	07/05/2015	STEPHANIE MORRIGAN	EAP Counselling Services	198.00
30561	07/05/2015	PETTY CASH - ALBANY REGIONAL DAY CARE CENTRE	Petty Cash Reimbursements	190.90
30562	07/05/2015	TELSTRA CORPORATION LIMITED	Telephone Charges	256.55
30563	07/05/2015	TEXTILE TRADERS	Bunting	197.59
30564	14/05/2015	LINETTE ANGEL	Refund Of Dog Registration	150.00
30565	14/05/2015	KIM CAMPBELL	Subsidy Payment For Crossover	188.00
30566	14/05/2015	ALBANY RSL SUB BRANCH	Scarves	3,115.00

REPORT ITEM CSF 172 REFERS

30567	14/05/2015 BROADWATER COMO RESORT	Six Nights Accommodation Two Bedroom Apartment For K Blaszkow & T Sudran Including Meals	2,005.00
30568	14/05/2015 DEPARTMENT OF TRANSPORT	Amazing Albany Number Plates	200.00
30569	14/05/2015 DEPARTMENT OF TRANSPORT	Vehicle Registration	566.10
30570	14/05/2015 PETTY CASH - ALBANY AQUATIC AND LEISURE CENTRE	Social Netball Umpire Payments	1,760.00
30571	14/05/2015 STEPHANIE MORRIGAN	EAP Counselling Services	198.00
30572	14/05/2015 PIVOTEL SATELLITE PTY LIMITED	Satellite Phone Charges	250.00
30573	14/05/2015 SEVEN NETWORK (OPERATIONS) LIMITED	Advertising	6,044.80
30574	14/05/2015 WATER CORPORATION	Water Consumption	2,332.33
<u>TOTALS</u>			\$ 159,413.30

REPORT ITEM CSF 172 REFERS

EFT	Date	Name	Description	Amount
EFT98858	16/04/2015	AD CONTRACTORS PTY LTD	Hours Semi Tipper Hire And Emulsion Litres	36,192.07
EFT98859	16/04/2015	ADVERTISER PRINT	Parking Infringement Books	364.00
EFT98860	16/04/2015	ALBANY CRANE HIRE	Lifting New Tanks Into Place For The Goode Beach Toilet Block	1,540.00
EFT98861	16/04/2015	ALBANY CITY LAWN	Mowing Of Lancaster Pk	638.00
EFT98862	16/04/2015	ALBANY SOIL AND CONCRETE TESTING	Soil Testing	2,377.10
EFT98863	16/04/2015	ALBANY CHAMBER OF COMMERCE AND INDUSTRY	Great Southern Future Forum	90.00
EFT98864	16/04/2015	TRICOAST CIVIL	Cockburn Road/Cull Park Stormwater Upgrade	141,024.54
EFT98865	16/04/2015	ALBANY REFRIGERATION	March 2015 - Preventative Maintenance	880.00
EFT98866	16/04/2015	ALBANY SURF LIFE SAVING CLUB	Hire Of Function Room - 31/03/2015	440.00
EFT98867	16/04/2015	ALBANY OFFICE PRODUCTS DEPOT	Stationery Supplies	464.25
EFT98868	16/04/2015	ALBANY MILK DISTRIBUTORS	Milk Deliveries Refuse Site March 2015	100.35
EFT98869	16/04/2015	ALBANY LEGAL PTY LTD	Professional Services PCYC Access	4,669.31
EFT98870	16/04/2015	ALLIED PUMPS	Scheduled Service - Sewerage Treatment System	814.00
EFT98871	16/04/2015	ALL FLAGS SIGNS & BANNERS	Printed Anzac Albany Flags	170.50
EFT98872	16/04/2015	AMPHIBIAN PLUMBING AND GAS	Replacement Of Two Hot water Units For Mary Thompson House	8,476.70
EFT98873	16/04/2015	PAPERBARK MERCHANTS	Newspapers/Books/Magazines/Stationery	24.99
EFT98874	16/04/2015	ATC WORK SMART	Casual Staff Apprentices Fees	11,245.57
EFT98875	16/04/2015	AUSTRALIA POST	Postage/Agency Fees	4,153.62
EFT98876	16/04/2015	ALBANY AUTOSPARK	Supply And Fit Great White Light Bar To P9203A1	2,235.00
EFT98877	16/04/2015	BADGEMATE	Badge Supplies	64.08
EFT98878	16/04/2015	BENNETTS BATTERIES	200L Drum Of Fleetmaster Extreme CJ/4 15W40 Engine Oil.	1,584.00
EFT98879	16/04/2015	BERTOLA HIRE SERVICES ALBANY PTY LTD	Portaloos + Lighting Tower + 2 X Generators	3,871.43
EFT98880	16/04/2015	BEST OFFICE SYSTEMS	Photocopier Charges	866.04
EFT98881	16/04/2015	BLOOMIN FLOWERS	Flowers To A And L Greenwood For Arrival Of Baby Girl	82.00
EFT98882	16/04/2015	BMT OCEANICA PTY LTD	Provision Of Single Remote Imagery Unit And Secure Web Portal	302.50
EFT98883	16/04/2015	ALBANY BOBCAT SERVICES	Tree Mulching At Yakamia Creek	654.50
EFT98884	16/04/2015	BOC GASES AUSTRALIA LIMITED	Container Service Rental	212.38
EFT98885	16/04/2015	CARDNO BSD PTY LTD	Local Area Traffic Management Studies - Albany PS/SHS	1,971.20
EFT98886	16/04/2015	BUNNINGS GROUP LIMITED	Fertiliser Supplies	25.56
EFT98887	16/04/2015	CABCHARGE AUSTRALIA LIMITED	Cab Fare Charges	1,030.37
EFT98888	16/04/2015	J & S CASTLEHOW ELECTRICAL SERVICES	Repair Of The Light Bollard At The Bottom Of The AEC Foot Bridge	1,947.88
EFT98889	16/04/2015	BIS CLEANAWAY LIMITED	Rubbish Removal Contract	13,622.48
EFT98890	16/04/2015	COATES HIRE OPERATIONS PTY LIMITED	Days Hire Of Mini Excavator	296.01
EFT98891	16/04/2015	COLES SUPERMARKETS AUSTRALIA PTY LTD	Groceries	68.41
EFT98892	16/04/2015	COURIER AUSTRALIA	Freight Fees	142.65
EFT98893	16/04/2015	ALBANY SIGNS	Install Signage To 3 Sides Of 9202A	1,056.00
EFT98894	16/04/2015	ADAM COUSINS	Reimbursements For Town Hall Materials	86.21
EFT98895	16/04/2015	AL CURNOW HYDRAULICS	Vehicle Parts/Maintenance	58.94
EFT98896	16/04/2015	DE JONGE MECHANICAL REPAIRS	9019A 40000Km Service	1,182.00
EFT98897	16/04/2015	DENMARK VISITOR CENTRE	Taste Great Southern 2016 - 2018 Business Plan Instalment 1 Of2	2,293.50
EFT98898	16/04/2015	DISCOVERY MEDIA	Albany Art Prize - Advertising Campaign	370.00
EFT98899	16/04/2015	DORALANE PASTRIES	Sausage Rolls (Hot) & Cakes And Slices	99.50
EFT98900	16/04/2015	DYLAN ON THE TERRACE	Catering For CEO Recruitment	137.00
EFT98901	16/04/2015	EASIFLEET MANAGEMENT	Motor Vehicle Lease Rental/ESP Bureau Fee/Bureau Fee Rebate	7,442.08
EFT98902	16/04/2015	ENGINEERING TECHNOLOGY CONSULTANTS	Albany City Centre Revitalisation York Street Lighting	2,450.50
EFT98903	16/04/2015	ENTS FORESTRY PTY LTD	Advice On Business Case	3,630.00
EFT98904	16/04/2015	EYERITE SIGNS	Pylon Sign	2,068.00
EFT98905	16/04/2015	FLIPS ELECTRICS	Supply And Install Drop Cables To Submersible Pumps, Supply And Install Cable & Conduit At Soccer Gnd Bores	3,105.20
EFT98906	16/04/2015	ALBANY FOOTBALL AND SPORTING CLUB	Kidsport Voucher	600.00
EFT98907	16/04/2015	FOUNDATION ELECTRICAL PTY LTD INCORPORATING SOUTHERN ELECTRICS	Spa Boiler Pump - Lack Of Water Flow Causing Temp To Drop.	160.74
EFT98908	16/04/2015	GREAT SOUTHERN GROUP TRAINING	Casual Staff Apprentices Fees	6,496.52
EFT98909	16/04/2015	GREEN SKILLS INC	Track Maintenance On Stidwell Trail	9,665.70

REPORT ITEM CSF 172 REFERS

EFT98910	16/04/2015 GREAT SOUTHERN PACKAGING SUPPLIES	Cleaning Supplies	1,352.98
EFT98911	16/04/2015 GREAT SOUTHERN TROPHIES AND ENGRAVING	Replacement Trophy	57.33
EFT98912	16/04/2015 GREAT SOUTHERN LIQUID WASTE	Servicing Of The Sewage Pit That Does The Emu Point Marina Toilets	2,204.00
EFT98913	16/04/2015 GSM AUTO ELECTRICAL	Supply Starter Motor For Roadsweeper.	495.00
EFT98914	16/04/2015 GULTEN EREN	Translation From Turkish To English - Travel Programme For Gallipoli Visit	90.00
EFT98915	16/04/2015 RUTH HAND	Reimbursement Of Expenses In Obtaining MR Drivers Licence	170.80
EFT98916	16/04/2015 PROTECTOR FIRE SERVICES PTY LTD	Safety Equipment Checks	1,826.00
EFT98917	16/04/2015 HART SPORT	Sticky Yoga Mats 6Mm, Acupressure Roller, Acupressure Balls - Set Of 3 & Freight	498.30
EFT98918	16/04/2015 HELEN LEEDER-CARLSON	Art Classes With Helen	480.00
EFT98919	16/04/2015 HELEN MUNT	Provision Of Heritage Advisory Services In Albany	2,112.00
EFT98920	16/04/2015 DEPARTMENT OF THE STATE HERITAGE OFFICE	2 X Staff Attendance At The 2015 Heritage Management And Planning Seminar	770.00
EFT98921	16/04/2015 RATTEN & SLATER MACHINERY	Vehicle Parts	25.93
EFT98922	16/04/2015 HUMES WEMBLEY CEMENT	5029768 - 1350X850X150 Std (Wave) Grate Offset W/ Angle Bar - Flush	10,340.00
EFT98923	16/04/2015 ICS GROUP AUTO ELECTRICAL & AIR CONDITIONING PTY LTD	Kalgan BFB Vehicle Repairs	971.59
EFT98924	16/04/2015 INTERNATIONAL MOWERS PTY LTD	Control Box Only Freight & Cartage	41.80
EFT98925	16/04/2015 THE JAFFA ROOM / ARTISTRALIA	Copyright For Screening Of Red Dog On 14 March 2015	418.00
EFT98926	16/04/2015 ALBANY MAPPING AND SURVEYING SERVICES	Survey Work - Norwood Road 2015/2016 Capital Works Programme	41,612.62
EFT98927	16/04/2015 JJ'S HIAB SERVICES & JJ'S GREAT SOUTHERN	Pick And Delivery Charges	184.80
EFT98928	16/04/2015 JOCK'S COMMERCIAL MOWING	Contract Mowing Round April 2015	8,195.00
EFT98929	16/04/2015 JULENNI	Visitors Centre Merchandise	173.75
EFT98930	16/04/2015 JUST SEW EMBROIDERY	Embroidery	27.50
EFT98931	16/04/2015 GEORGIA ROBYN KIDMAN	Rates Refund	82.46
EFT98932	16/04/2015 MICHELLE KINNEAR	Fitness Instruction	100.00
EFT98933	16/04/2015 KLB SYSTEMS	IT Equipment	4,620.00
EFT98934	16/04/2015 KMART ALBANY	Recreation Equipment	166.00
EFT98935	16/04/2015 KNOTTS GROUP PTY LTD	Push Button Shower Cartridges/Repair Leaking Tap	3,021.80
EFT98936	16/04/2015 MARIO LIONETTI	Groceries	307.07
EFT98937	16/04/2015 LOADTEK AUST	Hydraulic Parts & Services	118.87
EFT98938	16/04/2015 THE LOCALS TRADING PTY LTD	Visitors Centre Merchandise	329.34
EFT98939	16/04/2015 HEIDI LONCAR	Reimbursement For Postage	13.50
EFT98940	16/04/2015 LORLAINE DISTRIBUTORS PTY LTD	Cleaning Supplies	146.00
EFT98941	16/04/2015 M & B SALES PTY LTD	Supply Materials For Eyre Park Toilets	1,133.91
EFT98942	16/04/2015 BUCHER MUNICIPAL PTY LTD	Vehicle Parts	407.23
EFT98943	16/04/2015 MADMAN ENTERTAINMENT PTY LTD	Screening Of Tales From Earthsea	165.00
EFT98944	16/04/2015 ALBANY EVENT HIRE	Hire Equipment - Evolution Of The Surfboard	612.00
EFT98945	16/04/2015 LANI MALAN	Fitness Instruction	630.00
EFT98946	16/04/2015 ALBANY CITY MOTORS	Vehicle Parts	218.19
EFT98947	16/04/2015 VICKI MICHELLE MARTIN	Fitness Instruction	585.00
EFT98948	16/04/2015 PAUL MAYNARD & ASSOCIATES	Visitors Centre Merchandise	855.03
EFT98949	16/04/2015 MERRIFIELD REAL ESTATE	Storage Unit Tenant	200.00
EFT98950	16/04/2015 DANIEL & SHERIDAN MILLER	Rates Refund	877.65
EFT98951	16/04/2015 MIRA MAR VETERINARY SERVICES	Animal Euthanasia	277.50
EFT98952	16/04/2015 NURRUNGA COMMUNICATIONS	Changeover Of VHF Midband Radios And Hands Free Kits	774.45
EFT98953	16/04/2015 NATIONAL GEOGRAPHIC CHANNEL	Anzac Albany Campaign 2015 - National Geographic Channel	49,500.00
EFT98954	16/04/2015 NORMAN DISNEY AND YOUNG	Supply Professional Services As Per Building Services Fee Proposal	11,797.50
EFT98955	16/04/2015 NEVILLES HARDWARE & BUILDING SUPPLIES	Hardware Supplies	142.65
EFT98956	16/04/2015 PN & ER NEWMAN QUALITY CONCRETE PRODUCTS	Purchase Of 2 / 1500 X 1500 Soak Wells And Standard Split Lids.	1,144.00
EFT98957	16/04/2015 OCEAN BEACH HOTEL	Accommodation And Meals - 3 Rooms Check In Tuesday 10 March Check Out Wednesday 11 March (One Night)	528.08
EFT98958	16/04/2015 OCS SERVICES PTY LTD	Cleaning Services - NAC	1,265.74
EFT98959	16/04/2015 OFFICEWORKS SUPERSTORES PTY LTD	A0 Posters - VAC Street Festival	129.38
EFT98960	16/04/2015 OKEEFE'S PAINTS	Paint & Painting Supplies	193.09
EFT98961	16/04/2015 ORIGIN ENERGY	Bulk Gas Supplies ALAC	3,271.45
EFT98962	16/04/2015 PATHWEST LABORATORY MEDICINE WA	Pre-Employment Screenings	105.00
EFT98963	16/04/2015 PLASTICS PLUS	240Ltr Green Bins With Red Lids For Centennial Oval	231.00

REPORT ITEM CSF 172 REFERS

EFT98964	16/04/2015 KRISTIE PORTER	Fitness Instruction	450.00
EFT98965	16/04/2015 PROJECT3 PTY LTD	Anzac Albany 2015 -Communications Support Interim Strategy Dec 14 - Jan 15	7,430.50
EFT98966	16/04/2015 QUALITY PUBLISHING AUSTRALIA	Visitors Centre Merchandise	405.02
EFT98967	16/04/2015 RAINBOW 7 CARPET CARE	Carpets Clean Through Out Leisure Centre.	1,351.00
EFT98968	16/04/2015 REEVES AND COMPANY BUTCHERS PTY LTD	Lunch For ABCD Workshop	369.95
EFT98969	16/04/2015 REEF BEATS PRODUCTIONS	DJ Services For Disco Pool Party Saturday 11 April 2015	635.00
EFT98970	16/04/2015 ROBIN RUSSELL	Outdoor Summer Film	150.00
EFT98971	16/04/2015 CHRISTINE MARY SARGENT	Fitness Instruction	90.00
EFT98972	16/04/2015 SETON AUSTRALIA PTY LTD	A36033 - Retractable-Belt Blue Tape + Shipping And Handling	534.16
EFT98973	16/04/2015 SOUTHERN TOOL & FASTENER CO	Hardware/Tool Supplies	2,899.95
EFT98974	16/04/2015 SOUTHCOAST SECURITY SERVICE	Security Services	364.10
EFT98975	16/04/2015 SPUR OF THE MOMENT DESIGN	Printing Of Cemetery Walk Brochures X1500	1,577.40
EFT98976	16/04/2015 STAR SALES AND SERVICE	Hardware/Vehicle Parts	222.00
EFT98977	16/04/2015 ALBANY VOLUNTEER STATE EMERGENCY SERVICE UNIT INC	Standard LGGS Allocation - April - June 2015 - Final For 2015 Year	11,526.63
EFT98978	16/04/2015 STIRLING PRINT	Printing Of 50 X A4 Inclusive Clubs Guide	820.00
EFT98979	16/04/2015 ST IVES VILLAGES PTY LTD	Rates Refund	15,818.73
EFT98980	16/04/2015 STORM OFFICE NATIONAL	Poster For Holiday Program April	21.00
EFT98981	16/04/2015 STONEHAM AND ASSOCIATES	Development Of COA Public Health Plan - Invoice 3	6,600.00
EFT98982	16/04/2015 STRUMALUM	120 X Tee Shirts - Vancouver St Festival	2,160.00
EFT98983	16/04/2015 SUNNY SIGN COMPANY	Assorted Signage	873.95
EFT98984	16/04/2015 ALBANY LOCK SERVICE	Locksmith Services, Repairs Etc	84.90
EFT98985	16/04/2015 SUPERCHEAP AUTOS	Canvas Seat Covers	570.00
EFT98986	16/04/2015 SYNERGY	Electricity Supplies	56,088.95
EFT98987	16/04/2015 PRACSYS MANAGEMENT SYSTEMS	Industry Land Strategy	12,720.00
EFT98988	16/04/2015 T & C SUPPLIES	Hardware Supplies/Tools	262.74
EFT98989	16/04/2015 TECTONICS CONSTRUCTION GROUP PTY LTD	C14024 Westrail Barracks - Stages 3,4 & 5 As Per Contract Documents	53,656.88
EFT98990	16/04/2015 CAROLINE ELLEN TOMPKIN	Fitness Instruction	180.00
EFT98991	16/04/2015 TRANSAIR TWO WAY RADIO	Icom A110 Airband VHF Radio	1,868.30
EFT98992	16/04/2015 CAROLYN FRANCIS TRAPNELL	Visitors Centre Merchandise	799.00
EFT98993	16/04/2015 ALBANY TYREPOWER	Tyre Purchases/Repairs/Maintenance	1,750.00
EFT98994	16/04/2015 SARAH VALLENTINE	Casual Hours	445.50
EFT98995	16/04/2015 WATERCRAFT MARINE	SS Snap Hook With Eye X 5	34.15
EFT98996	16/04/2015 WESTERN AUSTRALIAN LOCAL GOVERNMENT ASSOCIATION	CLGF Training Program At The Shire Of Boyup Brook For Cr. Hortin And Cr.Hollingworth	200.00
EFT98997	16/04/2015 WEST AUSTRALIAN NEWSPAPERS LIMITED	Valentines At The VAC - Full Page Display - 12 Feb 2015 - Advertiser	4,278.31
EFT98998	16/04/2015 WESTSHRED DOCUMENT DISPOSAL	Document Disposal/Sharps Containers/Inserts & Disposal	1,536.70
EFT98999	16/04/2015 THE WINDOW WASHER MAN	Window Cleaning - VAC	55.00
EFT99000	16/04/2015 SARAH WISEMAN	Reimbursements For DVD Purchases For Summer Movies In The Square	47.99
EFT99001	16/04/2015 WOOLWORTHS LIMITED	Groceries For Daycare	1,488.43
EFT99002	16/04/2015 WOODLANDS DISTRIBUTORS AND AGENCIES	Rolls Of Black Oxo Degradable Dog Waste Bags	396.00
EFT99003	16/04/2015 WURTH AUSTRALIA PTY LTD	Wheel Nut Indicators.	482.99
EFT99004	23/04/2015 ACORN TREES AND STUMPS	The Removal And Pruning Of Dangerous Red Gums On Bushby Rd.	1,125.00
EFT99005	23/04/2015 AD CONTRACTORS PTY LTD	Hours Semi Tipper Hire	7,683.90
EFT99006	23/04/2015 ADVERTISER PRINT	Printed Brown Paper Bags For Remembrance Packs X 500	470.00
EFT99007	23/04/2015 ALBANY INDUSTRIAL SERVICES PTY LTD	Hours Hire Of Bobcat	385.00
EFT99008	23/04/2015 ALBANY V-BELT AND RUBBER	Filters/Vehicle Parts	2,613.43
EFT99009	23/04/2015 ALBANY STATIONERS	Stationery Supplies	41.85
EFT99010	23/04/2015 TRICOAST CIVIL	Construction Of Retaining Wall On Cliff Street As Tendered (C15002)	27,264.62
EFT99011	23/04/2015 ALBANY REFRIGERATION	Check And Fix Water Cooler By Multi Purpose Courts	579.70
EFT99012	23/04/2015 ALBANY OFFICE PRODUCTS DEPOT	Stationery Supplies	499.00
EFT99013	23/04/2015 ALBANY PLASTERBOARD COMPANY	Being The Hire Of The EWP To Adjust The South Face Clock Hands	1,210.00
EFT99014	23/04/2015 ALBANY PONY CLUB	Kidsport Vouchers	800.00
EFT99015	23/04/2015 ALBANY QUALITY LAWNMOWING	Lawn Mowing At Lotteries House	110.00
EFT99016	23/04/2015 ALBANY WALLCUTTING SERVICES	Floor Chases In Council Chambers For In Floor Ducts	330.00
EFT99017	23/04/2015 ALBANY IRRIGATION & DRILLING	Irrigation Supplies	908.65

REPORT ITEM CSF 172 REFERS

EFT99018	23/04/2015 ATCO GAS AUSTRALIA PTY LTD	Alter Gas Meter / Service Position At 50 Drome Road Mckail	1,803.00
EFT99019	23/04/2015 AMITY PAINTING & DECORATING	For Painting At Albany Airport As Per Quote	6,523.00
EFT99020	23/04/2015 ATC WORK SMART	Casual Staff/Apprentice Fees	18,455.67
EFT99021	23/04/2015 AUSTRALIAN FINE JEWELLERY PTY LTD	Retail Merchandise For Sale In The Forts Store	788.83
EFT99022	23/04/2015 BADGEMATE	Staff Name Badges	42.30
EFT99023	23/04/2015 BALL BODY BUILDERS	416W600 Concrete Inserts(710 Dia)	1,579.60
EFT99024	23/04/2015 ANTHONY BALL	Fitness Instruction	225.00
EFT99025	23/04/2015 BAREFOOT CLOTHING MANUFACTURERS	Staff Uniform	260.90
EFT99026	23/04/2015 BENNETTS BATTERIES	Oil Purchases	321.20
EFT99027	23/04/2015 BERTOLA HIRE SERVICES ALBANY PTY LTD	Equipment Hire	344.17
EFT99028	23/04/2015 ALBANY BITUMEN SPRAYING	Supply Labour And Plant For Asphalt Repairs	6,319.50
EFT99029	23/04/2015 BOOKMARKETING - GARY SPELLER	Local Stock - Library	18.00
EFT99030	23/04/2015 BUNNINGS GROUP LIMITED	Hardware/Tool Supplies	107.40
EFT99031	23/04/2015 C&C MACHINERY CENTRE	Vehicle Maintenance/Parts	4,221.70
EFT99032	23/04/2015 J & S CASTLEHOW ELECTRICAL SERVICES	Electrical Repairs/Maintenance - Mechanics Workshop	1,141.75
EFT99033	23/04/2015 CATALYSE RESEARCH & STRATEGY	2015 Community Perceptions Survey	10,769.77
EFT99034	23/04/2015 CHADSON ENGINEERING PTY LTD	Dpd1, Dpd3, Phenol Red, Alkaphot	538.45
EFT99035	23/04/2015 CHRIS O'KEEFE CONSTRUCTION COST CONSULTANT	Westrail Barracks Stage 6/7	577.50
EFT99036	23/04/2015 BIS CLEANAWAY LIMITED	Rubbish Removal Contract	256,559.61
EFT99037	23/04/2015 COATES HIRE OPERATIONS PTY LIMITED	Equipment Hire	1,495.79
EFT99038	23/04/2015 COLES SUPERMARKETS AUSTRALIA PTY LTD	Groceries	118.56
EFT99039	23/04/2015 COMMON GROUND TRAILS PTY LTD	Albany Trail Hub Strategy	1,430.00
EFT99040	23/04/2015 CONNECTION REALTY	Advertising Payment For Sale Of 14 Flemington St	680.00
EFT99041	23/04/2015 COURIER AUSTRALIA	Freight Fees	104.08
EFT99042	23/04/2015 ALBANY SIGNS	Install Signage To3 X Sides Of 9203A	2,244.00
EFT99043	23/04/2015 COVS PARTS PTY LTD	Vehicle Parts	2,033.74
EFT99044	23/04/2015 DOWNER EDI WORKS PTY LTD	Hotmix	1,055.48
EFT99045	23/04/2015 AL CURNOW HYDRAULICS	Vehicle Parts/Maintenance	166.20
EFT99046	23/04/2015 DENMARK WALPOLE FOOTBALL CLUB	Kidsport Vouchers	400.00
EFT99047	23/04/2015 DENMARK WALPOLE JUNIOR FOOTBALL CLUB	Kidsport Vouchers	75.00
EFT99048	23/04/2015 JANINE DETERMES	Fitness Instruction	90.00
EFT99049	23/04/2015 G & M DETERGENTS & HYGIENE SERVICES ALBANY	Hygiene Contract	1,669.53
EFT99050	23/04/2015 DOG ROCK MOTEL	Accommodation Expenses S. Lennon	193.70
EFT99051	23/04/2015 DONNA DONNELLY	Refund For Unused Multi Visits @ ALAC	48.60
EFT99052	23/04/2015 JOHN DOWSON	35 Copies Of Off To War	523.98
EFT99053	23/04/2015 ELLEKER GENERAL STORE	Fuel Purchases - Bornholm	40.00
EFT99054	23/04/2015 WARRICK ANDREW ELLERY	Rates Refund	1,547.34
EFT99055	23/04/2015 ROYCE EWING	Rates Refund	82.85
EFT99056	23/04/2015 MELEAH FARRELL	Great Southern Art Awards 2015	300.00
EFT99057	23/04/2015 THE FIXUPPERY	Window Cleaning For The Airport - March 2015	1,532.47
EFT99058	23/04/2015 TAMMIE FLOWER	Fitness Instruction	675.00
EFT99059	23/04/2015 FOUNDATION ELECTRICAL PTY LTD INCORPORATING SOUTHERN ELECTRICS	Replace 10 X Pressure Gauges & 6 X Vacuum Gauges On Pool Plant, Parts: 16 Gauges & Postage/Freight	3,778.02
EFT99060	23/04/2015 BILL GIBBS EXCAVATIONS	Mulching Works In The Le Grande Ave Reserve	11,302.50
EFT99061	23/04/2015 JEFFREY ALLAN GIBB	Retail Merchandise For Sale In The Forts Store	1,081.00
EFT99062	23/04/2015 GRANDE FOOD SERVICE	24 X 600ML Water Bottles	313.64
EFT99063	23/04/2015 PETER MAURICE GRAINGER	Rates Refund	856.00
EFT99064	23/04/2015 GREAT SOUTHERN GROUP TRAINING	Casual Staff Apprentices Fees	1,636.05
EFT99065	23/04/2015 GREAT SOUTHERN INSTITUTE OF TECHNOLOGY	Forklift Training	3,600.00
EFT99066	23/04/2015 GREEN SKILLS INC	Weed Control Lower King Road	4,937.90
EFT99067	23/04/2015 SOUTHERN SHARPENING SERVICES	Retail Merchandise For Sale In The Forts Store	165.00
EFT99068	23/04/2015 GREAT SOUTHERN PACKAGING SUPPLIES	Cleaning Supplies	5,098.79
EFT99069	23/04/2015 GREAT SOUTHERN BOUNDARIES	Supply And Install Personnel Gate At Multiuse Sports Ground Water Tank Enclosure As Quoted	2,002.00
EFT99070	23/04/2015 GSM AUTO ELECTRICAL	Vehicle Parts/Maintenance	68.40

REPORT ITEM CSF 172 REFERS

EFT99071	23/04/2015 HARVEY NORMAN ELECTRICAL ALBANY	Ipad Air 2 Cover	53.95
EFT99072	23/04/2015 ADRIAN JOHN HETHERINGTON	Rates Refund	111.72
EFT99073	23/04/2015 HOT HOUSE FLOWERS	Flower Arrangements S.P.O.T.Y Awards	249.00
EFT99074	23/04/2015 IDENTITY CREATIVE	Anzac Albany Advertising In The Albany Advertiser - Full Page - Design And Layout	214.50
EFT99075	23/04/2015 ALBANY MAPPING AND SURVEYING SERVICES	Contour And Feature Survey For Collingwood Road, Warden Ave And Drew Street Intersection	5,110.60
EFT99076	23/04/2015 JOHN KINNEAR AND ASSOCIATES	Road Widening	8,044.72
EFT99077	23/04/2015 JOSH BYRNE & ASSOCIATES	Design Of All Abilities Regional Play Space As Per Q15012	1,780.00
EFT99078	23/04/2015 KNOTTS GROUP PTY LTD	Men Toilet Issue - Old Courts	115.61
EFT99079	23/04/2015 KOSTER'S STEEL CONSTRUCTION PTY LTD	Manufacture And Supply New Draw For Mt Clarence Honour Box.	560.00
EFT99080	23/04/2015 THE LAKE HOUSE DENMARK	Retail Merchandise For Sale In Forts Store	390.00
EFT99081	23/04/2015 CAMERON LANGRIDGE	Retail Merchandise For Sale In The Forts Store	53.10
EFT99082	23/04/2015 LESTER BLADES PTY LTD	Consultancy Fee Upon Successful Recruitment	3,803.36
EFT99083	23/04/2015 LIFETIME DISTRIBUTORS	Retail Merchandise For Sale In The Forts Store	549.00
EFT99084	23/04/2015 MARIO LIONETTI	Groceries For Day Care Centre	118.43
EFT99085	23/04/2015 LOCKEEZ LUNCHBAR	Morning Tea And Lunch For 14 People For SCMG Meeting	308.00
EFT99086	23/04/2015 LOWER KING LIQUOR & GENERAL STORE	Beverage Cost For The Business After Hours Town Square 15 April 2015	582.67
EFT99087	23/04/2015 M & B SALES PTY LTD	Treated Pine Supplies	536.50
EFT99088	23/04/2015 RL & KJ MACKENZIE (GLENORAN LEATHER)	Retail Merchandise For Sale In The Forts Store	209.50
EFT99089	23/04/2015 SOUTH COAST WOODWORKS GALLERY	Retail Merchandise For Sale In The Forts Store	3,156.18
EFT99090	23/04/2015 VICKI MICHELLE MARTIN	Fitness Instruction	360.00
EFT99091	23/04/2015 MENTAL MEDIA PTY LTD	Audio Guide Pens - Replacements	4,070.00
EFT99092	23/04/2015 MINORBA GRAZING CO	Purchase Of 1.8 X 120Mm Posts & Purchase Of 2.4 X 120Mm Rails	4,228.00
EFT99093	23/04/2015 MODERN TEACHING AIDS PTY LTD	Day Care Equipment	319.35
EFT99094	23/04/2015 MOUNT ROMANCE AUSTRALIA PTY LTD	Retail Merchandise For Sale In The Forts Store	1,932.03
EFT99095	23/04/2015 NURRUNGA COMMUNICATIONS	Supply And Fit Two Way Radio As Per Quote 01216220	1,006.72
EFT99096	23/04/2015 NATIONAL FILM AND SOUND ARCHIVE	DVD Of Red Dog	22.00
EFT99097	23/04/2015 PN & ER NEWMAN QUALITY CONCRETE PRODUCTS	Supply Of 1050 X 900 Liner & Supply Of 1050 X 600 Liner	359.70
EFT99098	23/04/2015 ALBANY NEWS DELIVERY	Newspaper Deliveries From 23/3/15 - 19/4/15	128.39
EFT99099	23/04/2015 ALBANY NEWS DELIVERY	Newspaper Deliveries From 13/4/15 - 19/4/15	143.70
EFT99100	23/04/2015 KOMATSU AUSTRALIA PTY LTD	Vehicle Parts	232.71
EFT99101	23/04/2015 OCEAN BEACH HOTEL	Accommodation & Meals - 3 Rooms Check In Tuesday 10 March Check Out Wednesday 11 March (One Night)	30.92
EFT99102	23/04/2015 OCP SALES	Waterproof Portable Radio, Single Desktop Rapid Charger & Vertex Submersible Speaker Microphone	8,854.80
EFT99103	23/04/2015 OCS SERVICES PTY LTD	Cleaning Services Town Hall March 3 & 9 2015	318.60
EFT99104	23/04/2015 OFFICEWORKS SUPERSTORES PTY LTD	Boys On The Pyramid Poster A2 Size & Boys On The Pyramid Poster A1 Size	777.98
EFT99105	23/04/2015 OKEEFE'S PAINTS	Paint & Painting Supplies	145.58
EFT99106	23/04/2015 ORIGIN ENERGY	LP Gas Delivery - ALAC	6,863.90
EFT99107	23/04/2015 PALMER EARTHMOVING (AUSTRALIA) PTY LTD	Cubic Metres Of Compaction Sand Delivered To Depot	1,742.40
EFT99108	23/04/2015 LUTZ PETER PAMBERGER	Counselling Services Provided Under The Employee Assistance Program	154.00
EFT99109	23/04/2015 PAULS PET FOOD	Alert Dog Food 25Kg Bag	162.50
EFT99110	23/04/2015 PC MACHINERY	Wacker Parts	316.71
EFT99111	23/04/2015 MARK PEMBERTON	Rates Refund	507.50
EFT99112	23/04/2015 PENROSE PROFESSIONAL LAWN CARE	Mow & Edge Lawns	264.00
EFT99113	23/04/2015 PERTH THEATRE TRUST	Settle 14855	9,031.39
EFT99114	23/04/2015 KRISTIE PORTER	Fitness Instruction	405.00
EFT99115	23/04/2015 PROTECTOR ALSAFE INDUSTRIES PTY LTD	20 X Uvex Goggles (9302-342)	802.74
EFT99116	23/04/2015 PUBLIC LIBRARIES AUSTRALIA LTD	PLA Econnect April Subscription - Premier 7.5 Unlimited Sends	209.55
EFT99117	23/04/2015 RAECO INTERNATIONAL PTY LTD	Duraseal Gloss, Slide Easy Felt Labels & Freight	1,017.19
EFT99118	23/04/2015 AUSTRALIAN FLYING CORPS AND RAAF	Rates Refund	4,948.73
EFT99119	23/04/2015 RADIOWEST BROADCASTERS PTY LTD	Branding - 5 Months	1,155.00
EFT99120	23/04/2015 REDFISH TECHNOLOGY	Main Chamber Hearing Loop Replacement As Per Quote 10359	25,934.70
EFT99121	23/04/2015 REECE PTY LTD	Stormwater Supplies	73.48
EFT99122	23/04/2015 ROAD 'N' FIELD SPANNERS	Repair Aircon System As Required And Fit New Heater Box To Truck.	2,360.28
EFT99123	23/04/2015 MP ROGERS AND ASSOCIATES PTY LTD	RFQ 15015 - Condition Assessment Of Boardwalks And Jetties	2,820.40
EFT99124	23/04/2015 ROYALS SAINTS NETBALL CLUB	Kidsport Vouchers	3,600.00

REPORT ITEM CSF 172 REFERS

EFT99125	23/04/2015	ROBIN RUSSELL	Staffing - Evolution Of The Surfboard	844.50
EFT99126	23/04/2015	SERENA MCLAUCHLAN	Opening And Closing Of Town Hall - Evolution Of The Surfboard	1,125.00
EFT99127	23/04/2015	SAXXON IT	Saxxon Professional Services - Cisco Switching Project & Exchange Work	2,887.50
EFT99128	23/04/2015	S-TECH HOLDINGS PTY LTD	LED Lighting Upgrade In The Original Stadium At ALAC	32,142.57
EFT99129	23/04/2015	G & L SHEETMETAL	Classic Cream Door Panels	396.00
EFT99130	23/04/2015	DIANE SHEEHAN	Co-Coordinator /Curator For The Great Southern Noongar Exhibition	1,200.00
EFT99131	23/04/2015	SHILLER IMAGES	Retail Merchandise For Sale In The Forts Store	629.17
EFT99132	23/04/2015	SKILL HIRE WA PTY LTD	Casual Staff	8,776.53
EFT99133	23/04/2015	DA SLEE & CO	Towing Of Bus From Battle Road To Pickles Auction	558.25
EFT99134	23/04/2015	SMITH CONSTRUCTIONS ALBANY PTY LTD	Stirling Terrace Signage, Bollards, Bike Racks & Drinking Fountain	2,867.95
EFT99135	23/04/2015	ALBANY CARPET COURT	Supply And Install Feltex Sdn Gem Carpet Tiles Plus An Additional 2 X Boxes Of Carpet Tiles And For The Pull Up And Disposal Of Existing Carpet And Underlay	25,424.00
EFT99136	23/04/2015	SOUTHERN TOOL & FASTENER CO	Hardware/Tool Supplies	343.20
EFT99137	23/04/2015	SOUTHERN EDGE ARTS INC	Kidsport Term 4, 2014	400.00
EFT99138	23/04/2015	SOUTHERN OCEAN SAILING	Spinnaker Branded With Amazing Albany Logo	3,300.00
EFT99139	23/04/2015	STIRLING PRINT	Passport Cards For Business After Hours 15 April 2015. 150 Printed	75.00
EFT99140	23/04/2015	ST JOHN AMBULANCE ASSOCIATION WA INC	Enrolment For Provide First Aid 1 Day Course N Tysoe	199.00
EFT99141	23/04/2015	SUNNY SIGN COMPANY	Assorted Signage	628.10
EFT99142	23/04/2015	ALBANY LOCK SERVICE	2 X FO.1 Keys And 2 X FO.8 Keys	84.00
EFT99143	23/04/2015	SYNERGY	Electricity Supplies	32.20
EFT99144	23/04/2015	T & C SUPPLIES	Hardware/Tool Supplies	155.28
EFT99145	23/04/2015	THINKWATER ALBANY	Irrigation Supplies	773.21
EFT99146	23/04/2015	TIM WATERS DESIGN	VAC Front Sign And Magnetic Open Sign	957.00
EFT99147	23/04/2015	THE TOFFEE FACTORY	Retail Merchandise For Sale In The Forts Store	592.09
EFT99148	23/04/2015	CAROLINE ELLEN TOMPKIN	Fitness Instruction	90.00
EFT99149	23/04/2015	CAROLYN FRANCIS TRAPNELL	Retail Merchandise For Sale In The Forts Store	2,227.00
EFT99150	23/04/2015	TRAFFIC FORCE	Traffic Control	4,560.06
EFT99151	23/04/2015	VANCOUVER WASTE SERVICES PTY LTD	Green Waste Services	381.00
EFT99152	23/04/2015	VIBE OYSTER HARBOUR PTY LTD	Rates Refund	8,687.90
EFT99153	23/04/2015	RT & JR WALKER	Retail Merchandise For Sale In The Forts Store	160.60
EFT99154	23/04/2015	JULIA WARREN	Fitness Instruction	315.00
EFT99155	23/04/2015	ALBANY & GREAT SOUTHERN WEEKENDER	Advertising - ROP Display Colour	427.36
EFT99156	23/04/2015	LANDMARK LIMITED	Waratah H-Box Strainer Kit, Packs Post Clips, 4.2M Gates With Hinges To Suit, T-Grip Gripple, Medium Gripples, Rolls1.80Mm Barbed Wire / Roll X 500M, Roll Of 2.5Mm Longlife Tyeasy / Roll X 1500M & Waratah Galstar Posts X 1.8M	4,021.82
EFT99157	23/04/2015	WEST AUSTRALIAN NEWSPAPERS LIMITED	Advertising For NAC	12,417.04
EFT99158	23/04/2015	WILD EYED PRESS PTY LTD	Stock Items	845.35
EFT99159	23/04/2015	SARAH WISEMAN	Poster & Flyer Distribution-School Holiday Workshops - Pinhole Camera Workshop	90.00
EFT99160	23/04/2015	BO WONG	Great Southern Art Awards - Judging Art Prize	150.00
EFT99161	23/04/2015	WOOD AND GRIEVE ENGINEERS	Superintendence Of Millbrook Road Contract During Defects Liability Period (Phase 2).	2,000.00
EFT99162	23/04/2015	MARGARET YOUNG	Consignment Sales March 15	195.00
EFT99163	23/04/2015	ZENITH LAUNDRY	Laundry Services/Hire	23.46
EFT99164	30/04/2015	ABA SECURITY	Security Services For The Months Of April To June 2015 At Various Locations	1,127.92
EFT99165	30/04/2015	ABBOTTS LIQUID SALVAGE PTY LTD	Pump Out Two Animal Septic Tanks Plus One Pump Well	605.00
EFT99166	30/04/2015	AD CONTRACTORS PTY LTD	Grader Hire For Fire Incident	1,730.95
EFT99167	30/04/2015	DORA ADELINE	Reimbursements For Library Aquarium Supplies	55.85
EFT99168	30/04/2015	ADVERTISER PRINT	10,000 Summit To Sea Brochures	2,549.00
EFT99169	30/04/2015	AERODROME MANAGEMENT SERVICES PTY LTD	Electrical ATI	5,482.19
EFT99170	30/04/2015	ALBANY INDUSTRIAL SERVICES PTY LTD	Truck Hire	45,987.70
EFT99171	30/04/2015	OPTEON (ALBANY AND GREAT SOUTHERN WA)	Rental Valuations	1,200.00
EFT99172	30/04/2015	ALBANY PRINTERS	20 X Purchase Order Books In Triplicate (100/Book) Numbered 37501 - 39500	495.00
EFT99173	30/04/2015	ALBANY SWEEP CLEAN	Sweep Airport Car Parks, Entrance & Access Roads	346.50
EFT99174	30/04/2015	ALBANY STATIONERS	Stationery Supplies	10.00
EFT99175	30/04/2015	ALBANY INDOOR PLANT HIRE	Indoor Plant Hire	1,041.92

REPORT ITEM CSF 172 REFERS

EFT99176	30/04/2015 ALBANY CHAMBER OF COMMERCE AND INDUSTRY	Room Hire - Drug And Alcohol Policy Training 24th - 27th March 2015 City Of Albany & Cleaning	930.00
EFT99177	30/04/2015 ALBANY REFRIGERATION	Innotech Control System Service	7,398.33
EFT99178	30/04/2015 ALBANY SKIPS AND WASTE SERVICES	Hire/Maintenance Skip Bin March2015	460.00
EFT99179	30/04/2015 ALBANY OFFICE PRODUCTS DEPOT - NORTH ROAD	Stationery Supplies	1,324.65
EFT99180	30/04/2015 ALBANY FUEL SERVICE	Rates Refund	5,130.28
EFT99181	30/04/2015 ALBANY CENTRAL CABINETS	Being For New Bench Top As Quoted On The 27/2/15	462.00
EFT99182	30/04/2015 ALBANY COMBINED CABS PTY LTD	YAC Taxi Fares	15.50
EFT99183	30/04/2015 ALBANY MILK DISTRIBUTORS	Milk Deliveries ALAC	24.40
EFT99184	30/04/2015 ALBANY IRRIGATION & DRILLING	Construct 2 X 100Mm Bores At The Western Precinct (CPSP)	5,860.00
EFT99185	30/04/2015 ALINTA	Gas Usage Charges	8.30
EFT99186	30/04/2015 ALLROADS MOTOR BODY BUILDERS	Supply Designs Of Hooklift Bins	880.00
EFT99187	30/04/2015 ALL EVENTS PROSOUND HIRE	Albany Town Square PA System	546.76
EFT99188	30/04/2015 AMPAC DEBT RECOVERY (WA) PTY LTD	Rates Debt Recovery	3,560.92
EFT99189	30/04/2015 AMPHIBIAN PLUMBING AND GAS	Clearing Of Blockage To Sewer At Lotteries House. Camera Inspection Of Sewer.	1,240.00
EFT99190	30/04/2015 ANDREW HALSALL PHOTOGRAPHY	Visitors Centre Merchandise	225.00
EFT99191	30/04/2015 ARDESS NURSERY	Nursery Supplies	354.30
EFT99192	30/04/2015 ATC WORK SMART	Casual Staff/Apprentice Fees	1,997.16
EFT99193	30/04/2015 BT EQUIPMENT PTY LTD (TUTT BRYANT EQUIPMENT)	Vehicle Parts	185.43
EFT99194	30/04/2015 BANK OF I.D.E.A.S.	Youth Workshop	5,500.00
EFT99195	30/04/2015 BAREFOOT CLOTHING MANUFACTURERS	Polos For AVC	143.70
EFT99196	30/04/2015 ALBANY TRAFFIC CONTROL	Traffic Control	3,420.77
EFT99197	30/04/2015 BIO DIVERSE SOLUTIONS	Review Of COA Visitor Risk Register For 42 Coastal Sites 50 %	3,465.00
EFT99198	30/04/2015 MARY BIRSS	Library Sales Of Early Settlers (2) And Recollections Of Emu Point Jan - Mar 2015	38.00
EFT99199	30/04/2015 ALBANY BITUMEN SPRAYING	Replacement Of Broken Footpath	583.00
EFT99200	30/04/2015 ALBANY BOBCAT SERVICES	Loppings Removal	1,075.25
EFT99201	30/04/2015 BOOKEASY AUSTRALIA PTY LTD	Monthly Commission - March 2015	2,769.94
EFT99202	30/04/2015 BRANDNET PTY LTD T/AS MILITARY SHOP	Forts Store Merchandise	16,998.17
EFT99203	30/04/2015 BRIDGESTONE AUSTRALIA LTD	215 60 R16 For 9009A + Fit And Balance	506.13
EFT99204	30/04/2015 BUNNINGS GROUP LIMITED	4M X 50M Black Plastic For Disco Pool Party Mad Youth Event	96.90
EFT99205	30/04/2015 KAITLIN BUNN	ORWG Meeting, SLWA Exchange, UWA Library Reimbursements	85.15
EFT99206	30/04/2015 BUSBY INVESTMENTS PTY LTD T/AS BUDGET RENT A CAR	Rental Car Hire D Lee	77.80
EFT99207	30/04/2015 CALIBRE CARE	Handi Grip Reacher X 3	108.90
EFT99208	30/04/2015 CAMLYN SPRINGS WATER DISTRIBUTORS	Water Container Refills - North Road	1,448.00
EFT99209	30/04/2015 J & S CASTLEHOW ELECTRICAL SERVICES	Electrical Repairs/Maintenance	3,870.26
EFT99210	30/04/2015 CITY STAY APARTMENT HOTEL	One Night Stay At City Stay Apartments For K. Quinlan	135.00
EFT99211	30/04/2015 COATES HIRE OPERATIONS PTY LIMITED	Forklift Delivered To Town Square Park. Wednesday 01 April. Delivery 8Am, Pick Up. 12 Noon.	1,145.18
EFT99212	30/04/2015 SCOTT COGHLAN	Editorial	440.00
EFT99213	30/04/2015 COHERA-TECH PTY LTD	PC-WPC-Bracket - WPC Mounting Bracket	26.95
EFT99214	30/04/2015 COLES SUPERMARKETS AUSTRALIA PTY LTD	Groceries	425.95
EFT99215	30/04/2015 GAYLE LYNETTE COOK	Rates Refund	424.50
EFT99216	30/04/2015 COURIER AUSTRALIA	Freight Fees	245.78
EFT99217	30/04/2015 ALBANY SIGNS	Supply And Install Sign Panels - Albany Race Club	3,124.00
EFT99218	30/04/2015 COVS PARTS PTY LTD	Vehicle Parts	8.90
EFT99219	30/04/2015 DOWNER EDI WORKS PTY LTD	Hotmix	1,407.31
EFT99220	30/04/2015 AL CURNOW HYDRAULICS	Vehicle Parts/Maintenance	55.00
EFT99221	30/04/2015 BRONWYN CUTLER	EAP Counselling Services	165.00
EFT99222	30/04/2015 DEFIBTECH	Replacement Adult Pads For North Road AED	94.78
EFT99223	30/04/2015 DE JONGE MECHANICAL REPAIRS	Tyre Change Repair	158.00
EFT99224	30/04/2015 DE LAGE LANDEN PTY LIMITED	Monthly Rent For Contract 073-140002-001	7,186.30
EFT99225	30/04/2015 JANINE DETERMES	Fitness Instruction	90.00
EFT99226	30/04/2015 DICK SMITH ELECTRONICS	DS RCA Male Connector To 2 X RCA Sockets Adaptor	6.99
EFT99227	30/04/2015 DVA FABRICATIONS	Vibrant Children's Spinner With Box	540.00
EFT99228	30/04/2015 DYLANSON THE TERRACE	Catering	423.10
EFT99229	30/04/2015 EASIFLEET MANAGEMENT	Motor Vehicle Lease Rental/ESP Bureau Fee/Bureau Fee Rebate	7,442.08

REPORT ITEM CSF 172 REFERS

EFT99230	30/04/2015 THE FIXUPPERY	Window Cleaning Vancouver Arts Centre 18/3/2015	681.60
EFT99231	30/04/2015 TAMMIE FLOWER	Fitness Instruction	540.00
EFT99232	30/04/2015 FLYING HARVEST - ZAREPHATH WINES	Wine Purchases	300.00
EFT99233	30/04/2015 ALBANY FOOTBALL AND SPORTING CLUB	Kidsport Vouchers	120.00
EFT99234	30/04/2015 FOUNDATION ELECTRICAL PTY LTD INCORPORATING SOUTHERN ELECTRICS	Check Scoreboard Is Working Correctly On Court 6, Check Microphone System Is Working On New Courts.	229.64
EFT99235	30/04/2015 GRANDE FOOD SERVICE	Catering Supplies	276.00
EFT99236	30/04/2015 ELIZABETH GRAY	EAP Counselling Services	130.00
EFT99237	30/04/2015 GREAT SOUTHERN GROUP TRAINING	Casual Staff Apprentices Fee	5,163.06
EFT99238	30/04/2015 GREAT SOUTHERN INSTITUTE OF TECHNOLOGY	Skidsteer Training For 25 & 26 March And 14 & 15 April 2015 For 10 Staff	2,000.00
EFT99239	30/04/2015 GREAT SOUTHERN PEST & WEED CONTROL	Control Of Feral Bee Hives	319.00
EFT99240	30/04/2015 SOUTHERN SHARPENING SERVICES	Forts Store Merchandise	1,008.70
EFT99241	30/04/2015 GSP WORKFORCE	Gardening Services Lotteries House	401.80
EFT99242	30/04/2015 GREAT SOUTHERN SAND AND LANDSCAPING SUPPLIES	Stage 3A Leachate Drainage Construction.	61,769.40
EFT99243	30/04/2015 GREAT SOUTHERN PACKAGING SUPPLIES	Cleaning Supplies	3,146.04
EFT99244	30/04/2015 GREAT SOUTHERN LIQUID WASTE	Service Portaloos Stirling Terrace & Town Hall On Anzac Day 2015	4,925.50
EFT99245	30/04/2015 GREAT SOUTHERN SERVICES	2 X Turnstyle/3 X Fire Cabinets	2,813.00
EFT99246	30/04/2015 GRESLEY ABAS PTY LTD	Architects Fees/Subconsultants Fees & Disbursements	141,950.45
EFT99247	30/04/2015 GT BEARING AND ENGINEERING SUPPLIES	Electrodes And Flap Disc	58.50
EFT99248	30/04/2015 GWN GREAT SOUTHERN (PRIME MEDIA GROUP LTD)	Advertising Schedule For The Wellington & Reeves 2014	80.30
EFT99249	30/04/2015 HAYS SPECIALIST RECRUITMENT (AUSTRALIA) PTY LTD	Professional Services - Retainer Stage 3 - Senior Building Surveyor	4,176.08
EFT99250	30/04/2015 HEMA MAPS PTY LTD	Visitors Centre Merchandise	587.01
EFT99251	30/04/2015 KIMBERLEY STONEY	ORWG Meeting, SLWA Exchange, UWA Library Reimbursements	92.35
EFT99252	30/04/2015 THE HONEY SHOP	Visitors Centre Merchandise	152.60
EFT99253	30/04/2015 MORGAN STANLEY HOYES	Rates Refund	275.69
EFT99254	30/04/2015 INTANDEM	NAC/Forts Merchandise	6,389.35
EFT99255	30/04/2015 ALBANY MAPPING AND SURVEYING SERVICES	Contour And Feature Survey For Mueller Street	3,370.13
EFT99256	30/04/2015 JJ'S HIAB SERVICES & JJ'S GREAT SOUTHERN	Pick Up And Delivery Services	3,649.80
EFT99257	30/04/2015 JOHN KINNEAR AND ASSOCIATES	Feature And Contour Survey Festing Street Ponds	5,868.50
EFT99258	30/04/2015 BERYL ROSE JOLLY	Rates Refund	811.77
EFT99259	30/04/2015 KANGAS NETBALL CLUB	Kidsport Vouchers	1,520.00
EFT99260	30/04/2015 MICHELLE KINNEAR	Fitness Instruction	75.00
EFT99261	30/04/2015 L-3 COMMUNICATIONS AUSTRALIA PTY LTD	Consumables For Security Screening	1,284.80
EFT99262	30/04/2015 LA FREEGARD	Removal Of Vegetation	5,280.00
EFT99263	30/04/2015 DAVID COOK (LANYON COOK FAMILY TRUST)	Rendering And External Coat To Eyre Park	4,735.50
EFT99264	30/04/2015 CAMERON LANGRIDGE	Misery Beach, Silent Sentinels & Southern Secrets Pictures	53.10
EFT99265	30/04/2015 LEASE CHOICE	Monthly Lease Photocopiers Ricoh Mp Cw2200Sp/E083G700134 & E083G700026	1,246.83
EFT99266	30/04/2015 LIFETIME DISTRIBUTORS	Forts Merchandise	421.00
EFT99267	30/04/2015 THE LOCAL BLEND	Catering	2,250.00
EFT99268	30/04/2015 M2 TECHNOLOGY PTY LTD	M2 On Hold Voice Service Agreement	264.00
EFT99269	30/04/2015 BUCHER MUNICIPAL PTY LTD	Hose As Per Email, Part Number: 6004-1-C.	527.38
EFT99270	30/04/2015 ALBANY CITY MOTORS	Vehicles/Vehicle Parts/Repairs	581.47
EFT99271	30/04/2015 MARSHALL MOWERS	Belt Drive Ariens	79.20
EFT99272	30/04/2015 VICKI MICHELLE MARTIN	Fitness Instruction	270.00
EFT99273	30/04/2015 MCKAILS GENERAL STORE	Splinter Cards	140.00
EFT99274	30/04/2015 MCLEODS BARRISTERS & SOLICITORS	Retrospective Approval For Bayonet Head Shopping Centre	2,299.28
EFT99275	30/04/2015 JAMES MCLEAN - SCULPTURAL TIMBER CREATIONS & SOUTH POLE STRUCTURES	Supply And Installation Of Nature Play Features Within Kindergarten Area Described Within Accepted Proposal	23,633.50
EFT99276	30/04/2015 MICHELLE LEONG	CMCA Murray Bridge Rally Reimbursements	185.05
EFT99277	30/04/2015 MOUNT ROMANCE AUSTRALIA PTY LTD	Retail Merchandise For Sale In The Forts Store	1,297.33
EFT99278	30/04/2015 NEO INFRASTRUCTURE (WA) PTY LTD	Emu Point Coastal Adaption Protection Works - Defect Period 17/04/2014-17/04/2015 - C14005	4,221.25
EFT99279	30/04/2015 ALBANY NEWS DELIVERY	Newspaper Deliveries 30/3/15 - 5/4/15	113.30
EFT99280	30/04/2015 ALBANY NEWS DELIVERY	Newspaper Deliveries	9.30
EFT99281	30/04/2015 NOVUS AUTOGLASS REPAIRS & REPLACEMENTS	Fit Left Hand Front Door Glass To A Dual Cab Holden Colorado.	308.00

REPORT ITEM CSF 172 REFERS

EFT99282	30/04/2015 OFFICEWORKS SUPERSTORES PTY LTD	Evolution Of The Surfboard - Poster	229.25
EFT99283	30/04/2015 OKEEFE'S PAINTS	Paint & Painting Supplies	58.51
EFT99284	30/04/2015 OLI'S PRESSURE CLEANING	Pressure Clean Memorial Steps Pre Anzac Day	431.80
EFT99285	30/04/2015 CHEMICAL AUSTRALIA OPERATIONS PTY LTD (FORMERLY ORICA)	March 2015 - 2 X 920Kg CL Gas Cylinder Hire	376.61
EFT99286	30/04/2015 ORIGIN ENERGY	Bulk Gas Supplies	3,967.55
EFT99287	30/04/2015 THE PERTH MINT SHOP	2015 \$1 Anzac Gallipoli Coin Item: 15TAAD	3,874.20
EFT99288	30/04/2015 PERTH SAFETY PRODUCTS PTY LTD	Water Barriers 2365 X 890Mm @ 4 White / 4 Red	1,760.00
EFT99289	30/04/2015 PRECISION LASER SYSTEMS	Calibration And Service Of Laser Unit LT-710 #P8313 Serial No 2362	137.50
EFT99290	30/04/2015 WALK TALL INTERNATIONAL	Services Of David Julian Price (Consultant And Facilitator Of Customer Service Workshop)	12,166.10
EFT99291	30/04/2015 PRINT N ETCH	2 X Stainless Steel Plaques For Anzac Sprit Sculpture	429.00
EFT99292	30/04/2015 PROTECTOR ALSAFE INDUSTRIES PTY LTD	HF46 WH White Helmets With Visors X 6	509.19
EFT99293	30/04/2015 PROJECT3 PTY LTD	Anzac Albany 2015	145,750.00
EFT99294	30/04/2015 PW AND SL LIDDIARD	Rates Refund	408.91
EFT99295	30/04/2015 REEVES AND COMPANY BUTCHERS PTY LTD	Catering - Opening Party - Evolution Of The Surfboard	635.00
EFT99296	30/04/2015 REECE PTY LTD	Aquabubbler 800mm With Water Bottle Refill Station (Non Chilled) - Colour Rich Blue & Delivery Charge	3,171.91
EFT99297	30/04/2015 RICOH	Photocopier Charges	16,621.55
EFT99298	30/04/2015 ROSMECH SALES AND SERVICE PTY LTD	Hydraulic Motor	2,160.31
EFT99299	30/04/2015 THE ROYAL LIFE SAVING SOCIETY WA INC	Purchase 4 Boxes Of WAW Arm Bands	528.00
EFT99300	30/04/2015 SHIRE OF EAST PILBARA	Certificate Of Design For Cull Park Public Toilet Facility	150.00
EFT99301	30/04/2015 SIMONE KLOSE	Reimbursements For Easter And Anzac	195.14
EFT99302	30/04/2015 GEORGIA MARTINE SMITH	Assisting With The Evolution Of The Surfboard Exhibition	1,165.50
EFT99303	30/04/2015 SOUTHERN TOOL & FASTENER CO	Hardware Supplies/Tools	38.50
EFT99304	30/04/2015 SOUTHWAY DISTRIBUTORS PTY LTD	1 X Box Shortbread Cream And Creamy Chocolate Biscuits & 1 X Box Choc Chip & Scotch Finger Biscuits	126.04
EFT99305	30/04/2015 SOUTHCOAST SECURITY SERVICE	Security For Movie Night 15 April @ ALAC & Security For Movie Night @ VAC	767.25
EFT99306	30/04/2015 BURGESS RAWSON WA PTY LTD	Rates Refund	2,093.88
EFT99307	30/04/2015 STATEWIDE BEARINGS	Vehicle Parts	6.54
EFT99308	30/04/2015 STEWART AND HEATON CLOTHING PTY LTD	4 Pairs Coveralls, 8 Jackets, 7 Pairs Trousers, 14 Name Badges	2,723.47
EFT99309	30/04/2015 ST JOHN AMBULANCE ASSOCIATION WA INC	Enrolment For Provide First Aid Course 18 June 2015 5 Staff	995.00
EFT99310	30/04/2015 STORM OFFICE NATIONAL	Stationery Supplies - Lotteries House	22.71
EFT99311	30/04/2015 STRUMALUM	Freight Of Tee-Shirts	85.00
EFT99312	30/04/2015 SUBWAY	2X Subway B Catering Platters For Youth Workshop	120.00
EFT99313	30/04/2015 SUNNY SIGN COMPANY	Assorted Signage	497.20
EFT99314	30/04/2015 ALBANY LOCK SERVICE	Locksmith Services, Repairs Etc	15.00
EFT99315	30/04/2015 SYNERGY	Grouped Electricity Account	38,408.15
EFT99316	30/04/2015 T4 TECHNOLOGY	Apple Lightning To HDMI Adapter	69.00
EFT99317	30/04/2015 T & C SUPPLIES	Hardware/Tool Supplies	973.58
EFT99318	30/04/2015 THE 12 VOLT WORLD	2 Beacons For Ford Ute, Drive Belt For Light & Bulbs	348.00
EFT99319	30/04/2015 THE GRANTS GUY	Facilitation Of Workshops	4,400.00
EFT99320	30/04/2015 TIM WATERS DESIGN	Town Square/Stirling Terrace Interpretive Signage Develop A Range Of Design Options In Draft Visual Form	4,141.50
EFT99321	30/04/2015 TOLL FAST	Freight Charges	1,274.28
EFT99322	30/04/2015 TRAFFIC FORCE	Traffic Control	12,921.56
EFT99323	30/04/2015 ALBANY TYREPOWER	Tyres	6,519.85
EFT99324	30/04/2015 UNIVERSITY OF WESTERN AUSTRALIA	Gallipoli - The West Australian Story X 24 Copies	863.28
EFT99325	30/04/2015 VANCOUVER WASTE SERVICES PTY LTD	Bulk Green Waste	23,033.67
EFT99326	30/04/2015 SARAH VALLENTINE	Poster Distribution	90.00
EFT99327	30/04/2015 SHONA GRACE VERITY	EAP Counselling Services	65.00
EFT99328	30/04/2015 ALBANY & GREAT SOUTHERN WEEKENDER	Community Information Page - April 2015	2,326.28
EFT99329	30/04/2015 WESTERBERG PANEL BEATERS	X1 Towing Of Mitsubishi Magna From Aberdeen Street To Pickles Auction	93.50
EFT99330	30/04/2015 WESTERN AUSTRALIAN LOCAL GOVERNMENT ASSOCIATION	Tender Advertising - For Airport Security Authority And Provider	1,385.69
EFT99331	30/04/2015 WEST-OZ WEB SERVICES	Completed Bookings Marketing Fee March 2015	495.40
EFT99332	30/04/2015 WEST AUSTRALIAN NEWSPAPERS LIMITED	Newspaper Advertising	2,801.90
EFT99333	30/04/2015 WHITFIELD ESTATE & PICNIC IN THE PADDOCK	Merchandise Order - Confectionary	1,124.51
EFT99334	30/04/2015 WOOD AND GRIEVE ENGINEERS	Superintendence Of Cockburn Road/Cull Park Catchment Stormwater Upgrade	5,621.50
EFT99335	30/04/2015 ZENITH LAUNDRY	Laundry Services/Hire	44.07

REPORT ITEM CSF 172 REFERS

EFT99336	01/05/2015 WESTERN AUSTRALIAN TREASURY CORPORATION	Loan No. 25	49,028.95
EFT99337	07/05/2015 JADES @14 PEELS PLACE	Catering	675.00
EFT99338	07/05/2015 ACTIV FOUNDATION INC.	Cleaning Rags	90.00
EFT99339	07/05/2015 AD CONTRACTORS PTY LTD	Hire 50M Fencing Erect Dismantle	852.00
EFT99340	07/05/2015 ADVERTISER PRINT	6000 Dining Out Guides	2,818.00
EFT99341	07/05/2015 ALBANY BRAKE AND CLUTCH	Vehicle Maintenance	138.27
EFT99342	07/05/2015 ALBANY CRANE HIRE	Lift Off Truck And Place Sea Container At Mercer Rd Depot.	302.50
EFT99343	07/05/2015 ALBANY V-BELT AND RUBBER	Filters/Vehicle Parts	1,298.32
EFT99344	07/05/2015 ALBANY SWEEP CLEAN	Sweeping Of Carparks, Pathways And Boardwalks For 2014 As Per C14015	2,227.00
EFT99345	07/05/2015 ALBANY COMMUNITY HOSPICE	Payroll Deductions	104.00
EFT99346	07/05/2015 ALBANY REFRIGERATION	Refrigeration & Airconditioning Repairs & Maintenance	110.00
EFT99347	07/05/2015 ALBANY OFFICE PRODUCTS DEPOT	Ergonomic Chair	1,066.25
EFT99348	07/05/2015 ALBANY AND REGIONAL VOLUNTEER SERVICE	Delivery Of Workshop To Staff & Volunteers	2,600.00
EFT99349	07/05/2015 ALBANY PSYCHOLOGICAL SERVICES	EAP Consultation Fees	880.00
EFT99350	07/05/2015 ALBANY COMBINED CABS PTY LTD	Taxi Vouchers	150.00
EFT99351	07/05/2015 ALBANY MILK DISTRIBUTORS	Milk Deliveries North Road April 2015	358.54
EFT99352	07/05/2015 ALBANY LEGAL PTY LTD	Professional Services	7,369.60
EFT99353	07/05/2015 ALBANY COMMUNITY FOUNDATION	Payroll Deductions	50.00
EFT99354	07/05/2015 ALBANY CENTRAL APARTMENTS	Accommodation For J Dunross X 2 Nights	380.00
EFT99355	07/05/2015 ALINTA	Gas Usage Charges	266.10
EFT99356	07/05/2015 ATCO GAS AUSTRALIA PTY LTD	Alter Gas Meter / Service Position	601.00
EFT99357	07/05/2015 ALL EVENTS PROSOUND HIRE	Anzac 2015 Town Hall Equipment Hire	841.88
EFT99358	07/05/2015 ALUMINIUM SEATING SPECIALISTS	Chelsea Stackable & Free Standing Bench Seats 4000Mm X 255Mm X 450Mm	8,947.35
EFT99359	07/05/2015 AMPHIBIAN PLUMBING AND GAS	Full Service Of 2 X 150Mm At Albany Entertainment Centre (2 Toll Place)	2,659.48
EFT99360	07/05/2015 PAPERBARK MERCHANTS	Newspapers/Books/Magazines/Stationery	3,648.45
EFT99361	07/05/2015 ATC WORK SMART	Casual Staff/Apprentice Fees	11,613.15
EFT99362	07/05/2015 AUSSIE DRAWCARDS PTY LTD	Visitors Centre Merchandise	330.00
EFT99363	07/05/2015 AUSTRALIAN TAXATION OFFICE	Payroll Deductions	336,403.00
EFT99364	07/05/2015 AUSTRALIAN SERVICES UNION WA BRANCH	Payroll Deductions	3,886.20
EFT99365	07/05/2015 ANTHONY BALL	Fitness Instruction	180.00
EFT99366	07/05/2015 BATTERY WORLD	Assorted Batteries	374.85
EFT99367	07/05/2015 BENNETTS BATTERIES	200L Drum Of Universal Trans Oil./200L Drum Of Synplus 5W30 Oil./20L Drums Of Gulf Western Syn TS Oil.	2,745.60
EFT99368	07/05/2015 ALBANY TRAFFIC CONTROL	Traffic Control	1,699.94
EFT99369	07/05/2015 BIG SKY PUBLISHING	Retail Merchandise For Sale In The Forts Store	1,753.82
EFT99370	07/05/2015 ALBANY BITUMEN SPRAYING	Supply Labour And Plant For Asphalt Repairs On Aberdeen St	5,049.00
EFT99371	07/05/2015 BLACKWOODS	Bags Quick Set Cement (1 Pallet)/Bags Grey Cement (1 Pallet)	968.60
EFT99372	07/05/2015 ALBANY BOBCAT SERVICES	Loppings Removal	2,150.50
EFT99373	07/05/2015 AIR BP	Avgas Purchases	1,116.23
EFT99374	07/05/2015 CONSTRUCTION TRAINING FUND	CTF Levy Collected For The Month Of: April 2015 Less Commissions	27,176.38
EFT99375	07/05/2015 BUILDING COMMISSION	BSL Levy Collected For The Month Of: April 2015 Less Commissions	16,462.48
EFT99376	07/05/2015 BUNNINGS GROUP LIMITED	Hardware/Tool Supplies	294.81
EFT99377	07/05/2015 CALTEX AUSTRALIA PETROLEUM PTY LTD	Litres Diesel Fuel For Depot	41,717.27
EFT99378	07/05/2015 J & S CASTLEHOW ELECTRICAL SERVICES	Purchase Of Stock From Southern Electrics And To Investigate Problems For Future Works	9,334.83
EFT99379	07/05/2015 CHILD SUPPORT AGENCY	Payroll Deductions	1,222.36
EFT99380	07/05/2015 BIS CLEANAWAY LIMITED	Rubbish Removal Contract	15,080.30
EFT99381	07/05/2015 COLES SUPERMARKETS AUSTRALIA PTY LTD	Groceries - Cleaning Materials - Splinter Bar	239.88
EFT99382	07/05/2015 COLLINS DISTRIBUTORS	Merchandise Order - AVC	778.03
EFT99383	07/05/2015 COURIER AUSTRALIA	Freight Charges	460.76
EFT99384	07/05/2015 ALBANY SIGNS	Aluminium Signage	462.00
EFT99385	07/05/2015 COVS PARTS PTY LTD	Vehicle Parts	496.75
EFT99386	07/05/2015 DOWNER EDI WORKS PTY LTD	Hotmix For Repairs On Boongarrie St	703.65
EFT99387	07/05/2015 ROGER CUNNINGTON (ALBANY CONVOYS)	Forts/NAC Merchandise	288.00
EFT99388	07/05/2015 AL CURNOW HYDRAULICS	Vehicle Parts/Maintenance	119.67
EFT99389	07/05/2015 BRONWYN CUTLER	EAP Consultation Fees	165.00

REPORT ITEM CSF 172 REFERS

EFT99390	07/05/2015 DANIELS PRINTING CRAFTSMEN PTY LTD	Valley Of The Giants Flyers	407.00
EFT99391	07/05/2015 DAVID ROBERTS GRAPHICS	Bluebeam Revu Standard License With Prorated Annual	688.38
EFT99392	07/05/2015 DE JONGE MECHANICAL REPAIRS	P9024A1 20000Km Service	481.00
EFT99393	07/05/2015 LANDGATE - PROPERTY & VALUATIONS	Gross Rental Valuations	1,991.31
EFT99394	07/05/2015 DEPARTMENT OF TRANSPORT	Vehicle Search Fees	318.50
EFT99395	07/05/2015 JANINE DETERMES	Fitness Instruction	180.00
EFT99396	07/05/2015 G & M DETERGENTS & HYGIENE SERVICES ALBANY	Hygiene Contract	216.00
EFT99397	07/05/2015 SHELLY DWYER	Reimbursements ITIL Training & Exam	269.99
EFT99398	07/05/2015 DYLANSON THE TERRACE	Afternoon Tea For 60 People - Citizenship Ceremony	1,015.70
EFT99399	07/05/2015 ELDERS LIMITED	20 L Drums Roundup.	232.76
EFT99400	07/05/2015 EXCLAIMER LTD	Exclaimer Support 9/4/15 - 26/4/16 Signature Manager Outlook Edition 3.0	359.00
EFT99401	07/05/2015 EYERITE SIGNS	Evolution Of The Surfboard - Extra Panel Cost	231.00
EFT99402	07/05/2015 FIRE & SAFETY WA	1 X Pacific BR9 Helmet With Visor - Yellow With Red Strips (FCO)	230.84
EFT99403	07/05/2015 FOUNDATION ELECTRICAL PTY LTD INCORPORATING SOUTHERN ELECTRICS	Electrical Repairs/Maintenance	555.65
EFT99404	07/05/2015 GORDON WALMSLEY PTY LTD	Metres Of Fully Mountable Kerb	20,047.50
EFT99405	07/05/2015 JULIE-ANN GRAY	Reimbursement For Diploma Of Arts - Professional Writing Semester 1 2015	4,060.00
EFT99406	07/05/2015 GREAT SOUTHERN INSTITUTE OF TECHNOLOGY	OSH Representatives 5 Day Course	2,470.00
EFT99407	07/05/2015 GREAT SOUTHERN FUEL SUPPLIES	Diesel Purchases	658.19
EFT99408	07/05/2015 GREAT SOUTHERN PACKAGING SUPPLIES	Uniforms	913.39
EFT99409	07/05/2015 GREAT SOUTHERN TAEKWONDO	Kidsport Vouchers	194.00
EFT99410	07/05/2015 GROCOTT TRANSPORT	Hours Semi Tipper Hire	9,182.25
EFT99411	07/05/2015 HBF OF WA	Payroll Deductions	340.90
EFT99412	07/05/2015 H AND H ARCHITECTS	Q14037: Customer Service Area Redesign.	7,089.06
EFT99413	07/05/2015 INITIATIVE SPORT PTY LTD	3X3 Basketball - Event Hosting	5,500.00
EFT99414	07/05/2015 STATEWIDE RACKING & STORAGE SOLUTIONS	Galvanised Longspan 2000H X 1500L X 600D 3 Levels Mesh/Stainless Steel Work Bench With Leg Brace 850H X 1200L X 600D	1,192.00
EFT99415	07/05/2015 IRIS CONSULTING GROUP PTY LTD	Archives Management Basics 19 June 2015 M Mcrae	575.00
EFT99416	07/05/2015 INTANDEM	NAC/Forts Merchandise	557.60
EFT99417	07/05/2015 G & D JAMES	Scuba Diver Services For Construction Of Emu Point Slip Way	550.00
EFT99418	07/05/2015 JOCK'S COMMERCIAL MOWING	Contract Mowing Round April 2015	8,195.00
EFT99419	07/05/2015 JUST A CALL DELIVERIES	Internal Mail Delivery Services	1,017.61
EFT99420	07/05/2015 KRISTA GUILLE PHOTOGRAPHY	City Of Albany - Anzac Day Images - Anzac Day 2015 - Commercial Shoots & Processing	847.00
EFT99421	07/05/2015 CAMERON LANGRIDGE	Forts Store Merchandise	166.40
EFT99422	07/05/2015 LGIS RISK MANAGEMENT	Drug & Alcohol Policy Training March 2015	9,240.00
EFT99423	07/05/2015 LIFETIME DISTRIBUTORS	Local Library Book Stocks	16.00
EFT99424	07/05/2015 MARIO LIONETTI	Groceries For Day Care Centre	99.88
EFT99425	07/05/2015 RL & KJ MACKENZIE (GLENORAN LEATHER)	Visitors Centre Merchandise	100.80
EFT99426	07/05/2015 ALBANY CITY MOTORS	Vehicles/Vehicle Parts/Repairs	717.54
EFT99427	07/05/2015 MARWICK BROTHERS MEDIA	Consultation Fee/ Shoot/Editing & Production	875.00
EFT99428	07/05/2015 VICKI MICHELLE MARTIN	Fitness Instruction	225.00
EFT99429	07/05/2015 METROOF ALBANY	To Supply Roof Sheets, And Roof Flashings.	779.52
EFT99430	07/05/2015 METCO FARM	Visitors Centre Merchandise	93.50
EFT99431	07/05/2015 MICHELLE LEONG	Reimbursements For Murray Bridge CMCA Rally	25.44
EFT99432	07/05/2015 MIDALIA STEEL PTY LTD	Purchase Of 10 Lengths Of 90X90X2Mm Duragalv Tubing.	1,194.05
EFT99433	07/05/2015 MODERN TEACHING AIDS PTY LTD	Daycare Centre Materials	36.30
EFT99434	07/05/2015 LYNDA MYRA MOYLAN	Town Square Kids Hoops & Play Facilitator	450.00
EFT99435	07/05/2015 MSS SECURITY	Casual Guard Services For 1/3/15 - 31/3/15 Delayed Flights	1,446.74
EFT99436	07/05/2015 ALBANY NEWS DELIVERY	Newspaper Deliveries 20/4/15 - 26/4/15	265.44
EFT99437	07/05/2015 PAUL NIELSEN	Reimbursements For Meals At Stirling Terrace And WIFI Recharges	91.00
EFT99438	07/05/2015 NIKANA CONTRACTING PTY LTD	Rubbish Removal Boat Harbour Skip Bins	1,434.40
EFT99439	07/05/2015 ALBANY COMMUNITY PHARMACY	Aqua Nappies	334.80
EFT99440	07/05/2015 NOVUS AUTOGLASS REPAIRS & REPLACEMENTS	Supply And Fit Windscreen To Ford Ranger	350.00
EFT99441	07/05/2015 OCS SERVICES PTY LTD	Cleaning Services	26,399.60

REPORT ITEM CSF 172 REFERS

EFT99442	07/05/2015 OFFICEWORKS SUPERSTORES PTY LTD	Events Marquee	1,709.30
EFT99443	07/05/2015 OPUS INTERNATIONAL CONSULTANTS LTD	Contract Administration And Project Management. Superintendence Of Construction Contract C14032	28,774.79
EFT99444	07/05/2015 ORIGIN ENERGY	Bulk Gas Purchases	5,007.40
EFT99445	07/05/2015 PALMER EARTHMOVING (AUSTRALIA) PTY LTD	P14034 - Albany Highway Shared Path Upgrade.	256,636.24
EFT99446	07/05/2015 4 STEEL SUPPLIES	Lengths Of 50 X Lg Pipe	1,738.15
EFT99447	07/05/2015 KRISTIE PORTER	Fitness Instruction	585.00
EFT99448	07/05/2015 PROTECTOR ALSAFE INDUSTRIES PTY LTD	HF46 WH White Helmets With Visors	339.46
EFT99449	07/05/2015 REEVES AND COMPANY BUTCHERS PTY LTD	Catering	253.50
EFT99450	07/05/2015 REECE PTY LTD	Lengths Of 100mm PVC Pipe	199.89
EFT99451	07/05/2015 RETECH RUBBER PTY LTD	Repair - Lakeside Park Playground	5,703.50
EFT99452	07/05/2015 BASKETBALL RINGLEADER	The Audit Of 11 Poles Located At Various Basketball Crts	1,562.00
EFT99453	07/05/2015 ROCKCLIFFE WINE	Wine Purchases	540.00
EFT99454	07/05/2015 ROSMECH SALES AND SERVICE PTY LTD	Poly Lined Spigot With Drillings Part Number- 03Y856.	52.64
EFT99455	07/05/2015 SANITY MUSIC STORES PTY LTD	Shrek Forever After & Tales From Earthsea For National Youth Week Screening	49.98
EFT99456	07/05/2015 SERENA MCLAUCHLAN	Anzac Albany Events - Town Hall Opening And Closing	120.00
EFT99457	07/05/2015 SEEK LIMITED	Seek Job Advertising - Ranger Team Leader/Waste Facilitator/Landfill Operator	841.50
EFT99458	07/05/2015 SKETCHY INK	Design And Construction Of The Splinter Pop Up Cafe & Bar Completion	2,750.00
EFT99459	07/05/2015 SKILL HIRE WA PTY LTD	Casual Staff	1,588.89
EFT99460	07/05/2015 SLOUCH HAT PUBLICATIONS	Retail Merchandise For Sale In The Forts Store	1,100.00
EFT99461	07/05/2015 SOUTHERN TOOL & FASTENER CO	Hardware Supplies/Tools	28.44
EFT99462	07/05/2015 SOUTHWAY DISTRIBUTORS PTY LTD	Catering Supplies	181.20
EFT99463	07/05/2015 SOUTH COAST CRANES	Lift Truck Tipper To Remove Ram.	385.00
EFT99464	07/05/2015 SPEEDO AUSTRALIA PTY LTD	Goggles And Equipment - Sports Store	5,408.65
EFT99465	07/05/2015 SPORTSWORLD OF WA	Goggles And Equipment - Sports Store	1,810.05
EFT99466	07/05/2015 SPOTLIGHT	Bouquet 6 Balloons	35.98
EFT99467	07/05/2015 SPORT AND RECREATION SURFACES	Groom Hockey Pitch	3,630.00
EFT99468	07/05/2015 STATEWIDE BEARINGS	Trailer Hitch, Brake Drums, Linings, Hose And Fittings As Required.	426.29
EFT99469	07/05/2015 STATEWIDE BUILDING CERTIFICATION WA	Reception Area Fit Out	572.00
EFT99470	07/05/2015 ST JOHN AMBULANCE ASSOCIATION WA INC	Provide First Aid Course 17 April 2015 L. Hughes	398.00
EFT99471	07/05/2015 SUNNY SIGN COMPANY	Assorted Signage	413.60
EFT99472	07/05/2015 ALBANY LOCK SERVICE	Key Cutting - 4X Single Sided Key	20.00
EFT99473	07/05/2015 SYNERGY	Electricity Supplies	31,093.95
EFT99474	07/05/2015 T & C SUPPLIES	Hardware Supplies/Tools	1,354.87
EFT99475	07/05/2015 TIM WATERS DESIGN	Info graphic - Aged Friendly Albany Plan	445.50
EFT99476	07/05/2015 GEOFFREY DENIS TITE	Rates Refund	110.56
EFT99477	07/05/2015 CAROLINE ELLEN TOMPKIN	Fitness Instruction	135.00
EFT99478	07/05/2015 TRAFFIC FORCE	Traffic Control	4,508.37
EFT99479	07/05/2015 ALBANY TYREPOWER	Supply And Fit Steerers To Truck.	1,072.25
EFT99480	07/05/2015 UHY HAINES NORTON (WA) PTY LTD	UHY Haines Norton Rating Report	203.50
EFT99481	07/05/2015 VANCOUVER WASTE SERVICES PTY LTD	Screened Lime Sand	160.00
EFT99482	07/05/2015 JULIA WARREN	Fitness Instruction	315.00
EFT99483	07/05/2015 ALBANY & GREAT SOUTHERN WEEKENDER	December Full Page Advert	1,081.30
EFT99484	07/05/2015 WESTRAC EQUIPMENT PTY LTD	Vehicle Parts	3,672.39
EFT99485	07/05/2015 LANDMARK LIMITED	Roundup Glyphosate 450 /Titan Metsulfuron 600	735.90
EFT99486	07/05/2015 WESTERN AUSTRALIAN MUSEUM	Brig Amity Management Fees	880.00
EFT99487	07/05/2015 WESTERN WORK WEAR	Emergency Eye Wash Sign/Emergency Shower Sign	128.00
EFT99488	07/05/2015 NICOLETTE MULCAHY	Councillor Attendance & Travel Allowance 1/5/15 - 31/5/15	1,892.50
EFT99489	07/05/2015 WIZID PTY LTD	Wrist Bands For ALAC	665.50
EFT99490	07/05/2015 MARGARET YOUNG	CMCA Event Murray Bridge - Reimbursements	1,125.00
EFT99491	07/05/2015 ZENITH LAUNDRY	Laundry Services/Hire	54.05
EFT99492	07/05/2015 ZIPFORM	32,000 DLX Reusable Window Faced Envelopes	1,736.16
EFT99493	14/05/2015 ABA SECURITY	Security Services	55.00
EFT99494	14/05/2015 ACORN TREES AND STUMPS	The Removal Of One Stump Located At 22 Manley Cres.	88.00
EFT99495	14/05/2015 AD CONTRACTORS PTY LTD	Hours Semi Truck Hire	19,895.00

REPORT ITEM CSF 172 REFERS

EFT99496	14/05/2015	ADVERTISER PRINT	May Events Guide May 2015 Advertiser Print	77.00
EFT99497	14/05/2015	AERODROME MANAGEMENT SERVICES PTY LTD	Recabling Of AFRU Antenna Cable	3,746.82
EFT99498	14/05/2015	AGCRETE ALBANY	Being For 28 / 600X600X600 Colour Concrete Blocks And 4 / 800X800X600 Coloured Concrete Blocks As Quoted	9,768.00
EFT99499	14/05/2015	ALBANY TOYOTA	Toyota Hilux As Per Quote 3536	38,784.24
EFT99500	14/05/2015	ALBANY CRANE HIRE	Hire Of Franna Crane To Lift Pontoon At Middleton Beach	148.50
EFT99501	14/05/2015	ALBANY CITY LAWNS	Mowing And Spraying Lancaster Pk	715.00
EFT99502	14/05/2015	ALBANY V-BELT AND RUBBER	Filters/Vehicle Parts	382.69
EFT99503	14/05/2015	ALBANY CHAMBER OF COMMERCE AND INDUSTRY	Funding Contribution For The 2015 Great Southern Future Forum	5,996.61
EFT99504	14/05/2015	ALBANY GAS CENTRE PTY LTD	Call Out To Check And Order Broken Parts	1,724.00
EFT99505	14/05/2015	ALBANY REFRIGERATION	April 2015 - Preventative Maintenance	742.50
EFT99506	14/05/2015	ALBANY OFFICE PRODUCTS DEPOT	Stationery Supplies	1,030.95
EFT99507	14/05/2015	ALBANY MILK DISTRIBUTORS	Milk Deliveries - Mercer Rd	481.75
EFT99508	14/05/2015	ALBANY LEGAL PTY LTD	St John Ambulance - Deed Of Variation And Extension	1,086.80
EFT99509	14/05/2015	ALBANY IRRIGATION & DRILLING	Repairs To 4A Monitoring Bore Located Between Sedimentation Basin And Landfill	100.00
EFT99510	14/05/2015	ALBANY RECORDS MANAGEMENT	Library Services	66.00
EFT99511	14/05/2015	ALINTA	Gas Usage Charges 1 Parker Street Lockyer	26.30
EFT99512	14/05/2015	ALL EVENTS PROSOUND HIRE	Albany Town Hall - Site Visit Monday 11/5/15	48.50
EFT99513	14/05/2015	AMITY PAINTING & DECORATING	For Painting Daycare Centre As Per Quote	10,736.00
EFT99514	14/05/2015	AMPHIBIAN PLUMBING AND GAS	Removal Of All Copper Pipework From Outside Walls, Install Of Hose Cock. Re-Installation Of All Water Pipes Including Internal Piping And Wastes - Eyres Park	5,936.51
EFT99515	14/05/2015	ATC WORK SMART	Casual Staff/Apprentice Fees	8,543.52
EFT99516	14/05/2015	ATLAS COPCO CONSTRUCTION EQUIPMENT AUSTRALIA	Supply QAS60FLX Generator On Licensed Plant Trailer As Per Quote Reference Number Albany Gen 01	41,250.00
EFT99517	14/05/2015	AUSCOINSWEST	Princess Royal Fortress Souvenir Coins	2,250.60
EFT99518	14/05/2015	BADGEMATE	Badge Supplies	203.67
EFT99519	14/05/2015	BAREFOOT CLOTHING MANUFACTURERS	Ladies Stella Pants	69.55
EFT99520	14/05/2015	BENNETTS BATTERIES	200L Drum Of Fleetmaster Extreme 15W/40 Engine Oil./200L Drum Of Xhvi 46 Hydraulic Oil./Boxes Lithplex Tac Grease Cartridges.	2,992.00
EFT99521	14/05/2015	BEST OFFICE SYSTEMS	Stationery Supplies	190.00
EFT99522	14/05/2015	BEWITCHED CLEANING SERVICES	Vancouver Accommodation - Full House Clean	148.50
EFT99523	14/05/2015	BIG SKY PUBLISHING	Forts Store Merchandise	131.97
EFT99524	14/05/2015	MARY BIRSS	Early Settlers And Recollections Of Emu Point	84.00
EFT99525	14/05/2015	BLACKWOODS	Pairs Of Uvex Unilite Gloves UL7700	380.42
EFT99526	14/05/2015	BLOOMIN FLOWERS	6 X Floral Wreaths For Anzac Memorial Services April 2015	360.00
EFT99527	14/05/2015	BOC GASES AUSTRALIA LIMITED	Container Service Rental	161.72
EFT99528	14/05/2015	BOOEASY AUSTRALIA PTY LTD	Monthly Commission - April 2015	4,461.68
EFT99529	14/05/2015	BRANDNET PTY LTD T/AS MILITARY SHOP	Merchandise Order For The NAC	777.60
EFT99530	14/05/2015	BUNNINGS GROUP LIMITED	Hardware/Tool Supplies	306.42
EFT99531	14/05/2015	C&C MACHINERY CENTRE	Only Supply And Delivery Of Massey Ferguson 5430 Tractor As Per Quotation P15006.	115,210.90
EFT99532	14/05/2015	CABCHARGE AUSTRALIA LIMITED	Cab Fare Charges	504.85
EFT99533	14/05/2015	CALDWELL LAND SURVEYS PTY LTD	Survey Works For Cockburn Road	207.90
EFT99534	14/05/2015	CALTEX AUSTRALIA PETROLEUM PTY LTD	Starcard Transaction For April 2015	4,733.26
EFT99535	14/05/2015	CALTEX AUSTRALIA PETROLEUM PTY LTD	Litres Diesel Fuel For Depot	23,854.64
EFT99536	14/05/2015	PAUL CAMINS	Leadership Training	350.00
EFT99537	14/05/2015	J & S CASTLEHOW ELECTRICAL SERVICES	For Works Done On The 13/10/14 And 24/10/15 For Installing Of New Aircon Units	7,237.81
EFT99538	14/05/2015	CJD EQUIPMENT PTY LTD	Cab Filter To Suit Grader.	384.98
EFT99539	14/05/2015	BIS CLEANAWAY LIMITED	Rubbish Removal Contract	319,941.28
EFT99540	14/05/2015	COLES SUPERMARKETS AUSTRALIA PTY LTD	Groceries	215.37
EFT99541	14/05/2015	COOK'S TOURS PTY LTD	Half Page Ad	850.00
EFT99542	14/05/2015	COVS PARTS PTY LTD	Vehicle Parts	455.83
EFT99543	14/05/2015	LESTER COYNE	Welcome To Country	250.00
EFT99544	14/05/2015	DOWNER EDI WORKS PTY LTD	Hotmix	1,055.48
EFT99545	14/05/2015	HOLCIM (AUSTRALIA) PTY LTD	Supply M3 Of Concrete Footpath MI	1,200.32
EFT99546	14/05/2015	AL CURNOW HYDRAULICS	Supply And Fit Hydraulic Hose.	2,245.53
EFT99547	14/05/2015	DE JONGE MECHANICAL REPAIRS	P9025A1 15000Km	311.00

REPORT ITEM CSF 172 REFERS

EFT99548	14/05/2015 DENMARK VISITOR CENTRE	Taste Of The Great Southern 2016 - 2018 Business Plan	2,293.50
EFT99549	14/05/2015 LANDGATE - PROPERTY & VALUATIONS	Rural UV General Revaluations 2014/15	22,903.25
EFT99550	14/05/2015 JANINE DETERMES	Fitness Instruction	180.00
EFT99551	14/05/2015 G & M DETERGENTS & HYGIENE SERVICES ALBANY	Hygiene Contract	1,695.93
EFT99552	14/05/2015 EASIFLEET MANAGEMENT	Motor Vehicle Lease Rental/ESP Bureau Fee/Bureau Fee Rebate	7,442.08
EFT99553	14/05/2015 CAROLYN FLETT LEADLIGHTS	Merchandise Order - AVC	260.00
EFT99554	14/05/2015 FOUNDATION ELECTRICAL PTY LTD INCORPORATING SOUTHERN ELECTRICS	Supply & Install A New Up Stairs Heat Pump	2,104.30
EFT99555	14/05/2015 FOXTEL MANAGEMENT PTY LTD	Foxtel Business Premium Package Monthly Subscription Fee	360.00
EFT99556	14/05/2015 GALLERY 500	Art Supplies	441.30
EFT99557	14/05/2015 GLASS SUPPLIERS	Reglaze Windows/Doors	1,979.21
EFT99558	14/05/2015 ELIZABETH GRAY	EAP Counselling Services	130.00
EFT99559	14/05/2015 GREAT SOUTHERN GROUP TRAINING	Casual Staff Apprentices Fees	7,125.22
EFT99560	14/05/2015 GREEN SKILLS INC	Casual Staff	13,117.07
EFT99561	14/05/2015 GREAT SOUTHERN PEST & WEED CONTROL	The Removal Of Bees Located Opposite Bay Merchants Cafe.	99.00
EFT99562	14/05/2015 SOUTHERN SHARPENING SERVICES	Jarrah Coaster Steps	349.40
EFT99563	14/05/2015 GREAT SOUTHERN PACKAGING SUPPLIES	Packaging Supplies	1,738.55
EFT99564	14/05/2015 GREAT SOUTHERN LIQUID WASTE	Attend Eyres Park, Albany - Service 2 X Portable Ablutions	264.00
EFT99565	14/05/2015 LEE GRIFFITH	Trails Promotion - Images	585.00
EFT99566	14/05/2015 HAMISH FELL	Conference Accommodation, Travel And Meals	803.50
EFT99567	14/05/2015 PROTECTOR FIRE SERVICES PTY LTD	2 X Fire Pumpset Logbook, 2 X Water Storage Tank For Fire Protection Systems Logbook, 1 X Metal Logbook/Document Storage Cabinet (Lockable) 1 X 5L Container Premixed Coolant 1 X Labour	744.15
EFT99568	14/05/2015 DEPARTMENT OF HEALTH WA	Workers Compensation - Emergency Attendance	223.00
EFT99569	14/05/2015 ANNA MARIA HEFTI	Rates Refund	76.91
EFT99570	14/05/2015 HELEN LEEDER-CARLSON	Continuation Art Classes	240.00
EFT99571	14/05/2015 DEPARTMENT OF THE STATE HERITAGE OFFICE	2015 Heritage Management Seminar	385.00
EFT99572	14/05/2015 RATTEN & SLATER MACHINERY	Vehicle Parts	124.10
EFT99573	14/05/2015 IDENTITY CREATIVE	Anzac Albany Advertising In The Great Southern - Full Page - Design And Layout	214.50
EFT99574	14/05/2015 ITRAILS DOWN UNDER	Hero Trail & Public Art Trail	67.90
EFT99575	14/05/2015 JACK THE CHIPPER	The Chipping Of Green Waste In The 2nd Yard On The 14/04/2015	1,334.03
EFT99576	14/05/2015 JASON SIGNMAKERS	Traffic Signs	2,915.00
EFT99577	14/05/2015 JIMS TEST AND TAG	Electrical Testing And Tagging	942.81
EFT99578	14/05/2015 JUST SEW EMBROIDERY	Embroidery For ALAC	247.50
EFT99579	14/05/2015 MICHELLE KINNEAR	Fitness Instruction	100.00
EFT99580	14/05/2015 KOSTER'S STEEL CONSTRUCTION PTY LTD	Being For Black Steel Plates To Plan Provided And Price Quoted. For The C/A Marque	3,625.60
EFT99581	14/05/2015 CAMERON LANGRIDGE	Retail Merchandise For Sale In The Forts Store	692.50
EFT99582	14/05/2015 LATRO LAWYERS	Debt Recovery	825.00
EFT99583	14/05/2015 DAVID LEECH	Merchandise Order For Albany Visitors Centre	384.00
EFT99584	14/05/2015 LIFETIME DISTRIBUTORS	Retail Merchandise For Sale In The Forts Store	160.00
EFT99585	14/05/2015 MARIO LIONETTI	Groceries For Day Care Centre	167.48
EFT99586	14/05/2015 LORLAINE DISTRIBUTORS PTY LTD	Cleaning Supplies	103.90
EFT99587	14/05/2015 M & B SALES PTY LTD	Assorted Fibre Cement Sheeting, Treated Pine Etc	532.61
EFT99588	14/05/2015 RL & KJ MACKENZIE (GLENORAN LEATHER)	Retail Merchandise For Sale In The Forts Store	177.60
EFT99589	14/05/2015 LANI MALAN	Fitness Instruction	720.00
EFT99590	14/05/2015 ALBANY CITY MOTORS	Vehicles/Vehicle Parts/Repairs	322.24
EFT99591	14/05/2015 MARSHALL MOWERS	Billy Goat Vac As Per Quote Number 132#0 & Hose Kit As Per Quote Number 132#0	2,505.80
EFT99592	14/05/2015 VICKI MICHELLE MARTIN	Fitness Instruction	405.00
EFT99593	14/05/2015 METCO FARM	Retail Merchandise For Sale In The Forts Store	1,313.00
EFT99594	14/05/2015 MICROELECTRONIC TECHNICAL SERVICES	Supply Extension Coax Leads For Irrigation Control Modems And Jumper Cable	440.00
EFT99595	14/05/2015 MIRA MAR VETERINARY SERVICES	Microchip Dog For Lifetime	130.00
EFT99596	14/05/2015 MOUNT ROMANCE AUSTRALIA PTY LTD	Visitors Centre Merchandise	562.79
EFT99597	14/05/2015 NURRUNGA COMMUNICATIONS	Supply And Install Antenna To Ranger Base Radio	535.78
EFT99598	14/05/2015 MSS SECURITY	Airport Security For March 2015	47,439.66
EFT99599	14/05/2015 NORMAN DISNEY AND YOUNG	Supply Professional Services As Per Building Services Fee Proposal Qu15164040	14,982.00

REPORT ITEM CSF 172 REFERS

EFT99600	14/05/2015 ALBANY NEWS DELIVERY	Newspaper Supplies From 27/4/15 - 3/5/15	144.87
EFT99601	14/05/2015 OCP SALES	X2 - VHF Highband 512 CHN/X2 CD31 - Desk Top Charger/X2 MH-66A7A - Submersible Speaker Microphone	1,493.80
EFT99602	14/05/2015 OCS SERVICES PTY LTD	Special Cleaning Services - Town Hall	478.11
EFT99603	14/05/2015 OFFICEWORKS SUPERSTORES PTY LTD	Extreme Scout Case Iphone 6 Black And Grey	119.96
EFT99604	14/05/2015 ORIGIN ENERGY	LP Gas Delivery	5,817.55
EFT99605	14/05/2015 PALMER EARTHMOVING (AUSTRALIA) PTY LTD	Contract C14032 - Princess Avenue (SLK 0.00-1.60) Upgrade - Payment Certificate - Penultimate Claim	320,793.34
EFT99606	14/05/2015 PAULS PET FOOD	Alert Plus Dog Biscuits	87.60
EFT99607	14/05/2015 PEET NO 106 PTY LTD	Rates Refund	839.23
EFT99608	14/05/2015 PENNANT HOUSE	Flags	763.40
EFT99609	14/05/2015 PENROSE PROFESSIONAL LAWN CARE	Mow & Edge Lawns @ Vac	264.00
EFT99610	14/05/2015 PETER GRAHAM AND COMPANY LTD	Solo Backpack Sprayer	187.50
EFT99611	14/05/2015 PHILLIP BEST PLUMBING PTY LTD	Parts For Raypack, Edwards Heatmat & Rheem HWU	2,035.00
EFT99612	14/05/2015 PLASTICS PLUS	Plastic Containers	31.02
EFT99613	14/05/2015 KRISTIE PORTER	Fitness Instruction	585.00
EFT99614	14/05/2015 PRECISION LASER SYSTEMS	Supply Of TP-L4B Topcon Pipelaser Red Beam	6,154.50
EFT99615	14/05/2015 PROJECT3 PTY LTD	Anzac Albany 2015 Contribution To Advertising With Anzac Albany Event	2,750.00
EFT99616	14/05/2015 REEVES AND COMPANY BUTCHERS PTY LTD	Catering	313.50
EFT99617	14/05/2015 SCOTT REITSEMA	Leadership Training	193.70
EFT99618	14/05/2015 REPCO AUTO PARTS	Vehicle Parts	141.04
EFT99619	14/05/2015 BASKETBALL RINGLEADER	Installation Of Electric Winches For Basketball Backboards - As Per Quote 6EW OC 221214	70,191.00
EFT99620	14/05/2015 THE ROYAL LIFE SAVING SOCIETY WA INC	Purchase Certificates For Swim School	609.00
EFT99621	14/05/2015 NEAL RYAN	Professional Services - The Role Of Educational Institutions In An Innovation Park Precinct	3,300.00
EFT99622	14/05/2015 SERENA MCLAUCHLAN	Artists/Curator Fund @ VAC	2,000.00
EFT99623	14/05/2015 CHRISTINE MARY SARGENT	Fitness Instruction	90.00
EFT99624	14/05/2015 SHEILAH RYAN	Gardening At The VAC	455.00
EFT99625	14/05/2015 SKILL HIRE WA PTY LTD	Casual Staff	12,907.66
EFT99626	14/05/2015 SLOUCH HAT PUBLICATIONS	Retail Merchandise For Sale In The Forts Store	100.00
EFT99627	14/05/2015 SMITHS ALUMINIUM & 4WD CENTRE	To Fabricate And Fit A Stainless Steel Panel To Match Security Gate At Albany Airport	3,434.36
EFT99628	14/05/2015 SOUTHERN TOOL & FASTENER CO	Hardware/Tool Supplies	161.00
EFT99629	14/05/2015 SOUTHWAY DISTRIBUTORS PTY LTD	Confectionary Supplies	671.44
EFT99630	14/05/2015 SOUTHCOAST SECURITY SERVICE	Security Services	13,063.26
EFT99631	14/05/2015 STEWART AND HEATON CLOTHING PTY LTD	BFB Protective Clothing	3,780.02
EFT99632	14/05/2015 ST JOHN AMBULANCE ASSOCIATION WA INC	Oxygen Unit - Red Bag Carrier	650.00
EFT99633	14/05/2015 SUITCASE CIRCUS	Kids Zone Entertainment	2,000.00
EFT99634	14/05/2015 SUNNY SIGN COMPANY	Assorted Signage	2,349.05
EFT99635	14/05/2015 ALBANY LOCK SERVICE	Lock Service/Supplies	723.30
EFT99636	14/05/2015 SUPREME SAFETY	Safety Posters & Free Posters	1,155.00
EFT99637	14/05/2015 SYNERGY	Electricity Supplies	4,307.05
EFT99638	14/05/2015 T & C SUPPLIES	Hardware/Tools Supplies	1,227.02
EFT99639	14/05/2015 T-QUIP	Supply And Delivery Of Toro Groundsmaster 360-D With 72 Inch Deck As Per Quotation P14032	53,050.00
EFT99640	14/05/2015 JOANNE TAYLOR	VAC St Fest Bunting	55.00
EFT99641	14/05/2015 TEX ONSITE PTY LTD	Periodic EWP Test Pre 2004 , Travel And Accom	893.84
EFT99642	14/05/2015 NAKED BEAN COFFEE ROASTERS	Coffee Supplies For Staff	160.00
EFT99643	14/05/2015 THINKWATER ALBANY	Filter Changing At VAC	49.74
EFT99644	14/05/2015 TIM WATERS DESIGN	National Anzac Centre 85 X 260mm Ad	247.50
EFT99645	14/05/2015 THE TOFFEE FACTORY	Forts Store Merchandise	998.29
EFT99646	14/05/2015 CAROLINE ELLEN TOMPKIN	Fitness Instruction	180.00
EFT99647	14/05/2015 CAROLYN FRANCIS TRAPNELL	Retail Merchandise For Sale In The Forts Store	1,652.00
EFT99648	14/05/2015 TRAFFIC FORCE	Traffic Control	6,474.02
EFT99649	14/05/2015 ALBANY TYREPOWER	Supply And Fit Tyres To Truck.	707.00
EFT99650	14/05/2015 UHY HAINES NORTON (WA) PTY LTD	Audit Certification In Respect Of State Natural Resources Management Program Grant	1,320.00
EFT99651	14/05/2015 VANCOUVER WASTE SERVICES PTY LTD	Brickie White	107.00
EFT99652	14/05/2015 JAN VAN DER MESCHT	Leadership Development Training	328.85
EFT99653	14/05/2015 THE VINTAGE SPORTS CAR CLUB OF WA (INC)	Regional Events Sponsorship - Albany Classic Motor Event 2014/15	16,500.00

REPORT ITEM CSF 172 REFERS

EFT99654	14/05/2015 RT & JR WALKER	Retail Merchandise For Sale In The Forts Store	101.20
EFT99655	14/05/2015 WA NATURALLY PUBLICATIONS	Visitors Centre Merchandise	903.30
EFT99656	14/05/2015 JUDITH WANT	Club Development Officer - Conference Run By DSR	95.15
EFT99657	14/05/2015 JULIA WARREN	Fitness Instruction	225.00
EFT99658	14/05/2015 WATCH REPAIR CENTRE	Service Agreement - Town Hall Clock	1,500.00
EFT99659	14/05/2015 WCP PLAZA (ALBANY) PTY LTD	Rates Refund	2,095.93
EFT99660	14/05/2015 ALBANY & GREAT SOUTHERN WEEKENDER	Advertising	465.19
EFT99661	14/05/2015 NICOLE WEEDEN	2014/15 Community Leadership Grant	500.00
EFT99662	14/05/2015 WESTERBERG PANEL BEATERS	Isuzu NPR 400: A67186 - Wheel Alignment	225.50
EFT99663	14/05/2015 WESTRAC EQUIPMENT PTY LTD	S30 Oil Sample Kit. & S40 Oil Sample Kit.	1,096.43
EFT99664	14/05/2015 WESTERN AUSTRALIAN LOCAL GOVERNMENT ASSOCIATION	Local Government Act - Essentials 5 June 2015 G. Brownhill	737.00
EFT99665	14/05/2015 WESTERN AUSTRALIAN MUSEUM	Funding For Audience Survey NAC - WA Museum	2,500.00
EFT99666	14/05/2015 WEST CAPE HOWE WINES	Wine Purchases	1,546.60
EFT99667	14/05/2015 WEST AUSTRALIAN NEWSPAPERS LIMITED	Advertising	150.00
EFT99668	14/05/2015 WILSON MACHINERY	Vehicle Parts	1,515.36
EFT99669	14/05/2015 THE WINDOW WASHER MAN	Window Cleaning - VAC	44.00
EFT99670	14/05/2015 SARAH WISEMAN	Stage Manager	320.00
EFT99671	14/05/2015 WOODLANDS DISTRIBUTORS AND AGENCIES	X32 Rolls Of Black Oxo Degradable Dog Waste Bags X500 Per Roll	792.00
EFT99672	14/05/2015 MARGARET YOUNG	Retail Merchandise For Sale In The Forts Store - Inv 010315	195.00
EFT99673	14/05/2015 ZENITH LAUNDRY	Laundry Services/Linen Hire	18.92
DD22314.1	28/04/2015 WA LOCAL GOVT SUPERANNUATION	Payroll Deductions	67,123.66
DD22314.2	28/04/2015 COLONIAL FIRST STATE FIRSTCHOICE PERSONAL SUPER 1	Superannuation Contributions	425.94
DD22314.3	28/04/2015 ASGARD 1	Superannuation Contributions	462.32
DD22314.4	28/04/2015 BT SUPER FOR LIFE 6	Superannuation Contributions	138.73
DD22314.5	28/04/2015 AMP SUPERANNUATION SAVINGS (RETIREMENT SAVINGS ACCOUNT)	Superannuation Contributions	196.20
DD22314.6	28/04/2015 TAL SUPERANNUATION LIMITED	Superannuation Contributions	190.12
DD22314.7	28/04/2015 WEALTH PERSONAL SUPER AND PERSONAL PENSION 1	Superannuation Contributions	83.72
DD22314.8	28/04/2015 WEALTH PERSONAL SUPER AND PERSONAL PENSION 3	Superannuation Contributions	29.74
DD22314.9	28/04/2015 BT SUPER FOR LIFE 3	Superannuation Contributions	232.16
DD22316.1	28/04/2015 WA LOCAL GOVT SUPERANNUATION	Superannuation Contributions	217.89
DD22327.1	01/05/2015 WA LOCAL GOVT SUPERANNUATION	Superannuation Contributions	-190.51
DD22328.1	28/04/2015 WA LOCAL GOVT SUPERANNUATION	Superannuation Contributions	190.51
DD22355.1	12/05/2015 WA LOCAL GOVT SUPERANNUATION	Payroll Deductions	70,130.16
DD22355.2	12/05/2015 COLONIAL FIRST STATE FIRSTCHOICE PERSONAL SUPER 1	Superannuation Contributions	425.94
DD22355.3	12/05/2015 ASGARD 1	Superannuation Contributions	431.22
DD22355.4	12/05/2015 BT SUPER FOR LIFE 6	Superannuation Contributions	138.73
DD22355.5	12/05/2015 AMP SUPERANNUATION SAVINGS (RETIREMENT SAVINGS ACCOUNT)	Superannuation Contributions	196.20
DD22355.6	12/05/2015 TAL SUPERANNUATION LIMITED	Superannuation Contributions	190.13
DD22355.7	12/05/2015 WEALTH PERSONAL SUPER AND PERSONAL PENSION 3	Superannuation Contributions	19.83
DD22355.8	12/05/2015 BT SUPER FOR LIFE 3	Superannuation Contributions	232.16
DD22355.9	12/05/2015 NATIONAL MUTUAL RETIREMENT FUND (RETIREMENT SECURITY PLAN)	Superannuation Contributions	117.74
DD22366.1	12/05/2015 WA LOCAL GOVT SUPERANNUATION	Superannuation Contributions	40.83
DD22367.1	14/05/2015 WA LOCAL GOVT SUPERANNUATION	Superannuation Contributions	-57.42
DD22368.1	12/05/2015 WA LOCAL GOVT SUPERANNUATION	Superannuation Contributions	57.42
DD22369.1	14/05/2015 WA LOCAL GOVT SUPERANNUATION	Superannuation Contributions	-122.50
DD22370.1	12/05/2015 WA LOCAL GOVT SUPERANNUATION	Superannuation Contributions	122.50
DD22314.10	28/04/2015 NATIONAL MUTUAL RETIREMENT FUND (RETIREMENT SECURITY PLAN)	Superannuation Contributions	136.05
DD22314.11	28/04/2015 HOSTPLUS PTY LTD	Payroll Deductions	635.65
DD22314.12	28/04/2015 PRIME SUPER	Superannuation Contributions	380.24
DD22314.13	28/04/2015 MLC MASTERKEY BUSINESS SUPER 1	Superannuation Contributions	244.42
DD22314.14	28/04/2015 BANSCOTT SUPER FUND	Superannuation Contributions	298.74
DD22314.15	28/04/2015 SUPERWRAP PERSONAL SUPER PLAN1	Superannuation Contributions	400.97

DD22314.16	28/04/2015 COLONIAL FIRST STATE FIRSTCHOICE PERSONAL SUPER 2	Superannuation Contributions	474.82
DD22314.17	28/04/2015 BT SUPER FOR LIFE 4	Superannuation Contributions	166.02
DD22314.18	28/04/2015 MLC MASTERKEY BUSINESS SUPER 3	Superannuation Contributions	205.27
DD22314.19	28/04/2015 IOOF INVESTMENT MANAGEMENT LTD	Superannuation Contributions	277.86
DD22314.20	28/04/2015 OAK TREE SUPERANNUATION FUND	Superannuation Contributions	102.49
DD22314.21	28/04/2015 FIRST SUPER	Superannuation Contributions	183.98
DD22314.22	28/04/2015 ABUNDANT SPERANNUATION FUND	Payroll Deductions	383.23
DD22314.23	28/04/2015 AUSTRALIAN SUPER	Payroll Deductions	5,273.36
DD22314.24	28/04/2015 CARE SUPER PTY LTD	Superannuation Contributions	311.42
DD22314.25	28/04/2015 FIRST STATE SUPER	Superannuation Contributions	496.02
DD22314.26	28/04/2015 WATER CORPORATION SUPERANNUATION PLAN	Superannuation Contributions	215.56
DD22314.27	28/04/2015 SPECTRUM SUPER 2	Superannuation Contributions	273.10
DD22314.28	28/04/2015 SUPERWRAP PERSONAL SUPER PLAN2	Superannuation Contributions	227.57
DD22314.29	28/04/2015 NORTH PERSONAL SUPERANNUATION & PENSION FUND 1	Superannuation Contributions	183.98
DD22314.30	28/04/2015 AJW SUPERANNUATION FUND	Superannuation Contributions	229.31
DD22314.31	28/04/2015 MLC MASTERKEY SUPERANNUATION GOLD STAR	Superannuation Contributions	173.62
DD22314.32	28/04/2015 PLUM NOMINEES P/L PLUM SUPER FUND	Superannuation Contributions	309.03
DD22314.33	28/04/2015 VISION SUPER	Superannuation Contributions	301.00
DD22314.34	28/04/2015 IOOF GLOBAL ONE (EX SKANDIA GLOBAL) 7	Superannuation Contributions	306.68
DD22314.35	28/04/2015 KINETIC SUPERANNUATION	Superannuation Contributions	183.98
DD22314.36	28/04/2015 BENDIGO SMARTSTART SUPER	Superannuation Contributions	116.75
DD22314.37	28/04/2015 COLONIAL FIRST STATE FIRSTCHOICE PERSONAL SUPER 3	Superannuation Contributions	124.54
DD22314.38	28/04/2015 AUSTRALIAN CATHOLIC SUPERANNUATION AND RETIREMENT FUND	Superannuation Contributions	83.38
DD22314.39	28/04/2015 PLANET LUCK SUPERANNUATION FUND	Superannuation Contributions	563.73
DD22314.40	28/04/2015 SUNSUPER SUPERANNUATION	Superannuation Contributions	126.00
DD22314.41	28/04/2015 LOCAL GOVERNMENT SUPER	Payroll Deductions	501.70
DD22314.42	28/04/2015 IOOF EMPLOYEE SUPER	Superannuation Contributions	198.84
DD22314.43	28/04/2015 ASGARD 2	Superannuation Contributions	81.23
DD22314.44	28/04/2015 BENJAMIN A & MICHELLE A MCKENNA ATF THE MCKENNA SUPER FUND	Superannuation Contributions	73.89
DD22314.45	28/04/2015 AMP SUPERANNUATION SAVINGS (SIGNATURE SUPER)	Superannuation Contributions	951.49
DD22314.46	28/04/2015 DESMO SUPERANNUATION FUND	Superannuation Contributions	167.48
DD22314.47	28/04/2015 ONEPATH MASTERFUND	Superannuation Contributions	158.97
DD22314.48	28/04/2015 CBUS	Payroll Deductions	324.95
DD22314.49	28/04/2015 COMMONWALTH ESSENTIAL SUPER	Superannuation Contributions	75.88
DD22314.50	28/04/2015 HESTA SUPER FUND	Superannuation Contributions	991.78
DD22314.51	28/04/2015 AMP SUPERANNUATION SAVINGS (FLEXIBLE LIFETIME SUPER PLAN)	Superannuation Contributions	1,123.45
DD22314.52	28/04/2015 NORTH PERSONAL SUPERANNUATION & PENSION FUND 3	Payroll Deductions	1.73
DD22314.53	28/04/2015 REST SUPERANNUATION	Payroll Deductions	2,841.27
DD22314.54	28/04/2015 WEALTH PERSONAL SUPER AND PERSONAL PENSION 2	Payroll Deductions	224.85
DD22314.55	28/04/2015 ING ONE ANSWER PERSONAL SUPER	Superannuation Contributions	352.42
DD22355.10	12/05/2015 HOSTPLUS PTY LTD	Payroll Deductions	583.24
DD22355.11	12/05/2015 MLC MASTERKEY BUSINESS SUPER 1	Superannuation Contributions	244.42
DD22355.12	12/05/2015 PRIME SUPER	Superannuation Contributions	380.24
DD22355.13	12/05/2015 BANSSCOTT SUPER FUND	Superannuation Contributions	298.74
DD22355.14	12/05/2015 SUPERWRAP PERSONAL SUPER PLAN1	Superannuation Contributions	400.97
DD22355.15	12/05/2015 COLONIAL FIRST STATE FIRSTCHOICE PERSONAL SUPER 2	Superannuation Contributions	474.82
DD22355.16	12/05/2015 BT SUPER FOR LIFE 4	Superannuation Contributions	166.02
DD22355.17	12/05/2015 MLC MASTERKEY BUSINESS SUPER 3	Superannuation Contributions	205.27
DD22355.18	12/05/2015 IOOF INVESTMENT MANAGEMENT LTD	Superannuation Contributions	277.86
DD22355.19	12/05/2015 OAK TREE SUPERANNUATION FUND	Superannuation Contributions	80.21
DD22355.20	12/05/2015 FIRST SUPER	Superannuation Contributions	183.98
DD22355.21	12/05/2015 ABUNDANT SPERANNUATION FUND	Payroll Deductions	383.23
DD22355.22	12/05/2015 CARE SUPER PTY LTD	Superannuation Contributions	299.10

REPORT ITEM CSF 172 REFERS

DD22355.23	12/05/2015 AUSTRALIAN SUPER	Payroll Deductions	4,476.78
DD22355.24	12/05/2015 FIRST STATE SUPER	Superannuation Contributions	473.46
DD22355.25	12/05/2015 WATER CORPORATION SUPERANNUATION PLAN	Superannuation Contributions	232.78
DD22355.26	12/05/2015 SPECTRUM SUPER 2	Superannuation Contributions	273.10
DD22355.27	12/05/2015 SUPERWRAP PERSONAL SUPER PLAN2	Superannuation Contributions	227.57
DD22355.28	12/05/2015 NORTH PERSONAL SUPERANNUATION & PENSION FUND 1	Superannuation Contributions	183.98
DD22355.29	12/05/2015 AJW SUPERANNUATION FUND	Superannuation Contributions	229.31
DD22355.30	12/05/2015 MLC MASTERKEY SUPERANNUATION GOLD STAR	Superannuation Contributions	256.99
DD22355.31	12/05/2015 PLUM NOMINEES P/L PLUM SUPER FUND	Superannuation Contributions	309.03
DD22355.32	12/05/2015 VISION SUPER	Superannuation Contributions	301.00
DD22355.33	12/05/2015 KINETIC SUPERANNUATION	Superannuation Contributions	183.98
DD22355.34	12/05/2015 IOOF GLOBAL ONE (EX SKANDIA GLOBAL) 7	Superannuation Contributions	87.22
DD22355.35	12/05/2015 BENDIGO SMARTSTART SUPER	Superannuation Contributions	123.38
DD22355.36	12/05/2015 COLONIAL FIRST STATE FIRSTCHOICE PERSONAL SUPER 3	Superannuation Contributions	114.07
DD22355.37	12/05/2015 AUSTRALIAN CATHOLIC SUPERANNUATION AND RETIREMENT FUND	Superannuation Contributions	45.82
DD22355.38	12/05/2015 PLANET LUCK SUPERANNUATION FUND	Superannuation Contributions	563.73
DD22355.39	12/05/2015 SUNSUPER SUPERANNUATION	Superannuation Contributions	140.72
DD22355.40	12/05/2015 LOCAL GOVERNMENT SUPER	Payroll Deductions	501.70
DD22355.41	12/05/2015 IOOF EMPLOYEE SUPER	Superannuation Contributions	245.27
DD22355.42	12/05/2015 BENJAMIN A & MICHELLE A MCKENNA ATF THE MCKENNA SUPER FUND	Superannuation Contributions	73.89
DD22355.43	12/05/2015 DESMO SUPERANNUATION FUND	Superannuation Contributions	137.92
DD22355.44	12/05/2015 ONEPATH MASTERFUND	Superannuation Contributions	161.66
DD22355.45	12/05/2015 AMP SUPERANNUATION SAVINGS (SIGNATURE SUPER)	Superannuation Contributions	951.49
DD22355.46	12/05/2015 CBUS	Payroll Deductions	499.78
DD22355.47	12/05/2015 COMMONWALTH ESSENTIAL SUPER	Superannuation Contributions	58.37
DD22355.48	12/05/2015 HESTA SUPER FUND	Superannuation Contributions	953.20
DD22355.49	12/05/2015 AMP SUPERANNUATION SAVINGS (FLEXIBLE LIFETIME SUPER PLAN)	Superannuation Contributions	1,179.96
DD22355.50	12/05/2015 REST SUPERANNUATION	Payroll Deductions	3,194.25
DD22355.51	12/05/2015 WEALTH PERSONAL SUPER AND PERSONAL PENSION 2	Payroll Deductions	224.85
DD22355.52	12/05/2015 ING ONE ANSWER PERSONAL SUPER	Superannuation Contributions	253.92
<u>TOTALS</u>			\$ 4,632,823.38

REPORT ITEM CSF 173 REFERS

Document Number	Description	Date Sent / Received
EDR1545255	<p>COPY OF EXECUTED DOCUMENT ITEM: N/A RE: AERODROME MANUAL FOR CIVIL AVIATION SAFETY AUTHORITY COMPLIANCE AND REGULATIONS PARTIES: N/A SIGNED BY THE CEO: 3 COPIES</p>	17/04/2015
EDR1545258	<p>COPY OF EXECUTED DOCUMENT ITEM: N/A RE: AGREEMENT ON THE INTER-AGENCY RESPONSE TO GRASS AND SCRUB FIRES OCCURRING IN THE URBAN INTERFACE AREA OF ALBANY PARTIES: DEPARTMENT OF FIRE AND EMERGENCY SERVICES, DEPARTMENT OF PARKS AND WILDLIFE SIGNED BY THE CEO: 1 COPY</p>	17/04/2015
EDR1545396	<p>COPY OF EXECUTED DOCUMENT ITEM: OCM 24.06.2014 ITEM CSF094 RE: YOUTH ACTIVITIES GRANT APPLICATION FOR ALBANY PUBLIC LIBRARY PARTIES: DEPARTMENT OF LOCAL GOVERNMENT AND COMMUNITIES SIGNED BY THE CEO: 1 COPY</p>	22/04/2015
EDR1545397	<p>COPY OF EXECUTED DOCUMENT ITEM: OCM 18.09.2012 ITEM 1.1 RE: ANNUAL ENVIRONMENTAL REPORT FOR SOUTH STIRLING TRANSFER STATION, SUBMITTED TO DEPARTMENT OF ENVIRONMENT REGULATIONS PARTIES: DEPARTMENT OF ENVIRONMENT REGULATION SIGNED BY THE CEO: 1 COPY</p>	22/04/2015
EDR1545400	<p>COPY OF EXECUTED FORM ITEM: N/A RE: LETTER TO MINISTER FOR EDUCATION; ABORIGINAL AFFAIRS; ELECTORAL MATTERS RE FUTURE USE AND MANAGEMENT OF RESERVE 27179 PARTIES: N/A SIGNED BY THE CEO: 1 COPY</p>	22/04/2015

REPORT ITEM CSF 173 REFERS

Document Number	Description	Date Sent / Received
EDR1545496	<p>COPY OF EXECUTED DOCUMENT ITEM: N/A RE: MEMORANDUM OF UNDERSTANDING AND BUSINESS PLAN FOR THE APPOINTMENT OF COMMUNITY EMERGENCY SERVICE MANAGER (CESM) TO BE JOINTLY FUNDED BY COA AND DFES PARTIES: DEPARTMENT OF FIRE AND EMERGENCY SERVICES SIGNED BY THE CEO: 1 COPY</p>	24/04/2015
EDR1545522	<p>COPY OF EXECUTED DOCUMENT ITEM: N/A RE: AERODROME EMERGENCY MANUAL FOR CASA COMPLIANCE PARTIES: N/A SIGNED BY THE CEO 1 COPY</p>	24/04/2015
EDR1545642	<p>COPY OF EXECUTED DOCUMENT ITEM: OCM 24.03.2015 ITEM PD077 RE: REZONING LOT 312 AND LOT 1615 COCKBURN ROAD, MIRA MAR FROM RESIDENTIAL ZONE TO SPECIAL USE ZONE; AMENDING SCHEDULE 4 - SPECIAL USE ZONES AND SCHEME MAPS TO INCORPORATE LOTS 312 AND 1315 PARTIES: THREE OF A KIND SIGNED BY THE CEO 3 COPIES</p>	28/04/2015
EDR1545652	<p>COPY OF EXECUTED DOCUMENT ITEM: OCM 24.03.2015 ITEM PD076 RE: REZONING LOT 103 COCKBURN ROAD, MIRA MAR FORM RESIDENTIAL R30 ZONE TO REGIONAL CENTRE MIXED BUSINESS ZONE. REZONING LOT 104 CAMPBELL ROAD FROM RESIDENTIAL ZONE WITH ADDITIONAL USE 17 - MEDICAL CENTRE TO THE REGIONAL CENTRE MIXED BUSINESS ZONE. AMENDING SCHEME MAPS ACCORDINGLY. PARTIES: R & L STOCKDALE, T AND O MANAGEMENT PTY LTD SIGNED BY THE CEO 3 COPIES</p>	28/04/2015

REPORT ITEM CSF 173 REFERS

Document Number	Description	Date Sent / Received
EDR1545958	<p>COPY OF EXECUTED DOCUMENT ITEM: OCM 26.08.2014 ITEM CSF109 RE: AWARD OF TENDER C15012 - REFURBISHMENT OF NORTH ROAD CUSTOMER SERVICE AREA PARTIES: TECTONICS CONSTRUCTION GROUP PTY LTD SIGNED BY THE CEO 1 COPY</p>	05/05/2015
EDR1546036	<p>COPY OF EXECUTED DOCUMENT ITEM: OCM 25.11.2014 ITEM WS057 RE: INVOICE (PARTIAL PAYMENT) FROM PALMER EARTHMOVING FOR CONTRACT C14032 - PRINCESS AVENUE (SLK 0.00- 1.60) PARTIES: PALMER EARTHMOVING AUSTRALIA PTY LTD SIGNED BY THE CEO 1 COPY</p>	07/05/2015
EDR1546192	<p>COPY OF EXECUTED DOCUMENT ITEM: OCM 24.06.2014 ITEM CSF094 RE: LOTTERYWEST CONDITIONS OF GRANT FOR APPLICATION: 421007510 - LOTTERYWEST - COMMUNITY SPACES- SPECTRUM THEATRE PARTIES: LOTTERYWEST SIGNED BY THE CEO 1 COPY</p>	13/05/2015
EDR1546212	<p>COPY OF EXECUTED DOCUMENT ITEM: N/A RE: PLANNING APPLICATION - MIDDLETON BEACH BOWLING CLUB - PLANNING CONSENT REQUIRES LANDOWNERS SIGNATURE PARTIES: N/A SIGNED BY THE CEO 1 COPY</p>	14/05/2015
NCSR1545201	<p>COPY OF COMMON SEAL ITEM: OCM 24.06.2014 ITEM CSF094 RE: RENEWAL OF EXISTING SUB LEASE FOR SILVER CHAIN GROUP LIMITED WITH RAINBOW COAST NEIGHBOURHOOD CENTRE INC. AT LOTTERIES WEST HOUSE UNDER DELEGATED AUTHORITY NO. 2014: 039 PARTIES: RAINBOW COAST NEIGHBOURHOOD CENTRE INC. - SUB LESSOR SILVER CHAIN GROUP LIMITED - SUB LESSEE SIGNED BY THE CEO: 3 COPIES</p>	17/04/2015

REPORT ITEM CSF 173 REFERS

NCSR1545202	<p>COPY OF COMMON SEAL ITEM: OCM 24.06.2014 ITEM CSF094 RE: RENEWAL OF EXISTING LOTTERIES HOUSE LEASE RAINBOW COAST NEIGHBOURHOOD CENTRE INC UNDER DELEGATED AUTHORITY NO. 2014:039 PARTIES: RAINBOW COAST NEIGHBOURHOOD CENTRE INC. SIGNED BY THE CEO: 2 COPIES</p>	17/04/2015
NCSR1545497	<p>COPY OF COMMON SEAL ITEM: OCM 24.06.2014 ITEM CSF094 RE: DEED OF ASSIGNMENT OF LEASE - LEASE FOR AIRPORT HANGAR SITE 15, ALBANY REGIONAL AIRPORT PARTIES: ASSIGNOR: MILAN ZAKLAN; ASSIGNEE: GORDON STEPHENSON SIGNED BY THE CEO 3 COPIES</p>	24/04/2015
NCSR1545518	<p>COPY OF COMMON SEAL ITEM: N/A RE: SALE OF LAND TO CITY OF ALBANY SUBJECT TO APPROVAL FROM COUNCIL AT OCM 28 APRIL 2015 FOR 705HA ON LAKE WARBURTON ROAD, PALMDALE TO BE USED FOR GRAVEL RESOURCE EXTRACTION PARTIES: VICTORIA ZAMBONETTI SIGNE BY THE CEO 1 COPY</p>	24/04/2015
NCSR1545659	<p>COPY OF COMMON SEAL ITEM: N/A RE: SECTION 70A NOTIFICATION FOR SUBDIVISION APPROVAL 149735 - NOTICE OF STORMWATER REQUIREMENTS (LOT 219 ON DEPOSITED PLAN 402111) PARTIES: ARTHUR WILLIAM TWADDLE AND CLARE SYLVIA TWADDLE SIGNED BY THE CEO 1 COPY</p>	28/04/2015
NCSR1545661	<p>COPY OF COMMON SEAL ITEM: N/A RE: SECTION 70A NOTIFICATION FOR SUBDIVISION APPROVAL 634-14 - NOTICE OF STORMWATER REQUIREMENTS (LOT 2 ON STRATA PLAN 70419) PARTIES: PETER EDWARD WARREN AND DENISE GAIL WARREN SIGNED BY THE CEO 1 COPY</p>	28/04/2015

REPORT ITEM CSF 173 REFERS

NCSR1546008	<p>ITEM: N/A</p> <p>RE: SECTION 70A NOTIFICATION FOR SUBDIVISION APPROVAL 147684 - NOTICE OF GRAVEL MINING OPERATIONS IN VICINITY</p> <p>PARTIES: GOLDMAP CORPORATION PTY LTD RIDGECITY PTY LTD</p> <p>SIGNED BY THE CEO 1 COPY</p>	06/05/2015
NCSR1546134	<p>COPY OF COMMON SEAL</p> <p>ITEM: OCM 26.08.2014 ITEM CSF109</p> <p>RE: SIGNING OF CONTRACTS FOR C15012 - REFURBISHMENT OF NORTH ROAD CUSTOMER SERVICE AREA</p> <p>PARTIES: TECTONICS CONSTRUCTION GROUP PTY LTD</p> <p>SIGNED BY THE CEO: 2 COPIES</p>	11/05/2015
NCSR1546136	<p>COPY OF COMMON SEAL</p> <p>ITEM: OCM 28.04.2015 ITEM CSF163</p> <p>RE: TRANSFER OF LAND DOCUMENTS FOR THE PURCHASE OF LOT 20 LAKE WARBURTON ROAD, PALMDALE FOR FUTURE GRAVEL RESOURCE EXTRACTION SITE</p> <p>PARTIES: VICTORIA ZAMBONETTI</p> <p>SIGNED BY THE CEO: 1 COPY</p>	11/05/2015
NCSR1546155	<p>COPY OF COMMON SEAL</p> <p>ITEM: DELEGATED AUTHORITY OCM 18.09.2012 ITEM 1.1</p> <p>RE: INFORMATION LICENCE AGREEMENT</p> <p>PARTIES: WESTERN POWER</p> <p>SIGNED BY THE CEO: 1 COPY</p>	12/05/2015
NCSR1546170	<p>COPY OF COMMON SEAL</p> <p>ITEM: OCM 28.04.2015 ITEM CS019</p> <p>RE: SIGNING OF CONTRACTS FOR C15006 - ALAC LAP POOL HVAC UPGRADE</p> <p>PARTIES: CENTIGRADE MECHANICAL CONTRACTING</p> <p>SIGNED BY THE CEO: 2 COPIES</p>	12/05/2015
NCSR1546171	<p>COPY OF COMMON SEAL</p> <p>ITEM: OCM 24.06.2014 ITEM CSF094</p> <p>RE: RENEWAL OF EXISTING LOTTERIES HOUSE LEASE THE NEUROLOGICAL COUNCIL OF WESTERN AUSTRALIA (INC) UNDER DELEGATED AUTHORITY NO: 2014:039</p> <p>PARTIES: THE NEUROLOGICAL COUNCIL OF WESTERN AUSTRALIA (INC)</p> <p>SIGNED BY THE CEO: 2 COPIES</p>	12/05/2015

Council Policy – Payments to employees above contract or award.

Policy Statement

1. The *Local Government Act 1995* requires that a local government prepare a policy in relation to employees, whose employment with the local government is finishing, setting out:
 - a. the circumstances in which the local government will pay an employee an amount in addition to any amount to which the employee is entitled under a contract of employment or award relating to the employee; and
 - b. the manner of assessment of the additional amount, and .
 - c. payment is not to exceed that prescribed by regulations.

2. Assessment:

These are the circumstances under which payment may be made by the CEO:

- a. Periods of Service: In recognition of long periods of service to the CEO will consider the payment to an employee, who is finishing, of a gift to the value of or an additional cash amount to which they would otherwise be entitled.

Completed Years of Service	Continuous	Monetary Value
10 years		\$250
15 years		\$500
20 years		\$750
25 years +		\$1,000

- b. Achievement: In recognition of exceptional performance in achieving major organisational challenges and goals payment can be made within the prescribed limits by the Chief Executive Officer, after consultation with the Mayor.

Objective

3. To ensure payments made to employees finishing employment, in addition to their contract or award, complies with the conditions prescribed in the *Local Government Act 1995*.

Scope

4. This policy only applies to employees of the City of Albany.

Legislative and Strategic Context

5. Local Government Act 1995: Section 5.50 states:

- (1) *A local government is to prepare a policy in relation to employees whose employment with the local government is finishing, setting out —*
 - (a) *the circumstances in which the local government will pay an employee an amount in addition to any amount to which the employee is entitled under a contract of employment or award relating to the employee; and*
 - (b) *the manner of assessment of the additional amount, and cause local public notice to be given in relation to the policy.*
- (1a) *A local government must not make any payment of the kind described in subsection (1)(a) unless the local government has adopted a policy prepared under subsection (1).*
- (2) *A local government may make a payment —*
 - (a) *to an employee whose employment with the local government is finishing; and*
 - (b) *that is more than the additional amount set out in the policy prepared under subsection (1) and adopted by the local government, but local public notice is to be given in relation to the payment made.*
- (3) *The value of a payment or payments made to a person under this section is not to exceed such amount as is prescribed or provided for by regulations.*
- (4) *In this section a reference to a payment to a person includes a reference to the disposition of property in favour of, or the conferral of any other financial benefit on, the person.*

6. Local Government (Administration) Regulations 1996: Regulation 19A states:

19A. *Payments in addition to contract or award, limits of (Act s. 5.50(3))*

- (1) *The value of a payment or payments made under section 5.50(1) and (2) to an employee whose employment with a local government finishes after 1 January 2010 is not to exceed in total —*
 - (a) *the value of the person’s final annual remuneration, if the person —*
 - (i) *accepts voluntary severance by resigning as an employee; and*
 - (ii) *is not a CEO or a senior employee whose employment is governed by a written contract in accordance with section 5.39;*
 - or
 - (b) *in all other cases, \$5 000.*
- (2) *In this regulation — final annual remuneration in respect of a person, means the value of the annual remuneration paid, or payable, to the person by the local government which employed that person immediately before the person’s employment with the local government finished.*

Review Position and Date

- 7. This policy must be reviewed every two years after a general Local Government election, or earlier if Council considers it necessary.

Associated Documents

- *Local Government Act 1995*
- *Local Government (Administration) Regulations 1996*

Definitions

- **Employee:** Means a person employed by the City of Albany, under an industrial agreement, award or contract.

Document Approval			
Document Development Officer:		Document Owner: <i>(Member of EMT)</i>	
Manger Governance & Risk Management		Chief Executive Officer	
Document Control			
File Number - Document Type:	CM.STD.7 – Policy		
Synergy Reference Number:			
Meta Data: Key Search Terms	Recognition of Period of Service, Achievement		
Status of Document:	Council decision: Draft		
Document file details:	Location of Document: Extranet N:\Corporate Services\Governance and Risk\Corporate Documents		
Quality Assurance:	Chief Executive Officer, Executive Management Team, Council Committee, and Council.		
Distribution:	Public Document		
Document Revision History			
Version	Author	Version Description	Date Completed
0.1	Manager Governance & Risk Management	Draft policy position prepared for review by Council Committee: Corporate Services & Finance Committee.	09/06/2015
0.2	Manager Governance & Risk Management	Draft policy position formatted into Corporate Document format for review by Council.	10/06/2015

CS011: ALBANY AGRICULTURAL SOCIETY FUTURE USE AND TENURE AT CENTENNIAL PARK

Land Description : Crown Reserve 405 and being Lot 1359 on Plan 185302 as detailed in Certificate of Title Volume LR3009 Folio 774
 Lot 305 on Plan 26505 as detailed in Certificate of Title Volume LR1618 Folio 024


Owner : Crown (Reserve 405) & City of Albany (Lot 305)

Attachments :

- CS008 – Centennial Park Sporting Precinct Master Plan - OCM February 2014 Minutes
- EF14136781 – PRO0025 Minutes Ag Society Meeting 5 May
- LT1484997 – Correspondence to Agricultural Society 5 March 2014
- LT1488413 – Correspondence to Agricultural Society 15 May 2014

 Centennial Park Master Plan Link
<http://albany.wa.gov.au/about-albany/major-projects/>

Responsible Officer(s) : Executive Director Community Services (C Woods)

Responsible Officer’s Signature:	
---	--

STRATEGIC IMPLICATIONS

1. This item relates to the following elements of the [City of Albany Strategic Community Plan 2023](#) and [Corporate Business Plan 2013-2017](#):
 - a. **Key Theme:** 3. A connected built environment.
 - b. **Strategic Objectives:**
 - 3.2. To develop community amenities that support people of all ages and backgrounds.
 - 4.2 To create interesting places spaces and events that reflects our community’s identity and diversity and heritage.
 - c. **Strategic Initiatives:**
 - 3.2.2. By developing facilities and activities that enable active and passive recreation.
 - 4.2.1 Sport and recreation Infrastructure.

2. This item directly relates to a major strategic and capital works program currently funded to the value of \$26 million by the Department of Sport and Recreation; Regional Development Australia and the City of Albany.

3. The Council has previously adopted the Centennial Park Master Plan and Concept Plan on:
 - Centennial Park Sporting Precinct Master Plan Report & Concept Designs on 25/02/2014, report item CS008.



In Brief:

- Update Council on the current status of negotiations with the Albany Agricultural Society (AAS) in relation to their ongoing tenure and use of the Centennial Park Sporting Precinct, in the context of the Centennial Park redevelopment.
- Provide a forum for the AAS to present their proposal and view in relation to AAS use of Centennial Park.
- Ensure Council is positioned to make a decision by July 2014 so that the design and development of this precinct can continue to meet its funding milestones.
- Acknowledge that failure to meet the funding milestones may jeopardise a total of \$21 million dollars in state and federal funding.

RECOMMENDATION

**CS011: RESOLUTION
VOTING REQUIREMENT: SIMPLE MAJORITY**

**MOVED: COUNCILLOR GOODE
SECONDED: COUNCILLOR GREGSON**

THAT Council:

- **RECEIVE the Officer’s Report;**
- **ACKNOWLEDGE the Albany Agricultural Society presentation;**
- **RECOMMEND to Council:**
 - **City Staff continue to work with the design team to develop a design for the Annual Agricultural Show to remain at Centennial Park;**
 - **City staff to work with the community groups and sporting and recreational clubs that currently conduct activities in the existing Albany Agricultural Society structures to find suitable alternative venues; and**
 - **City staff to work with Albany Agricultural Society current Centennial Park facility users that conduct agricultural related activities/events throughout the year to source suitable alternate locations.**

CARRIED 11-0

CS011: COMMITTEE RECOMMENDATION

**MOVED: COUNCILLOR GOODE
SECONDED: MAYOR WELLINGTON**

THAT the Responsible Officer Recommendation be ADOPTED.

CARRIED 5-0

CS011: RESPONSIBLE OFFICER RECOMMENDATION

THAT Council:

- **RECEIVE the Officer’s Report;**
- **ACKNOWLEDGE the Albany Agricultural Society presentation;**
- **RECOMMEND to Council:**
 - **City Staff continue to work with the design team to develop a design for the Annual Agricultural Show to remain at Centennial Park;**
 - **City staff to work with the community groups and sporting and recreational clubs that currently conduct activities in the existing Albany Agricultural Society structures to find suitable alternative venues; and**
 - **City staff to work with Albany Agricultural Society current Centennial Park facility users that conduct agricultural related activities/events throughout the year to source suitable alternate locations.**

BACKGROUND

4. The Albany Agricultural Society (AAS) has used Centennial Park East since the 1900's however; a formal licence agreement was only put in place in 1980. The latest licence expired on 31 December 2010 and AAS have continued to occupy the site on the same conditions, except in respect of the term.
5. The City of Albany currently has a Lease with the AAS over the Hanrahan Landfill site expiring 31 January 2022. The purpose of the Lease is for "Refuse site for the disposal of all kinds of garbage".
6. At the 25 February 2014, Ordinary Council Meeting, Council resolved: "THAT City staff investigate targeted solutions for the Albany Agricultural Society's current and future needs, and these options be presented at a future Council meeting".
7. As directed City Officers met with the full AAS Executive Committee on 5 May 2014. The following agenda items (minutes of meeting attached for information) were discussed:
 - Land matters and land swap proposal (Hanrahan Landfill site and Centennial Park);
 - AAS desire to retain a permanent tenure in the Centennial Park Sporting Precinct (CPSP) Eastern Precinct;
 - Principles of shared use and management of the CPSP Eastern Precinct; and
 - The City's provision of facilities for the AAS.
8. However, City representatives were unable to come to a compromised position that satisfied both the desire and wishes of the AAS, without compromising the adopted Concept Design and Master Plan for the Centennial Park Precinct.
9. Recent correspondence to the AAS on 5 March and 15 May 2014 has been attached for additional background information.

DISCUSSION

10. The AAS want to retain their existing use within the CPSP and have requested permanent tenure over the CPSP Eastern Precinct.
11. The AAS is of the belief that they should retain their existing presence within the CPSP Eastern Precinct and that it is the City of Albany's responsibility to facilitate this.

CPSP Eastern Precinct:
12. Council's long term vision for this area is expressed in the Centennial Park Sporting Precinct Master Plan.
13. The Master Plan is based on shared use precinct management model with the City being responsible for all bookings and maintenance of the reserve.
14. The City recognises that the AAS has maintained a presence in the Centennial Park area for many years. To this effect the Master Plan looks to accommodate the AAS activities.
15. Based on Council's Master Plan and recognition of the cultural and historical significance of the AAS Annual Show, the following way forward is proposed (*Note: This position was put to the AAS Committee on 5 May 2014*):
 - The Centennial Park Precinct will remain the base for the AAS Annual Show event;
 - The redevelopment of the Centennial Park Precinct will consider this annual three day event;
 - The event land and facility use will be based on a hire agreement;

- Event facilities will be comprised of a mixture of temporary fixtures and where appropriate use of permanent multi-access facilities;
- The City will maintain the current level of logistic and funding support to the annual show, being:
 - Preparation of the grounds, as part of the Developed Reserves maintenance program (including mowing, moving bollards etc);
 - Remediation of the site following completion of the Show;
 - Provision of a water truck for dust suppression;
 - Provision of appropriate vehicles for towing requirements and placement of various facilities; and
 - Traffic management.
- The City will seek independent qualified structural advice regarding the viability and suitability of retaining and renovating the existing Centennial Hall and its re use of the timber floor; and
- The City will consider the merits of AAS maintaining a continued administrative presence (office space) in the Centennial Park Precinct.
- The City will seek to accommodate the existing user groups that hire AAS facilities that will be displaced by the redevelopment and seeks assistance from the AAS by way of providing contact details and current scheduling.

Hanrahan Landfill Site:

16. The AAS holds a Crown Grant in Trust over the land.
17. The original lease between the AAS and the City for the Hanrahan Landfill site was agreed in 1971, on the basis that the waste disposed at this site would be used as fill to create a level surface for future development as a sports ground and showground. The rent for this site was offset by the licence issued to AAS, which allows for the AAS to retain the revenue for management of the facilities on Centennial Park.
18. The City is of the of the opinion, given updated information and knowledge on managing landfill facilities state wide, that it is no longer feasible to turn the landfill site into a sports ground and show ground. The complications involved with the reuse of landfill sites include, but are not limited to:
 - Compliance with the *Contaminated Sites Act 2003* which restrict the use of contaminated land, by excluding sporting and community purpose uses;
 - Ongoing contamination and risk mitigation management:
 - potential gas emissions; and
 - leachate to groundwater.
 - Extended period of settling while waste breaks down which impacts the geotechnical ability of land to withstand buildings.
19. It is the responsibility of the City of Albany to make the site safe and therefore the City has ongoing management obligations for the site.
20. Based on these factors, it is recommended that City of Albany seeks to obtain the management of the Hanrahan Landfill site. This will form a further item to Council to address these land management matters.

Negotiations to Date

21. The City's position was provided in writing to the AAS on 5 March:
 - a. Request the AAS to surrender the original Crown Grant over the Hanrahan Landfill site:
 - b. Offer of an alternate land area in exchange for the Hanrahan Landfill site. The proposed land swap area was a 19ha site located on the corner of South Coast Highway and George Street. (being Crown Reserves 28465 and 28466). Noting:
 - (i) This subject land is currently vested in the City of Albany and have previously been used for gravel extraction and spoil disposal (non-contaminated waste from Main Roads' and the City's infrastructure activities).
 - (ii) An initial assessment of the site indicates that there are no significant impediments to future development.
 - (iii) It is likely that the Department of Lands would support the Crown Grant of this 19ha land swap area, similar to the tenure AAS hold over the Hanrahan Landfill Site.
 - c. An initial cash offer was also made to the AAS to invest in annual show infrastructure within the Centennial Park Precinct. (This cash offer is in recognition of the loss of income from current Centennial Park users for the remainder of the current lease period of the Hanrahan Rd Landfill site).
 - d. The City would facilitate and assist with the land tenure and zoning changes that may be required.
22. The AAS rejected the land swap and an original cash offer and provided their own proposal for the future use of Centennial Park which is summarised as:
 - a. AAS require a permanent presence at Centennial Park.
 - b. The AAS wish to continue to provide facilities for the non agricultural needs of community groups.
 - c. The AAS presented a plan showing several large permanent structures throughout the eastern precinct and one large Exhibition Hall located on the Lot 305 (City's freehold land)
 - d. The AAS request Council fund and construct a large exhibition, multi-purpose space including office and storage space and options for large-scale catering on Lot 305 in the south west of the eastern precinct. This large facility (approximately 100m x 50m in area) should be located on land which is in the Society's tenure, similar to a Crown Grant in Trust, to give them security.
 - e. The Society seeks the management of this facility to provide an income to keep them self-sustaining.
23. In response to the above position the City wrote to the AAS on 15 May advising as follows:
 - a. The City recognises that the AAS are not interested in a land swap because they do not have any intention to develop land outside of the CBD.
 - b. It has been previously agreed that the Agricultural Show will continue within Centennial Park and the City would grant a permanent booking to the AAS for this purpose.

- c. The City and CPSP design team are required to provide relocation solutions during periods of construction and the AAS needs will be considered in this process.
- d. The AAS recognised that the Hanrahan Landfill site will never be feasible given the significant risks that exist at the site and the City sought AAS cooperation to transfer the land to the City's management.
- e. A further final financial offer was presented to the AAS which could be accepted as an annual payment over a ten year period (inclusive of GST and indexed to CPI) or the City advised that it would be open to considering a lump sum payment on transfer of the land. These offers were put forward on the basis that they were subject to Council approval. As yet, no response has been received by the AAS to this latest offer.
- f. In addition the City reiterated that it would continue providing its current level of in-kind support to the annual Agricultural Show

GOVERNMENT & PUBLIC CONSULTATION

Public consultation:

- 24. Extensive negotiations and community consultation has been conducted in relation to the Centennial Park stakeholders.
- 25. All stakeholder and sporting clubs provided written endorsement of the Master Plan and concept design except the AAS.
- 26. It is acknowledged that the negotiations to date have not been facilitated by an independent third party; however, that is an option that could be explored to progress this matter to resolution if desired by Council.

Government consultation:

- 27. The City has been liaising closely with the Department of Lands on various land matters concerning the AAS. The City is currently awaiting a formal position from the Department. The views of the Department will be included a future item to Council regarding Hanrahan Landfill site.

STATUTORY IMPLICATIONS

- 28. There are no statutory implications related to this report.

POLICY IMPLICATIONS

- 29. If Council determines that AAS are to be granted permanent tenure within the Centennial Park Precinct, then the Centennial Park Master Plan previously adopted by Council will need to be amended.

RISK IDENTIFICATION & MITIGATION

Risk	Likelihood	Consequence	Risk Analysis	Mitigation
<i>Financial. Funding of development lost due to not meeting grant funding conditions and milestones, may result due to delay reworking adopted master plan.</i>	<i>Likely</i>	<i>Severe</i>	<i>High</i>	<i>Council adopts a policy position that will guide the finalisation of development and structures, which will in turn facilitate grant funding conditions.</i>
<i>Financial & Community. Compromised Master Plan may reduce the effectiveness of the City identified current and future recreation stakeholder needs.</i>	<i>Likely</i>	<i>Major</i>	<i>Medium</i>	<i>Council has two options: (1) Maintain current plan, support the Officer's Recommendation; or (2) Move to quickly adopt a modified precinct plan and commit additional funding from the municipal fund.</i>

FINANCIAL IMPLICATIONS

- 30. The existing project budget and grant funding does not make allowances for additional infrastructure outside of the new multipurpose stadium, the new soccer / cricket club facility and refurbishment of existing public change rooms and the existing soccer club rooms.
- 31. Any decision to provide additional permanent or temporary infrastructure over and above the current offer the City has already made would need to be funded from outside of the current allocated budget.
- 32. The existing grant funding is subject to delivering upgrades as outlined in the Master Plan and meeting key milestones so that the grant is acquitted by March 2017. Financial penalties apply for failing to meet contractual requirements.

LEGAL IMPLICATIONS

- 33. In terms of land matters relating to Hanrahan Landfill site further legal advice may be sought and will be presented in a forthcoming item to Council.
- 34. The basis on which the AAS can continue to occupy Centennial Park is governed by the provisions of the *Local Government Act 1995* and the *Land Administration Act 1997*. Further legal clarification may be sought on this aspect.

ENVIRONMENTAL CONSIDERATIONS

- 35. The City of Albany is responsible for the environmental management of the Hanrahan Landfill site under the terms and conditions of the Licence issued by the Department of Environment Regulation.
- 36. This responsibility exists now and will continue into the medium to long term.
- 37. As detailed in the report, compliance with the *Contaminated Sites Act 2003* may restrict the future use of the Hanrahan Landfill site

ALTERNATE OPTIONS

38. Council has a number of options:
- a. Amend the adopted Master Plan and instruct design consultants to make provision for the infrastructure requested by the AAS. (Noting this will require additional funds); or
 - b. Council may choose to relocate the AAS and the Annual Show to a new site, pending an independent feasibility study/report.

SUMMARY CONCLUSION

39. A Council position is required to provide clear direction in this matter by 31 July 2014, to mitigate the risk of:
- a. Compromising sporting and community expectations and functionality of the site as per the adopted Master Plan.
 - b. Breach of Contract with funding bodies and possible loss of significant funding through the extension of the design development stage, which will affect the ability to meet construction milestone outcomes in the funding contracts.
40. It is recommended that Council approves City staff to work with the Albany Agricultural Society (AAS) and their current Centennial Park facility users that conduct agricultural related activities/events throughout the year to source suitable alternate locations and support the Annual Agricultural Show at Centennial Park.
41. Reaffirm the Centennial Park Sporting Precinct Master Plan adopted at February Ordinary Council Meeting 2014, which will allow the AAS to conduct the Annual Agricultural Show; and work with the AAS to find alternate locations for current non agricultural users, such as dance groups, arts and craft groups and sporting groups.

Consulted References	:	Funding Terms & Conditions
File Number (Name of Ward)	:	CP.DEC.1 (All Wards)
Previous Reference	:	OCM 25/02/2014 Item CS008 OCM 16/07/2013 Item 3.1

City of Albany - Eyre Park Regional Playspace

Job number: 1509

Adelaide Cres, Albany, Western Australia



PRELIMINARY PRE-DOCUMENTATION COST ESTIMATE FOR LANDSCAPE CONSTRUCTION WORKS

Date issued: May 19 2015

OPINION OF PROBABLE COST										
ITEM	DESCRIPTION	STAGE 1 QTY	STAGE 2 QTY	UNIT	RATE (\$)	STAGE 1 PRICE (\$)	STAGE 2 PRICE (\$)	SUB TOTAL	CONTRACTOR'S MARK UP (15%)	TOTAL PRICE (\$)
1.00	SITE PRELIMINARIES, EARTHWORKS AND CLEARING (as required)									
1.01	Removal of existing playground equipment and associated guardrails, signage and fall zone surface treatments including disposal or relocation of equipment - <u>Undertaken by CoA</u>	1		item	\$0.00	\$0.00		\$0.00	\$0.00	\$0.00
1.02	1no. Tree removal - <u>Undertaken by CoA</u>	1		item	\$0.00	\$0.00		\$0.00	\$0.00	\$0.00
1.03	Turf Kill & removal - <u>Undertaken by CoA</u>	1		item	\$0.00	\$0.00		\$0.00	\$0.00	\$0.00
1.04	Fencing F & F2 - Temporary site protection fencing, 1800mm high (assume 8 week hire)	244	300	lin.m	\$8.00	\$1,952.00	\$2,400.00	\$4,352.00	\$652.80	\$5,004.80
1.05	Bulk Earthworks	500	50	m3	\$8.00	\$4,000.00	\$400.00	\$4,400.00	\$660.00	\$5,060.00
1.06	Final Grading	2,050	1,700	m2	\$3.00	\$6,150.00	\$5,100.00	\$11,250.00	\$1,687.50	\$12,937.50
1.07	Survey Setout	1	1	item	\$1,200.00	\$1,200.00	\$1,200.00	\$2,400.00	\$360.00	\$2,760.00
SITE PRELIMINARIES, EARTHWORKS AND CLEARING TOTAL						\$13,302.00	\$9,100.00	\$22,402.00	\$3,360.30	\$25,762.30
2.00	HARD LANDSCAPE WORKS - Supply and Install									
2.01	Paving P1& P5 - Grey concrete, 100mm thick, broom finish (assume box out completed in 1.05)	122	424	m2	\$65.00	\$7,930.00	\$27,560.00	\$35,490.00	\$5,323.50	\$40,813.50
2.02	Paving P2 - Rubber Soft Fall not within fall zones, <i>Astro Synthetic Turf, TPV 20mm single density, on 75mm compacted crusher dust</i>		63	m2	\$179.96		\$11,337.70	\$11,337.70	\$1,700.66	\$13,038.36
2.03	Paving P3 & P6 - Rubber Soft Fall within fall zones, <i>Astro Synthetic Turf, TPV 40mm double density, on 75mm compacted crusher dust</i>	46	122	m2	\$300.79	\$13,836.52	\$36,696.87	\$50,533.39	\$7,580.01	\$58,113.40
2.04	Paving P4 - White wash play sand, 300mm deep with geotextile base	198	4	m3	\$78.00	\$15,444.00	\$312.00	\$15,756.00	\$2,363.40	\$18,119.40
2.05	Paving P7- 150mm thick pine bark mulch		465	m2	\$8.50		\$3,952.50	\$3,952.50	\$592.88	\$4,545.38
2.06	Paving - 75mm thick Jarrah saw dust (in area at top of slide/bird hide)	90		m2	\$8.00	\$720.00		\$720.00	\$108.00	\$828.00
2.06	Wall W1 - Gunite seating wall, 400mm wide, average 1m high on compacted sub base	48		lin.m	\$250.00	\$12,000.00		\$12,000.00	\$1,800.00	\$13,800.00
2.07	Wall W2 - Granite Spawl - stacked / mortared 150x150x150mm rock pitching wall 500mm wide, 900mm high, to conceal gap underneath timber bridge	18		lin.m	\$150.00	\$2,700.00		\$2,700.00	\$405.00	\$3,105.00
2.08	Wall W3 - Limestone block wall 350mm wide, 700mm high (double course) between sand pit and concrete path.	53		lin.m	\$120.00	\$6,360.00		\$6,360.00	\$954.00	\$7,314.00
2.09	Wall W4 - Limestone block wall 350mm wide, 700mm high (double course) on in youth area with steel (Guragal) 50mm equal angle on inside edge (for skateboarding .		20	lin.m	\$140.00		\$2,800.00	\$2,800.00	\$420.00	\$3,220.00
2.10	Kerb K1 - Flush concrete garden kerb edging, 150mm x 150mm deep	23		lin.m	\$30.00	\$690.00		\$690.00	\$103.50	\$793.50

OPINION OF PROBABLE COST										
ITEM	DESCRIPTION	STAGE 1 QTY	STAGE 2 QTY	UNIT	RATE (\$)	STAGE 1 PRICE (\$)	STAGE 2 PRICE (\$)	SUB TOTAL	CONTRACTOR'S MARK UP (15%)	TOTAL PRICE (\$)
2.11	Kerb K2 - Concrete kerb edging to play mulch. 150mm x 200mm deep		91	lin.m	\$40.00		\$3,640.00	\$3,640.00	\$546.00	\$4,186.00
2.12	Stonework - Granite spawl pitching >600mm high	86	10	m2	\$172.00	\$14,757.60	\$1,720.00	\$16,477.60	\$2,471.64	\$18,949.24
2.13	Seat - Exteria Vasse Bench Seat		1	item	\$950.00		\$950.00	\$950.00	\$142.50	\$1,092.50
2.14	Seat - Relocate Existing Bench Seats	3		item	\$200.00	\$600.00		\$600.00	\$90.00	\$690.00
2.15	Play Item/Stonework - Gunite universal access raised sand play table with three large bowls, 1m deep x 8m wide x 800mm high		1	item	\$10,000.00		\$10,000.00	\$10,000.00	\$1,500.00	\$11,500.00
2.16	Play Item E1 - Small Rubber Bubbles - Playscape Creations Classic Rubber Dome 600mm diameter x 300mm high		2	item	\$1,141.00		\$2,282.00	\$2,282.00	\$342.30	\$2,624.30
2.17	Play Item E1 - Large Rubber Bubbles - Playscape Creations Classic Rubber Dome 1000mm diameter x 500mm high		1	item	\$1,455.00		\$1,455.00	\$1,455.00	\$218.25	\$1,673.25
2.18	Play Item E2 - Spinner, Proludic IP20 Infinity Bowl		1	item	\$5,000.00		\$5,000.00	\$5,000.00	\$750.00	\$5,750.00
2.19	Play Item E3 - Custom Bird Hide Structure, 2x2m wide enclosed structure, raised 2m above ground level on 4 electricity poles with vertical ladder entrance and corrugated iron roof		1	item	\$30,000.00		\$30,000.00	\$30,000.00	\$4,500.00	\$34,500.00
2.20	Play Item E3 continued - 4m Fireman's Pole, attached to bird hide structure, Forpark Fire Pole including hand grips A0237-G-UX		1	item	\$500.00		\$500.00	\$500.00	\$75.00	\$575.00
2.21	Play Item E4 - Music Story Ball, Proludic IP500			item	\$11,307.00					
2.22	Feature Item 'P' - 'Old Fence' hardwood timber electricity poles - free standing at various heights. Metal band at top of each pole	7		per pole	\$300.00	\$2,100.00		\$2,100.00	\$315.00	\$2,415.00
2.23	Feature Item 'SP' - 'Old Fence' hardwood timber electricity poles with additional bird carvings - free standing at various heights. Metal band at top of each pole	2		item	\$1,000.00	\$2,000.00		\$2,000.00	\$300.00	\$2,300.00
2.24	2000mm Concrete Wheel Stops (to act as steppers)	9		item	\$180.00	\$1,620.00		\$1,620.00	\$243.00	\$1,863.00
2.25	Play Item E5 - Fibreglass Embankment Slide, 2100mm high, Kings Fibreglass Colour: 17 - Dark Green, includes 1500X400mm carved log stepper platform, 2 2000x100x100mm jarrah posts with handles	1		item	\$3,100.00	\$3,100.00		\$3,100.00	\$465.00	\$3,565.00
2.26	Slide - Grab handles x 2 and cross bar CHS. Attached to 2x timber posts 90x90mm	1		item	\$200.00	\$200.00		\$200.00	\$30.00	\$230.00
2.27	Play Item E6 - Custom Log Rocker. 2 springs with hardwood timber balance log. (Playdale Direct 2m wobble board with custom timber plank on top)	1		item	\$4,000.00	\$4,000.00		\$4,000.00	\$600.00	\$4,600.00
2.28	Play Item E7 - Round-a-bout, reinstall existing on site	1		item	\$600.00	\$600.00		\$600.00	\$90.00	\$690.00
2.29	Play Item E8 - Multidirectional Bird's nest Swing, Forpark Tornado Swing SW56	1		item	\$9,002.00	\$9,002.00		\$9,002.00	\$1,350.30	\$10,352.30
2.30	Play Item E9 - Chime Quartet, Proludic IP413	1		item	\$2,953.00	\$2,953.00		\$2,953.00	\$442.95	\$3,395.95
2.31	Play Item E10 - Custom Double Swing frame - treated hardwood timber posts	1		item	\$3,000.00	\$3,000.00		\$3,000.00	\$450.00	\$3,450.00
2.32	Play Item E10 continued - Swing Seat, Forpark Strap Seat SW08, inc. chains and attachments	2		item	\$150.00	\$300.00		\$300.00	\$45.00	\$345.00
2.33	Play Item/Stonework - Flat gunite surface, 200mm above sand level, with 3 gunite sand mixing bowls, average 1200mm diameter x 150mm deep	26		m2	\$250.00	\$6,500.00		\$6,500.00	\$975.00	\$7,475.00
2.34	Play Item/Stonework 'B' - 3 Large Granite Boulders embedded into gunite surface around gunite mixing bowls	3		item	\$500.00	\$1,500.00		\$1,500.00	\$225.00	\$1,725.00
2.35	Play Item E11 - Custom Backhoe (Sand play item)	1		item	\$5,000.00	\$5,000.00		\$5,000.00	\$750.00	\$5,750.00
2.36	Play Item E12 - Custom 'Water Level' Climbing Posts - 2 x 4m long, crossed timber poles, with branded number lines and carved with foot holds		1	item	\$3,000.00		\$3,000.00	\$3,000.00	\$450.00	\$3,450.00

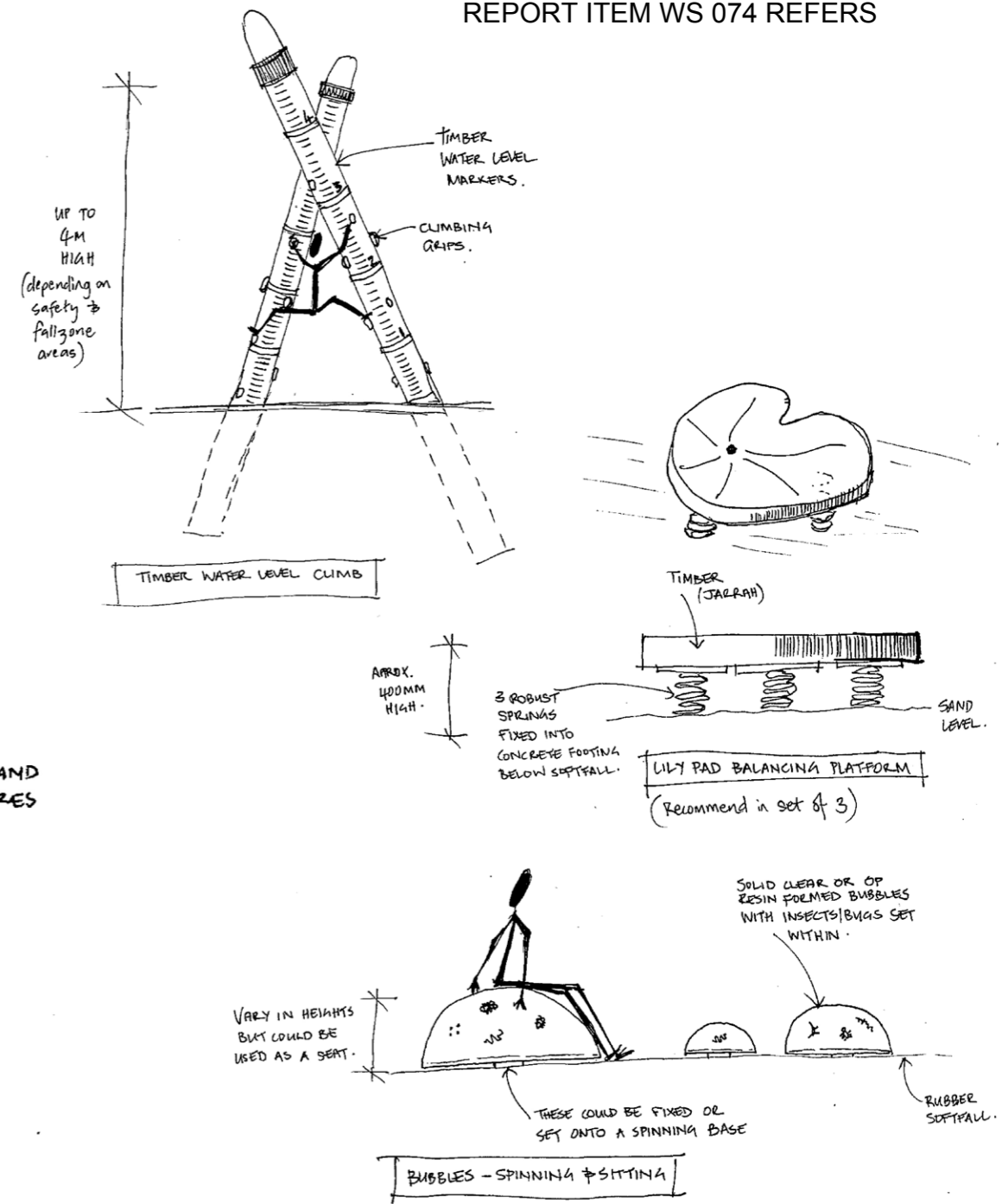
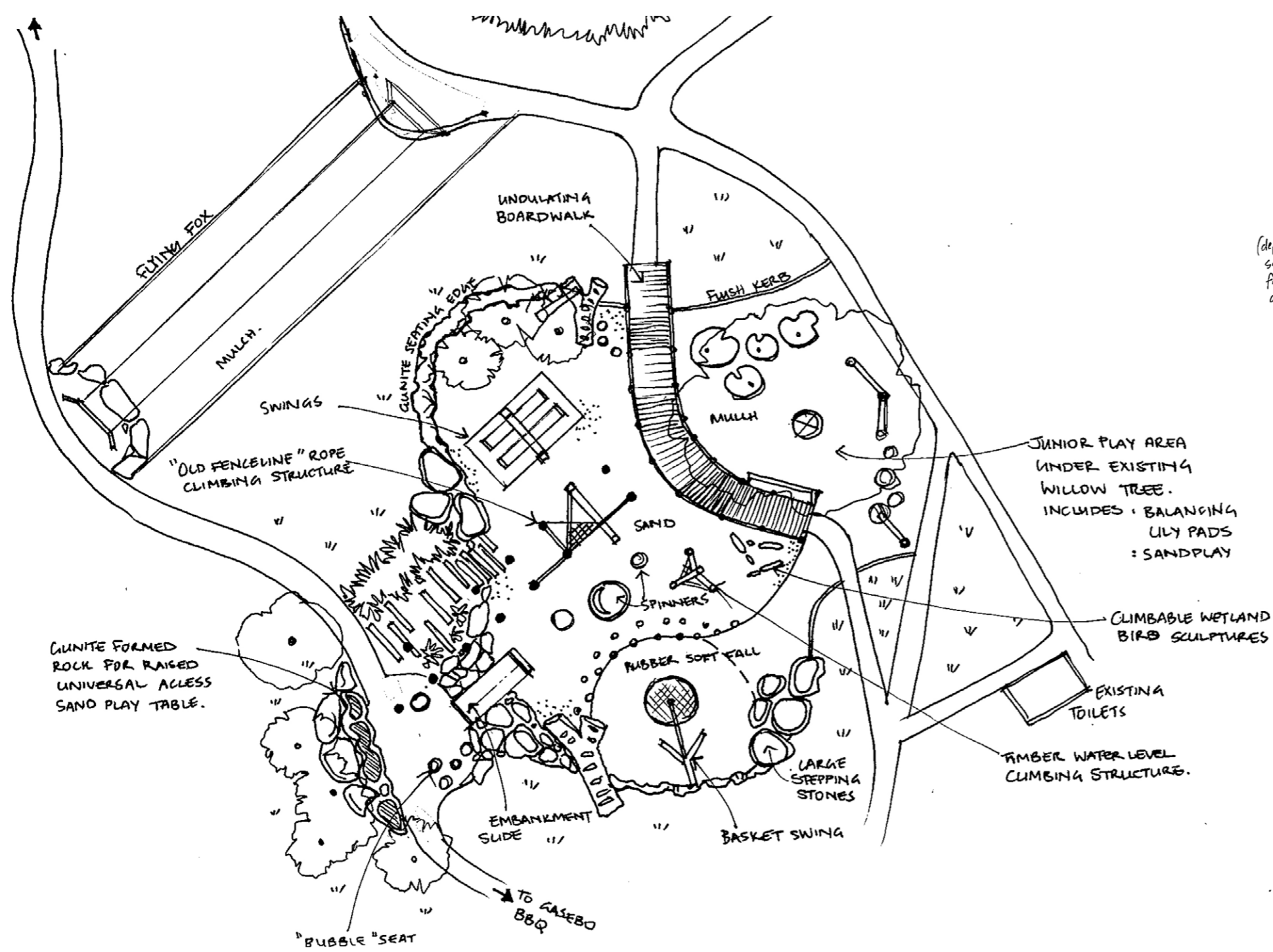
OPINION OF PROBABLE COST										
ITEM	DESCRIPTION	STAGE 1 QTY	STAGE 2 QTY	UNIT	RATE (\$)	STAGE 1 PRICE (\$)	STAGE 2 PRICE (\$)	SUB TOTAL	CONTRACTOR'S MARK UP (15%)	TOTAL PRICE (\$)
2.37	Play Item E13 - Custom Main Climbing Structure - 6 timber hardwood electricity poles, 3m high at 4m intervals, with various rope features hung inbetween	1		item	\$25,000.00	\$25,000.00		\$25,000.00	\$3,750.00	\$28,750.00
2.38	Play Item E14 - Custom Secondary Climbing Structure - 3 timber hardwood electricity poles, 2 x 3m high, 1 x 2m high, at 4m intervals, with various rope features hung inbetween		1	item	\$20,000.00		\$20,000.00	\$20,000.00	\$3,000.00	\$23,000.00
2.39	Play Item E13 & E14 continued - Climbing Grips, for use on 4 poles within the main and secondary climbing structures, plus 1 free standing 'Old Fence' pole	60		item	\$6.00	\$360.00		\$360.00	\$54.00	\$414.00
2.40	Play Item E15 - Snake Swing, <i>Playground Centre, Eibe Paradico Snake Swing 54518205300</i>	1		item	\$22,723.00	\$22,723.00		\$22,723.00	\$3,408.45	\$26,131.45
2.41	Play Item - Custom made 'Wonky Boardwalk' - 200mm wide hardwood timber boardwalk which undulates in multiple directions, includes 7 x timber hardwood electricity poles at various heights and 1 x electricity pole with a bird carving	20		lm	\$1,900.00	\$38,000.00		\$38,000.00	\$5,700.00	\$43,700.00
2.42	Play Item E16 - Music Drums, <i>Kim Bowman Gong</i>		1	item	\$6,500.00		\$6,500.00	\$6,500.00	\$975.00	\$7,475.00
2.43	Play Item E17 - Flying Fox, <i>Forpark Double Flying Fox 30m (one with accessible seat)</i>		1	item	\$22,711.00		\$22,711.00	\$22,711.00	\$3,406.65	\$26,117.65
2.44	Play Item - 2.2m high limestone block wall (350mm wide) with 1.8m x 1.2m 'hole' for soccer goal. 6m long in youth play area. *Contractor to provide engineering approval		1	item	\$4,000.00		\$4,000.00	\$4,000.00	\$600.00	\$4,600.00
2.45	Play Item cont. - Hand grips (for wall in youth play area)		20	item	\$6.00		\$120.00	\$120.00	\$18.00	\$138.00
2.46	Play Item - Timber Log - 3000x400mm diameter, Jarrah, forked, horizontal, debarked, oiled (bench seating log near slide) <i>CoA to source logs</i>	1		item	\$800.00	\$800.00		\$800.00	\$120.00	\$920.00
2.47	Play Item - Timber Log - 5000x400mm diameter, Jarrah, forked, horizontal, debarked, oiled (near drain pipe) <i>CoA to source logs</i>	1		item	\$850.00	\$850.00		\$850.00	\$127.50	\$977.50
2.48	Play Item - Timber Log - 2000x450mm, Jarrah, forked, horizontal, debarked, oiled with carved steps. (slide) <i>CoA to source logs</i>	1		item	\$800.00	\$800.00		\$800.00	\$120.00	\$920.00
2.49	Play Item - Timber Log - 2000x450mm, Jarrah, forked, horizontal, debarked, oiled with carved steps holds. <i>CoA to source logs</i>	2		item	\$800.00	\$1,600.00		\$1,600.00	\$240.00	\$1,840.00
2.50	Play Item - Timber Log - nominal 500x400mm, Jarrah, forked, horizontal, debarked, oiled, <i>CoA to source logs</i>		6	item	\$600.00		\$3,600.00	\$3,600.00	\$540.00	\$4,140.00
2.51	Play Item 'S' - Timber Stepping Stumps - Jarrah, vertical, debarked, oiled, <i>CoA to source logs</i>	6	13	item	\$100.00	\$600.00	\$1,300.00	\$1,900.00	\$285.00	\$2,185.00
2.52	Artist Item - Large Climbable Wetland Bird Sculptures - to be detailed by artist	1		item	\$8,000.00	\$8,000.00		\$8,000.00	\$1,200.00	\$9,200.00
2.53	Artist Item - Small Wetland Bird Sculptures - to be detailed by artist		1	item	\$4,000.00		\$4,000.00	\$4,000.00	\$600.00	\$4,600.00
2.54	Artist Item - Wetland Reeds - Curved Galv CHS poles in concrete footings	14		item	\$400.00	\$5,600.00		\$5,600.00	\$840.00	\$6,440.00
2.55	HARD LANDSCAPE WORKS TOTAL					\$221,246.12	\$203,437.07	\$424,683.19	\$63,702.48	\$488,385.67
3.00	SOFT LANDSCAPE WORKS - Supply and Install									
3.01	Soil preparation - soil conditioner for all turf and shrub planting areas, 50mm deep mixed into the top 200mm	1,048	442	m2	\$8.00	\$8,384.00	\$3,536.00	\$11,920.00	\$1,788.00	\$13,708.00
3.02	Paving P7 - Second grind native mulch within garden beds, 75mm deep	138	108	m2	\$7.50	\$1,035.00	\$810.00	\$1,845.00	\$276.75	\$2,121.75
3.03	Paving P8 - Pine Bark Soft Fall Mulch not within fall zones, 100mm deep		343	m2	\$18.00		\$6,174.00	\$6,174.00	\$926.10	\$7,100.10
3.04	Paving P9 - Pine Bark Soft Fall Mulch within fall zones, 300mm deep		168	m2	\$25.00		\$4,200.00	\$4,200.00	\$630.00	\$4,830.00

OPINION OF PROBABLE COST										
ITEM	DESCRIPTION	STAGE 1 QTY	STAGE 2 QTY	UNIT	RATE (\$)	STAGE 1 PRICE (\$)	STAGE 2 PRICE (\$)	SUB TOTAL	CONTRACTOR'S MARK UP (15%)	TOTAL PRICE (\$)
3.05	Planting - 100L trees to include initial watering in and fertiliser	17		100 Litre	\$250.00	\$4,250.00		\$4,250.00	\$637.50	\$4,887.50
3.06	Planting - tree stakes x 2	34		no.	\$8.64	\$293.76		\$293.76	\$44.06	\$337.82
3.07	Planting - shrubs, planted at 4 plants per m2. Include initial watering in and fertiliser	257		140mm	\$15.00	\$3,855.00		\$3,855.00	\$578.25	\$4,433.25
3.08	Roll on Turf	961	437	m2	\$10.50	\$10,090.50	\$4,588.50	\$14,679.00	\$2,201.85	\$16,880.85
SOFT LANDSCAPE WORKS TOTAL						\$27,908.26	\$19,308.50	\$47,216.76	\$7,082.51	\$54,299.27

Assumption Notes:

1. Irrigation and lighting modifications to be undertaken by City of Albany maintenance staff.
2. Items highlighted in yellow are potential add value items that will not impact the design intent if they are to be eliminated from the design due to budget limitations

NET LANDSCAPE WORKS SUB-TOTAL	\$301,824.84	\$266,622.40	\$74,145.29	\$568,447.25
TOTAL PLUS 5% CONTINGENCY				\$28,422.36
Sub Total				\$596,869.61
GST				\$59,686.96
TOTAL INCLUDING GST				\$656,556.57



Embankment slide



Interactive artwork capturing the wetland theme



Habitat sculptures



Flat granite stepping stones

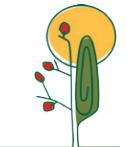
CITY OF ALBANY • EYRE PARK REGIONAL ALL ABILITIES PLAYGROUND

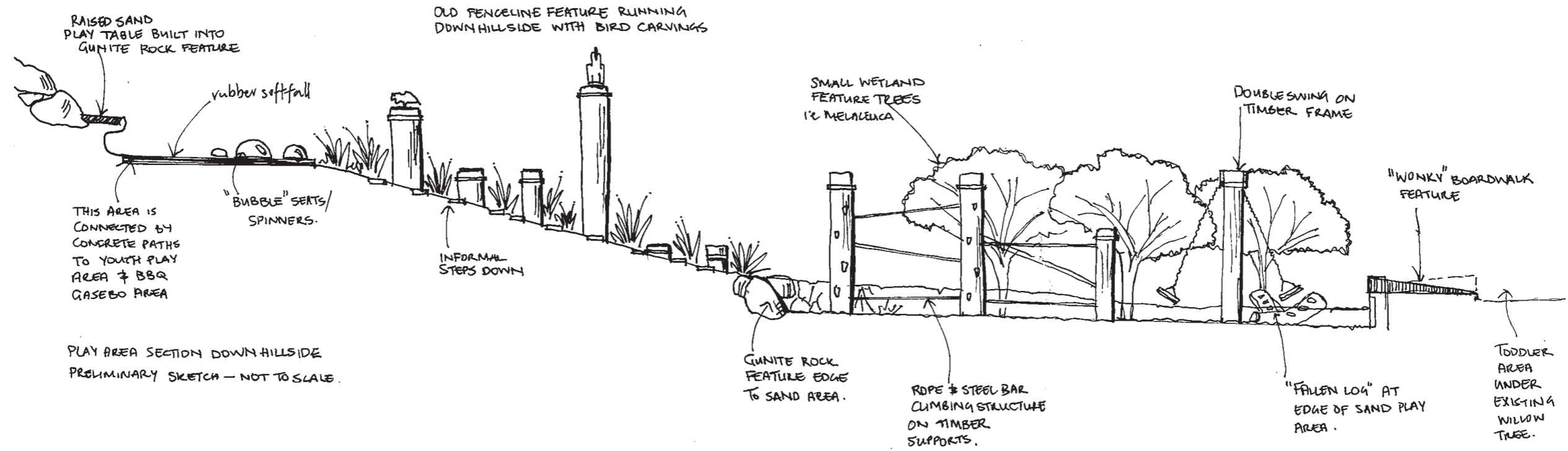
PRELIMINARY PLAN

Project No. 1509 • Issue Date April 2015 • Designed/Checked by RR/MG • Drawing No. CP-01 • Page 1 of 2



JOSH BYRNE & ASSOCIATES
 Environment • Design • Communication
 phone 08 9433 3721
 suite 10, fremantle chamber of commerce
 16 phillimore st, fremantle wa 6160
 www.joshbyrne.com.au





Possible inclusion of a Bird hide structure/lookout (not shown on plan)



Raised sand play table with natural rock surround



Timber climbing structure



Swing set using large timber supports



Spinner



Old Fence timber pole feature

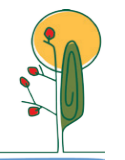


Dead tree log climbing feature

CITY OF ALBANY • EYRE PARK REGIONAL ALL ABILITIES PLAYGROUND

PRELIMINARY IDEAS

Project No. 1509 • Issue Date April 2015 • Designed/Checked by RR/MG • Drawing No. CP-02 • Page 2 of 2





Council Policy – Radio Communication Allocation to Brigade Members

Policy Statement

1. To ensure an adequate level of radio communications is established throughout the City of Albany, and to ensure equity in the use of public funds (*supplied through the Emergency Services Levy (ESL) contributions*), the City of Albany may allocate radios using the following principles:
 - All City of Albany fire appliances shall be provided with a mobile radio;
 - The CBFCO shall be supplied with 1 base station, 1 mobile radio and 1 hand held radio;
 - The DCBFCO shall be supplied with 1 base station, 1 mobile radio and 1 hand held radio;
 - The Senior FCO South West Sector; Senior FCO North East Sector and nominated Deputy will be supplied with 1 base station, 1 mobile radio and 1 hand held radio;
 - The primary and secondary FCO for each VBFB shall be supplied with 1 base station and 1 mobile radio;
 - VBFB members specifically tasked as a Call Out Officer (at the date of implementation of this policy) shall be supplied 1 base station;
 - Each FWO shall be supplied 1 base station;
 - Fire stations manned during a vehicle call out shall be supplied one base station;
 - The Wellstead and Youngs Siding General Stores may, subject to operational requirements, be supplied 1 base station;
 - The City of Albany Ranger and Emergency Services vehicles shall each be supplied 1 mobile radio;
 - The North Road Administration Building Incident Control Centre and Emergency Management Co-ordinator shall receive a total of 3 base stations;
 - The Incident Control Centres located at Little Grove, Bornholm and Wellstead shall each receive 1 base station.
2. Variations to this allocation for specific local operational purposes may occur at the discretion of the Manager, Ranger and Emergency Services, in consultation with the Chief Bushfire Control Officer.
3. Upon a change in appointment of an officer, the allocated radio(s) is to be returned to the City of Albany for reallocation by the City's Designated Officer.
4. VHF radios purchased by a VBFB shall remain the property of the VBFB and are not included in the WAERN maintenance and future replacement projects.
5. Where, due to specific operational circumstances, a VBFB Designated Officer does not consider the level of radio equipment supplied to that officer is warranted, that equipment may, be distributed to another VBFB officer within the brigade.
6. All radio equipment supplied to the City of Albany VBFB officers under the WAERN project are to remain the property of the City of Albany with installation, maintenance and removal undertaken by a qualified communications technician. All communications equipment shall be programmed to DFES standards and no officer shall alter the programmed settings of the communications equipment.

Objective

7. To ensure radio communication equipment is appropriately allocated.

Scope

8. Telecommunications equipment controlled and allocated by the City of Albany.

Legislative and Strategic Context

9. This policy relates to the following elements of the City of Albany Strategic Bush Fire Plan 2014 – 2019:
 - **Focus Area:** Preparedness
 - **Focus Objective:** 1.10 Volunteer Bush Fire brigade.

Review Position and Date

10. This policy and procedure is to be reviewed by the document owner bi-annually.

Associated Documents

- City of Albany Strategic Bush Fire Plan 2014 – 2019

Definitions

- CBFCO – Chief Bush Fire Control Officer
- DCBFCO – Deputy Chief Bush Fire Control Officer
- ESL – Emergency Services Levy
- FCO – Fire Control Officer
- FWO – Fire Weather Officer
- VBFB – Volunteer Bush Fire Brigade
- WAERN – Western Australian Emergency Radio Network

Document Approval			
Document Development Officer:		Document Owner: <i>(Member of EMT)</i>	
Manager Ranger & Emergency Services		Executive Director Planning & Development	
Document Control			
File Number - Document Type:	CM.STD.7 – Policy		
Synergy Reference Number:	NP085371_2		
Meta Data: Key Search Terms	WAERN, Radio Allocation, Telecommunications		
Status of Document:	Council decision: Final Draft		
Document file details:	Location of Document: N:\Corporate Services\Governance and Risk\Corporate Documents		
Quality Assurance:	Executive Management Team, Bush Fire Advisory Committee (BFAC) and Council		
Distribution:	Public Document		
Document Revision History			
Version	Author	Version Description	Date Completed
1.0	Executive Director Planning & Development	Adopted by Council on 20/05/2008, Resolution 11.5.1. Document Reference: NP085371	20/05/2008
1.1	Manager Ranger & Emergency Services	Fully revised and proposed amendments presented to Bush Fire Advisory Committee for review after consultation with the Chief Bush Fire Control Officer.	12/03/2015
1.2	Manager Governance & Risk Management	Reformatted, appended with (a) Document Control Page,(b) Strategic Context: City of Albany Strategic Bush Fire Plan 2014 – 2019.	12/6/2015