



ATTACHMENTS

Ordinary Meeting of Council

Tuesday 23 September 2014

6.00pm

City of Albany Council Chambers

ORDINARY COUNCIL MEETING
ATTACHMENTS –23/09/2014
** REFER DISCLAIMER **

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City of Albany
MONTHLY FINANCIAL REPORT
For the Period Ended 31st July 2014

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REPORT ITEM CSF113 REFERS

City of Albany
STATEMENT OF FINANCIAL ACTIVITY
(Nature or Type)
For the Period Ended 31st July 2014

Note	Original Annual Budget	Revised Annual Budget	YTD Budget (a)	YTD Actual (b)	Var. \$ (b)-(a)	Var. % (b)-(a)/(b)	
Operating Revenues							
	5,254,693	5,254,693	13,338	3,519	(9,819)	(279.1%)	
	925,356	925,356	40,099	15,561	(24,538)	(157.7%)	
	16,639,898	16,639,898	736,552	827,579	91,027	11.0%	▲
	1,209,085	1,209,085	11,986	27,269	15,283	56.0%	
	389,000	389,000	0	12,300	12,300	100.0%	
	24,418,032	24,418,032	801,975	886,229	84,254		
Operating Expense							
	(22,274,383)	(22,272,383)	(1,714,961)	(1,450,584)	264,377	18.2%	▼
	(18,931,907)	(18,852,637)	(716,655)	(671,808)	44,847	6.7%	
	(1,840,608)	(1,840,608)	(49,508)	(31,954)	17,554	54.9%	
	(12,672,381)	(12,672,381)	(1,056,033)	(1,056,033)	0		
	(974,068)	(974,068)	(9,389)	38,409	47,798	(124.4%)	
	(792,644)	(792,644)	0	6,705	6,705	(100.0%)	
	(305,592)	(305,592)	0	0	0		
	(2,513,073)	(2,508,673)	(109,377)	(41,314)	68,063	164.7%	▼
	917,410	922,435	16,956	42,146	25,190	(59.8%)	
	(59,387,246)	(59,296,551)	(3,638,967)	(3,164,433)	474,534		
Contributions for the Development of Assets							
	13,198,927	13,346,709	600,000	587,070	(12,930)	(2.2%)	
	13,150,000	13,150,000	0	0	0		
	(8,620,287)	(8,381,810)	(2,236,992)	(1,691,135)	545,857		
Funding Balance Adjustment							
	12,672,381	12,672,381	1,056,033	1,056,033	0		
	305,592	305,592	0	0	0		
	4,357,686	4,596,163	(1,180,959)	(635,102)			
Capital Revenues							
	912,250	912,250	54,449	572	(53,877)	(9418.1%)	▼
	912,250	912,250	54,449	572	(53,877)		
Acquisition of Fixed Assets							
5	(16,979,242)	(17,582,873)	(419,670)	(617,890)	(198,220)	(32.1%)	▲
5	(4,745,398)	(4,745,398)	(30,366)	(1,033)	29,333	2839.1%	
5	(921,464)	(921,464)	(11,000)	(6,343)	4,657	73.4%	
5	(6,126,682)	(5,994,053)	(120,000)	(109,502)	10,498	9.6%	
5	(17,757,789)	(18,160,331)	(235,650)	(266,040)	(30,390)	(11.4%)	
	(46,530,575)	(47,404,119)	(816,686)	(1,000,808)	(184,122)		
Financing/Borrowing							
	(1,518,357)	(1,518,357)	(18,858)	(18,540)	318	1.7%	
	1,220,000	1,220,000	0	0	0		
	(298,357)	(298,357)	(18,858)	(18,540)	318		
Demand for Resources							
	(41,558,996)	(42,194,063)	(1,962,054)	(1,653,878)	(237,681)		
Restricted Funding Movements							
	3,764,746	3,765,489	3,764,746	6,861,272	3,096,526	45.1%	▲
	3,008,924	3,626,800	0	0	0		
	(13,069,934)	(13,069,934)	0	0	0		
	17,187,240	17,203,688	0	0	0		
	30,668,026	30,668,026	309,414	0	(309,414)	(100.0%)	▼
	0	0	2,112,106	5,207,394	2,549,431		

City of Albany
NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
 For the Period Ended 31st July 2014

Note 1: MAJOR VARIANCES

Comments/Reason for Variance in excess of \$50,000	Variance	
	Timing	Permanent
<u>1.1 Operating Revenues</u>		
<i>Grants & Subsidies</i>		
No material variance		
<i>Contributions, Donations & Reimbursements</i>		
No material variance		
<i>Fees and Charges</i>		
Primarily year end adjustments, prepaid income from 13/14 carried forward and allocated to 14/15.	■	
<i>Interest Earnings</i>		
No material variance		
<i>Other Revenue</i>		
No material variance		
<u>1.2 Operating Expense</u>		
<i>Employee Costs</i>		
Under budget year-to-date due to 13/14 year end accruals, with one week of pay from 14/15 accrued back to 13/14 (approx \$250 000).	■	
<i>Materials and Contracts</i>		
No material variance		
<i>Utilities Charges</i>		
No material variance		
<i>Depreciation (Non-Current Assets)</i>		
No material variance		
<i>Interest Expenses</i>		
No material variance		
<i>Insurance Expenses</i>		
No material variance		
<i>Loss on Asset Disposal</i>		
No material variance		
<i>Other Expenditure</i>		
Timing issue of budget allocation for cemetary contribution of \$54 000. Budgeted for July, invoice not received until August.	■	
<i>Less Allocated to Infrastructure</i>		
No material variance		
<u>1.3 Contributions for the Development of Assets</u>		
<i>Grants & Subsidies</i>		
No material variance		
<i>Contributions, Donations & Reimbursements</i>		
No material variance		
<u>1.4 Funding Balance Adjustment</u>		
<i>Add Back Depreciation</i>		
No material variance		
<i>Adjust (Profit)/Loss on Asset Disposal</i>		
No material variance		

City of Albany
NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
 For the Period Ended 31st July 2014

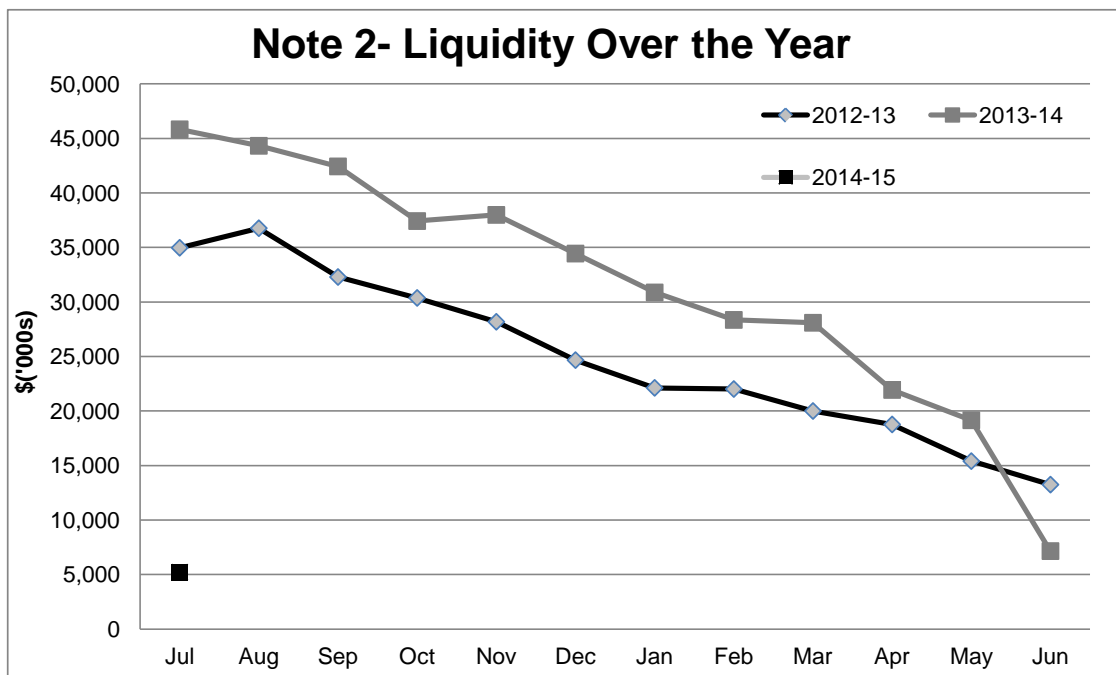
Note 1: MAJOR VARIANCES

Comments/Reason for Variance in excess of \$50,000	Variance	
	Timing	Permanent
<u>1.5 Capital Revenues</u>		
<i>Proceeds from Disposal of Assets</i>		
Very few disposal of assets during July.	■	
<u>1.6 Acquisition of Fixed Assets</u>		
<i>Land and Buildings</i>		
Budget timing of carried forward project - Airport Terminal. Expect to be budget over life of the project.	■	
<i>Plant and Equipment</i>		
No material variance		
<i>Furniture and Equipment</i>		
No material variance		
<i>Infrastructure Assets - Roads</i>		
No material variance		
<i>Infrastructure Assets - Other</i>		
No material variance		
<u>1.7 Financing/Borrowing</u>		
<i>Debt Redemption</i>		
No material variance		
<i>Loan Drawn Down</i>		
No material variance		
<u>1.8 Restricted Funding Movements</u>		
<i>Opening Funding Surplus(Deficit)</i>		
Expect the carried forward surplus to reduce as final accounts are prepared for year end 30 June 2014.	■	
<i>Restricted Cash Utilised - Loan</i>		
No material variance		
<i>Transfer to Reserves</i>		
No material variance		
<i>Transfer from Reserves</i>		
No material variance		
<i>Rate Revenue</i>		
Rates were not levied until August	■	

City of Albany
NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
 For the Period Ended 31st July 2014

Note 2: NET CURRENT FUNDING POSITION

		Positive=Surplus (Negative=Deficit)		
		2014-15		
Note	This Period	Last Period	Same Period Last Year	
	\$	\$	\$	
Current Assets				
	6,285,396	11,339,046	14,667,984	
	16,276,209	16,233,291	12,699,887	
4	937,662	1,086,781	37,123,960	
	2,057,484	3,161,906	1,932,446	
	0	117,817	31,659	
	9,012	54,831	0	
	735,409	735,409	967,500	
	841,013	812,470	518,158	
	27,142,186	33,541,551	67,941,594	
Less: Current Liabilities				
	(3,127,779)	(7,144,758)	(7,661,826)	
	0	(81,640)	(17,923)	
	(521,173)	(788,020)	(432,926)	
	(3,254,178)	(3,429,724)	(2,803,171)	
	(149,018)	(81,898)	(147,259)	
	(7,052,147)	(11,526,040)	(11,063,105)	
	1,503,397	1,521,937	2,597,541	
	(15,650,632)	(12,679,319)	(12,679,319)	
	(735,409)	(812,773)	(967,500)	
Net Current Funding Position	5,207,394	19,150,254	45,829,211	



Comments - Net Current Funding Position

Rates not levied until August.

**City of Albany
NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
For the Period Ended 31st July 2014**

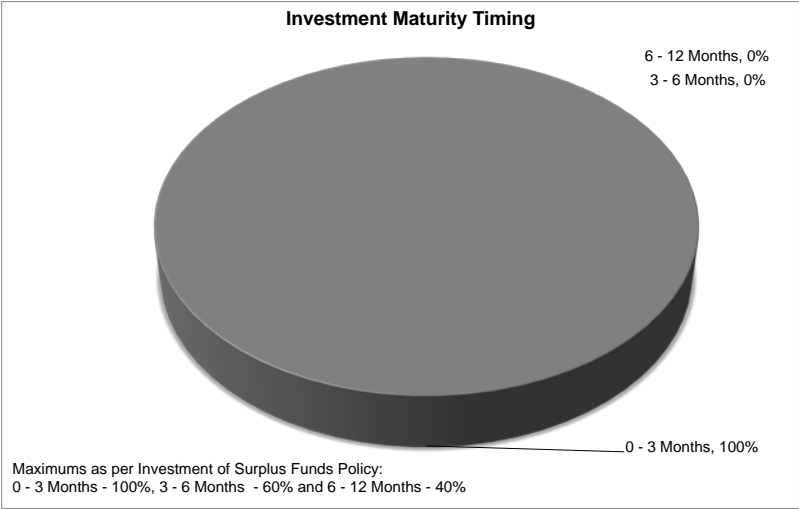
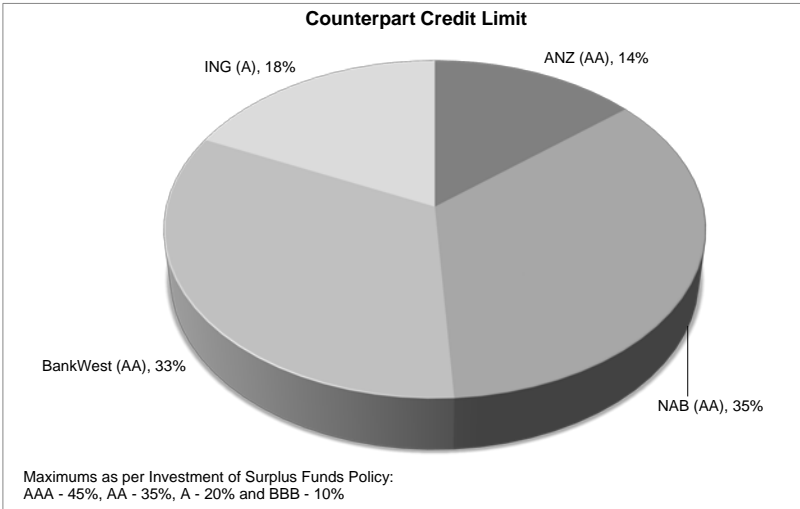
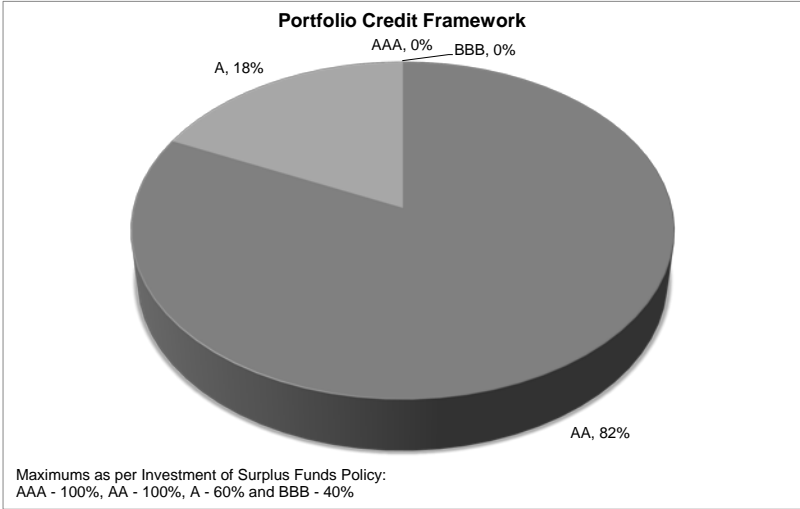
Note 3: CASH INVESTMENTS

Deposit Ref	Institution	Rating	Deposit Date	Term (Days)	Invested Interest rates	Amount Invested	Expected Interest	Amount Invested (Days)			Comparative rate		Budget v Actual				
								0 - 3 Months	3 - 6 Months	6 - 12 Months	Prior Month Interest Rate	Interest Rate at time of Report	Year to Date Budget	Year to Date Actual	Var.\$		
General Municipal																	
TD 5478	NAB	AA	7/07/2014	30	3.05%	1,500,000	3,760	1,500,000			3.05%	3.05%					
TD 6781	ANZ	AA	7/06/2014	60	3.00%	1,000,000	4,932	1,000,000			3.35%	3.00%					
					Subtotal	2,500,000	8,692	2,500,000	-	-			2,143	2,675	(532)		
Restricted																	
TD ING	ING	A	8/07/2014	60	3.12%	2,000,000	10,258	2,000,000			3.44%	3.12%					
TD 99656	ANZ	AA	30/07/2014	30	2.50%	500,000	1,027	500,000			3.35%	2.50%					
TD BWR	BankWest	AA	4/07/2014	32	2.70%	3,500,000	8,285	3,500,000			3.40%	2.70%					
TD 3749	NAB	AA	30/07/2014	30	3.04%	2,500,000	6,247	2,500,000			3.64%	3.04%					
					Subtotal	8,500,000	11,285	8,500,000	-	-			3,475	16,517	(13,042)		
					Total Funds Invested	11,000,000	19,977	11,000,000	-	-			5,618	19,192	(13,574)		

Comments/Notes - Cash Investments

City of Albany
Monthly Investment Report
For the Period Ended 31st July 2014

Note 3A: GRAPHICAL REPRESENTATION - CASH INVESTMENTS



City of Albany
NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
For the Period Ended 31st July 2014

Note 4: RECEIVABLES

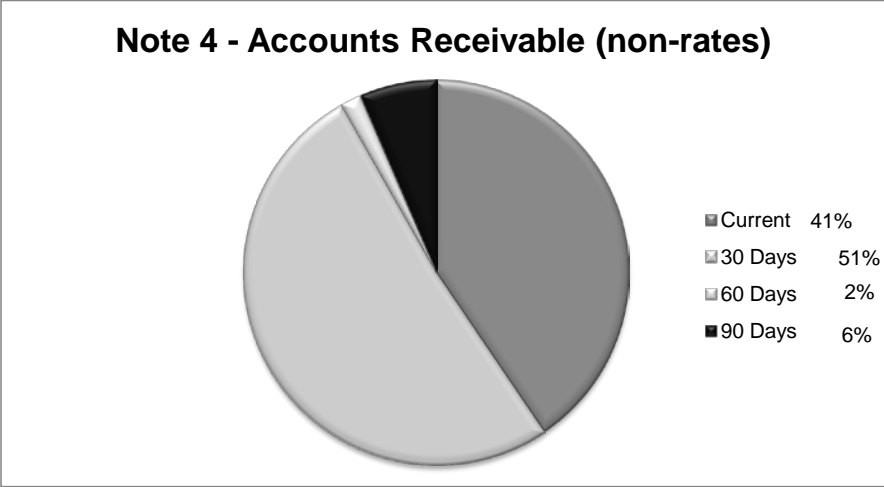
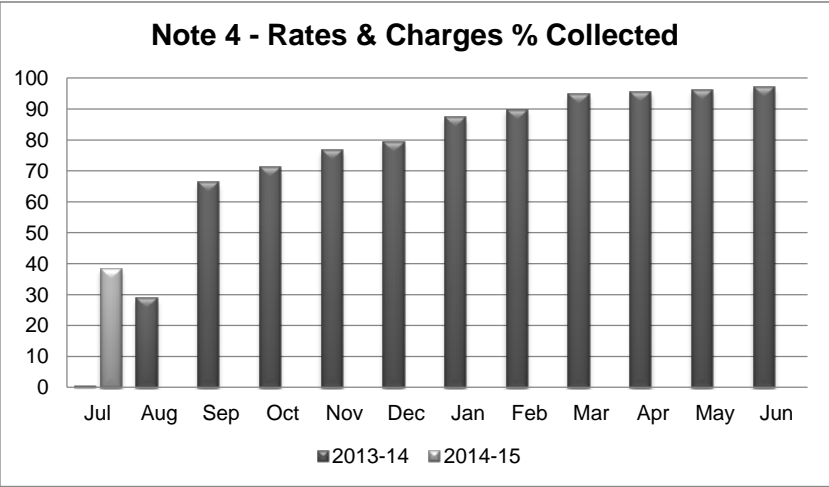
Receivables - Rates and Refuse

	Current 2014-15	Previous 2013-14	Total
	\$	\$	\$
Opening Arrears Previous Years		1,511,049	1,511,049
Rates Levied this year	0		0
Refuse Levied	0		0
ESL Levied	0		0
Other Charges Levied	11,841		11,841
Less Collections to date	(442,513)	(142,715)	(585,228)
Equals Current Outstanding	(430,672)	1,368,334	937,662
Total Rates & Charges Collectable			937,662
% Collected			38.43%

Receivables - General

	Current	30 Days	60 Days	90 Days
	\$	\$	\$	\$
	529,275	669,470	22,347	84,252
Total Outstanding				1,305,343

Amounts shown above include GST (where applicable)



Comments/Notes - Receivables Rates and Rubbish

Rates not levied until August.

Comments/Notes - Receivables General

City of Albany
 NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
 For the Period Ended 31st July 2014

Note 5: CAPITAL ACQUISITIONS

Contributions Information				Summary Acquisitions					
Grants	Reserves	Borrowing	Total		Original Budget	Current Budget	YTD Budget	Actual	Variance
\$	\$	\$	\$		\$			\$	\$
				Property, Plant & Equipment					
10,776,357	267,978	0	11,044,335	Land and Buildings	16,979,242	17,582,873	419,670	617,890	198,220 ▲
0	1,454,455	520,000	1,974,455	Plant & Equipment	4,745,398	4,745,398	30,366	1,033	(29,333) ▼
0	151,710	0	151,710	Furniture & Equipment	921,464	921,464	11,000	6,343	(4,657) ▼
				Infrastructure					
3,229,698	208,000	0	3,437,698	Roadworks	6,126,682	5,994,053	120,000	109,502	(10,498) ▼
0	271,500	0	271,500	Drainage	1,608,836	1,867,457	83,150	57,338	(25,812) ▼
0	81,000	0	81,000	Bridges	81,000	81,000	0	800	800 ▲
847,160	0	0	847,160	Footpath & Cycleways	1,842,760	1,778,524	6,500	8,552	2,052 ▲
7,410,488	0	700,000	8,110,488	Parks, Gardens & Reserves	10,160,757	10,866,163	136,000	186,217	50,217 ▲
0	1,068,497	1,205,000	2,273,497	Airport	721,846	270,000	0	0	0
0	1,423,732	0	1,423,732	Sanitation	1,423,732	1,378,329	0	0	0
1,470,000	168,858	0	1,638,858	Other Infrastructure	1,918,858	1,918,858	10,000	13,134	3,134 ▲
23,733,703	5,095,730	2,425,000	31,254,433	Totals	46,530,575	47,404,119	816,686	1,000,808	184,122

Comments - Capital Acquisitions

EFT/CHQ	Date	Name	Description	Amount
			Total	\$ -

MASTERCARD TRANSACTION JULY 2014

Date	Payee	Description	Amount
10/07/14	EHA (WA) Inc	Registration fee - E Vorster - Hoarding training & Management of mould	500.00
15/07/14	Virgin	Airfares - A Shiell & N Yazdan attending seminar	870.74
27/06/14	The Murray Hotel	Accommodation - Y Jolidon - Archives management basics training	199.00
5/07/14	Virgin	Airfares - J Allen- FY15 Grant training	424.95
22/07/14	Ibis Hotel	Accommodation - L Battison - EMC Unified Storage Management course	948.60
23/07/14	Ibis Hotel	Accommodation - C Campbell - Rates training in Perth	441.00
24/07/14	Virgin	Airfare - C Campbell - Rates training in Perth	476.51
3/07/14	Weaver Newspapers	Senior Scene Magazine - Travel Publication	1,550.00
8/07/14	Virgin	Airfare - M Bird Albany/Perth - Linyi Visit China	494.10
27/06/14	Duxton Hotel	Accommodation - J. Gray- Perth Stakeholder Communication and community engagement Conference 2014	478.00
4/07/14	Virgin	Airfare - G Foster attending meetings in Perth 9-11/07/14	537.09
14/07/14	Budget Rent	Vehicle Hire - G Foster attending meetings in Perth 9-11/07/14	260.82
23/07/14	Virgin	Airfare- R Taylor - Centennial Park development workshop in Perth	272.39
8/07/14	Pan Pacific	Accommodation - R Skipper - Attending Anzac Public transport meeting	228.38
8/07/14	Pan Pacific	Accommodation - M Thomson- Attending Anzac Public transport meeting	225.00
23/07/14	Virgin	Airfare - G Caesar - Clock specialist checking Town Hall Bells	476.96
11/07/14	St John Ambulance	Wall Mounted First aid Kit	232.10
8/07/14	Virgin	Airfare - Cr Bowles Albany/Perth - Attending Illuminate	435.37
8/07/14	Virgin	Airfare - Cr Williams Albany/Perth - Attending Illuminate	466.09
17/07/14	Pullman Hotel	Accommodation - Mayor Wellington - Linyi visit China	360.56
Various	Sundry < \$ 200.00		1,537.96
		Total	11,415.62

PAYROLL - 16/07/2014-15/08/2014

Date	Description	Amount
24/07/2014	Payroll	\$ 542,227.03
28/07/2014	Sundry Payroll	\$ 1,649.27
7/08/2014	Payroll	\$ 552,709.64
11/08/2014	Sundry Payroll	\$ 1,129.03
	Total	\$ 1,097,714.97

REPORT ITEM CSF114 REFERS
Amount

Chq	Date	Name	Description	Amount
30002	17/07/2014	MARTIN & JEANETTE HOLT	Landowner Compensation: Road Widening Of Perkins Beach Road Reserve Affecting Lot 223 Perkins Beach Road	22,420.00
30003	17/07/2014	DEPARTMENT OF TRANSPORT	Amazing Albany Number Plate 5965A	200.00
30004	17/07/2014	HESPERIAN PRESS	Forts Merchandise	24.50
30005	17/07/2014	PETTY CASH - ALBANY AQUATIC AND LEISURE CENTRE	Social Netball Umpire Payments June 2014	2,000.00
30006	17/07/2014	LOCKYER AVENUE VETERINARY HOSPITAL	Cat Sterilisation Subsidy Scheme	230.00
30007	17/07/2014	SENSIS PTY LTD	Sensis Value Package Business Essentials - Instalment 8 Of 12	40.70
30008	17/07/2014	PATRICIA DABORN	Restoration Of Ragless Painting	290.00
30009	17/07/2014	PETTY CASH - VISITORS CENTRE	Petty Cash Reimbursement	47.55
30010	17/07/2014	PRERUST ALBANY	Window Tinting - A1 - Holden Calais	310.00
30011	17/07/2014	TELSTRA CORPORATION LIMITED	Telephone Charges	12,061.19
30012	17/07/2014	VODAFONE PTY LTD	Mobile Phone For Sms Messaging Services	48.99
30013	17/07/2014	WATER CORPORATION	Water Service Charges Various Locations	7,026.44
30014	17/07/2014	WESTERN POWER	Railways Football Club Electrical Headworks - Access Offer Sp038777	49,617.00
30016	24/07/2014	GEOFFREY & VIBEKE METCALF	Reversal Of Application Fee For Registration Of Holiday/Short Stay Accommodation.	100.00
30017	24/07/2014	SYLVIA HARRIS	Landowner Compensation: Road Widening Of Symers Street Road Reserve Affecting Lot 50 Symers Street	18,270.00
30018	24/07/2014	WAYNE KENNEDY	Crossover Subsidy	393.66
30019	24/07/2014	MELISSA COXALL	Crossover Subsidy	211.55
30020	24/07/2014	CHRISTOPHER AND LISA-MARIE LONG	Reimburse Fee For Application Of Planning Consent For 33 Gerdes Way, Mckail Which Has Been Cancelled	209.00
30021	24/07/2014	AMP BANK	Fee For Preparation Of Audit Certificate	30.00
30022	24/07/2014	HAZEL O'NEILL	Refund For Joel & Nathan Swimming Lessons -due to medical reason	93.60
30023	24/07/2014	MICHAEL AND LYN SILVER	Refund Of Swimming Lessons For Olivia Due To Injury	65.00
30024	24/07/2014	BROADWATER COMO RESORT	Accommodation - Staff Training	720.00
30025	24/07/2014	CITY OF BUNBURY	Long Service Leave Entitlements - C. Pugh - Pro Rata Leave Paid	2,819.81
30026	24/07/2014	LOCKYER AVENUE VETERINARY HOSPITAL	Cat Sterilisation Subsidy Scheme	117.50
30027	24/07/2014	WA COUNTRY HEALTH SERVICE - GREAT SOUTHERN	Workers Compensation - Emergency Attendance 5/6/2014	203.00
30028	24/07/2014	PETTY CASH - VANCOUVER ARTS CENTRE	Petty Cash Reimbursements	148.40
30029	24/07/2014	PIVOTEL SATELLITE PTY LIMITED	Satellite Phone Charges	225.00
30030	24/07/2014	TELSTRA CORPORATION LIMITED	ADSL Charges	29.95
30031	24/07/2014	WATER CORPORATION	Water Charges for Various Locations	1,794.93
30032	31/07/2014	MICHAEL LIDDIARD	Reimbursement Of Sustenance Fee For Impounding Heiffer On Private Property	27.80
30033	31/07/2014	MAHAKIT & ELISA PITAVANIK	Crossover Subsidy	179.16
30034	31/07/2014	JAMES & MANY ROGERS	Crossover Subsidy	211.55
30035	31/07/2014	SAM JONES	Payment For Fixing of Leg Press, New Pulley And Bearings Plus Labour	80.00
30036	31/07/2014	FLORENCE (JANE) RICH	Refund For Multi Visit Pass Due To Injury	67.50
30037	31/07/2014	AMP FLEXIBLE LIFETIME SUPER PLAN	Superannuation Contributions	2,667.14
30038	31/07/2014	AMP RSA	Superannuation Contributions	380.24
30039	31/07/2014	ASGARD	Superannuation Contributions	831.72
30040	31/07/2014	AUSTRALIAN CATHOLIC SUPERANNUATION AND RETIREMENT FUND COMPLIA	Superannuation Contributions	103.56
30041	31/07/2014	BENDIGO SMARTSTART SUPER	Superannuation Contributions	116.44
30042	31/07/2014	CARE SUPER PTY LTD	Superannuation Contributions	499.08
30043	31/07/2014	COLONIAL FIRST STATE ROLLOVER & SUPER FUND	Superannuation Contributions	540.81
30044	31/07/2014	HESTA SUPER FUND	Superannuation Contributions	1,667.27
30045	31/07/2014	HOSTPLUS PTY LTD	Superannuation Contributions	842.70
30046	31/07/2014	ING DIRECT LIVING SUPER	Superannuation Contributions	142.10
30047	31/07/2014	IOOF INVESTMENT MANAGEMENT LTD	Superannuation Contributions	555.72
30048	31/07/2014	IOOF EMPLOYEE SUPER	Superannuation Contributions	397.68

REPORT ITEM CSF114 REFERS

30049	31/07/2014	KINETIC SUPERANNUATION	Superannuation Contributions	258.90
30050	31/07/2014	LOCAL GOVERNMENT SUPER	Superannuation Contributions	488.84
30051	31/07/2014	MLC NOMINEES PTY LTD	Superannuation Contributions	464.32
30052	31/07/2014	MLC NOMINEES PTY LIMITED	Superannuation Contributions	956.74
30053	31/07/2014	MLC MASTERKEY SUPERANNUATION GOLD STAR	Superannuation Contributions	113.82
30054	31/07/2014	NATIONAL MUTUAL RETIREMENT FUND	Superannuation Contributions	272.10
30055	31/07/2014	PLUM NOMINEES P/L PLUM SUPER FUND	Superannuation Contributions	588.62
30056	31/07/2014	IOOF GLOBAL ONE (EX SKANDIA GLOBAL)	Superannuation Contributions	415.69
30057	31/07/2014	SPECTRUM SUPER	Superannuation Contributions	421.72
30058	31/07/2014	SPECTRUM SUPER	Superannuation Contributions	570.57
30059	31/07/2014	SUNSUPER SUPERANNUATION	Superannuation Contributions	278.80
30060	31/07/2014	SUPERWRAP PERSONAL SUPER PLAN	Superannuation Contributions	777.82
30061	31/07/2014	TAL SUPERANNUATION LIMITED	Superannuation Contributions	380.24
30062	31/07/2014	VISION SUPER	Superannuation Contributions	602.00
30063	31/07/2014	DEPARTMENT OF TRANSPORT	Variation In Licence Fees	288.20
30064	31/07/2014	DISCOVERY BAY TOURISM EXPERIENCE	Amazing Albany Sponsorship of Event	5,500.00
30065	31/07/2014	GIRL GUIDES GREAT SOUTHERN	Kidsport Vouchers	182.00
30066	31/07/2014	PETTY CASH - ALBANY AQUATIC AND LEISURE CENTRE	Social Netball Umpires Payments	1,625.00
30067	31/07/2014	LOCKYER AVENUE VETERINARY HOSPITAL	Examination/Autopsy Of Animal	619.90
30068	31/07/2014	STEPHANIE MORRIGAN	EAP Consultations	176.00
30069	31/07/2014	PIVOTEL SATELLITE PTY LIMITED	Trak Spot Tracking Charge 15/7/14 - 14/8/14	84.00
30070	31/07/2014	TELSTRA CORPORATION LIMITED	Telephone Charges	63.25
30071	31/07/2014	WATER CORPORATION	Cut And Cap Section Of Water Main At North Road, Spencer Park - As Per Works Order - Internal 93265064	6,535.69
30073	05/08/2014	DEPARTMENT OF TRANSPORT	Vehicle Registration For P9012A1	299.85
30074	07/08/2014	RHIANNAN GRIMSHAW	Refund of Part Multi-Visit Pass Not Used	20.25
30075	07/08/2014	MELISSA PEARS	Refund For Swim Shop Purchase	25.00
30076	07/08/2014	CRAIG DONALD & LOUISE OPENSHAW	Subsidy Payment For Crossover	243.95
30077	07/08/2014	DEPARTMENT OF TRANSPORT	Amazing Albany Number Plates 9023A	200.00
30079	07/08/2014	SCHLAGER HOMES	Reimburse Fee For Application For Grant Of Planning Scheme Consent For 2 Culley Road, Bayonet Head Which Has Been Cancelled P2140305	912.00
30080	07/08/2014	TANYA MORGAN	July Consignment - Framed Canvas Panels	250.00
30081	07/08/2014	TELSTRA CORPORATION LIMITED	Telephone Charges	10,315.86
30082	07/08/2014	WATER CORPORATION	Water Consumption & Service Charges Various Locations	8,649.04
30083	12/08/2014	DEPARTMENT OF TRANSPORT	3 X Plate Remakes - P9012A-1, P9014A1, 9016A-1	326.85
30084	14/08/2014	TESLA HOLDINGS	Reimburse Part Fee - Application For Planning Consent For Lot 5 Down Road, Drome Which Has Been Withdrawn (P2140001)	4,200.00
30085	14/08/2014	BRIDGESTONE AUSTRALIA LTD	Tyre Purchases/Maintenance/Repairs	1,050.37
30087	14/08/2014	JO-JOES PIZZA AND KEBAB	Catering For Youth Session	64.00
30088	14/08/2014	LOCKYER AVENUE VETERINARY HOSPITAL	Cat Sterilisation Subsidy Scheme	117.50
30089	14/08/2014	SENSIS PTY LTD	Sensis Value Package - Business Essentials 2014/2015	40.70
30090	14/08/2014	PETTY CASH - ALBANY PUBLIC LIBRARY	Petty Cash Reimbursement	299.35
30091	14/08/2014	PETTY CASH - CITY OF ALBANY	Petty Cash Reimbursement	438.35
30092	14/08/2014	PIVOTEL SATELLITE PTY LIMITED	Satellite Phone Charges	225.00
30093	14/08/2014	REGIONAL COUNSELLING AND MENTORING SERVICES INC	EAP Counselling Session	110.00
30094	14/08/2014	RPS AUSTRALIA ASIA PACIFIC	Attendance At City Of Albany Sat Full Hearing 4/06/2014 Qu14137426	2,772.00
30095	14/08/2014	TELSTRA CORPORATION LIMITED	Telephone Charges	11,742.06
30096	14/08/2014	TORBAY VOLUNTEER BUSH FIRE BRIDAGE	2013/14 ESL Payment - Additional Allocation	182.31
30097	14/08/2014	WATER CORPORATION	Water Consumption For Various Locations	2,095.96

TOTAL

\$ 195,302.86

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EFT	Date	Name	Description	Amount
EFT92395	17/07/2014	3D CATERING	Catering	120.00
EFT92396	17/07/2014	ABA SECURITY	Security Services - Programming of 100 Access Control Tags	1,772.10
EFT92397	17/07/2014	ACORN TREES AND STUMPS	The Stump Grinding of Stump In Lockyer Avenue.	250.00
EFT92398	17/07/2014	AD CONTRACTORS PTY LTD	Dam Formation	7,674.10
EFT92399	17/07/2014	ALBANY CRANE HIRE	Lifting of The Front Mast Spar On The Brig Amity	371.25
EFT92400	17/07/2014	OPTEON (ALBANY AND GREAT SOUTHERN WA)	Rental Valuations	330.00
EFT92401	17/07/2014	ALBANY FARM TREE NURSERY	Nursery Supplies	612.48
EFT92402	17/07/2014	ALBANY V-BELT AND RUBBER	Filters/Vehicle Parts	750.60
EFT92403	17/07/2014	ALBANY STATIONERS	Stationery Supplies	53.85
EFT92404	17/07/2014	TRICOAST CIVIL	C14001 Emu Point Drive/Golf Links Road Cycle Lanes	40,426.10
EFT92405	17/07/2014	ALBANY REFRIGERATION	Repairs And Regas Cafe Cool room & Replace Temp Sensor With Adjustable	1,951.40
EFT92406	17/07/2014	ALBANY OFFICE PRODUCTS DEPOT - NORTH ROAD	Stationery Supplies	1,251.95
EFT92407	17/07/2014	ALBANY SWIMMING CLUB INC	Community Funding Program - Albany Short Course Swim Meeting 2014	3,200.00
EFT92408	17/07/2014	ALBANY SHOE REPAIRS	Engraving of Memorabilia Plaque For A Manzij For 25 Years Service	42.00
EFT92409	17/07/2014	ALBANY RECORDS MANAGEMENT	Library Services Bulk Storage July 2014	594.00
EFT92410	17/07/2014	AUSTRALIAN LIBRARY AND INFORMATION ASSOCIATION LTD	Alia WA Symposium 2014: Collaborate Co-Operate Communicate - Library	50.00
EFT92411	17/07/2014	ALL EVENTS PROSOUND HIRE	Exhibition Focus: Home Schooling Exhibition	45.00
EFT92412	17/07/2014	PAPERBARK MERCHANTS	Newspapers/Books/Magazines/Stationery	1,010.62
EFT92413	17/07/2014	ATC WORK SMART	Casual Staff/Apprentice Fees	5,283.02
EFT92414	17/07/2014	AUSTRALIA POST	Postage Fees	2,720.95
EFT92415	17/07/2014	AUSTRALIA POST	Postage Agency Fees	736.11
EFT92416	17/07/2014	BADGEMATE	Magnetic Name Badges	179.47
EFT92417	17/07/2014	BAILEYS FERTILISERS	1/2 Tonne Turf Gold Fertiliser	2,508.00
EFT92418	17/07/2014	BARKERS TRENCHING SERVICES	Cable Locating And Pot Holing For A/C Main	150.00
EFT92419	17/07/2014	BENNETTS BATTERIES	Battery Purchases	400.40
EFT92420	17/07/2014	ALBANY TRAFFIC CONTROL	Traffic Control	653.13
EFT92421	17/07/2014	BEST OFFICE SYSTEMS	Photocopier Charges	265.00
EFT92422	17/07/2014	THE BIG BOOK CLUB INCORPORATED	Story time And Rhyme time Early Literacy Resources	987.25
EFT92423	17/07/2014	BLOOMIN FLOWERS	Flowers For N. Ross - 25th Employment Anniversary	70.00
EFT92424	17/07/2014	BOC GASES AUSTRALIA LIMITED	Container Service Rental	152.92
EFT92425	17/07/2014	BRITEL ENTERPRISES PTY LTD	Full Banner Advertisement - Lions Dairy Planner 2014-2015	350.00
EFT92426	17/07/2014	BROWNES FOODS OPERATIONS PTY LTD	Catering Supplies	277.86
EFT92427	17/07/2014	BUNNINGS GROUP LIMITED	Tools/Hardware Supplies	244.63
EFT92428	17/07/2014	C&C MACHINERY CENTRE	Washers For Boom Spray, Hose For Hose Reel & Telescope Spraygun	169.21
EFT92429	17/07/2014	CALTEX AUSTRALIA PETROLEUM PTY LTD	Starcard Fuel Purchases For June 2014	7,214.74
EFT92430	17/07/2014	CAMTRANS ALBANY PTY LTD	C14017 Supply And Delivery of Paving Units - Stirling Terrace. Supply And Delivery of Items 1.1 To 1.3 Concrete Pavers In Accordance With Tender Submission.	9,879.40
EFT92431	17/07/2014	CAMPING KAYAKS & 4 X 4	Supplies/Equipment For Health Inspections	256.67
EFT92432	17/07/2014	J & S CASTLEHOW ELECTRICAL SERVICES	C13029 Centennial Park Multi Purpose Playing Field Lighting Supply And Installation	73,713.81
EFT92433	17/07/2014	CATERLINK	Fast Fri Twin Pan Gas Fryer 450Mm - Waldorf 800 Series	4,815.80
EFT92434	17/07/2014	BIS CLEANAWAY LIMITED	Rubbish Removal Contract	243,290.49
EFT92435	17/07/2014	COCA-COLA AMATIL PTY LTD	Soft Drinks For ALAC Cafe	934.22
EFT92436	17/07/2014	COLES SUPERMARKETS AUSTRALIA PTY LTD	Groceries For Day Care	1,506.02
EFT92437	17/07/2014	COURIER AUSTRALIA	Freight Fees - Various Locations	239.27

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EFT92438	17/07/2014	ALBANY SIGNS	Signage	528.00
EFT92439	17/07/2014	COVS PARTS PTY LTD	Vehicle Parts	837.46
EFT92440	17/07/2014	DOWNER EDI WORKS PTY LTD	Hotmix Supplies	2,592.96
EFT92441	17/07/2014	HOLCIM (AUSTRALIA) PTY LTD	Supply M3 of Kerb Mix	1,265.98
EFT92442	17/07/2014	AL CURNOW HYDRAULICS	Vehicle Parts/Maintenance	852.28
EFT92443	17/07/2014	D & K ENGINEERING	Weld New Skids On Profiler.	359.70
EFT92444	17/07/2014	DATA #3 LIMITED	IT Equipment	838.20
EFT92445	17/07/2014	DE JONGE MECHANICAL REPAIRS	Vehicle Servicing	1,780.00
EFT92446	17/07/2014	DENMARK VISITOR CENTRE	Shire Racking Rate 1/7/14 - 30/6/15	155.00
EFT92447	17/07/2014	LANDGATE - PROPERTY & VALUATIONS	Title Searches - Rural UV General Revaluation 2013/2014	22,134.45
EFT92448	17/07/2014	JANINE DETERMES	Fitness Instruction	180.00
EFT92449	17/07/2014	G & M DETERGENTS & HYGIENE SERVICES ALBANY	Hygiene Contract - Various Locations	1,551.86
EFT92450	17/07/2014	DORTCH & CUTHBERT	Hunton Road / Chelgiup Creek Bridge Replacement - Aboriginal Heritage Survey & Section 18 Application	1,985.50
EFT92451	17/07/2014	DYLANS ON THE TERRACE	Catering	774.80
EFT92452	17/07/2014	ENGINEERING TECHNOLOGY CONSULTANTS	Albany Town Square - Electrical Services And Lighting Design Reference 7258Km-Mf-102689Jw	11,880.00
EFT92453	17/07/2014	ALBANY ENGINEERING COMPANY	2 X Aluminium Pulley Machines	279.24
EFT92454	17/07/2014	EVERTRANS	Vehicle Repairs	404.80
EFT92455	17/07/2014	FARM FRESH WHOLESALERS (VIOLET HOLDINGS P/L)	Catering Supplies	141.30
EFT92456	17/07/2014	ALBANY FILTER CLEAN	Filter Changing/Cleaning	28.00
EFT92457	17/07/2014	FLIPS ELECTRICS	Electrical Work, Float Switch, Acc Electrical Cable	578.60
EFT92458	17/07/2014	TAMMIE FLOWER	Fitness Instruction	270.00
EFT92459	17/07/2014	GRAHAM FOSTER	Reimbursement For Lunch Meeting With The Honourable Kay Hallahan	141.94
EFT92460	17/07/2014	FOXTEL MANAGEMENT PTY LTD	Foxtel Business Premium Package Monthly Subscription Fee	340.00
EFT92461	17/07/2014	GALLERY 500	Art Supplies	48.80
EFT92462	17/07/2014	GALT GEOTECHNICS	Project Management, Fieldwork And office Work For Spectrum Theatre	4,730.00
EFT92463	17/07/2014	GB MARINE	Purchase of Oil Filter	45.00
EFT92464	17/07/2014	BILL GIBBS EXCAVATIONS	Stone Crushing At Pascoes Gravel Pit /Grade And Rip Area	20,589.58
EFT92465	17/07/2014	GRACE REMOVALS GROUP	Removal Fee - Freight For 'Ripples In The Pond'	176.00
EFT92466	17/07/2014	GRANDE FOOD SERVICE	Catering Supplies	1,797.23
EFT92467	17/07/2014	GREAT SOUTHERN GROUP TRAINING	Casual Staff /Apprentices Fees	8,068.26
EFT92468	17/07/2014	GREEN SKILLS INC	Preparation of Media Stories	3,468.40
EFT92469	17/07/2014	GSP WORKFORCE	Green Waste Pack	220.30
EFT92470	17/07/2014	GREAT SOUTHERN PACKAGING SUPPLIES	Cleaning Stock We 27/6/2014	1,146.34
EFT92471	17/07/2014	CPG RESEARCH AND ADVISORY PTY LTD	Ongoing Investment Advice On Lehman Bros/Cdo Arrangement.	1,375.00
EFT92472	17/07/2014	GSM AUTO ELECTRICAL	Vehicle Parts/Maintenance	104.50
EFT92473	17/07/2014	HEAVY AUTOMATICS PTY LTD	Filter Kit	86.90
EFT92474	17/07/2014	H AND H ARCHITECTS	Consultant Services - Albany Airport Terminal Security Upgrade Stage 2	6,600.00
EFT92475	17/07/2014	IMMEDIATE PLUMBING & GAS SERVICE	Installation of Fry Set Gas Pressure	378.95
EFT92476	17/07/2014	ISUBSCRIBE	2014/15 Magazine Subscription Renewals	3,192.46
EFT92477	17/07/2014	ITOMIC WEB SPECIALISTS	Pre Paid Hours Under Contract C13027	35,824.00
EFT92478	17/07/2014	JIMS TEST AND TAG	Electrical Testing And Tagging	1,498.33
EFT92479	17/07/2014	KANDOO WINDSCREENS	Supply And Fit New Windscreen To Isuzu Giga Truck.	550.00
EFT92480	17/07/2014	KNOTTS GROUP PTY LTD	Plumbing Repairs/Maintenance	78.21
EFT92481	17/07/2014	LA FREEGARD	Roadside Maintenance	17,342.00

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EFT92482	17/07/2014 LEADING EDGE HIFI-ALBANY	Mipro Ma705Cdm6 Including Cd Mpe, Additional Receiver, Hand Held Mic, Body Pack & Headworn Mic.	1,912.95
EFT92483	17/07/2014 LEASE CHOICE	Photocopier Charges	1,246.83
EFT92484	17/07/2014 LEE ANNE GARVEY	Sale of Artworks - Resilience	450.00
EFT92485	17/07/2014 LET'S PARTY HIRE	Hire of 1X Popcorn Machine For Windows" Sea Production At The Vancouver Arts Centre."	80.00
EFT92486	17/07/2014 LINCOLN AND GOMM WINES	Wine Purchases	830.12
EFT92487	17/07/2014 MARIO LIONETTI	Groceries	600.35
EFT92488	17/07/2014 LORLAINE DISTRIBUTORS PTY LTD	Cleaning Supplies	394.20
EFT92489	17/07/2014 M & L AUSTRALIA PTY LTD	Lapel Pins For The National Anzac Centre	325.11
EFT92490	17/07/2014 MAGPIES MAGAZINE PTY LTD	Magpies One Year Subscription	55.00
EFT92491	17/07/2014 SOUTH COAST WOODWORKS GALLERY	Jarrah Tray Box	285.00
EFT92492	17/07/2014 ALBANY CITY MOTORS	Vehicle Parts & Repairs	592.40
EFT92493	17/07/2014 VICKI MICHELLE MARTIN	Fitness Instruction	180.00
EFT92494	17/07/2014 METRO OF ALBANY	Roofing Materials	72.53
EFT92495	17/07/2014 MIDALIA STEEL PTY LTD	Steel Supplies	4.24
EFT92496	17/07/2014 MOIR & CO PTY LTD	June Removal of Rubbish From The Cape Riche Camp Grounds	770.00
EFT92497	17/07/2014 CORBAN JAMES MORAN	Forts Volunteer Travelling Allowance	48.00
EFT92498	17/07/2014 LGIS INSURANCE BROKING	Insurance Policies	177,867.76
EFT92499	17/07/2014 LGIS WORKCARE	Insurance Policies	45,940.40
EFT92500	17/07/2014 LGIS LIABILITY	Insurance Policies	603,308.08
EFT92501	17/07/2014 MUNGART BOODJA ART CENTRE	Artist Fees For Vancouver Art Centre Seminar	330.00
EFT92502	17/07/2014 N & S ELECTRONICS	Ipad 4 Screen Replacement	150.00
EFT92503	17/07/2014 NEVILLES HARDWARE & BUILDING SUPPLIES	Hardware Supplies	488.75
EFT92504	17/07/2014 ALBANY NEWS DELIVERY - ALAC - NEW	Newspaper Deliveries 30/6/2014 - 6/7/2014	110.76
EFT92505	17/07/2014 A NOBLE AND SON LTD	As Per Quote Q23226. 10Mm Wire Rope Assembly	6,963.00
EFT92506	17/07/2014 OCLC (UK) LTD	Amlib Annual Maintenance Database Support 2014/2015	11,671.23
EFT92507	17/07/2014 OFFICEWORKS SUPERSTORES PTY LTD	Logitech K400R Wireless Touch Keyboard With 3.5 Touchpad	4.13
EFT92508	17/07/2014 OKEEFE'S PAINTS	Road Marking Paint/Painting Supplies	905.68
EFT92509	17/07/2014 SHIRE of GNOWANGERUP	Catering For Visiting Author - Annabelle Brayley	102.00
EFT92510	17/07/2014 ORIGIN ENERGY	LP Gas Delivery - ALAC	6,477.55
EFT92511	17/07/2014 PALMER EARTHMOVING (AUSTRALIA) PTY LTD	Metal Dust Delivered To Mercer Road Depot	2,992.55
EFT92512	17/07/2014 PAULS PET FOOD	Dog Food For Pound	162.50
EFT92513	17/07/2014 PBF AUSTRALIA LTD	PBF Prevention Workplace Presentations 4 June 2014	905.00
EFT92514	17/07/2014 RAECO INTERNATIONAL PTY LTD	Various Promotional Materials	352.92
EFT92515	17/07/2014 REECE PTY LTD	Stormpro Pipe 300mm X 6m	4,446.23
EFT92516	17/07/2014 REPLICAS MEDALS & RIBBONS PTY LTD	Forts Merchandise	60.94
EFT92517	17/07/2014 THE ROYAL LIFE SAVING SOCIETY WA INC	Swim And Survive Certificates For Swim School & Purchase Life Saving Manuals For Swim School	972.00
EFT92518	17/07/2014 THE ROYAL WESTERN AUSTRALIAN HISTORICAL SOCIETY	Subscription 2014/2015	90.00
EFT92519	17/07/2014 UNITED TOOLS ALBANY	Hardware/Tool Supplies	66.00
EFT92520	17/07/2014 SERENA MCLAUCHLAN	Visual Poetry Exhibition Expenses	30.15
EFT92521	17/07/2014 SC LENNON & ASSOCIATES	City of Albany Futures Forum Reimbursements	1,047.98
EFT92522	17/07/2014 SMITHS ALUMINIUM & 4WD CENTRE	Fabrication of New Pump Room Platform	2,495.00
EFT92523	17/07/2014 SMITH CONSTRUCTIONS ALBANY PTY LTD	Airport Upgrade C13021/Forts Refurbishment C14012	585,179.10
EFT92524	17/07/2014 SOUTHERN ELECTRICS	Nilfisk Vacuum Cleaner	2,611.95
EFT92525	17/07/2014 SOUTHERN TOOL & FASTENER CO	Hardware Supplies	367.98
EFT92526	17/07/2014 SOUTHWAY DISTRIBUTORS PTY LTD	Catering Supplies	865.89

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EFT92527	17/07/2014	GARY OWEN SPENCE	June & July 2014 Day care Lawn Maintenance	225.00
EFT92528	17/07/2014	DEPARTMENT of THE PREMIER & CABINET - STATE LAW PUBLISHER	Gazette Advertising	108.80
EFT92529	17/07/2014	POSITION PARTNERS	Clean And Calibrate Optical Level	132.00
EFT92530	17/07/2014	ST JOHN AMBULANCE AUSTRALIA	First Aid Kits Servicing	330.00
EFT92531	17/07/2014	SUNNY SIGN COMPANY	Assorted Signage	693.22
EFT92532	17/07/2014	SUPERCHEAP AUTOS	Fire Extinguishers For Vehicles	180.00
EFT92533	17/07/2014	SYRINX ENVIRONMENTAL PTY LTD	Task 4: Draft Design + Implementation Plan	10,560.00
EFT92534	17/07/2014	T & C SUPPLIES	Hardware/Tool Supplies	363.45
EFT92535	17/07/2014	TECTONICS CONSTRUCTION GROUP P/L	Contract C14002 - West Rail Barracks Stages 1-3	88,474.13
EFT92536	17/07/2014	THE LIFTING COMPANY (TLC)	Pallet Lifting Bars	412.50
EFT92537	17/07/2014	TIM WATERS DESIGN	Think Albany Booklet Mandarin Translation	924.00
EFT92538	17/07/2014	CAROLINE ELLEN TOMPKIN	Fitness Instruction	45.00
EFT92539	17/07/2014	TORBAY GLASS STUDIO AND GALLERY	Glass Artwork - A Gift for Linyi China Visit	300.00
EFT92540	17/07/2014	TORQUE FITNESS & WELLBEING	Fitness Instruction	90.00
EFT92541	17/07/2014	TRAILBLAZERS	Work Boots	160.00
EFT92542	17/07/2014	CAROLYN FRANCIS TRAPNELL	Visitors Centre Merchandise	722.00
EFT92543	17/07/2014	TRUCKLINE	Vehicle Parts	25.72
EFT92544	17/07/2014	ALBANY TYREPOWER	Tyre Purchases/Maintenance	287.00
EFT92545	17/07/2014	UNIVERSITY of WESTERN AUSTRALIA	Emu Point To Middleton Beach Coastal Strategy Monitoring Program - May 2014	13,405.63
EFT92546	17/07/2014	VANCOUVER WASTE SERVICES PTY LTD	Provide Soil Conditioner And Metal Dust For Stage 1 Works Along North Road Median Strips	306.00
EFT92547	17/07/2014	SARAH VALLENTINE	Casual Hours 3 July 2014	51.53
EFT92548	17/07/2014	JULIA WARREN	Fitness Instruction	180.00
EFT92549	17/07/2014	GRAHAM EDWARD WEBB	Cartage Costs	132.00
EFT92550	17/07/2014	ALBANY & GREAT SOUTHERN WEEKENDER	Advertising	1,189.54
EFT92551	17/07/2014	WELLSTEAD COMMUNITY RESOURCE CENTRE INC	Subscription To Whisper Publishment	30.00
EFT92552	17/07/2014	WELLING & CROSSLEY PTY LTD	Albany Airport - Supply, Delivery And offload of 160Kva, 3 Phase Generator	34,955.80
EFT92553	17/07/2014	WESTERN AUSTRALIAN LOCAL GOVERNMENT ASSOCIATION	Advertising	1,006.81
EFT92554	17/07/2014	LANDMARK LIMITED	Herbicides/Pesticides/Lawn/Grass Seeds/Inoculants	3,352.95
EFT92555	17/07/2014	WEST AUSTRALIAN NEWSPAPERS LIMITED - (NORTH ROAD)	Advertising	3,434.62
EFT92556	17/07/2014	WESTSHRED DOCUMENT DISPOSAL	Document Disposal	361.90
EFT92557	17/07/2014	WESTERN WORK WEAR	Safety Work wear	1,151.85
EFT92558	17/07/2014	WEST AUSTRALIAN NEWSPAPERS LIMITED - (VISITORS)	Advertising	330.00
EFT92559	17/07/2014	WILD EYED PRESS PTY LTD	Visitors Centre Merchandise	369.93
EFT92560	17/07/2014	WORKING ON FIRE AUSTRALIA	Development of Fuel Management Plan And Works Program - As Per Q14017	42,292.00
EFT92561	17/07/2014	ZENITH LAUNDRY	Laundry Services/Hire	52.88
EFT92562	24/07/2014	3D CATERING	Catering For EEO Training	90.00
EFT92563	24/07/2014	ABA SECURITY	Security Services - Airport	176.00
EFT92564	24/07/2014	ABSOLUTE STONE	Stirling Terrace - Supply And Delivery of Granite In Accordance With Q14033	15,251.81
EFT92565	24/07/2014	ACORN TREES AND STUMPS	Pruning of Dangerous Limbs On Mercer Rd	990.00
EFT92566	24/07/2014	ACTIV FOUNDATION INC.	Cleaning Rags	450.00
EFT92567	24/07/2014	AD CONTRACTORS PTY LTD	Cubic Metres - Win, Crush And Stockpile Gravel From South Coast Hwy (Pascoes) Pit Extra To Contact C12024	19,879.90
EFT92568	24/07/2014	AERODROME MANAGEMENT SERVICES PTY LTD	37Eng Jet Compliance Works For Albany Airport	107,077.65
EFT92569	24/07/2014	AIRSERVICES AUSTRALIA	Albany IIs Performance Inspection And Maintenance 2014 April - June Quarter	45,610.14
EFT92570	24/07/2014	ALBANY INDUSTRIAL SERVICES PTY LTD	Hire of Heavy Equipment/Drainage Crew/Lime Cartage/Drainage Works	31,779.00

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EFT92571	24/07/2014	ALBANY FARM TREE NURSERY	Nursery Supplies	116.16
EFT92572	24/07/2014	ALBANY V-BELT AND RUBBER	Filters/Vehicle Parts	399.08
EFT92573	24/07/2014	ALBANY SWEEP CLEAN	Sweeping of Car parks, Pathways And Board Walks For June 2014 As Per Quotation No: Q13023	6,914.50
EFT92574	24/07/2014	ALBANY STATIONERS	Stationery Supplies	85.20
EFT92575	24/07/2014	ALBANY REFRIGERATION	Refrigeration & Air-conditioning Repairs & Maintenance	82.50
EFT92576	24/07/2014	ALBANY SKIPS AND WASTE SERVICES	Rental And Tip Fees For Skip Bin 18/06/2014	310.00
EFT92577	24/07/2014	ALBANY OFFICE PRODUCTS DEPOT - NORTH ROAD	Stationery Supplies	1,017.00
EFT92578	24/07/2014	ALBANY WHALE TOURS	Visitors Centre Merchandise	68.00
EFT92579	24/07/2014	ALD FUEL INJECTION SERVICES	Supply 6 X Injector Nozzles, Shim Kits And Washers, Test And Calibrate.	1,909.38
EFT92580	24/07/2014	ALINTA	Gas Usage Charges	301.95
EFT92581	24/07/2014	ALL EVENTS PROSOUND HIRE	14th July Exhibition Bump Out - First Aid	97.50
EFT92582	24/07/2014	PAPERBARK MERCHANTS	Replacement of Local Stock Purchases	4,321.19
EFT92583	24/07/2014	ARDESS NURSERY	Nursery Supplies	149.30
EFT92584	24/07/2014	ATC WORK SMART	Casual Staff/Apprentice Fees	14,618.07
EFT92585	24/07/2014	ATF SERVICES PTY LTD	Fencing Materials	2,299.61
EFT92586	24/07/2014	AUDIOCOM ALBANY	New Iphone & Cover	1,609.00
EFT92587	24/07/2014	AUSTRALIAN BARBELL COMPANY	ALAC Equipment	1,547.70
EFT92588	24/07/2014	JOHN BATMAN GROUP - THE HOSPITALITY SUPERMARKET	Advertising	1,836.00
EFT92589	24/07/2014	SOPHIE BEECH	Masters Course Fee Reimbursement	2,875.00
EFT92590	24/07/2014	BENNETTS BATTERIES	205L Drum Hi Tec Fleetmaster Extreme Cj-4 Engine Oil.	792.00
EFT92591	24/07/2014	BERTOLA HIRE SERVICES ALBANY PTY LTD	Equipment Hire	183.15
EFT92592	24/07/2014	BLOOMIN FLOWERS	Flowers Arrangements Various	190.00
EFT92593	24/07/2014	BOOKMARKETING - GARY SPELLER	Local Book stocks	32.00
EFT92594	24/07/2014	BRITEL ENTERPRISES PTY LTD	Advertising	345.00
EFT92595	24/07/2014	BROWNES FOODS OPERATIONS PTY LTD	Catering Supplies	133.38
EFT92596	24/07/2014	BUNNINGS GROUP LIMITED	Hardware Supplies/Tools	721.77
EFT92597	24/07/2014	CAMTRANS ALBANY PTY LTD	Cartage Costs	597.95
EFT92598	24/07/2014	CAMLYN SPRINGS WATER DISTRIBUTORS	Water Container Refills	780.00
EFT92599	24/07/2014	J & S CASTLEHOW ELECTRICAL SERVICES	Electrical Repairs/Maintenance	7,314.73
EFT92600	24/07/2014	IMAGELAB CIRCUIT ADVERTISING	Advertising	638.00
EFT92601	24/07/2014	CLARK EQUIPMENT SALES PTY LTD	Vehicle Parts	98.18
EFT92602	24/07/2014	COCA-COLA AMATIL PTY LTD	Catering Supplies	1,179.93
EFT92603	24/07/2014	COLES SUPERMARKETS AUSTRALIA PTY LTD	Groceries For Day care	657.45
EFT92604	24/07/2014	TRUGRADE PTY LTD	Graffiti Removal Supplies	2,244.00
EFT92605	24/07/2014	COUNCIL ON THE AGEING (WA) INC	COTA WA Organisational Membership Annual Fee July 2014 - June 2015	65.00
EFT92606	24/07/2014	ALBANY SIGNS	Signage	649.00
EFT92607	24/07/2014	COVS PARTS PTY LTD	Vehicle Parts	728.46
EFT92608	24/07/2014	DOWNER EDI WORKS PTY LTD	Hotmix	527.74
EFT92609	24/07/2014	HOLCIM (AUSTRALIA) PTY LTD	Metal Dust/Construction Materials	2,598.10
EFT92610	24/07/2014	ROGER CUNNINGTON	Visitors Centre Merchandise	288.00
EFT92611	24/07/2014	CURTIN UNIVERSITY of TECHNOLOGY	Graduate Diploma In Environmental Health Semester 2 Fees	5,775.00
EFT92612	24/07/2014	AL CURNOW HYDRAULICS	Vehicle Parts/Maintenance	206.88
EFT92613	24/07/2014	D & K ENGINEERING	Safety Repairs To Trolley	385.00
EFT92614	24/07/2014	TERESA MARIE DAVIES	Catering - LGSHA RSA Training	300.00
EFT92615	24/07/2014	DEFIBTECH	1X City of Albany Defib Package Including Carry Case & Wall Bracket	2,200.00
EFT92616	24/07/2014	DE JONGE MECHANICAL REPAIRS	Vehicle Servicing	933.00

REPORT ITEM CSF114 REFERS

EFT92617	24/07/2014	LANDGATE - PROPERTY & VALUATIONS	Gross Rental Valuations Chargeable 24/5/14 - 20/6/14	2,628.11
EFT92618	24/07/2014	JANINE DETERMES	Fitness Instruction	180.00
EFT92619	24/07/2014	JENNIFER MARGARET DUL	Sale of Artworks - Old Fashion Roses (Mutabilis)	600.00
EFT92620	24/07/2014	DYLAN'S ON THE TERRACE	Catering for Centennial Park Design Team	160.00
EFT92621	24/07/2014	EASIFLEET MANAGEMENT	Motor Vehicle Lease Rental/Esp Bureau Fee/Bureau Fee Rebate	8,813.80
EFT92622	24/07/2014	ENGINEERING TECHNOLOGY CONSULTANTS	CBD Multi-Functional Poles As Per EF14136568 - Undertake A Tender Review And Provide A Recommendation	1,320.00
EFT92623	24/07/2014	FIRE & SAFETY WA	Fire Safety Equipment	5,187.33
EFT92624	24/07/2014	THE FIXUPPERY	Window Cleaning Services	1,035.84
EFT92625	24/07/2014	TAMMIE FLOWER	Fitness Instruction	360.00
EFT92626	24/07/2014	FORREST WINDSCREENS	9001A Hyundai Santa Fe Windscreen	360.00
EFT92627	24/07/2014	ELIZABETH GRAY	Service Provided: Employee Assistance Program	520.00
EFT92628	24/07/2014	GREAT SOUTHERN INSTITUTE of TECHNOLOGY	Staff Training - Microsoft Excel - Intermediate	540.00
EFT92629	24/07/2014	GREEN SKILLS INC	Construction of Board Walk And Cost Price Materials	10,265.79
EFT92630	24/07/2014	GREAT SOUTHERN PEST & WEED CONTROL	Eradication of Bees	330.00
EFT92631	24/07/2014	SOUTHERN SHARPENING SERVICES	Purchase And Sharpening of Planer Knives Router Bits	413.30
EFT92632	24/07/2014	GREAT SOUTHERN PACKAGING SUPPLIES	Cleaning Supplies	167.20
EFT92633	24/07/2014	PROTECTOR FIRE SERVICES PTY LTD	Fire Equipment Maintenance	33.00
EFT92634	24/07/2014	HAVOC BUILDERS PTY LTD	Supply of Materials For The Married Men's Quarters West Wall Project	1,960.64
EFT92635	24/07/2014	JR AND A HERSEY PTY LTD	Safety Gloves	868.78
EFT92636	24/07/2014	HITACHI CONSTRUCTION MACHINERY AUSTRALIA	Vehicle Parts	24.70
EFT92637	24/07/2014	INSTANT WEIGHING	Crowd Sensor	228.80
EFT92638	24/07/2014	JACK THE CHIPPER	Mulching of Green Lopping In 2nd Yard	831.60
EFT92639	24/07/2014	ALBANY MAPPING AND SURVEYING SERVICES	Volume Survey Gravel Pit S016 Locn 5807 Lot 4,	8,340.20
EFT92640	24/07/2014	JOHN KINNEAR AND ASSOCIATES	Professional Services - Easement Lot S22 Stirling Terrace	3,287.50
EFT92641	24/07/2014	KALGAN QUEEN SCENIC CRUISES	Advertising In Albany Free Map	3,300.00
EFT92642	24/07/2014	KMART ALBANY	11 X Cutlery Sets	165.00
EFT92643	24/07/2014	KNOTTS GROUP PTY LTD	Plumbing Repairs/Maintenance	434.94
EFT92644	24/07/2014	LA FREEGARD	Mulching Around Storm Water Basin On Ulster Road - Woodthorpe School	550.00
EFT92645	24/07/2014	LGIS RISK MANAGEMENT	Business Continuity Management - Project Number 11558 Services To 1/4/2014 - Flights Michael Sparks	368.12
EFT92646	24/07/2014	RICHARD GEORGE LINNETT	Rates Refund For Assessment A159487	960.81
EFT92647	24/07/2014	MARIO LIONETTI	Groceries	166.76
EFT92648	24/07/2014	LORLAINE DISTRIBUTORS PTY LTD	Cleaning Supplies	84.40
EFT92649	24/07/2014	M & B SALES PTY LTD	Reeded Decking Supplies	604.45
EFT92650	24/07/2014	ALBANY CITY MOTORS	Vehicle Parts/Repairs	185.19
EFT92651	24/07/2014	VICKI MICHELLE MARTIN	Fitness Instruction	135.00
EFT92652	24/07/2014	METRO OF ALBANY	Flashing	44.13
EFT92653	24/07/2014	ROY MINITER	Aboriginal Heritage Supervision - Geotechnical Testing Hunton Road Friday 11 July	400.00
EFT92654	24/07/2014	NURRUNGA COMMUNICATIONS	Two Way Radio Repairs/Maintenance	1,875.31
EFT92655	24/07/2014	NEC AUSTRALIA PTY LTD	Relocation of Nec Pasolink Dish On Airport	2,620.44
EFT92656	24/07/2014	ALBANY NEWS DELIVERY - NORTH ROAD - NEW	Newspaper Deliveries 16/6/14 - 13/7/14	144.04
EFT92657	24/07/2014	ALBANY NEWS DELIVERY - ALAC - NEW	Newspaper Deliveries 7/7/14 - 13/7/14	221.52
EFT92658	24/07/2014	ALBANY NEWS DELIVERY - VAC - NEW	Newspaper Deliveries 16/6/2014 - 13/7/2014	12.40
EFT92659	24/07/2014	PAUL NIELSEN	Reimbursements of Costs For "For The Record" Judges	86.95
EFT92660	24/07/2014	OCS SERVICES PTY LTD	Cleaning Services	158.31

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EFT92661	24/07/2014	OPUS INTERNATIONAL CONSULTANTS LTD	To Provide 3 X Albany Pos Concepts For Cull Park, Foundation Park And Baltic Ridge As Per Quote And Scope of Works Received On 11Th June 2014 And As Per WALGA Contract No: C011_13.	12,320.00
EFT92662	24/07/2014	ORICA AUSTRALIA P/L	Chlorine Supplies	337.26
EFT92663	24/07/2014	ORIGIN ENERGY	Bulk Gas Supplies	7,274.05
EFT92664	24/07/2014	EDMUND KEITH PASCOE	Gravel Royalties Payment For July 2014 Extraction	7,360.00
EFT92665	24/07/2014	PENNANT HOUSE	Two Flags At 1800X900Mm	245.30
EFT92666	24/07/2014	PENROSE PROFESSIONAL LAWN CARE	Mowing & Edging of Grounds At VAC	308.00
EFT92667	24/07/2014	COURTNEY PERRY	Refund For Swimming Lessons Paid For Term 3 - Moving Interstate	234.00
EFT92668	24/07/2014	PLANT SUPPLY COMPANY	Nursery Supplies	2,288.00
EFT92669	24/07/2014	KRISTIE PORTER	Fitness Instruction	675.00
EFT92670	24/07/2014	RADIOWEST BROADCASTERS PTY LTD	Brand works 2013/2014 June	895.95
EFT92671	24/07/2014	RATHMHOR FARMING	Mt Barker Hill St Werburghs Rd Sand	8,431.50
EFT92672	24/07/2014	REEVES AND COMPANY BUTCHERS PTY LTD	Catering Supplies	465.90
EFT92673	24/07/2014	REECE PTY LTD	Supply of Concrete Water Box	26.66
EFT92674	24/07/2014	RIDING FOR THE DISABLED - ALBANY GROUP	Riders Registration Riding Fees 2014	135.00
EFT92675	24/07/2014	PHILIP ARTHUR ROGERSON	Rates Refund For Assessment A149935	1,042.78
EFT92676	24/07/2014	THE ROYAL LIFE SAVING SOCIETY WA INC	Bronze Medallion - Staff Requals	70.40
EFT92677	24/07/2014	SERENA MCLAUCHLAN	Holiday Workshops At VAC	660.97
EFT92678	24/07/2014	ALBANY SCAFFOLD HIRE	Being For The Hire And Removal of Scaffold For The Foremast And The Hire of Scaffold For The Starboard Side	1,936.00
EFT92679	24/07/2014	SKILL HIRE WA PTY LTD	Casual Staff	4,246.79
EFT92680	24/07/2014	SOUTHERN ELECTRICS	Scheduled Preventative Maintenance Electrical - June	956.54
EFT92681	24/07/2014	SOUTHWAY DISTRIBUTORS PTY LTD	Catering Goods	1,251.33
EFT92682	24/07/2014	STATEWIDE BUILDING CERTIFICATION WA	City of Albany - Refuse Centre Shed - Issue Certificate of Construction Compliance	264.00
EFT92683	24/07/2014	GREGORY BRIAN STOCKS	Fuel Reimbursements Travel National General Assembly of Local Government	691.50
EFT92684	24/07/2014	STRUCTERRE CONSULTING ENGINEERS	Princess Royal Fortress - A Visual Inspection To Assess The Stability And Structural Integrity of The Existing Freestanding Chimneys On Site As Per Q46434	1,243.00
EFT92685	24/07/2014	SUBWAY	Catering	127.10
EFT92686	24/07/2014	SUNNY INDUSTRIAL BRUSHWARE	Poly Broom To Suit Digga Broom Attachment.	720.50
EFT92687	24/07/2014	SYNERGY	Electricity	14,873.20
EFT92688	24/07/2014	T & C SUPPLIES	Hardware/Tool Supplies	407.68
EFT92689	24/07/2014	THERMAGUARD PTY LTD	Freight Charges	353.01
EFT92690	24/07/2014	THINKWATER ALBANY	Irrigation Supplies	3,784.73
EFT92691	24/07/2014	TRAFFIC FORCE	Provision of Traffic Management Services	8,278.60
EFT92692	24/07/2014	GARRY TURNER	Reimbursement of Expenses For Drivers Transporting Fire Vehicle To Narrogin	100.70
EFT92693	24/07/2014	ALBANY TYREPOWER	Tyre Purchases/Maintenance	95.00
EFT92694	24/07/2014	VANCOUVER WASTE SERVICES PTY LTD	Bulk Green Waste	17,186.40
EFT92695	24/07/2014	ALBANY & GREAT SOUTHERN WEEKENDER	Advertising	620.78
EFT92696	24/07/2014	WELLSTEAD HISTORICAL AND HERITAGE COMMITTEE	Community Enterprise Grant 2014/2015	5,500.00
EFT92697	24/07/2014	WESTRAC EQUIPMENT PTY LTD	Vehicle Parts	2,308.61
EFT92698	24/07/2014	WESTERN POWER CORPORATION	HV Electrical Testing EWP A62835	490.60
EFT92699	24/07/2014	WEST AUSTRALIAN NEWSPAPERS LIMITED - (VAC)	Advertising - VAC June 2014	492.30
EFT92700	24/07/2014	WOOD AND GRIEVE ENGINEERS	Superintendence of Contract C13030 As Per Q14011	13,174.99
EFT92701	24/07/2014	WORKWISE OCCUPATIONAL HEALTH	Case Co-Ordination, Pre-Employment Screen Assessment, Travel & Pre-Employment Screen Report	864.23
EFT92702	24/07/2014	ZENITH LAUNDRY	Laundry Services/Hire	67.80
EFT92703	24/07/2014	SELEX SYSTEMS INTERGRATION INC	Power Supply Assembly X 2	2,304.00

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EFT92704	31/07/2014	ABUNDANT SPERANNUATION FUND	Superannuation Contributions	338.66
EFT92705	31/07/2014	ACE SUPERANNUATION FUND	Superannuation Contributions	123.74
EFT92706	31/07/2014	AJW SUPERANNUATION FUND	Superannuation Contributions	458.62
EFT92707	31/07/2014	ALBANY COMMUNITY HOSPICE	Payroll Deductions	124.00
EFT92708	31/07/2014	ALBANY COMMUNITY FOUNDATION	Payroll Deductions	50.00
EFT92709	31/07/2014	AMP SUPERANNUATION LIMITED	Superannuation Contributions	1,892.85
EFT92710	31/07/2014	AUSTRALIAN TAXATION OFFICE	Payroll Deductions	307,722.00
EFT92711	31/07/2014	AUSTRALIAN SERVICES UNION WA BRANCH	Payroll Deductions	4,143.60
EFT92712	31/07/2014	PRIME SUPER	Superannuation Contributions	984.38
EFT92713	31/07/2014	AUSTRALIAN SUPER	Superannuation Contributions	5,245.31
EFT92714	31/07/2014	BANSCOTT SUPER FUND	Superannuation Contributions	730.53
EFT92715	31/07/2014	BT SUPER FOR LIFE	Superannuation Contributions	464.32
EFT92716	31/07/2014	BT SUPER FOR LIFE	Superannuation Contributions	332.04
EFT92717	31/07/2014	BT SUPER FOR LIFE	Superannuation Contributions	85.92
EFT92718	31/07/2014	BT SUPER FOR LIFE	Superannuation Contributions	270.10
EFT92719	31/07/2014	CHILD SUPPORT AGENCY	Payroll Deductions	1,496.48
EFT92720	31/07/2014	COLONIAL FIRST STATE FIRSTCHOICE PERSONAL SUPER	Superannuation Contributions	851.88
EFT92721	31/07/2014	COLONIAL FIRST STATE FIRSTCHOICE PERSONAL SUPER	Superannuation Contributions	921.68
EFT92722	31/07/2014	COLONIAL FIRST STATE FIRSTCHOICE PERSONAL SUPER	Superannuation Contributions	318.41
EFT92723	31/07/2014	CULLOTON SUPERANNUATION FUND	Superannuation Contributions	43.75
EFT92724	31/07/2014	FIRST STATE SUPER	Superannuation Contributions	755.80
EFT92725	31/07/2014	FIRST SUPER	Superannuation Contributions	367.96
EFT92726	31/07/2014	GENERATIONS PERSONAL SUPER FUND	Superannuation Contributions	74.01
EFT92727	31/07/2014	GENERATIONS PERSONAL SUPER FUND	Payroll Deductions	449.70
EFT92728	31/07/2014	GENERATIONS PERSONAL SUPER FUND	Superannuation Contributions	46.75
EFT92729	31/07/2014	HBF of WA	Payroll Deductions	313.30
EFT92730	31/07/2014	ING ONE ANSWER PERSONAL SUPER	Superannuation Contributions	527.84
EFT92731	31/07/2014	NORTH PERSONAL SUPERANNUATION & PENSION FUND	Superannuation Contributions	367.96
EFT92732	31/07/2014	NORTH PERSONAL SUPERANNUATION & PENSION FUND	Superannuation Contributions	200.54
EFT92733	31/07/2014	NORTH PERSONAL SUPERANNUATION & PENSION FUND	Superannuation Contributions	153.13
EFT92734	31/07/2014	OAK TREE SUPERANNUATION FUND	Superannuation Contributions	184.93
EFT92735	31/07/2014	ONEPATH LIFE LIMITED	Superannuation Contributions	342.76
EFT92736	31/07/2014	PLANET LUCK SUPERANNUATION FUND	Superannuation Contributions	1,059.62
EFT92737	31/07/2014	REST SUPERANNUATION	Superannuation Contributions	4,993.49
EFT92738	31/07/2014	SUMMIT PERSONAL SUPERANNUATION	Superannuation Contributions	83.44
EFT92739	31/07/2014	WA LOCAL GOVT SUPERANNUATION	Superannuation Contributions	140,512.90
EFT92740	31/07/2014	WATER CORPORATION SUPERANNUATION PLAN	Superannuation Contributions	453.49
EFT92741	31/07/2014	WAYNE JOHN STEAD PTY LTD SUPERANNUATION FUND	Payroll Deductions	1,939.74
EFT92742	31/07/2014	WESTSCHEME	Superannuation Contributions	2,512.57
EFT92743	31/07/2014	ASGARD	SGC For Kristie Porter - Period 25/7/14 - 22/7/14	98.33
EFT92744	31/07/2014	ABA SECURITY	Security Monitoring July To September 2014	938.16
EFT92745	31/07/2014	ABBOTTS LIQUID SALVAGE PTY LTD	Pump Sand From Blocked Stormwater Sump.	1,313.75
EFT92746	31/07/2014	ACORN TREES AND STUMPS	The Removal And Pruning of 2 Trees Overhanging Buildings For Fire Reduction.	700.00
EFT92747	31/07/2014	ADVERTISER PRINT	Warning Books/No One Home Books/Dog Seizure Books	750.00
EFT92748	31/07/2014	VISABILITY INCORPORATED	Postage & Handling	20.00
EFT92749	31/07/2014	ALBANY ADVERTISER LTD - NORTH ROAD	Library Sales of Anzac Expeditionary Book For June 2014 X 2 Copies	35.00

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EFT92750	31/07/2014	OPTEON (ALBANY AND GREAT SOUTHERN WA)	Valuations	330.00
EFT92751	31/07/2014	ALBANY INDOOR PLANT HIRE	Indoor Plant Hire	980.31
EFT92752	31/07/2014	ALBANY GAS CENTRE PTY LTD	Supply And Fit Spa Thermistor	174.00
EFT92753	31/07/2014	ALBANY REFRIGERATION	Refrigeration & Air-conditioning Repairs & Maintenance	605.00
EFT92754	31/07/2014	ALBANY OFFICE PRODUCTS DEPOT - NORTH ROAD	Stationery Supplies	1,602.65
EFT92755	31/07/2014	ALBANY CENTRAL CABINETS	Desk Top For North Road	121.00
EFT92756	31/07/2014	ALBANY COMBINED CABS PTY LTD	YAC Taxi Fares	41.70
EFT92757	31/07/2014	ALBANY LEGAL PTY LTD	Professional Services - Leases	495.00
EFT92758	31/07/2014	ALINTA	Gas Usage Charges - Service Charge 13/6/14 - 11/7/14	7.90
EFT92759	31/07/2014	ATC WORK SMART	Casual Staff/Apprentice Fees	6,288.58
EFT92760	31/07/2014	ATHLETICS WESTERN AUSTRALIA	National Cross Country Championships	77,000.00
EFT92761	31/07/2014	BADGEMATE	Name Badges	95.15
EFT92762	31/07/2014	BAKERS JUNCTION ENGINEERING	Stainless Steel Flatbar Supplies	58.32
EFT92763	31/07/2014	BAREFOOT CLOTHING MANUFACTURERS	Uniforms	84.70
EFT92764	31/07/2014	BENNETTS BATTERIES	Oil Purchases	44.00
EFT92765	31/07/2014	BEST OFFICE SYSTEMS	Photocopier Charges	357.00
EFT92766	31/07/2014	ALBANY BITUMEN SPRAYING	Hotmix For Sanford Road Trenches	527.73
EFT92767	31/07/2014	BLACKWOODS	Bags Quick Set Cement/Safety Supplies	724.68
EFT92768	31/07/2014	ALBANY BOBCAT SERVICES	Skid Steer Wet Hire For Construction of Nanarup Road Foreshore Trail	5,456.00
EFT92769	31/07/2014	BROWNES FOODS OPERATIONS PTY LTD	Catering Supplies	266.76
EFT92770	31/07/2014	BUNNINGS GROUP LIMITED	Hardware Supplies/Tools	103.39
EFT92771	31/07/2014	CALIBRE CARE	Extension Grabs	36.30
EFT92772	31/07/2014	CALTEX AUSTRALIA PETROLEUM PTY LTD	Diesel Fuel	52,613.07
EFT92773	31/07/2014	CAMTRANS ALBANY PTY LTD	C14017 Supply And Delivery of Paving Units - Stirling Terrace. Supply And Delivery of Items 1.1 To 1.3 Concrete Pavers In Accordance With Tender Submission.	23,710.56
EFT92774	31/07/2014	J & S CASTLEHOW ELECTRICAL SERVICES	Installation of Exhaust Fan In The Workshop office	2,598.65
EFT92775	31/07/2014	NCS CHAMELEON LTD	Power Budget Annual Licence Renewal 1/7/14 - 30/6/15	7,320.50
EFT92776	31/07/2014	COCA-COLA AMATIL PTY LTD	Soft Drink Supplies	923.96
EFT92777	31/07/2014	COLES SUPERMARKETS AUSTRALIA PTY LTD	Groceries	623.10
EFT92778	31/07/2014	COMMUNITY ARTS NETWORK WA INC	Organisational Membership 2014/15	60.00
EFT92779	31/07/2014	COOK'S TOURS PTY LTD	Half Page Advertisement	850.00
EFT92780	31/07/2014	COVS PARTS PTY LTD	Vehicle Parts	24.75
EFT92781	31/07/2014	DOWNER EDI WORKS PTY LTD	Hotmix	351.82
EFT92782	31/07/2014	AL CURNOW HYDRAULICS	Vehicle Parts/Maintenance	17.60
EFT92783	31/07/2014	CYNERGIC COMMUNICATIONS	Manager Server Xeon 1/7/14 - 1/8/14	493.90
EFT92784	31/07/2014	DE LAGE LANDEN PTY LIMITED	Monthly Payment For Master Lease Agreements.	7,186.30
EFT92785	31/07/2014	ANGELA LENA DILETTI	Tutoring VAC Holiday Program	471.00
EFT92786	31/07/2014	DORALANE PASTRIES	Catering	140.65
EFT92787	31/07/2014	EYERITE SIGNS	Signage	583.00
EFT92788	31/07/2014	FARM FRESH WHOLESALERS (VIOLET HOLDINGS P/L)	Catering Supplies	187.65
EFT92789	31/07/2014	ALBANY FILTER CLEAN	4 X Filters Changed And Cleaned	28.00
EFT92790	31/07/2014	WA FIRE APPLIANCES	Fit Curtains And Lagging Gnowellen/Manypeaks/Napier/Youngs Siding	91,709.20
EFT92791	31/07/2014	ALL TRUCK REPAIRS	Annual Service Bush Fire Brigade Vehicles	4,460.24
EFT92792	31/07/2014	TAMMIE FLOWER	Fitness Instruction	315.00
EFT92793	31/07/2014	GALLERY 500	Art Supplies	79.10
EFT92794	31/07/2014	GALLERY WORKS	New Conservation Double Mat And Backing, Conservation Glass & Hanging Hardware	330.00

REPORT ITEM CSF114 REFERS

EFT92795	31/07/2014	GISSA INTERNATIONAL PTY LTD	Contribution To A-Spec Administration - Annual Maintenance Fee For Road Specifications 2014 -2015	2,063.66
EFT92796	31/07/2014	GRANDE FOOD SERVICE	Catering Supplies	600.72
EFT92797	31/07/2014	GREAT SOUTHERN GROUP TRAINING	Casual Staff Apprentices Fees	7,364.88
EFT92798	31/07/2014	GREEN SKILLS INC	Community Funding And Event Sponsorship Program	4,950.00
EFT92799	31/07/2014	GREAT SOUTHERN SAND AND LANDSCAPING SUPPLIES	Coarse Sand	9,240.00
EFT92800	31/07/2014	GREAT SOUTHERN PACKAGING SUPPLIES	Cleaning Supplies	2,620.20
EFT92801	31/07/2014	GRESLEY ABAS PTY LTD	C13014 Full Service Consultant - Centennial Park Sporting Precinct	131,052.17
EFT92802	31/07/2014	GYM CARE	Cable Mjrw Single Plus Postage	185.33
EFT92803	31/07/2014	PROTECTOR FIRE SERVICES PTY LTD	Replace Faulty Detector In Zone 3 - Forts	352.00
EFT92804	31/07/2014	HARVEY NORMAN COMPUTERS ALBANY	Asus Memo Pad HD 7 Tablet - Grey For Customer Survey	247.95
EFT92805	31/07/2014	HITACHI CONSTRUCTION MACHINERY AUSTRALIA	Plant Repairs/Parts/Maintenance	425.98
EFT92806	31/07/2014	H AND H ARCHITECTS	Q14012 - Princess Royal Fortress - Design Services Architectural Food And Beverage Heritage	5,588.00
EFT92807	31/07/2014	HUDSON SEWAGE SERVICES	Quarterly Servicing of Septic	222.40
EFT92808	31/07/2014	ICKY FINKS WAREHOUSE SALES	Art Supplies	167.52
EFT92809	31/07/2014	ITS ALL FOR KIDS	Advertising	544.50
EFT92810	31/07/2014	JACK THE CHIPPER	Tractor Mulching of Woody Weeds	2,281.65
EFT92811	31/07/2014	ALBANY MAPPING AND SURVEYING SERVICES	Volume Survey For New Gravel Extraction	736.45
EFT92812	31/07/2014	JIMS TEST AND TAG	Electrical Testing And Tagging	2,863.10
EFT92813	31/07/2014	JJ'S HIAB SERVICES	Pick Up And Delivery Services	704.00
EFT92814	31/07/2014	JOCK'S COMMERCIAL MOWING	Mowing Contract - July 2014	6,545.00
EFT92815	31/07/2014	JOHN KINNEAR AND ASSOCIATES	Reserves Surveys And Condition Reports	4,439.00
EFT92816	31/07/2014	KANDOO WINDSCREENS	Windscreen Repairs	550.00
EFT92817	31/07/2014	KLB SYSTEMS	POS Systems Onsite Support/Travel & Accommodation	7,780.30
EFT92818	31/07/2014	KNOTTS GROUP PTY LTD	Plumbing Repairs/Maintenance	605.99
EFT92819	31/07/2014	KOOKAS CATERING	Catering For ACCI Business Afterhours Function	3,256.00
EFT92820	31/07/2014	MARIO LIONETTI	Groceries For Day care	258.44
EFT92821	31/07/2014	LOCAL GOVERNMENT MANAGERS AUSTRALIA, WA DIVISION	2014-2015 Full Membership	1,077.00
EFT92822	31/07/2014	THE LOCAL BLEND	Catering	270.00
EFT92823	31/07/2014	LORLAINE DISTRIBUTORS PTY LTD	Cleaning Supplies	194.40
EFT92824	31/07/2014	M & A STEEL FABRICATION	Purchase of A Standard Size Bus Shelter	2,158.20
EFT92825	31/07/2014	M & B SALES PTY LTD	Timber Supplies	119.59
EFT92826	31/07/2014	MACDONALD JOHNSTON PTY LTD	Vehicle Parts	144.66
EFT92827	31/07/2014	ALBANY PARTY HIRE	Table Hire	195.00
EFT92828	31/07/2014	MALLEEFOWL PRESERVATION GROUP INC.	It's Gnow or Never DVD	30.00
EFT92829	31/07/2014	ALBANY CITY MOTORS	Vehicles/Vehicle Parts/Repairs	202.38
EFT92830	31/07/2014	MARINDUST SALES & ACE FLAGPOLES	Being For 4 / Flagpole Weighted Necklaces	198.00
EFT92831	31/07/2014	METROOF ALBANY	Pop Rivets	11.46
EFT92832	31/07/2014	MOLONEY ASSET MANAGEMENT SYSTEM	Moloney Software Agreement 1/7/14 - 30/6/15	440.00
EFT92833	31/07/2014	MOUNT ROMANCE AUSTRALIA PTY LTD	Visitors Centre Merchandise	596.19
EFT92834	31/07/2014	MUFFLER AND EXHAUST REBEL	Supply And Fit Towbar To Nissan - A66824	650.00
EFT92835	31/07/2014	NEWARTS(INC)	Sculpture In The Harbour Costs	4,950.00
EFT92836	31/07/2014	OCS SERVICES PTY LTD	Contract Cleaning June 2014 North Road offices	5,311.21
EFT92837	31/07/2014	OPUS INTERNATIONAL CONSULTANTS LTD	Design of Chelgiup Creek Bridge - Hunton Road Q14004	28,940.84
EFT92838	31/07/2014	PETER GRAHAM AND COMPANY LTD	Solo Backpack	170.01
EFT92839	31/07/2014	ALBANY POLICE AND CITIZENS YOUTH CLUB	Contribution To Skate Park Lighting @ PCYC As At 3/7/2014	587.60

REPORT ITEM CSF114 REFERS

EFT92840	31/07/2014	KRISTIE PORTER	Fitness Instruction	270.00
EFT92841	31/07/2014	PUBLIC LIBRARIES AUSTRALIA LTD	Public Libraries Australia Membership 2014/15	385.00
EFT92842	31/07/2014	REEVES AND COMPANY BUTCHERS PTY LTD	Catering	690.00
EFT92843	31/07/2014	W P REID	The Installation of Limestone Walls Around The Existing Playground Equipment At Mills Park (Qu14142591)	5,368.00
EFT92844	31/07/2014	RICOH	Monthly Photocopier Charges	15,882.30
EFT92845	31/07/2014	RIVER HILL CONTRACTING PTY LTD	Sleeman Avenue Drainage Works As Per Quotation Q14020	27,256.24
EFT92846	31/07/2014	ROSMECH SALES AND SERVICE PTY LTD	Unloader Valve For High Pressure Water Circuit.	285.49
EFT92847	31/07/2014	SALES EXCHANGE	Bdtrm09 Round Meeting Table 730 X 900 - Cherry	240.00
EFT92848	31/07/2014	SHEILAH RYAN	Gardening At The VAC	455.00
EFT92849	31/07/2014	SKILL HIRE WA PTY LTD	Casual Staff	3,524.33
EFT92850	31/07/2014	ALBANY SKYLIGHTS	Supply And Install Two(2) Solatube 290Ds Skylights	4,862.00
EFT92851	31/07/2014	SOUTHWAY DISTRIBUTORS PTY LTD	Catering Supplies	2,092.74
EFT92852	31/07/2014	SOUTHCOAST SECURITY SERVICE	Security Services	148.50
EFT92853	31/07/2014	ALBANY VOLUNTEER STATE EMERGENCY SERVICE UNIT INC	Standard LGGS Allocation - July - September 2014	10,983.50
EFT92854	31/07/2014	STATEWIDE BUILDING CERTIFICATION WA	Centennial Park - Multi-Use Playing Field Issue Certificate of Building Compliance	330.00
EFT92855	31/07/2014	ST JOHN AMBULANCE AUSTRALIA	Restocking of First Aid Kits	417.00
EFT92856	31/07/2014	SUNNY SIGN COMPANY	Assorted Signage	1,166.48
EFT92857	31/07/2014	ALBANY LOCK SERVICE	Lock Supplies/Repairs	1,987.45
EFT92858	31/07/2014	SYNERGY	Electricity	32,351.95
EFT92859	31/07/2014	T4 TECHNOLOGY	Apple 12W Power Adapter/Apple 1M Lightning To Usb Cable/Apple 30Pin To Usb Cable	275.00
EFT92860	31/07/2014	T & C SUPPLIES	Hardware/Tool Supplies	1,080.20
EFT92861	31/07/2014	CAROLINE ELLEN TOMPKIN	Fitness Instruction	225.00
EFT92862	31/07/2014	TRAFFIC FORCE	Traffic Control	7,430.23
EFT92863	31/07/2014	GARRY TURNER	Reimbursements For Expenses For Drivers Transporting Fire Vehicle To Narrogin	70.10
EFT92864	31/07/2014	ALBANY TYREPOWER	Tyre Purchases/Maintenance	1,467.20
EFT92865	31/07/2014	VANCOUVER WASTE SERVICES PTY LTD	Bluemetal Supplies	179.40
EFT92866	31/07/2014	JULIA WARREN	Fitness Instruction	270.00
EFT92867	31/07/2014	ALBANY & GREAT SOUTHERN WEEKENDER	Community Info Page Weeknder July 2014	2,434.41
EFT92868	31/07/2014	WESTRAC EQUIPMENT PTY LTD	Vehicle Parts	1,562.00
EFT92869	31/07/2014	WILSONS SIGN SOLUTIONS	Supply 1 X Brass Bronzed Plaque 180 X 135Mm	313.50
EFT92870	31/07/2014	NICOLETTE WILLIAMS	Councillor Allowance And Sitting Fees 1/7/14 - 31/7/14	2,184.17
EFT92871	31/07/2014	WREN OIL	Waste Oil Disposal	487.30
EFT92872	31/07/2014	ZENITH LAUNDRY	Laundry Services/Hire	12.54
EFT92873	04/08/2014	ANSIR SYSTEMS	Albany Airport Terminal Security Upgrade Stage 2 - Baggage Handling System As Per C13024	153,127.66
EFT92874	07/08/2014	ADVERTISER PRINT	2000 Bumper Stickers 70X270mm Screenprinted 4 Colour On White Vinyl	3,248.00
EFT92875	07/08/2014	ALBANY SECURITY SUPPLIES	120 Supra Touch Point Key Cabinet & Key Rings 25mm X 100	220.00
EFT92876	07/08/2014	ALBANY FARM TREE NURSERY	Nursery Supplies	20.00
EFT92877	07/08/2014	ALBANY V-BELT AND RUBBER	Filters/Vehicle Parts	741.08
EFT92878	07/08/2014	ALBANY REFRIGERATION	On Site Service - Visitors Centre	231.88
EFT92879	07/08/2014	ALBANY OFFICE PRODUCTS DEPOT - NORTH ROAD	Stationery Supplies	62.25
EFT92880	07/08/2014	ALBANY PSYCHOLOGICAL SERVICES	Consultation Fees	836.00
EFT92881	07/08/2014	ALBANY PONY CLUB	Kidsport Vouchers	400.00
EFT92882	07/08/2014	ALBANY MILK DISTRIBUTORS	Milk Supplies	751.07
EFT92883	07/08/2014	ALBANY LEGAL PTY LTD	Professional Fees	3,135.00
EFT92884	07/08/2014	ALBANY JUNIOR SOCCER ASSOCIATION	Kidsport Payment For AJSA 2014 July Registrations	3,050.00

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EFT92885	07/08/2014	ALBANY SOLAR	Supply And Install Bird Deflectors To Wind/Solar Lights At Princess Royal Harbour Yacht Club Park	1,817.20
EFT92886	07/08/2014	AMBER PERRYMAN	Flights From Perth To Kalgoorlie & Perth To Albany Reimbursement	617.00
EFT92887	07/08/2014	AMITY PAINTING & DECORATING	Repainting of The Galley Walls After The Koolark Koort Koorliny Expo	550.00
EFT92888	07/08/2014	ATC WORK SMART	Casual Staff/Apprentice Fees	12,522.00
EFT92889	07/08/2014	AUSTRALIA'S SOUTH WEST INC	CIM December 2013/ January 2014 Regional WA Advertising	550.00
EFT92890	07/08/2014	BALL BODY BUILDERS	Vehicle Parts/Maintenance - Supply & Fit Therma Guard Heat Shields	6,064.30
EFT92891	07/08/2014	BARKERS TRENCHING SERVICES	Trenching Servcies For Reticulation At PCYC	3,250.50
EFT92892	07/08/2014	BENARA NURSERIES	Nursery Supplies	442.64
EFT92893	07/08/2014	BEST OFFICE SYSTEMS	Photocopier Charges	1,260.03
EFT92894	07/08/2014	BOOEASY AUSTRALIA PTY LTD	Bookeasy Booking Returns Commission/ Monthly Fees May 2014	1,257.69
EFT92895	07/08/2014	COLIN BRINHAM FENCING & RETAINING WALLS	Railways - Fence And Gate At New Transformer As Per Quote	1,408.00
EFT92896	07/08/2014	BROWNES FOODS OPERATIONS PTY LTD	Catering Supplies	200.07
EFT92897	07/08/2014	BUILDING COMMISSION	BSL Levy Collected For The Month of: July 2014 Less Collecton Commission	7,800.89
EFT92898	07/08/2014	BUNNINGS GROUP LIMITED	Hardware/Tool Supplies	140.00
EFT92899	07/08/2014	CALIBRE CARE	Handi Grip Reacher	72.60
EFT92900	07/08/2014	CALDWELL LAND SURVEYS PTY LTD	Survey Completed For Proposed Emu Point Drive	3,662.18
EFT92901	07/08/2014	CAMTRANS ALBANY PTY LTD	C14017 Supply And Delivery of Paving Units - Stirling Terrace. Supply And Delivery of Items 1.1 To 1.3 Concrete Pavers In Accordance With Tender Submission.	5,433.67
EFT92902	07/08/2014	CAMLYN SPRINGS WATER DISTRIBUTORS	Water Container Refills	65.00
EFT92903	07/08/2014	J & S CASTLEHOW ELECTRICAL SERVICES	Electrical Services/Maintenance/Repairs	934.73
EFT92904	07/08/2014	TANYA CATHERALL	Training Reimbursements	128.60
EFT92905	07/08/2014	BIS CLEANAWAY LIMITED	Rubbish Removal Contract - Various Locations	9,515.64
EFT92906	07/08/2014	COCA-COLA AMATIL PTY LTD	Soft Drink Supplies For ALAC	701.46
EFT92907	07/08/2014	SUE CODEE	Visitors Centre Merchandise	133.00
EFT92908	07/08/2014	COLES SUPERMARKETS AUSTRALIA PTY LTD	Groceries	308.96
EFT92909	07/08/2014	COURIER AUSTRALIA	Freight Fees	372.15
EFT92910	07/08/2014	COVS PARTS PTY LTD	Vehicle Parts	959.21
EFT92911	07/08/2014	HOLCIM (AUSTRALIA) PTY LTD	Supply Tonnes of Metal Dust	784.60
EFT92912	07/08/2014	D & K ENGINEERING	Repair Hand Rail And Quick Hitch On Excavator.	995.50
EFT92913	07/08/2014	DEAN KINNEAR	Reimbursement For First Aid Requalification Certificate	80.00
EFT92914	07/08/2014	DE JONGE MECHANICAL REPAIRS	Vehicle Servicing/Repairs	899.20
EFT92915	07/08/2014	DYLAN'S ON THE TERRACE	Catering Supplies	433.00
EFT92916	07/08/2014	EASIFLEET MANAGEMENT	Motor Vehicle Lease Rental/Esp Bureau Fee/Bureau Fee Rebate	8,903.89
EFT92917	07/08/2014	ALBANY ENGINEERING COMPANY	Repairs To Reach Mower/ Pins/Bushes Etc	2,307.40
EFT92918	07/08/2014	FARMERS CENTRE (1978) PTY LTD	Mower Parts	635.23
EFT92919	07/08/2014	CAROLYN FLETT LEADLIGHTS	Visitors Centre Merchandise	60.00
EFT92920	07/08/2014	TAMMIE FLOWER	Fitness Instruction	450.00
EFT92921	07/08/2014	JUDITH CALDWELL	Health Inspections Fuel Reimbursements	41.83
EFT92922	07/08/2014	GALLERY 500	Canvases For Vancouver Arts Centre	86.00
EFT92923	07/08/2014	GIRL GUIDES WESTERN AUSTRALIA	Kidsport Vouchers	200.00
EFT92924	07/08/2014	GREAT SOUTHERN SAND AND LANDSCAPING SUPPLIES	Supply & Installation of 300mm Concrete Pipes	2,125.00
EFT92925	07/08/2014	GREAT SOUTHERN PACKAGING SUPPLIES	Cleaning Supplies	6,754.11
EFT92926	07/08/2014	GREENACRES TURF GROUP	Supply, Delivery And Installation of 13,500M2 Kikuyu Turf For The Multi Use Playing Field As Per C14008	168,190.50
EFT92927	07/08/2014	HAMISH FELL	Reimbursement For Cost of Registering Vehicle 9014A	299.45
EFT92928	07/08/2014	PROTECTOR FIRE SERVICES PTY LTD	Fire Equipment Maintenance	4,988.23

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EFT92929	07/08/2014 HARVEY NORMAN ELECTRICAL ALBANY	Appliances For Anzac Centre	1,197.00
EFT92930	07/08/2014 HELLOWORLD ALBANY AT 140 LOWER YORK	Airfares And Hotels To China	3,335.54
EFT92931	07/08/2014 H AND H ARCHITECTS	Q14012 - Princess Royal Fortress - Design Services Architectural Food And Beverage Heritage	3,190.00
EFT92932	07/08/2014 INTERNATIONAL MOWERS PTY LTD	Mower Parts	110.00
EFT92933	07/08/2014 ALBANY MAPPING AND SURVEYING SERVICES	Feature Survey	3,308.25
EFT92934	07/08/2014 JJ'S HIAB SERVICES	Pick Up And Delivery Services	88.00
EFT92935	07/08/2014 JOHN KINNEAR AND ASSOCIATES	Reserves Surveys And Condition Reports As Per Quote Dated 9 May 2014	17,305.75
EFT92936	07/08/2014 JUST A CALL DELIVERIES	Internal Mail Deliveries - Various Locations	1,142.24
EFT92937	07/08/2014 KNOTTS GROUP PTY LTD	Plumbing Repairs/Maintenance	756.92
EFT92938	07/08/2014 L-3 COMMUNICATIONS AUSTRALIA PTY LTD	CBS Security Screening Equipment For Albany Airport	411,180.00
EFT92939	07/08/2014 MARIO LIONETTI	Groceries	191.31
EFT92940	07/08/2014 RL & KJ MACKENZIE (GLENNORAN LEATHER)	July Consignment - 1 Large Multi Tool Pouch	25.00
EFT92941	07/08/2014 SCOTT MAHAR	Reimbursement For First Aid Requalification Certificate	80.00
EFT92942	07/08/2014 ALBANY CITY MOTORS	Vehicles/Vehicle Parts/Repairs	89.25
EFT92943	07/08/2014 VICKI MICHELLE MARTIN	Fitness Instruction	450.00
EFT92944	07/08/2014 MCLEODS BARRISTERS & SOLICITORS	Legal Expenses	6,437.00
EFT92945	07/08/2014 MICROELECTRONIC TECHNICAL SERVICES	Repairs To GF Mic	88.00
EFT92946	07/08/2014 PN & ER NEWMAN QUALITY CONCRETE PRODUCTS	Off Set Grates - 1100 X 900 X 150 & off Set Grates - 1100 X 900 X 125	2,296.80
EFT92947	07/08/2014 ALBANY NEWS DELIVERY - ALAC - NEW	Newspaper Deliveries From 21/7/14 - 27/7/14	222.87
EFT92948	07/08/2014 OCS SERVICES PTY LTD	Cleaning Services - North Road July 2014	19,945.59
EFT92949	07/08/2014 ORIGIN ENERGY	LP Gas Delivery - ALAC	18,605.05
EFT92950	07/08/2014 PALMER EARTHMOVING (AUSTRALIA) PTY LTD	Tonnes Metal Dust	1,275.35
EFT92951	07/08/2014 LEAH PASS	Reimbursement For First Aid Requalification Certificate	80.00
EFT92952	07/08/2014 PENNANT HOUSE	Indigenous Flag, Australian National Flag & Postage	286.00
EFT92953	07/08/2014 PETER GRAHAM AND COMPANY LTD	Cement Supplies	128.27
EFT92954	07/08/2014 HANSON CONSTRUCTION MATERIALS PTY LTD	Supply M3 of 25/14/70 Slump Rapid 2	671.00
EFT92955	07/08/2014 PLASTICS PLUS	Plastics Cube And Tap	22.88
EFT92956	07/08/2014 KRISTIE PORTER	Fitness Instruction	495.00
EFT92957	07/08/2014 PORTNER PRESS PTY LTD	Employment Law Update 5 2014	97.00
EFT92958	07/08/2014 RAINBOW COAST NEIGHBOURHOOD CENTRE	Community Event Sponsorship Harmony Day 2015	3,300.00
EFT92959	07/08/2014 REECE PTY LTD	DVW Fittings	5.10
EFT92960	07/08/2014 REPLICAS MEDALS & RIBBONS PTY LTD	Forts Merchandise	8.75
EFT92961	07/08/2014 SERENA MCLAUCHLAN	Materials Reimbursement & Week One Homeschool Art Class VAC	145.13
EFT92962	07/08/2014 3RD ALBANY SCOUT GROUP	Kidsport Vouchers	400.00
EFT92963	07/08/2014 SEEK LIMITED	Seek Job Advertisement - Public Relations officer	280.50
EFT92964	07/08/2014 SITE ENVIRONMENTAL REMEDIATION SERVICES PTY LTD	Site Assessment Visual Inspection And Sampling, Laboratory Testing/Validation of Samples, Site Report	4,180.00
		Risk Assessment/Anaysis	
EFT92965	07/08/2014 SKILL HIRE WA PTY LTD	Casual Staff	1,415.59
EFT92966	07/08/2014 SOUTHERN TOOL & FASTENER CO	Hardware Supplies	166.75
EFT92967	07/08/2014 SOUTHWAY DISTRIBUTORS PTY LTD	Catering Supplies	1,891.43
EFT92968	07/08/2014 SOUTHCOAST SECURITY SERVICE	Security Services	1,161.33
EFT92969	07/08/2014 SOUTHERN EDGE ARTS INC	Kidsport Vouchers Term 2 2014	850.00
EFT92970	07/08/2014 DEPARTMENT OF THE PREMIER & CABINET - STATE LAW PUBLISHER	Gazette Advertising	204.00
EFT92971	07/08/2014 STATEWIDE BEARINGS	Vehicle Parts	15.40
EFT92972	07/08/2014 BLUESCOPE DISTRIBUTION PTY LTD	Bright Round Steel Supplies	26.17

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EFT92973	07/08/2014	SUNNY SIGN COMPANY	Assorted Signage	4,298.89
EFT92974	07/08/2014	ALBANY LOCK SERVICE	Lock Repairs/Supplies/Services	623.95
EFT92975	07/08/2014	SYNERGY	Electricity Supplies - Grouped Electricity Account	18,052.01
EFT92976	07/08/2014	T & C SUPPLIES	Hardware/Tool Supplies	561.91
EFT92977	07/08/2014	THE NAKED BEAN COFFEE ROASTERS	Coffee Supplies	150.00
EFT92978	07/08/2014	TIM WATERS DESIGN	Dining Out Guide - Spring Summer 14/15	1,716.00
EFT92979	07/08/2014	THE ToFEE FACTORY	Visitors Centre Merchandise	619.07
EFT92980	07/08/2014	TOLL FAST	Freight Charges	703.58
EFT92981	07/08/2014	CAROLINE ELLEN TOMPKIN	Fitness Instruction	135.00
EFT92982	07/08/2014	TORQUE FITNESS & WELLBEING	Fitness Instruction	54.00
EFT92983	07/08/2014	TRAILBLAZERS	Supply Torch Olight M3X Triton And Battery Charger To Suit As Per Quote No. 65	200.00
EFT92984	07/08/2014	TRAFFIC FORCE	Traffic Control	421.10
EFT92985	07/08/2014	GARRY TURNER	Expense Reimbursement For Driver Transporting Fire Vehicle To Narrogin	144.75
EFT92986	07/08/2014	ALBANY TYREPOWER	Tyre Purchases/Maintenance	435.00
EFT92987	07/08/2014	VANCOUVER WASTE SERVICES PTY LTD	Bluemetal Supplies	535.00
EFT92988	07/08/2014	VISION AUSTRALIA LTD	EZ See Large Print Keyboards	215.00
EFT92989	07/08/2014	JULIA WARREN	Fitness Instruction	180.00
EFT92990	07/08/2014	WAYNE STEAD	Reimbursement For First Aid Requalification Certificate	80.00
EFT92991	07/08/2014	ALBANY & GREAT SOUTHERN WEEKENDER	Advertising	422.73
EFT92992	07/08/2014	WESTERN AUSTRALIAN LOCAL GOVERNMENT ASSOCIATION	WALGA Association Membership Subscription	26,700.30
EFT92993	07/08/2014	LANDMARK LIMITED	Herbicides/Pesticides	5,027.00
EFT92994	07/08/2014	NICOLETTE WILLIAMS	Councillor Allowance And Sitting Fees 1/8/14 - 31/8/14	2,184.17
EFT92995	07/08/2014	WIZID PTY LTD	Wristbands For ALAC	667.70
EFT92996	07/08/2014	WOOD AND GRIEVE ENGINEERS	Q14018 Design of Stephen Street Basin And Downstream Infrastructure	4,312.99
EFT92997	07/08/2014	ZENITH LAUNDRY	Laundry Services/Hire	43.18
EFT92998	12/08/2014	SELEX SYSTEMS INTERGRATION INC	Power Assembly - Foreign exchange Variation	254.01
EFT92999	14/08/2014	GREGORY MICHAEL BARRETT	Rates Refund For Assessment A11211	331.48
EFT93000	14/08/2014	ABA SECURITY	Security Services	81.55
EFT93001	14/08/2014	ACORN TREES AND STUMPS	Mulching Services	1,700.00
EFT93002	14/08/2014	AD CONTRACTORS PTY LTD	Emulsion For The Flocon	2,340.80
EFT93003	14/08/2014	DORA ADELINE	Staff Travel Reimbursement - State Library Exchange & Alia Symposium	113.45
EFT93004	14/08/2014	ADVERTISER PRINT	Provide 2000 Bumper Stickers - 70X270mm Four Colour Process On White Vinyl - 2000 Bumper Stickers, Four Colour Process On Vinyl - Varnished - With The Words To Read 'Albany, Western Australia' In Place of 'Experience The Legend'	2,546.00
EFT93005	14/08/2014	ALBANY BRAKE AND CLUTCH	Vehicle Maintenance	121.00
EFT93006	14/08/2014	ALBANY CITY LAWNS	Mowing of Lancaster Park	638.00
EFT93007	14/08/2014	ALBANY SOIL AND CONCRETE TESTING	Los Angeles Abrasion Test	456.50
EFT93008	14/08/2014	ALBANY V-BELT AND RUBBER	Filters/Vehicle Parts	222.97
EFT93009	14/08/2014	ALBANY PORT AUTHORITY	Reimbursement of Legal Fees For Seabed Lease	2,973.30
EFT93010	14/08/2014	ALBANY LANDSCAPE SUPPLIES	Quartz Aggregate	225.00
EFT93011	14/08/2014	ALBANY OFFICE PRODUCTS DEPOT - NORTH ROAD	Stationery Supplies	618.10
EFT93012	14/08/2014	ALBANY MILK DISTRIBUTORS	Milk Deliveries - Hanrahan July 2014	78.05
EFT93013	14/08/2014	ALBANY LEGAL PTY LTD	Professional services	2,440.00
EFT93014	14/08/2014	ALBANY IRRIGATION & DRILLING	Irrigation Supplies	130.25
EFT93015	14/08/2014	ALL EVENTS PROSOUND HIRE	Town Hall Focus 1/8/2014	130.00
EFT93016	14/08/2014	AMITY SETTLEMENTS	Rates Refund For Assessment A136455	973.00

REPORT ITEM CSF114 REFERS

EFT93017	14/08/2014	PAPERBARK MERCHANTS	In Memorium Book	39.95
EFT93018	14/08/2014	ATC WORK SMART	Casual Staff/Apprentice Fees	10,753.62
EFT93019	14/08/2014	AUSTRALIA POST	Postage/Agency Fees	3,301.73
EFT93020	14/08/2014	AUSTRALIA POST	Agency Commission - Total Commission For Supply Period Ending 31/7/14	121.97
EFT93021	14/08/2014	AUSCOINSWEST	Forts Merchandise	645.70
EFT93022	14/08/2014	AUSTRALIA'S SOUTH WEST INC	Ultimate Membership 2014-2015	360.00
EFT93023	14/08/2014	BADGEMATE	Name Badges	205.59
EFT93024	14/08/2014	BT EQUIPMENT PTY LTD (TUTT BRYANT EQUIPMENT)	Vehicle Parts	307.93
EFT93025	14/08/2014	BAREFOOT CLOTHING MANUFACTURERS	Uniforms And Embroidery	359.30
EFT93026	14/08/2014	BARRETT'S MINI EARTHMOVING & CHIPPING	HV Power Line Clearance - 1 Tuart Cnr Helen And Oxford St, Lockyer As Per Quote No: 1669	1,155.00
EFT93027	14/08/2014	BARKERS TRENCHING SERVICES	80 Metres of Trenching For Retic	264.00
EFT93028	14/08/2014	BARBARA DOUGLAS DESIGN	Illustration, Bookmarking, Print Workshop & Plaster By Paris	540.00
EFT93029	14/08/2014	KIRSTY BATTISON	Refund for First Aid certificate	80.00
EFT93030	14/08/2014	BENARA NURSERIES	Nursery Supplies	203.83
EFT93031	14/08/2014	BERTOLA HIRE SERVICES ALBANY PTY LTD	Equipment Hire - Old Goal	504.00
EFT93032	14/08/2014	BEST OFFICE SYSTEMS	Photocopier Charges	228.00
EFT93033	14/08/2014	ALBANY BITUMEN SPRAYING	Hotmix Repairs Runway At Albany Airport	9,570.00
EFT93034	14/08/2014	BLACKWOODS	One 40 Litre Minibund Drum For Barlube. Quotation Number: 407113815500	192.72
EFT93035	14/08/2014	BLOOMIN FLOWERS	Flowers	70.00
EFT93036	14/08/2014	ALBANY BOBCAT SERVICES	Skid Steer Wet Hire For Construction of Nanarup Road Foreshore Trail	2,134.00
EFT93037	14/08/2014	BOC GASES AUSTRALIA LIMITED	Monthly Container Service Rental	158.03
EFT93038	14/08/2014	BOOEASY AUSTRALIA PTY LTD	Bookeasy Booking Returns Commission/Monthly Fees July 2014	1,273.10
EFT93039	14/08/2014	BOOKMARKETING - GARY SPELLER	1001 Cool Science Experiments & 1000 Strange But True Animal Facts	16.00
EFT93040	14/08/2014	BORNHOLM VOLUNTEER BUSH FIRE BRIGADE	2013/14 ESL Additional Payment	326.64
EFT93041	14/08/2014	AIR BP	Avgas Purchases	230.08
EFT93042	14/08/2014	BROWNES FOODS OPERATIONS PTY LTD	Catering Supplies	166.82
EFT93043	14/08/2014	CONSTRUCTION TRAINING FUND	BCITF Levy For The Month of July 2014 Less Collection Commission	12,664.24
EFT93044	14/08/2014	BUNNINGS GROUP LIMITED	Hardware/Tool Supplies	39.50
EFT93045	14/08/2014	BUSY BLUE BUS	Bus Hire For Media Visit To Inspect The Anzac Peace Park	295.00
EFT93046	14/08/2014	CALDWELL LAND SURVEYS PTY LTD	Multi Use Playing Field - Placement of Two Pegs Along Northern Boundary To Assist With Fence Installation.	330.00
EFT93047	14/08/2014	CALTEX AUSTRALIA PETROLEUM PTY LTD	Star Card Fuel Purchases	8,405.00
EFT93048	14/08/2014	CALTEX AUSTRALIA PETROLEUM PTY LTD	Diesel Fuel For Depot	26,319.23
EFT93049	14/08/2014	CAMTRANS ALBANY PTY LTD	C14017 Supply And Delivery of Paving Units - Stirling Terrace. Supply And Delivery of Items 1.1 To 1.3 Concrete Pavers In Accordance With Tender Submission.	6,421.61
EFT93050	14/08/2014	J & S CASTLEHOW ELECTRICAL SERVICES	Electrical Repairs/Maintenance - Centennial Park Multi Use Field	16,075.13
EFT93051	14/08/2014	BIS CLEANAWAY LIMITED	Rubbish Removal Contract	1,733.60
EFT93052	14/08/2014	COCA-COLA AMATIL PTY LTD	Soft Drink For ALAC Cafe	2,084.08
EFT93053	14/08/2014	COLES SUPERMARKETS AUSTRALIA PTY LTD	Groceries	691.16
EFT93054	14/08/2014	COURIER AUSTRALIA	Freight Charges	282.16
EFT93055	14/08/2014	COVS PARTS PTY LTD	Vehicle Parts	126.25
EFT93056	14/08/2014	AL CURNOW HYDRAULICS	Vehicle Parts/Maintenance	37.84
EFT93057	14/08/2014	CYNERGIC COMMUNICATIONS	Monthly Hosting - Managed Server Xeon Cpu/4Gb Ram/Sas Disk/Linux/Apache/Mysq0L1/-P0H7-P14 - 11 Months August 2014 To June 2015	6,224.90
EFT93058	14/08/2014	TERESA MARIE DAVIES	Catering - RSA Training For North Albany Football Club	150.00
EFT93059	14/08/2014	DEPARTMENT of TRANSPORT	Annual Jetty Fee - Private Jetty 1353 Public Boat Pens Swarbrick Street Emu Point	74.44

REPORT ITEM CSF114 REFERS

EFT93060	14/08/2014	JANINE DETERMES	Fitness Instruction	180.00
EFT93061	14/08/2014	DOWNUNDER CONTRACTING PTY LTD	Complete Repairs To Fence Behind Albany Aluminium. Supply Labour And Materials	968.00
EFT93062	14/08/2014	EDEN GATE ESTATE	Visitors Centre Merchandise	207.00
EFT93063	14/08/2014	ALBANY ENGINEERING COMPANY	Repairs To Reach Mower And Fit New Pins/Bushes As Required.	2,375.82
EFT93064	14/08/2014	FARM FRESH WHOLESALERS (VIOLET HOLDINGS P/L)	Catering Supplies	198.37
EFT93065	14/08/2014	ALBANY FILTER CLEAN	4 X Filters Changed And Cleaned	28.00
EFT93066	14/08/2014	ALBANY FILM USERS GROUP INC	Community Funding Program Grant Allocation	4,470.00
EFT93067	14/08/2014	TAMMIE FLOWER	Fitness Instruction	360.00
EFT93068	14/08/2014	FOXTEL MANAGEMENT PTY LTD	Foxtel Business Premium Package Monthly Subscription Fee	340.00
EFT93069	14/08/2014	GRANDE FOOD SERVICE	Catering For Time Out Cafe	1,272.26
EFT93070	14/08/2014	GREAT SOUTHERN GROUP TRAINING	Casual Staff Apprentices Fees	7,919.29
EFT93071	14/08/2014	GREEN RANGE BUSH FIRE BRIGADE	2013/14 ESL Payment - Additional Allocation	1,644.70
EFT93072	14/08/2014	GREAT SOUTHERN INSTITUTE OF TECHNOLOGY	Supply of Plans For Lake Seppings Rehabilitation.	400.00
EFT93073	14/08/2014	GREEN SKILLS INC	Construction of Board Walk And Cost Price Materials	16,964.89
EFT93074	14/08/2014	GREAT SOUTHERN ZONE OF WALGA	Annual Subscription 2014/2015	935.00
EFT93075	14/08/2014	GREAT SOUTHERN PACKAGING SUPPLIES	Uniforms	5,695.82
EFT93076	14/08/2014	GREAT SOUTHERN DISTILLING COMPANY PTY LTD	Informal Meeting With Cameron Symes And Brent Clinch	400.00
EFT93077	14/08/2014	THE GREAT SOUTHERN FACTOR INCORPORATED	Shoot Your Own Sequence Workshops	1,023.90
EFT93078	14/08/2014	GREAT SOUTHERN LIQUID WASTE	Septic Pump Outs	1,200.00
EFT93079	14/08/2014	GREAT SOUTHERN SERVICES	Toilets And Spa Hang Racks & Floor Drain Grates To Slide Half of Complex	1,209.07
EFT93080	14/08/2014	GT BEARING AND ENGINEERING SUPPLIES	Vehicle Parts	122.00
EFT93081	14/08/2014	KIMBERLEY HIGGINS	Staff Travel Reimbursement - State Library Online Resources Working Group Meeting + Library Exchange	85.20
EFT93082	14/08/2014	RATTEN & SLATER MACHINERY	Repair Deck As Required.	387.43
EFT93083	14/08/2014	HUDSON HENNING AND GOODMAN	Professional Fees	2,200.00
EFT93084	14/08/2014	IMPACT PUBLICATIONS	Visitors Centre Merchandise	33.00
EFT93085	14/08/2014	CHERYLE JAMES-WALLACE	Reimburesments For Round Table Conference	617.50
EFT93086	14/08/2014	JAM BERRY PTY LTD	Visitors Centre Merchandise	188.65
EFT93087	14/08/2014	JJ'S HIAB SERVICES	Delivery of Headwalls To Barameda Close	220.00
EFT93088	14/08/2014	JOHN KINNEAR AND ASSOCIATES	Reserves Surveys And Condition Reports As Per Quote Dated 9 May 2014	6,792.62
EFT93089	14/08/2014	KALGAN BUSHFIRE BRIGADE	2013/14 ESL Payment - Additional Allocation	5,877.97
EFT93090	14/08/2014	KIM ANGELA TOMLINSON	EAP Counselling For The City of Albany	520.00
EFT93091	14/08/2014	KMART ALBANY	Purchase Dive Toys For Swim School	143.25
EFT93092	14/08/2014	KOSTER'S OUTDOOR PTY LTD	Repairs To Elleker Fire Shed As Per Quote 25/06/2014	543.00
EFT93093	14/08/2014	THE LAKE HOUSE DENMARK	Visitors Centre Merchandise	219.80
EFT93094	14/08/2014	LEASE CHOICE	Monthly Lease Photocopiers Ricoh Mp Cw2200Sp/E083G700134 & E083G700026	1,246.83
EFT93095	14/08/2014	DAVID LEECH	Visitors Centre Merchandise	195.00
EFT93096	14/08/2014	LIFETIME DISTRIBUTORS	Library Local Stocks	43.00
EFT93097	14/08/2014	LINKAR GROUP PTY LTD	International & Domestic Air Tickets	7,449.20
EFT93098	14/08/2014	LINKAR WINE PTY LTD	Wine Purchases	2,620.00
EFT93099	14/08/2014	LOCAL GOVERNMENT MANAGERS AUSTRALIA, WA DIVISION	Induction To Local Government Y Welsh 20 August 2014	214.50
EFT93100	14/08/2014	LOCKEEZ LUNCHBAR	Catering	420.00
EFT93101	14/08/2014	COMMUNITY LIVING ASSOCIATION INC	Dance And Wellbeing Workshop - Moove N Groove	5,324.00
EFT93102	14/08/2014	LOWER GREAT SOUTHERN HOCKEY ASSOCIATION INC	Kidsport Vouchers	2,430.00
EFT93103	14/08/2014	M & A STEEL FABRICATION	Custom Round Grate	2,992.00
EFT93104	14/08/2014	ALBANY PARTY HIRE	Equipment Hire	570.50

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EFT93105	14/08/2014	MARSHALL MOWERS	Mower Parts	50.00
EFT93106	14/08/2014	METROOF ALBANY	Flashing	25.64
EFT93107	14/08/2014	MICROELECTRONIC TECHNICAL SERVICES	Aerial Cables	176.00
EFT93108	14/08/2014	MIDALIA STEEL PTY LTD	25mm Gal Steel Pipe	37.29
EFT93109	14/08/2014	AIRPORT SECURITY PTY LTD	Aviation Security Identification Cards - M Bird/M Elliott	440.00
EFT93110	14/08/2014	MIRA MAR VETERINARY SERVICES	Professional Fees, Laboratory Testing, Certificates, Euthanasia & Disposal of Animal	548.25
EFT93111	14/08/2014	MOIR & CO PTY LTD	Rubbish Removal From Cape Riche - July 2014	616.00
EFT93112	14/08/2014	NURRUNGA COMMUNICATIONS	Two Way Radio Repairs/Maintenance	153.00
EFT93113	14/08/2014	MSS SECURITY	Casual Guard Services 1/5/14 - 31/5/14 - Airport	1,065.05
EFT93114	14/08/2014	ALBANY NEWS DELIVERY - ALAC - NEW	News Delivery From 4/8/14 - 10/8/14	110.76
EFT93115	14/08/2014	OFFPEN PUBLISHING PTY LTD	Visitors Centre Merchandise	162.00
EFT93116	14/08/2014	OKEEFE'S PAINTS	Paint & Painting Supplies	103.25
EFT93117	14/08/2014	OPUS INTERNATIONAL CONSULTANTS LTD	Superintendence of Construction Contract C13022 - Frenchman Bay Road - Princess Avenue Intersection Upgrade.	16,983.45
EFT93118	14/08/2014	PAUL ARMSTRONG PANELBEATERS	Vehicle Repairs As Per Estimate 24280	314.60
EFT93119	14/08/2014	PIONEER HEALTH ALBANY	Consultation	77.00
EFT93120	14/08/2014	JACQUI DANIEL	Catering	648.00
EFT93121	14/08/2014	KRISTIE PORTER	Fitness Instruction	495.00
EFT93122	14/08/2014	RAECO INTERNATIONAL PTY LTD	Various Promotional Materials For Library	212.85
EFT93123	14/08/2014	RAMPED TECHNOLOGY	Professional Services	2,772.00
EFT93124	14/08/2014	REEVES AND COMPANY BUTCHERS PTY LTD	Catering	245.00
EFT93125	14/08/2014	ROBINSON BUILDTECH	Reimburse Application For Grant of Planning Scheme Consent For 266B York Street Which Is Not Required - P2140329	147.00
EFT93126	14/08/2014	BG, E AND KE RUSS	Metal Dust Supplies	1,447.50
EFT93127	14/08/2014	UNITED TOOLS ALBANY	Hardware/Tool Supplies	39.82
EFT93128	14/08/2014	SECUREPAY PTY LTD	Web Payments Seat Advisor Pricing Transaction Fee Without Fraudguard	36.96
EFT93129	14/08/2014	SECTION51 PTY LTD	Funding And Grants Workshop Held At State Library of WA, Perth 10/7/14	495.00
EFT93130	14/08/2014	SHILLER IMAGES	Visitors Centre Merchandise	382.33
EFT93131	14/08/2014	SKILL HIRE WA PTY LTD	Casual Staff	2,006.66
EFT93132	14/08/2014	SMITHS ALUMINIUM & 4WD CENTRE	Aluminium Fabrication Materials & Labour - Fabricate Trailer For Sleigh	6,883.00
EFT93133	14/08/2014	SOUTHERN TOOL & FASTENER CO	Hardware Supplies/Tools	749.58
EFT93134	14/08/2014	SOUTH COAST VOLUNTEER BUSH FIRE BRIGADE	2013/14 ESL Additional Payment	1,280.62
EFT93135	14/08/2014	SOUTHWAY DISTRIBUTORS PTY LTD	Catering Supplies	2,047.90
EFT93136	14/08/2014	SOUTHCOAST SECURITY SERVICE	Security Services	12,301.53
EFT93137	14/08/2014	SQUIRE PATTON BOGGS	Native Title Claims: Snc# 1 And Snc# 2	223.43
EFT93138	14/08/2014	STAR SALES AND SERVICE	Repair To Starter Assembly	59.05
EFT93139	14/08/2014	STREAMLINE BRICK PAVING	Supply And Installation of Paving For Stage 1 of Median Strips	28,257.00
EFT93140	14/08/2014	SUNNY INDUSTRIAL BRUSHWARE	Main Brooms To Suit Vt605 Road sweeper.	1,553.20
EFT93141	14/08/2014	SUNNY SIGN COMPANY	Signage	166.10
EFT93142	14/08/2014	ALBANY LOCK SERVICE	Replace The Lock On The Depot Training room Door	283.10
EFT93143	14/08/2014	SYNERGY	Electricity Supplies - Street Lighting 25/6/14 - 24/7/14	63,354.00
EFT93144	14/08/2014	T & C SUPPLIES	Hardware/Tool Supplies	1,043.73
EFT93145	14/08/2014	TALIS CONSULTANTS PTY LTD	Provision of Consultancy Services To Prepare Tender Documentation For The City's Waste Collection And Disposal Services And The Cleaning of Public Infrastructure As Per Quote P14014	3,674.00
EFT93146	14/08/2014	TECTONICS CONSTRUCTION GROUP P/L	Contract C14002 - West Rail Barracks Stages 1-3	34,417.53
EFT93147	14/08/2014	THINKWATER ALBANY	Repairs To Leachate Irrigation Meter And The Pump Shed	78.10

REPORT ITEM CSF114 REFERS

EFT93148	14/08/2014	TORQUE FITNESS & WELLBEING	Fitness Instruction	45.00
EFT93149	14/08/2014	TRAILBLAZERS	LP Gas Bottle Refill	26.70
EFT93150	14/08/2014	TRAFFIC FORCE	Traffic Control	15,660.95
EFT93151	14/08/2014	TRUCKLINE	Vehicle Parts	1,451.32
EFT93152	14/08/2014	ALBANY TYREPOWER	Tyre Purchases/Maintenance	875.00
EFT93153	14/08/2014	VISION AUSTRALIA LTD	Plextor Ptn2 Repair	54.00
EFT93154	14/08/2014	WARWICK WESTMORE	Reimbursement For Purchase of Distance Measure, Stanley Measurer & Energizer AAA Batteries	168.84
EFT93155	14/08/2014	ALBANY & GREAT SOUTHERN WEEKENDER	Seniors In Focus Advertisement	505.78
EFT93156	14/08/2014	WESTRAC EQUIPMENT PTY LTD	Cylinder, Dowels And Pins As Required.	1,069.29
EFT93157	14/08/2014	LANDMARK LIMITED	Bags of Multi Grow Fertiliser	186.23
EFT93158	14/08/2014	WESTSHRED DOCUMENT DISPOSAL	Disposal of Documents	416.90
EFT93159	14/08/2014	WESTERN POWER	Repairs To Excavator Damage To Street Light Cable (24/03/14)	1,173.45
EFT93160	14/08/2014	WHITFIELD ESTATE & PICNIC IN THE PADDOCK	Visitors Centre Merchandise	153.12
EFT93161	14/08/2014	WILLOUGHBY PARK WINERY	Alcohol Supplies For Accibah Function	198.66
EFT93162	14/08/2014	THE WINDOW WASHER MAN	Window Cleaning Services	52.50
EFT93163	14/08/2014	YOUNGS SIDING BUSH FIRE BRIGADE	2013/14 ESL Additional Payment	178.50
EFT93164	14/08/2014	YVETTE JOLIDON	Archives Management Course June 2014 - Dinner Reimbursement	38.00
EFT93165	14/08/2014	ZENITH LAUNDRY	Laundry Services/Hire	48.46

TOTAL

\$5,298,639.13

Executed Document and Common Seal Register

Document Number	Description	DATE SENT RECD - 1asc
EDR1438245	EXECUTED DOCUMENT ITEM: N/A RE: APPLICATION FOR PLANNING SCHEME CONSENT, REQUIRES SIGNATURE OF LANDOWNER. COA IS LANDLORD FOR THIS LEASE PARTIES: SIGNED BY THE D/CEO 1 COPIES	16/07/2014
EDR1438318	EXECUTED DOCUMENT ITEM: N/A RE: MOU FOR USE OF DOH HOUSING MODEL - COA OBLIGATION TO SUPPLY HOUSING DATA PARTIES: DEPARTMENT OF HOUSING; LANDCORP; GSDC; SHIRE OF DENMARK; GREAT SOUTHERN LGA'S SIGNED BY THE CEO 1 COPIES	22/07/2014
EDR1438328	EXECUTED DOCUMENT ITEM: OCM 24.06.2014 ITEM CSF094 RE: REGIONAL ROAD GROUP FUNDING PARTIES: MAIN ROADS WA SIGNED BY THE CEO 1 COPIES	22/07/2014
EDR1438396	EXECUTED DOCUMENT ITEM: DELEGATION TO ENFORCE REQUIREMENTS OF THE LOCAL PLANNING SCHEME IN THE INTEREST OF ORDERLY AND PROPER PLANNING RE: SERVICE OF A NOTICE FOR A SINGLE HOUSE BEING USED FOR THE PURPOSES OF CARRYING OUT A COMMERCIAL ACTIVITY IN A RESIDENTIAL ZONE PARTIES: N/A SIGNED BY THE CEO 2 COPIES	25/07/2014
EDR1438397	EXECUTED DOCUMENT ITEM: REQUIREMENT OF MANUAL OF STANDARDS (MOS) 139 RE: AIRPORT SAFETY MANAGEMENT SYSTEM MANUAL PARTIES: N/A SIGNED BY THE CEO 1 COPY	25/07/2014
EDR1438398	EXECUTED DOCUMENT ITEM: REQUIREMENT OF MANUAL OF STANDARDS (MOS) 139 RE: AIRPORT OPERATIONAL MANUALS - LEGISLATIVE REQUIREMENT PARTIES: N/A SIGNED BY THE CEO 1 COPY	25/07/2014
EDR1438491	COPY OF EXECUTED DOCUMENT ITEM: OCM 15.03.2011 ITEM 4.6 RE: SPONSORSHIP AGREEMENT WITH CHARTER HALL (ALBANY PLAZA) FOR SUPPORT OF "ANZAC IN YOUR FAMILY" PARTIES: CHARTER HALL RETAIL MANAGEMENT LIMITED SIGNED BY THE CEO, 2 COPIES	29/07/2014
EDR1438556	COPY OF EXECUTED DOCUMENT ITEM: N/A RE: KITCHEN AND VERANDAH ADDITIONS TO WELLSTEAD HALL PARTIES: WELLSTEAD PROGRESS ASSOCIATION SIGNED BY THE CEO 1 COPY	30/07/2014
EDR1438557	COPY OF EXECUTED DOCUMENT ITEM: OCM 15.03.2011 ITEM 4.6 RE: GRANT AGREEMENT FOR VANCOUVER STREET FESTIVAL PARTIES: OFFICE OF ROAD SAFETY SIGNED BY THE CEO 1 COPY	30/07/2014
EDR1438580	COPY OF EXECUTED DOCUMENT ITEM: OCM 15.03.2011 ITEM 4.6 RE: GRANT AGREEMENT FOR DEPARTMENT OF TRANSPORT - COASTAL ADAPTATION AND PROTECTION GRANTS (CAP) 2014/2015 - COASTAL EROSION PROTECTION AT EMU POINT AND MIDDLETON BEACH 14/15 - MONITORING PARTIES: DEPARTMENT OF TRANSPORT SIGNED BY THE CEO 1 COPY	01/08/2014

REPORT ITEM CSF0115 REFERS

EDR1438581	COPY OF EXECUTED DOCUMENT ITEM: OCM 19.03.2013 RE: SUBDIVISION APPLICATION TO COMPLETE THE RESUMPTION PROCESS OF PART SYMERS STREET THAT PASSES THROUGH LOT 50 SYMERS STREET. PARTIES: N/A SIGNED BY THE CEO 1 COPY	01/08/2014
EDR1438630	COPY OF EXECUTED DOCUMENT ITEM: OCM 15.03.2011 ITEM 4.6 RE: CONDITIONS OF GRANT SCHEDULE (PRE AGREEMENT) FOR LOTTERYWEST - COMMUNITY SPACES. PLAYGROUND UPGRADE FOR ALBANY REGIONAL DAY CARE CENTRE (APPLICATION ID: 421006395) PARTIES: LOTTERYWEST SIGNED BY THE CEO 2 COPIES	05/08/2014
EDR1438732	COPY OF EXECUTED DOCUMENT ITEM: OCM 15.03.2011 ITEM 4.6 RE: APPLICATION TO HEALTHWAY FOR SUMMER EVENTS AND VAC PROGRAM 31/12/14 TO 31/12/17 TOTALLING \$165,000 PARTIES: NA SIGNED BY THE CEO 1 COPY	11/08/2014
EDR1438733	COPY OF EXECUTED DOCUMENT ITEM: NA RE:ALTERATIONS AND ADDITIONS TO CAMP KENNEDY PARTIES: CAMP KENNEDY BAPTIST YOUTH CAMP SIGNED BY THE CEO 1 COPY	11/08/2014
EDR1438736	COPY OF EXECUTED DOCUMENT ITEM: NA RE:RENOVATIONS AND MODERNISING OF EXISTING SEA RESCUE BUILDING PARTIES: ALBANY SEA RESCUE SQUAD INC SIGNED BY THE CEO 1 COPY	11/08/2014
EDR1438759	COPY OF EXECUTED DOCUMENT ITEM: OCM 15.03.2011 ITEM RE:2014/15 SERVICE AGREEMENT WITH ARVS FOR PROVISION OF SERVICES IN RELATION TO VOLUNTEERING PARTIES: ALBANY AND REGIONAL VOLUNTEER SERVICE SIGNED BY THE CEO 1 COPY	12/08/2014
EDR1438837	COPY OF EXECUTED DOCUMENT ITEM: OCM 15.03.2011 ITEM 4.6 RE:AMENDED GRANT AGREEMENT FOR REHABILITATION OF MINIUP MOTOCROSS TRACK - EXTENSION FROM 31 MARCH 2015 TO 31 MARCH 2016 PARTIES: SOUTH COAST NRM SIGNED BY THE CEO 2 COPIES	14/08/2014
EDR1438839	COPY OF EXECUTED DOCUMENT ITEM: OCM 24.06.2014 ITEM CSF094 RE:COUNCIL POLICY: BUY LOCAL POLICY REQUIRED - REVIEW POSITION AND DATE BY 30 JUNE 2014 PARTIES: NA SIGNED BY THE CEO 1 COPY	14/08/2014
EDR1438861	COPY OF EXECUTED DOCUMENT ITEM: N/A RE:APPLICATION FOR PLANNING CONSENT FOR A 220,000L WATER TANK AT 147-157 LOCKYER AVENUE. PARTIES: N/A SIGNED BY THE CEO 1 COPY	15/08/2014
EDR1438862	COPY OF EXECUTED DOCUMENT ITEM: N/A RE:INVOICE FOR PALMER EARTHMOVING PARTIES: PALMER EARTHMOVING SIGNED BY THE CEO 1 COPY	15/08/2014

REPORT ITEM CSF0115 REFERS

Records Registration - Last record modified was LT1492901DOCINDEX PickList

Document Number	Description	DATE SENT RECD
NCSR1438246	EXECUTED DOCUMENT ITEM:N/A RE: EMU POINT SEABED LEASE PARTIES: ALBANY PORT AUTHORITY SIGNED BY THE CEO 2 COPIES	16/07/2014
NCSR1438336	COPY OF COMMON SEAL ITEM: OCM 18.09.2012 ITEM 1.1 RE: AWARD OF TENDER FOR C14018 SUPPLY AND DELIVERY OF MULTI FUNCTIONAL POLES PARTIES: CITY OF ALBANY AND FYNTRIM PTY LTD SIGNED BY THE CEO AND THE MAYOR, 2 COPIES	23/07/2014
NCSR1438430	COPY OF COMMON SEAL ITEM: OCM 24.06.2014 ITEM CSF095 RE: CONTRACTS FOR C14013(B) PANEL OF SUPPLIERS - SUPPLY OF INFORMATION TECHNOLOGY PARTIES: CITY OF ALBANY AND WJ MONCRIEFF PTY LTD SIGNED BY THE CEO AND THE MAYOR, 2 COPIES	28/07/2014
NCSR1438487	COPY OF COMMON SEAL ITEM: OCM 15.03.2011 ITEM 4.6 RE: GRANT AGREEMENT FOR DEPARTMENT OF TRANSPORT- RECREATIONAL BOATING FACILITIES SCHEME (RBFS) ROUND 19 - ALBANY RECREATIONAL BOATING FACILITIES STUDY PARTIES: CITY OF ALBANY AND DEPARTMENT OF TRANSPORT SIGNED BY THE CEO 2 COPIES	29/07/2014
NCSR1438536	COPY OF COMMON SEAL ITEM: OCM 22.07.2014 ITEM WS045 RE: AWARD OF TENDER FOR C14015(H) PANEL OF SUPPLIERS- CONSTRUCTION PLANT AND EQUIPMENT PARTIES: CITY OF ALBANY AND B & L TRUST TRADING AS BILL GIBBS EXCAVATIONS SIGNED BY THE CEO 2 COPIES	30/07/2014
NCSR1438537	COPY OF COMMON SEAL ITEM: OCM 22.07.2014 ITEM WS045 RE: AWARD OF TENDER C14015(B) PANEL OF SUPPLIERS - CONSTRUCTION PLANT AND EQUIPMENT PARTIES: CITY OF ALBANY AND ALBANY INDUSTRIAL SERVICES PTY LTD SIGNED BY THE CEO 2 COPIES	30/07/2014
NCSR1438538	COPY OF COMMON SEAL ITEM: OCM 22.07.2014 ITEM WS047 RE: AWARD OF TENDER FOR C14009(B) PANEL OF SUPPLIERS - DRAINAGE MAINTENANCE/INSTALLATION WORKS PARTIES: CITY OF ALBANY AND ALBANY INDUSTRIAL SERVICES PTY LTD SIGNED BY THE CEO 2 COPIES	30/07/2014
NCSR1438539	COPY OF COMMON SEAL ITEM: OCM 22.07.2014 ITEM WS045 RE: AWARD OF TENDER FOR C14015(E) PANEL OF SUPPLIERS- CONSTRUCTION PLANT AND EQUIPMENT PARTIES: CITY OF ALBANY AND SM CANDY & PA CANDY TRADING AS ALBANY BOBCAT SERVICES SIGNED BY THE CEO 2 COPIES	30/07/2014

REPORT ITEM CSF0115 REFERS

NCSR1438549	COPY OF COMMON SEAL ITEM: OCM 22.07.2014 ITEM WS047 RE: AWARD OF TENDER C14009(A) PANEL OF SUPPLIERS - DRAINAGE MAINTENANCE / INSTALLATION WORKS PARTIES: CITY OF ALBANY AND TRICOAST HOLDINGS PTY LTD TRADING AS TRICOAST CIVIL SIGNED BY THE CEO 2 COPIES	30/07/2014
NCSR1438550	COPY OF COMMON SEAL ITEM: OCM 22.07.2014 ITEM WS045 RE: AWARD OF TENDER FOR C14015(C) PANEL OF SUPPLIERS - CONSTRUCTION PLANT AND EQUIPMENT PARTIES: CITY OF ALBANY AND THE TRUSTEE FOR FIGLIOMENI FAMILY TRUST SIGNED BY THE CEO 2 COPIES	30/07/2014
NCSR1438551	COPY OF COMMON SEAL ITEM: OCM 22.07.2014 ITEM WS045 RE: AWARD OF TENDER FOR C14015(A) PANEL OF SUPPLIERS - CONSTRUCTION PLANT AND EQUIPMENT PARTIES: CITY OF ALBANY AND TRICOAST HOLDINGS PTY LTD TRADING AS TRICOAST CIVIL SIGNED BY THE CEO 2 COPIES	30/07/2014
NCSR1438575	COPY OF COMMON SEAL ITEM: N/A RE: APPLICATION TO THE DEPARTMENT OF ENVIRONMENT REGULATIONS FOR A CLEARING PERMIT TO CLEAR TREES ON R16692 (UNMANAGED RESERVE ON MT CLARENCE) TO IMPROVE VIEWS FROM PADRE WHITE LOOKOUT. PARTIES: N/A SIGNED BY THE CEO 1 COPY	31/07/2014
NCSR1438619	COPY OF COMMON SEAL ITEM: OCM 22.07.2014 ITEM WS047 RE: AWARD OF TENDER FOR C14009(E) PANEL OF SUPPLIERS - DRAINAGE MAINTENANCE / INSTALLATION WORKS PARTIES: CITY OF ALBANY AND RIVER HILL CONTRACTING PTY LTD SIGNED BY THE CEO 2 COPIES	05/08/2014
NCSR1438620	COPY OF COMMON SEAL ITEM: OCM 22.07.2014 ITEM WS045 RE: AWARD OF TENDER FOR C14015(F) PANEL OF SUPPLIERS- CONSTRUCTION PLANT AND EQUIPMENT PARTIES: CITY OF ALBANY AND AD CONTRACTORS PTY LTD SIGNED BY THE CEO 2 COPIES	05/08/2014
NCSR1438621	COPY OF COMMON SEAL ITEM: OCM 22.07.2014 ITEM WS047 RE: AWARD OF TENDER FOR C14009 (C) PANEL OF SUPPLIERS- DRAINAGE MAINTENANCE / INSTALLATION WORKS PARTIES: CITY OF ALBANY AND AD CONTRACTORS PTY LTD SIGNED BY THE CEO 2 COPIES	05/08/2014
NCSR1438622	COPY OF COMMON SEAL ITEM: OCM 22.07.2014 ITEM WS045 RE: AWARD OF TENDER FOR C14015(I) PANEL OF SUPPLIERS- CONSTRUCTION PLANT AND EQUIPMENT PARTIES: CITY OF ALBANY AND PALMER EARTHMOVING (AUSTRALIA) PTY LTD SIGNED BY THE CEO 2 COPIES	05/08/2014

REPORT ITEM CSF0115 REFERS

NCSR1438741	COPY OF COMMON SEAL ITEM: OCM 22.07.2014 ITEM WS045 RE: AWARD OF TENDER FOR C14015(J) PANEL OF SUPPLIERS - CONSTRUCTION, PLANT AND EQUIPMENT PARTIES: CITY OF ALBANY AND ARMOGEDIN PTY LTD TRADING AS GREAT SOUTHERN SANDS SIGNED BY THE CEO 2 COPIES	11/08/2014
NCSR1438742	COPY OF COMMON SEAL ITEM: NA RE: SUBDIVISION TO ALLOW EXPANSION OF ALBANY REGIONAL AIRPORT. WATER CORPORATION REQUIRED A WATER SERVICE AGREEMENT TO BE LODGED ON THE AIRPORT LAND TITLE TO ADVISE OF THE NATURE OF THE WATER SUPPLY AVAILABLE. PARTIES: CITY OF ALBANY AND WATER CORPORATION SIGNED BY THE CEO 1 COPY	11/08/2014
NCSR1438745	COPY OF COMMON SEAL ITEM: OCM15.03.2011 ITEM 4.6 RE: SPONSORSHIP AGREEMENT WITH RIO TINTO FOR SUPPORT OF COMMUNITY EVENT (PROJECTIONS AND STORYTELLING) FOR ANZAC COMMEMORATION IN 2014 FOR \$15,000 PARTIES: PILBARA IRON COMPANY (SERVICES) PTY LTD SIGNED BY THE CEO 2 COPIES	11/08/2014
NCSR1438747	COPY OF COMMON SEAL ITEM: OCM 22.07.2014 ITEM WS047 RE: AWARD OF TENDER FOR C14009(D) PANEL OF SUPPLIERS - DRAINAGE MAINTENANCE / INSTALLATION WORKS PARTIES: CITY OF ALBANY AND ARMOGEDIN PTY LTD TRADING AS GREAT SOUTHERN SANDS SIGNED BY THE CEO 2 COPIES	11/08/2014
NCSR1438748	COPY OF COMMON SEAL ITEM: OCM 22.07.2014 ITEM WS045 RE: AWARD OF TENDER FOR C14015(D) PANEL OF SUPPLIERS - CONSTRUCTION, PLANT AND EQUIPMENT PARTIES: CITY OF ALBANY AND THE TRUSTEE FOR GROCOTT TRANSPORT TRADING AS GROCOTT TRANSPORT SIGNED BY THE CEO 2 COPIES	11/08/2014
NCSR1438840	COPY OF COMMON SEAL ITEM: OCM 15.03.2011 ITEM 4.6 RE: SPONSORSHIP AGREEMENT WITH LANDCORP FOR SUPPORT OF PRINCESS ROYAL HARBOUR LIGHTS FOR ANZAC COMMEMORATION IN 2014 FOR \$10,000 PARTIES:LANDCORP SIGNED BY THE CEO 2 COPIES	14/08/2014
NCSR1438841	COPY OF COMMON SEAL ITEM: NA RE: DEED OF EASEMENT DOCUMENT. AS PART OF CENTENNIAL PARK PLAN UPGRADE, WESTERN POWER INFRASTRUCTURE HAS BEEN INSTALLED ON LOT 115 LOCKYER AVENUE. LAND IS OWNED BY COA AND AN EASEMENT HAS BEEN CREATED OVER NEW INFRASTRUCTURE. PARTIES: NA SIGNED BY THE CEO 1 COPY	14/08/2014
NCSR1438863	COPY OF COMMON SEAL ITEM: N/A RE:TO EXTINGUISH THE EASEMENT FOR DRAINAGE PURPOSES GRANTED TO THE APPLICANT AS SHOWN ON DEPOSITED PLAN 67155 AND CREATED ON DEPOSITED PLAN 52703. PARTIES: LODGED BY CWS LAWYERS ON BEHALF OF PEET BAYONET HEAD SYNDICATE LTD SIGNED BY THE CEO 1 COPY	15/08/2014

REPORT ITEM CSF0115 REFERS

NCSR1438864	COPY OF COMMON SEAL ITEM: OCM 15.03.2011 ITEM 4.6 RE:SPONSORSHIP AGREEMENT WITH WESTERN POWER FOR SUPPORT OF COMMUNITY CONCERT \$50,000 / GENERATORS \$59,557 (VIK) FOR ANZAC COMMEMORATION IN 2014 PARTIES: WESTERN POWER SIGNED BY THE CEO 2 COPIES	15/08/2014
NCSR1438865	COPY OF COMMON SEAL ITEM:N/A RE:SECTION 70A NOTIFICATION OF SUBDIVISION APPROVAL 147765 (82 HOME ROAD), LOT 154 AND 155 ON DEPOSITED PLAN 400810 TO READ: THE OWNERS ARE ADVISED THAT THE LOTS ARE SITUATED IN THE VICINITY OF SAND MINING CURRENTLY TAKING PLACE WITHIN 500 METRES NORTH WEST OF THIS LOT. THESE MINING ACTIVITIES MAY AFFECT THE RURAL AMENITY OF PROPERTY. PARTIES: DONALD BATTERSBY SIGNED BY THE CEO 2 COPIES	15/08/2014
NCSR1438866	COPY OF COMMON SEAL ITEM: N/A RE:SECTION 70A NOTIFICATION FOR SUBDIVISION APPROVAL 147765 (82 HOME ROAD), LOT 154 AND 155 ON DEPOSITED PLAN 400810 TO READ: THE OWNERS ARE ADVISED THAT A RETICULATED SEWERAGE SUPPLY IS NOT AVAILABLE TO THE LOTS PARTIES: DONALD BATTERSBY SIGNED BY THE CEO 1 COPY	15/08/2014
NCSR1438868	COPY OF COMMON SEAL ITEM: OCM 24.06.2014 ITEM CSF094 RE:DEED OF SETTLEMENT AND RELEASE FOR AIRPORT CAFE LEASE - PAYMENT OF \$6,000 (GST INC) IN RECOGNITION OF CAFE CLOSURE TO ALLOW AIRPORT TERMINAL REDEVELOPMENT PARTIES: JACQUELINE HEATHER DANIEL TRADING AS JACQUI DANIEL SIGNED BY THE CEO 1 COPY	15/08/2014

5 September 2014

Summary of the Risk Assessment and Risk Management Plan

(Consultation Version) for

Licence Application No. DIR 125

Introduction

The Gene Technology Regulator (the Regulator) has received a licence application for dealings with a genetically modified (GM) *E. coli* chicken vaccine. Zoetis Australia Research & Manufacturing Pty Ltd (Zoetis) is seeking approval under the *Gene Technology Act 2000* (the Act) for the commercial release of the GM chicken vaccine for the purposes of import, transport, storage and disposal within Australia. Zoetis intends to import the GM chicken vaccine into Australia, and distribute it to commercial poultry farms, to protect chickens from *E. coli* infection. The GM chicken vaccine is currently registered for use in poultry farms in several countries including USA, Europe, Brazil and Philippines with over 5 billion doses administered worldwide.

Veterinary vaccines for sale in Australia are required to be assessed for quality, safety and efficacy. The Australian Pesticide and Veterinary Medicines Authority (APVMA) administers the Agricultural and Veterinary Chemicals Code Act 1994 to regulate agriculture and veterinary chemical products, including vaccines. The APVMA ensures that vaccines for use in Australia are suitably formulated, are of acceptable quality, are properly labelled and, when used according to the instructions, are safe, efficacious and do not unduly prejudice trade. As part of the assessment of the GM vaccine, the APVMA will consider the risk posed by the presence of residual vaccine in meat and eggs of chickens. Therefore, in addition to approval by the Regulator, Zoetis would require an approval from APVMA.

Although the use of the GM *E. coli* as a poultry vaccine is regulated by the APVMA, its import, transport and disposal are subject to regulation under the Gene Technology Act. In addition, import of the GM chicken vaccine is also subject to regulation by the Department of Agriculture which administers Australian biosecurity conditions for the importation of biological products under the Quarantine Act, 1908. These products include animal or microbial derived products such as foods, therapeutics, laboratory materials and vaccines (including GM vaccines).

The Regulator has prepared a science based Risk Assessment and Risk Management Plan (RARMP) for the application, which concludes that the proposed release poses negligible risks to human health and safety and the environment. Draft licence conditions have been proposed for the release. The Regulator invites submissions on the RARMP, including draft licence conditions, to inform the decision on whether or not to issue a licence.

The application

Application number	DIR 125
Applicant	Zoetis Australia Research & Manufacturing Pty Ltd (Zoetis)
Project title	Commercial release of genetically modified vaccine to protect chickens against pathogenic <i>Escherichia coli</i>
Parent organism	<i>Escherichia coli</i> serotype O78, strain EC34195
Introduced or modified genes and resulting modified traits	Partial deletion of <i>aroA</i> gene (impaired biosynthesis of essential aromatic amino acids resulting in reduced spread and persistence of the GMO - attenuation)
Proposed locations	Commercial poultry farms in Australia
Proposed release date	Ongoing from date of approval
Proposed activities	Import, storage, transport and disposal of the GM chicken vaccine.

Risk assessment

The risk assessment concludes that risks to the health and safety of people, or the environment, from the proposed commercial release are negligible.

The risk assessment process considers how the genetic modification and proposed activities conducted with the GMOs might lead to harm to people or the environment. Risks are characterised in relation to both the seriousness and likelihood of harm, taking into account information in the application (including proposed limits and controls), relevant previous approvals and current scientific/technical knowledge. Both the short and long term impact are considered.

Credible pathways to potential harm that were considered included whether changes in gene expression due to gene deletions could: result in products that are toxic or allergenic to people or other organisms; alter characteristics that may impact on the disease burden due to the GM *E. coli*; or produce unintended changes in bacterial characteristics. The chance for unintended exposure to the vaccine and the GM bacteria it contains, and for gene flow was also considered.

A risk is only identified for further assessment when a risk scenario indicates the possibility of substantive risk. Pathways that do not lead to harm, or could not reasonably occur, do not advance in the risk assessment process.

The risks to the health and safety of people, or the environment, from the proposed dealings with the GM chicken vaccine have been assessed to be negligible. Hence, the Regulator considers that the dealings involved do not pose a significant risk to either people or the environment¹.

The principal reasons for the conclusion of negligible risks are that the genetic modifications are unlikely to cause harm to people or the environment; the extensive previous experience with the GM chicken vaccine overseas and bacteria similar to the GMO are likely to be common in the environment.

¹ As none of the proposed dealings are considered to pose a significant risk to people or the environment, section 52(2)(d)(ii) of the Act mandates a minimum period of 30 days for consultation on the RARMP. The Regulator has allowed up to 8 weeks for the receipt of submissions from prescribed experts, agencies and authorities and the public.

Risk management plan

The risk management plan concludes that the risks from the proposed dealings, either in the short or long term, to the health and safety of people, or the environment, are negligible. No specific risk treatment measures are proposed.

Risk management is used to protect the health and safety of people and to protect the environment by controlling or mitigating risk. The risk management plan evaluates and treats identified risks and considers general risk management measures. The risk management plan is given effect through proposed licence conditions.

The proposed licence, detailed in Chapter 4 of the RARMP, contains a number of general conditions relating to ongoing licence holder suitability, auditing and monitoring, and reporting requirements which include an obligation to report any new information about risks or unintended effects associated with the authorised dealings. There are also general conditions to ensure ongoing oversight of the dealings.

Call for comment

The Regulator invites submissions on the RARMP, including the draft licence conditions, for application DIR 125 from Zoetis Australia Research & Manufacturing Pty Ltd.

The closing date for written submissions is **31 October 2014**.

The Regulator would particularly value comments relating to risks to the **health and safety of people or the environment** posed by the proposed dealings.

All comments relating to the protection of people or the environment that are received by the closing date will be taken into account by the Regulator in finalising the RARMP, which will then form the basis of his decision whether or not to issue a licence.

Please note that issues such as food safety and labelling, the use of veterinary medicines and marketing and trade implications do **not** fall within the scope of the evaluations that the Regulator is required to conduct. These are the responsibilities of other agencies and authorities.

The consultation RARMP can be accessed on the OGTR website under 'What's New' or you can request a copy of the RARMP or the application from the OGTR. Please quote application number **DIR 125**.

If you have any questions about the RARMP or the evaluation process, please contact:

The Office of the Gene Technology Regulator

MDP 54 GPO Box 9848 Canberra ACT 2601

Tel: 1800 181 030, Fax: 02 6271 4202

Email: ogtr@health.gov.au

Website: <http://www.ogtr.gov.au>

Questions & Answers on licence application DIR 125 – Commercial release of genetically modified poultry vaccine

What is this application for?

Zoetis Australia Research & Manufacturing Pty Ltd (Zoetis) is seeking approval for the commercial release of a genetically modified (GM) poultry vaccine. The GM vaccine is intended for use on commercial poultry farms, to protect chickens from disease caused by *Escherichia coli* infection. An approval by the Gene Technology Regulator (the Regulator) would enable Zoetis to import, transport, store and dispose of the GM chicken vaccine. Before it can be used on commercial chicken farms, Zoetis needs approval from other regulatory agencies and government departments as well.

What other regulatory approvals are required?

The Australian Pesticide and Veterinary Medicines Authority (APVMA) administers legislation to regulate agriculture and veterinary chemical products, including vaccines. The APVMA ensures that vaccines for use in Australia are suitably formulated, are of acceptable quality, are properly labelled and, when used according to the instructions, are safe, efficacious and do not unduly prejudice trade. If approval is granted by the APVMA, the vaccine is likely to be classified as a prescription animal remedy and would require supervision by a registered veterinarian to be used in commercial poultry farms. As part of the assessment of the GM chicken vaccine, the APVMA will consider the risk posed by the presence of residual vaccine in meat and eggs of chickens.

The Department of Agriculture administers Australian biosecurity conditions for the importation of biological products under the Quarantine Act, 1908. These products include animal or microbial derived products such as foods, therapeutics, laboratory materials and vaccines (including GM vaccines). An approval would also be required from the Department of Agriculture to import the GM vaccine.

How has the GM *Escherichia coli* been modified?

A disease causing *E. coli* was isolated from an infected chicken. This *E. coli* was genetically modified by deleting part of a gene, *aroA*. The resulting GM *E. coli* cannot make some essential nutrients and does not cause disease in chickens. Nevertheless, it can help provide immunity to some disease causing *E. coli* strains. The GM *E. coli* is sensitive to the same antibiotics as its parent.

Will the GM vaccine be harmful to people, other animals or birds?

The risk assessment did not identify any substantive risks to people or the environment. The vaccine is already approved for use as a poultry vaccine in the USA, the EU and other countries. World-wide, approximately 5 billion doses of the vaccine have been applied to poultry without any confirmed adverse effects.

How can I comment on this application?

The Regulator has released the consultation Risk Assessment and Risk Management Plan (RARMP) for this application and supporting documents for public consultation. You can either access these documents on the OGTR website under 'What's New' or request a copy of the documents or the application from the OGTR. You may make a written submission before consultation closes on **31 October 2014**. Please quote the application number **DIR 125**.

Please note that issues such as food safety and labelling, the use of veterinary medicines, and marketing and trade implications are outside the Regulator's scope.

The Office of the Gene Technology Regulator, MDP 54, GPO Box 9848, Canberra, ACT, 2601

Telephone: 1800 181 030 Facsimile: 02 6271 4202 Email: ogtr@health.gov.au

Website <http://www.ogtr.gov.au>

Appendix A Summary of submissions from prescribed experts, agencies and authorities

The Regulator received a number of submissions from prescribed experts, agencies and authorities on matters considered relevant to the preparation of the RARMP. All issues raised in submissions relating to risks to the health and safety of people and the environment were considered. The issues raised, and where they are addressed in the consultation RARMP, are summarised below.

Summary of issues raised	Comment
If the GM vaccine were available in Tasmania would this be a breach of the GMO ban?	Information regarding the matter, including details of a state contact person and information on the review of the Tasmanian moratorium, was provided to the submitter via email.
Thanks for notification.	Noted.
Notes that the council policy regarding GMOs means that the area is GM free. No commercial poultry farms are in the area.	Noted.
Acknowledges receipt of notification and makes no further comments.	Noted.
Acknowledges receipt of notification and notes that no commercial poultry farms are in the area.	Noted.
States that the vaccine should not become an easy, costly and unsustainable solution to infection control caused through poor husbandry practices.	Commercial poultry farms follow best management practices. Zoetis would require an approval from the Australian Pesticide and Veterinary Medicines Authority (APVMA) to supply the GM vaccine. If approval is granted, the vaccine is likely to be classified as a prescription animal remedy and would require supervision by a registered veterinarian to be used in commercial poultry farms.
Wants the RARMP to examine if waste, including water, litter, faecal matter and carcasses, from vaccinated chicken will need special treatment or additional trade waste approvals.	Disposal of unused or waste material is discussed in Section 2.2.2 and risk scenario 3. The risk associated with waste was considered negligible Waste would be disposed of as per standard practice. Note that wastes (current and future) may contain chicken pathogens. Current farm practices are designed to ensure that pathogens are unlikely to re-infect chickens on-farm and that chicken and chicken products do not pose a danger to the health and safety of humans and safety of the environment. Composted waste might be used to produce fertilizer or similar products for commercial use. It is expected that low numbers – if any – of the E. coli survived in the litter and after composting.

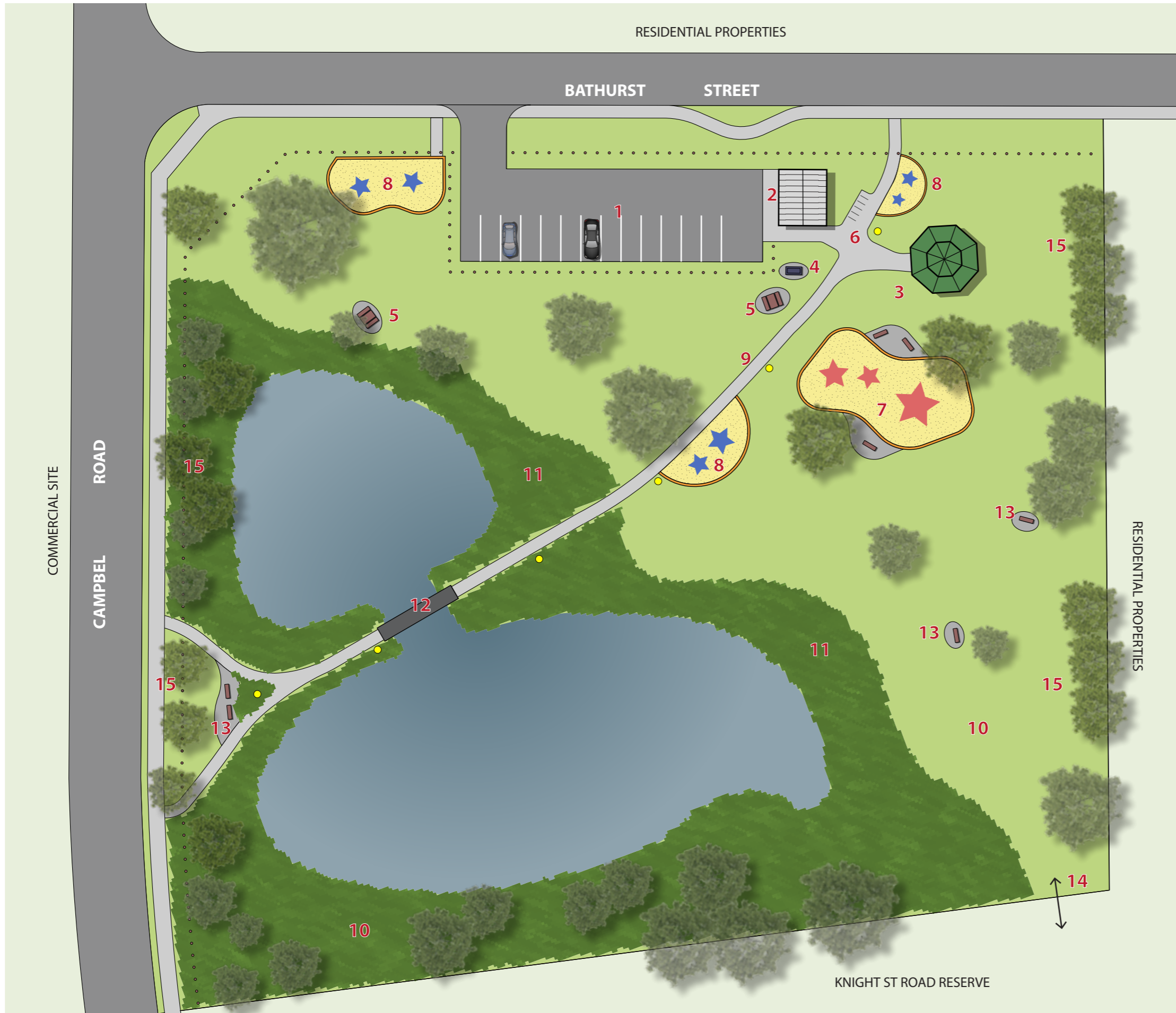
Summary of issues raised	Comment
Council is opposed to gene technology.	Noted.
Council is opposed to gene technology.	Noted.
Wants relevant precautions to ensure potential impacts from the GM vaccine to the environment are addressed.	Risk scenarios 2 and 3 address risks to the environment. These were assessed as negligible.
Wants appropriate training, instruction and monitoring provided to farmers to ensure their thorough understanding of the storage, handling and disposal, as well as the risk involved with the use of the vaccine.	The Australian Pesticide and Veterinary Medicines Authority (APVMA) administers the Agricultural and Veterinary Chemicals Code Act 1994 to regulate agricultural and veterinary chemical products, including vaccines. The APVMA ensures that vaccines for use in Australia are suitably formulated, are of acceptable quality, are properly labelled and, when used according to the instructions, are safe, efficacious and do not unduly prejudice trade. Zoetis would require an approval from the APVMA to supply the GM vaccine. If approval is granted, the vaccine is likely to be classified as a prescription animal remedy and would require supervision by a registered veterinarian to be used in commercial poultry farms.
Proposes the RARMP reviews transfer of the GM vaccine from vaccinated poultry to other birds, particularly on free-range farms.	The potential harm from transfer from the GM vaccine to other birds is discussed in risk scenario 2 and 3. The risk of incidental infection of other birds was considered negligible.
The vaccine should not replace good management practices on chicken farms.	Commercial poultry farms follow best management practices. Zoetis would require an approval from the APVMA to supply the GM vaccine. If approval is granted, the vaccine is likely to be classified as a prescription animal remedy and would require supervision by a registered veterinarian to be used in commercial poultry farms.
Wants evidence for food safety upon consumption of vaccinated chickens.	Food Standards Australia New Zealand (FSANZ) is responsible for human food safety assessment and food labelling, including GM food and residues. A study conducted in 2005 concluded that 'there has been no documented case of food-borne illness due to <i>E. coli</i> associated with consumption of poultry meat'. The Australian Pesticide and Veterinary Medicines Authority (APVMA) administers the Agricultural and Veterinary Chemicals Code Act 1994 to regulate agriculture and veterinary chemical products, including vaccines. The APVMA ensures that vaccines for use in Australia are suitably formulated, are of acceptable quality, are properly labelled and, when used according to the instructions, are safe, efficacious and do not unduly prejudice trade. As part of the assessment, the APVMA will consider the risk posed by the presence of residual vaccine in meat and eggs of chickens. As discussed in risk scenario 1, if the animals are exposed to the vaccine according to the manufacturer's instruction, the likelihood of GM <i>E. coli</i> being found in eggs is very low.
States that it is unclear which selection method was used in the final segregation step when creating the GM vaccine strain.	Noted. This information was provided by the applicant in appendix 1 of the application. In addition to approval by the Regulator, the applicant would also require a permit for import from the Department of Agriculture. The Department of Agriculture administers Australian biosecurity conditions for the importation of biological products under the Quarantine Act, 1908. These products include animal or microbial derived products such as foods, therapeutics, laboratory materials and vaccines (including GM vaccines).
Wants to investigate if the DNA sequence that identifies an open reading frame on the complementary strand spanning the site of the deletion produces a novel product with biological activity.	No significant similarities to known genetic elements were found when performing a BLASTn search as discussed in Section 5.2 of Chapter 1. Five billion doses have been administered worldwide and there was no confirmed case of harm in humans and no reported adverse effects in animals.

Summary of issues raised	Comment
<p>Wants RARMP to assess if the genetic modification resulted in the production of toxic metabolites in the GM vaccine, eg from the ORF or through disruption of aromatic amino acid synthesis.</p>	<p>No metabolomics analysis of the GMO is available. As discussed in Section 2.1, the empirical evidence (5 billion administered doses and large scale field studies) suggests that there is no build-up of toxic substances in the GM vaccine.</p>
<p>Wants the RARMP to address if gain of function revertants may present a greater risk to the environment than the <i>E. coli</i> O78 currently present in Australia.</p>	<p>This is discussed in risk scenario 2 of chapter 2 of the RARMP. The risk associated with a reversion to virulence was considered no greater than that of the APEC wild type.</p>
<p>Wants the RARMP to evaluate whether inadvertent vaccination of feral birds (as a result of shedding of the vaccine) could lead to localised environmental damage.</p>	<p>This is discussed in risk scenario 3 of chapter 2 of the RARMP. The risk associated with vaccinating feral birds was considered negligible.</p>
<p>Poultry systems can vary considerably between countries and, therefore, biosecurity issues may be more prominent in some production systems compared to others. Wants the RARMP to assess interaction with possible vectors such as wild birds and marsupials.</p>	<p>80% of the Australian poultry industry is under the control of two companies. They use a vertically integrated system with a high level of biosecurity. They need to protect the stock from predators and minimize the access of feral birds and other animals to feed and water. The most likely system where wild birds may get in contact with vaccinated chickens is on a free range chicken farm. This was discussed in risk scenario 3 of Chapter 2. The potential risk associated with wild birds being exposed to the GMO is discussed in risk scenario 2 of Chapter 2 of the RARMP and considered negligible. For more information about the Australian poultry industry please refer to Australian chicken meat federation (http://www.chicken.org.au/index.php) and the Australian egg corporation limited (https://www.aecl.org/).</p>
<p>Wants possible interactions between this vaccine and other – prescribed – vaccinations evaluated.</p>	<p>The Australian Pesticide and Veterinary Medicines Authority (APVMA) administers the Agricultural and Veterinary Chemicals Code Act 1994 to regulate agriculture and veterinary chemical products, including vaccines. The APVMA ensures that vaccines for use in Australia are suitably formulated, are of acceptable quality, are properly labelled and, when used according to the instructions, are safe, efficacious and do not unduly prejudice trade.</p>
<p>Wants risks to human health and safety evaluated, particularly with view to staff administering the vaccine. Staff training and the use of personal protective equipment should be considered.</p>	<p>The exposure of humans to the vaccine was assessed in risk scenario 1 of chapter 2 of the RARMP. APECs are not considered to be human pathogens. Administration of the vaccine will be subject to regulation by the APVMA. Zoetis would require an approval from the APVMA to supply the GM vaccine. If approval is granted, the vaccine is likely to be classified as a prescription animal remedy and would require supervision by a registered veterinarian to be used in commercial poultry farms.</p>
<p>Wants consideration of contextual changes over time where poultry production systems will not be spatially isolated from urban areas and, therefore, exposure of people via aerosols and shedding may increase over time.</p>	<p>The risk to humans from the GM vaccine was assessed in risk scenario 1 of chapter 2 of the RARMP. APECs are not considered to be human pathogens. Indoor administration of the vaccine as well as common farm practices such as composting of chicken litter and removal of dead birds further minimise the potential of exposure to people via aerosol and shedding. The APVMA ensures that vaccines for use in Australia are suitably formulated, are of acceptable quality, are properly labelled and, when used according to the instructions, are safe, efficacious and do not unduly prejudice trade.</p>
<p>Wants consideration of inadvertent revaccination of older chickens in poultry production with mixed age chickens.</p>	<p>The Australian Pesticide and Veterinary Medicines Authority (APVMA) administers the Agricultural and Veterinary Chemicals Code Act 1994 to regulate agriculture and veterinary chemical products, including vaccines. The APVMA ensures that vaccines for use in Australia are suitably formulated, are of acceptable quality, are properly labelled and, when used according to the instructions, are safe, efficacious and do not unduly prejudice trade. Revaccination could potentially only effect egg laying chicken (layers) as poultry raised for meat (broilers) would be vaccinated once and are generally not kept in mixed aged facilities. Layers could be revaccinated between 12 and 14 weeks of age, well before they reach maturity and start laying eggs (20 weeks).</p>

Summary of issues raised	Comment
<p>Wants consideration of the likelihood of residual vaccine in chicken produce such as meat and eggs.</p>	<p>Food Standards Australia New Zealand (FSANZ) is responsible for human food safety assessment and food labelling, including GM food and residues. A study conducted in 2005 concluded that 'there has been no documented case of food-borne illness due to <i>E. coli</i> associated with consumption of poultry meat'. The APVMA ensures that vaccines for use in Australia are suitably formulated, are of acceptable quality, are properly labelled and, when used according to the instructions, are safe, efficacious and do not unduly prejudice trade. As part of the assessment, the APVMA will consider the risk posed by the presence of residual vaccine in meat and eggs of chickens.</p> <p>As discussed in risk scenario 1, if the animals are exposed to the vaccine according to the manufacturer's instruction, the likelihood of GMO being found in eggs is very low.</p>
<p>Doubts that there is sufficient evidence relating to reversion to pathogenicity in the application and wishes the RARMP to address this issue.</p>	<p>In case of a reversion to virulence the potential harm caused by the revertant is likely to be no more than the potential harm caused by the parent organism <i>E. coli</i> O78. This has been addressed in risk scenario 3 of chapter 2 in the RARMP.</p>
<p>Wants the RARMP to evaluate if there is evidence for genomic re-assortment and recombination in the GMO.</p>	<p>Laboratory studies, field trials and a history of safe use indicate that there has either been no genomic re-assortment or, if a genomic re-assortment has occurred, it has no deleterious effects on the GMO and has not resulted in harm to people and the environment. Potential harm through recombination was discussed in chapter 2, risk scenario 3 and considered negligible.</p>
<p>Has taken note of the submission but are not required to take any further action at the moment</p>	<p>Noted</p>
<p>Provides information on the presence of O-serotypes of <i>E. coli</i> in Australia for the risk context.</p>	<p>Noted.</p>
<p>Wants the RARMP to consider the prevalence of Avian Pathogenic <i>E. coli</i> serotypes, and in particular type O78, in Australia.</p>	<p><i>E. coli</i> serotype O78 was isolated in Australia in a 1987 study. Please refer to chapter 1, section 4 of the RARMP for more details.</p>
<p>Wants the RARMP to consider the properties of the parent organism with the potential to cause harm.</p>	<p>The parent organism is an avian pathogenic <i>E. coli</i> that was isolated from chicken that had died of colibacillosis. Please refer to chapter 1, section 5 of the RARMP for more details</p>
<p>Wants the RARMP to consider whether the genetic modification may alter levels of <i>E. coli</i> metabolites in a manner which may cause harm.</p>	<p>As discussed in Section 2.1 of Chapter 2, no metabolomics analysis of the GMO is available. The empirical evidence (5 billion administered doses and large scale field studies) shows no adverse effects and suggests that there is not build-up of toxic substances in the GM vaccine.</p>
<p>Wants the RARMP to consider the potential for the GMO to replicate and persist in the environment.</p>	<p>The GMO has limited potential to replicate and persist in the environment due to the genetic modification. Please refer to chapter 1, section 5 of the RARMP for more details</p>
<p>Wants the RARMP to consider the pathways and levels of exposure of wild birds to the GMO as a result of vaccination in poultry houses and free range farms.</p>	<p>Risk scenarios 2 and 3 of Chapter 2 of the RARMP address the potential for harm from exposure of wild birds to the vaccine which was considered negligible.</p>

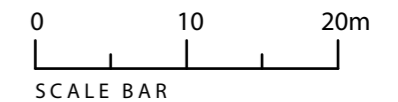
REPORT ITEM CSF 118 REFERS

Summary of issues raised	Comment
<p>Wants the RARMP to consider the training requirements for persons administering the vaccine.</p>	<p>The Australian Pesticide and Veterinary Medicines Authority (APVMA) administers the Agricultural and Veterinary Chemicals Code Act 1994 to regulate agriculture and veterinary chemical products, including vaccines. The APVMA ensures that vaccines for use in Australia are suitably formulated, are of acceptable quality, are properly labelled and, when used according to the instructions, are safe, efficacious and do not unduly prejudice trade. Zoetis would require an approval from the APVMA to supply the GM vaccine. If approval is granted, the vaccine is likely to be classified as a prescription animal remedy and would require supervision by a registered veterinarian to be used in commercial poultry farms.</p>
<p>Wants the RARMP to consider the results of GMO-specific post-marketing monitoring in the USA.</p>	<p>The results of pharmacovigilance study in the US have been discussed in Section 5.2 of Chapter 1. No confirmed harm to humans and environment was reported.</p>



NOTES

1. Upgrade existing carpark & include disabled parking
2. New toilet & path connection
3. Retain existing gazebo/memorial and incorporate new rain/wind barriers
4. New barbecue
5. New picnic tables
6. New bike racks
7. Upgrade playground with equipment for a diverse age range, and add new seating and trees for shade
8. Zone for new fitness equipment
9. Resurface existing footpath and add new solar lighting
10. Drainage works to provide kick-about area, includes clumps of trees and low-lying wetland vegetation
11. Native revegetation to lake edge
12. Retain existing bridge, and include new interpretive signage
13. New seating/shelter
14. Future access
15. New trees, to provide shade and act as wind/road/noise barriers





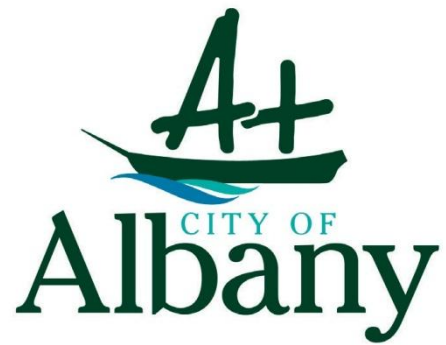
Legend

— Proposed "no stopping" location

PROJECT	PROPOSED PARKING RESTRICTIONS
LOCATION	"NO STOPPING" BURT STREET / FOX WAY / THOMAS STREET
DRAWING SCALE	NTS 47



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Planning & Development Services

City of Albany
Policy

‘Residential Building’ Policy

'RESIDENTIAL BUILDING' POLICY

Policy Statement

1. This Policy has been adopted in accordance with Part 2 of Local Planning Scheme 1.
2. Local Government is to have due regard to the provisions of this Policy and the objectives which the Policy is designed to achieve before making its determination.

Objective

3. This Policy is intended to regulate the use and development of 'Residential Building's' as a means to minimize the potential impacts from the development on the character of the immediate neighbourhood.

Scope

4. This Policy applies to 'Residential Buildings' as defined in the WAPC Residential Design Codes (R Codes), and that are intended, adapted or designed to be used for the purpose of being occupied temporarily by two or more persons, or permanently by seven or more persons, who do not comprise a single family.
5. This Policy does not apply to buildings that are defined in the R Codes as a Single House or to housing used for holiday or short stay accommodation. (eg. Bed and Breakfast and Holiday Accommodation).

Definitions

6. A 'Residential Building' is defined in the Residential Design Codes as:

"a building or portion of a building, together with rooms and outbuildings separate from such building but incidental thereto; such building being used or intended, adapted or designed to be used for the purpose of human habitation:

 - a. Temporarily by two or more persons; or*
 - b. Permanently by seven or more persons, who do not comprise a single family, but does not include a hospital or sanatorium, a prison, a hotel, a motel or a residential school."*
7. Temporarily means: *period of continuous stay is limited to 6 months.*
8. Permanently means: *period of continuous stay is greater than 6 months.*
9. Manager means: *an appropriately authorized person(s) who is responsible for supervising and motivating the building tenants, and has the authority and responsibility to make decisions regarding the operation and management of the building and its occupants.*

Note: For the purpose of this policy, an application for permanent accommodation (greater than 6 months), for no more than six persons who do not comprise a family, falls under the use class 'Single House' and therefore does not relate to this policy.

Residential Design Code definition for Single House:

"A building or portion of a building being used, adapted, or designed or intended to be used for the purpose of human habitation on a permanent basis by a single person, a single family, or no more than six persons who do not comprise a single family."

Strategic Context

10. This Policy relates directly to the following element of the *Community Strategic Plan "Albany 2023"*: *to advocate, plan and build friendly and connected communities.*

Legislative Context

Zoning/Location

11. A 'Residential Building' is not permitted in the 'Residential', Tourist Residential' and 'Regional Centre' zones unless the Local Government has exercised its discretion by granting planning approval after giving special notice in accordance with clause 9.4 of the Local Planning Scheme 1.

Legislation	Policies
<i>Housing Act 1980</i>	<i>The Affordable Housing Strategy: 2010-2020 Opening Doors to Affordable Housing</i>
<i>Disability Services Act 1993</i>	<i>Department of Housing: Eligibility Policy</i>
<i>Mental Health Act 1996</i>	<i>Department of Housing: Rental Policy</i>
<i>Residential Tenancies Act 1987</i>	<i>Department of Housing: Building Program Policy</i>

Policy Provisions

12. While considering an application for a Residential Building, the City may give consideration to the application subject to the application meeting the following conditions:

Residential Building being used temporarily

- a) A Residential Building intended to be used for a temporary period is to employ a live in manager. The live in manager is not be absent from the Residential Building, unless he or she leaves a reputable person in charge thereof.

Advice

The Residential Building, being used temporarily is to comply with design requirements consistent with a Class 1B defined under the Building Act and Regulations, including requirements to cater for people with disabilities and hardwired smoke alarms.

Residential Building being used temporarily or permanently

- b) A manager is to be appointed to have the care and management of the Residential Building and tenants and is to:
- i. Obtain a written agreement from tenants to the terms of tenancy, in particular non disruptive behavior standards in accordance with the Residential Tenancies Act 1987;
 - ii. keep a register of lodgers to be kept in the building and open to inspection at any time on demand by any member of the Police Service or by an officer from the City of Albany;
 - iii. give notice of termination to a tenant upon the ground that the tenant has breached a term of the agreement and the breach has not been remedied in accordance with the Residential Tenancies Act 1987;
 - iv. regularly educate members of a Residential Building of rules and regulations to abide by;
 - v. ensure that repairs/maintenance of the building, furnishings, and equipment is completed in a timely manner; and
 - vi.

Advice

The City's Environmental Health Officers and Planning Compliance Officers will undertake routine inspections of registered 'Residential Buildings' to ensure compliance with Health Regulations, City of Albany Health Local Laws 2001, and any relevant planning conditions.

- c) The tenants of a 'Residential Building' shall not prejudicially affect the amenity of the neighbourhood through and for example by the creation of excessive noise, vibration or antisocial behaviour. .
- d) The design of a 'Residential Building', incidental developments (carport) and areas of open space is to be developed and maintained so as not to detract from the character of the local area.
- e) One (1) car-parking space is to be provided for every two beds of a Residential Building.
- f) The City may require additional improvements to be made to the Building to mitigate its impact on amenity to the surrounding neighborhood, including: modifications to design; painting; landscaping; buffers to surrounding uses; constructing new fencing; rendering walls; re-roofing; and crime prevention measures (e.g. Lighting and permeable fencing)
- g) Details to be included in an application for a 'Residential Building' include:
 - i. Site and floor plan;
 - ii. The number of bedrooms and beds proposed to be used;
 - iii. Details for onsite car-parking;
 - iv. Nominate period of stay (temporary or permanent)
 - v. A management plan detailing:
 - a. The name, address and contact details of the owner and manager of the Residential Building;
 - b. Terms of tenancy and including behavior standards (refer to Residential Tenancies Act 1 1987).

Review Position and Date

13. N/A

Associated Documents

14. *Local Planning Scheme 1 (LPS1)*

15. *Residential Design Codes (R Codes)*

16. *Residential Tenancies Act 1987*

Version Control

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Planning & Development Services

City of Albany Policy

'HOLIDAY ACCOMMODATION'

'HOLIDAY ACCOMMODATION' POLICY

Policy Statement

1. This Policy has been adopted in accordance with Part 2 of *Local Planning Scheme 1*.
2. Local Government is to have due regard to the provisions of this Policy and the objectives which the Policy is designed to achieve before making its determination.

Objective

3. To encourage good quality, well managed holiday accommodation for use by short-term visitors generally in locations that will enhance the tourism experience while minimising potential impacts on adjoining residents.

Scope

4. This Policy applies to applications for Holiday Accommodation.

Definition

5. Holiday Accommodation: means any land and/or building providing accommodation and recreation facilities for guests/tourists on a short-term commercial basis and may include a shop or dining area incidental to the function providing limited services to patrons (Source: *Local Planning Scheme 1*).
6. Short Stay: means that no person is to stay more than three months in any 12 month period.

Note: Holiday Accommodation is not the same as 'Bed and Breakfast'.

Bed and breakfast/farmstay means a dwelling, used by a resident of the dwelling, to provide accommodation for no more than six guests away from their normal place of residence on a short-term commercial basis within the dwelling and may include the provision of meals.

Strategic Context

7. This Policy relates directly to the following element of the *Community Strategic Plan "Albany 2023"*: to advocate, plan and build friendly and connected communities.

Legislative Context

Zoning/Location

8. Holiday Accommodation' is not permitted in the 'Residential', 'Caravan and Camping', 'Regional Centre', 'Rural Small Holding' and 'Rural Village' zones unless the Local Government has exercised its discretion by granting planning approval.
9. 'Holiday Accommodation' is not permitted in the 'Yakamia Creek', 'General Agriculture' and 'Priority Agriculture' zones unless the Local Government has exercised its discretion by granting planning approval after giving special notice in accordance with clause 9.4 of the *Local Planning Scheme 1*.
10. 'Holiday Accommodation' is permitted in the 'Tourist Residential' and 'Hotel/Motel' zones providing the use complies with requirements of the Scheme.

Policy Provisions

Referral to Council

11. Where a neighbour objects to a proposal for Holiday Accommodation, the application is to be referred to the Council for deliberation and considered in view of the following:
- a. The proximity of the holiday accommodation to key tourism attractions such as the beach or town centre/activity centre (typically a 5 minute walk – 400m); and/or
 - b. Location within a street(s) which facilitates safe, efficient and pleasant walking, cycling and driving; and/or
 - c. Location compatible with Figure A (refer to attachment - the areas illustrated are within close proximity to the town centre and popular swimming beaches); and
 - d. A management plan designed to facilitate community concerns.

Management Plan

12. On application for Holiday Accommodation, a Management Plan shall be submitted to address matters including:
- a. Effective on-going management;
 - i. The responsibility for appropriate on-going management rests with the proponent to ensure that visitors are responsible and do not create inappropriate impacts (including noise) to adjoining/nearby properties. Suitable on-going management can be more difficult if owners live a considerable distance from the application site. Accordingly, as part of the planning application, the local government will require the proponent to outline how the site will be managed, especially if the owners do not live nearby.
 - b. The amenity of adjoining/nearby land uses;
 - ii. managing noise impacts of visitors;
 - iii. the submission of a code of conduct for guests which shall, amongst others, list what is considered acceptable and unacceptable behavior;
 - iv. outlining how the premises will be managed on a day-to-day basis (including how keys are easily available for late entry, providing onsite assistance and confirming arrangements for cleaning/waste management);
 - v. relevant site specific matters including fire management/emergency response plans for visitors and managing risks for visitors; and
 - vi. the handling of complaints (it is expected that the tenant be contacted by phone immediately and the proponent or their representative visit the property, preferably within 12 hours).

Amount of Persons Residing

13. The amount of guests residing within holiday accommodation is to comply with the following standards:
- a. 4 square metres per person in each bedroom utilising beds;
 - b. 2.5 square metres per person in each bedroom utilising bunks; and
 - c. Maximum of 12 persons within a 'Single House' at any time.

Note: Where more than 12 guests are proposed, the premise is classified under the Health Act 1911 as a "lodging house" and will require further approval (from Environmental Health). A planning application for a lodging house shall be treated as a "use not listed" under the provisions of the Town Planning Scheme.

Period of Stay

14. The maximum stay for any one person within a building approved for holiday accommodation is 3 months within any 12 month period.

Register

15. Operators must provide and maintain a register of all people who utilise the holiday accommodation during the year to Council's satisfaction.

Car Parking

16. At a minimum, 2 on-site car parking bays are to be provided per 6 guests (4 car-parks/12 guests).

17. Tandem parking may be permitted for a maximum of one vehicle behind another vehicle.

18. All car parking is to be contained on-site and no verge area should be used for car parking.

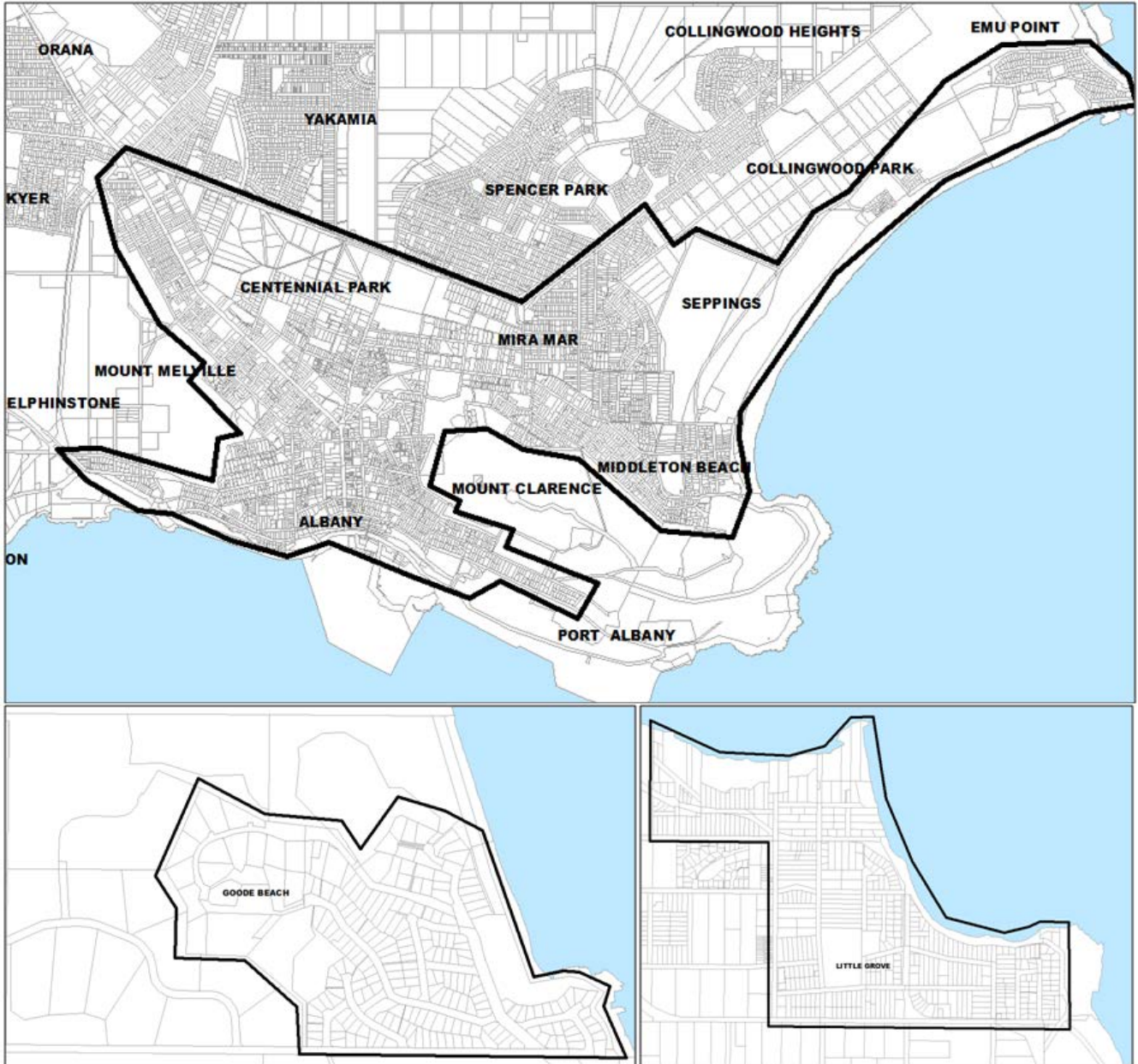
19. It is common for holiday makers to have a boat, trailer, caravan etc. and there should be additional space allocated for such. All vehicle access (including crossovers) and car parking areas are to be sealed and drained to the approval of the local government.

Note: A new proprietor wishing to continue the use of the site for holiday accommodation will need to provide an updated management plan.

Except as otherwise provided in the Scheme, a 'Single House' does not require planning approval of the Local Government.

Reverting holiday accommodation back to permanent accommodation ('Single House') does not require the approval of the Local Government.

Figure A – Preferred Areas for Holiday Accommodation



Review Position and Date

20. N/A

Associated Documents

- 21. *Local Planning Scheme 1 (LPS1).*
- 22. *Residential Design Codes (R Codes).*
- 23. *The Western Australian Planning Commission (WAPC) Planning Bulletin 99 (Holiday Home Guideline).*

Version Control

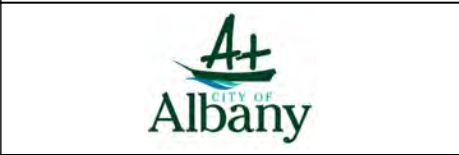
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Tuesday, 12 August 2014

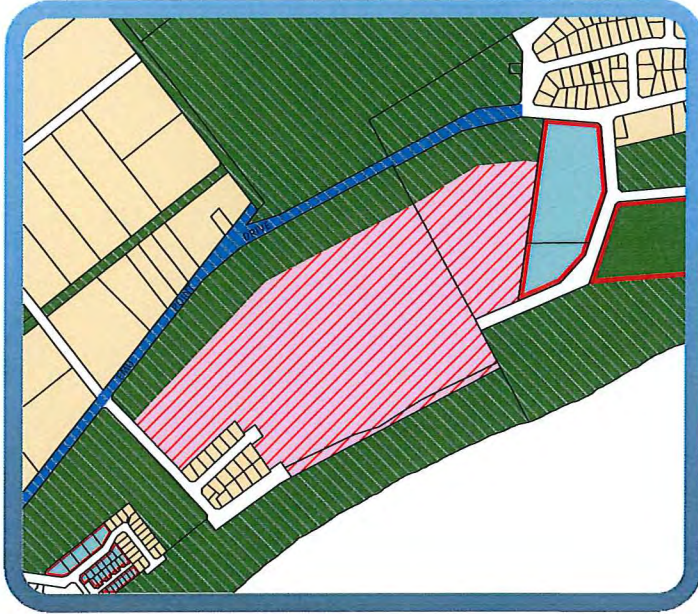
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CITY OF ALBANY

Local Planning Scheme No. 1

Amendment No. 2







Existing Zoning

LOCAL SCHEME RESERVES

-  Local Roads
-  Priority Road
-  Parks and Recreation

ZONES

-  Residential
-  Future Urban
-  Caravan & Camping
-  Hotel / Motel



Proposed Zoning



EMU POINT

OUTLINE DEVELOPMENT PLAN





Revision Information

REV	DATE	AUTHOR	Issued to:
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B			
C			
D			
E			
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H			
I			

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7. Historical Photos
8. Certificates of Title
9. Liveable Neighbourhoods Checklist
10. Design Guidelines and Detailed Area Plans (H+H Architects)
11. Visual Impact Assessment (GHD)
12. Sustainability Checklist (Lawrence Cuthbert and Associates)
13. Landscape Master Plan (Sally Malone Design)
14. Fire Management Plan (OPUS International)
15. Traffic Study (Wood & Grieve)
16. Summary of Environmental Factors and Management (PER extract) (GHD)
17. Phytophthora cinnamomi Mapping (GHD, Ficifolia Consulting and Bio Diverse Solutions)
18. Local Water Management Strategy (GHD & Wood & Grieve)



1.0 INTRODUCTION

This Outline Development Plan (ODP) has been prepared by Harley Global Pty Ltd (Harley Global) on behalf of LandCorp, the owner of Lots 3000 and 1523 Emu Point Drive, Collingwood Park (referred herein as the subject site).

This ODP has been prepared consultatively and in cooperation with the following project team consultants:

- H+H Architects (Design Guidelines and built form);
- Malone Designs (Urban Design and Landscape Master Plan);
- Lawrence Cuthbert and Associates (Sustainability);
- Wood & Grieve Engineers (Civil Engineering, Stormwater Management and Traffic)
- GHD (Environmental, Landscape and Visual Impact Assessment)
- OPUS International (Fire Management); and
- Ficifolia Consulting (Dieback consultant).

The ODP builds on work undertaken on behalf of LandCorp including environmental studies and design of a Concept Plan for the subject site.

The ODP has been prepared with the intention of supporting the sustainable urban development of a portion of the subject site. The subject site is zoned 'Future Urban' and 'Residential' within the City of Albany District Town Planning Scheme No. 1A (TPS1A) and identified in the applicable State and local planning strategies for urban development. It is intended to develop approximately 133 residential lots, released in stages providing for a variety of housing products. The benefits of the development include:

- Additional high quality residential land for sale within the City of Albany;
- Demonstration of sustainable development concepts in the Great Southern Region;
- Demonstration of a 'best practice' and show case sustainable residential development within the City of Albany; and
- Generation of revenue that will assist funding of the Albany Waterfront Project.

The ODP includes and is supported by the provision of Design Guidelines, a Landscape Master Plan, Fire Management Plan, Visual Impact Assessment, Traffic Study, Local Water Management Strategy and a variety of environmental assessments including flora, fauna, Dieback and coastal processes assessments. Features of the ODP include:

- A Village Centre to provide a focus and meeting place for the surrounding residential area and passing traffic;
- A range of residential lot types to accommodate apartment, townhouses, strata cluster dwellings and detached housing;
- Retention, enhancement and protection of approximately 60% of the site's vegetation;
- A focus on sustainable development and a reduction in the usual ecological footprint of the development;
- Vegetated corridors connecting the site to habitat areas to the north, south, east and west of the site; and
- Respect for the natural topography of the site.

The ODP is guided by a project-specific sustainability framework, with a view to achieving a sustainable development for the Albany community. Within the context of this framework, the ODP has been developed with input from public consultation and numerous technical investigations.



1.1 Outline Development Plan Area

The Emu Point Outline Development Plan No. 007 (ODP 007) is proposed to provide for the sustainable development of the land bounded by Emu Point Drive to the north, Middleton Beach and coastal reserve (Reserve No. 14789) to the south, Griffiths Street to the south west and 'Parks and Recreation' Reserve to the south and north east. A **Location Plan** is at **Appendix 2** and a **Site Plan** describes the subject site at **Appendix 3**.

1.2 Outline Development Plan Context

ODP 007 comprises a Map (**Plan 1**) to illustrate the planned development of the area and Text, setting out the statutory requirements for subdivision and development of the subject site. All subdivision and development shall be generally carried out in accordance with the ODP 007 Map and Text, which is further detailed in **Section 4.0** of the ODP and depicted in **Plan 1** (refer to **Appendix 1**).

1.3 Interpretation

The words and expressions used in ODP 007 shall have the respective meanings given to them in the City of Albany Town Planning Scheme No. 1A (TPS 1A), with respect to '*Future Urban*' provisions.

1.4 Operation Date

ODP 007 shall come into operation as an Agreed Outline Development Plan on the latter of the dates specified in Clause 4.36 of TPS 1A.

1.5 Relationship with the Scheme

In accordance with Clause 4.36 of TPS 1A:

- (a) The provisions, standards and requirements specified in ODP 007 shall have the same force and effect as if they were a provision, standard or requirement of TPS 1A; and
- (b) In the event of there being any inconsistencies or conflict between the provisions, standards or requirements of TPS 1A and the provisions of ODP 007, the provisions, standards or requirements of TPS 1A shall prevail.

1.6 Objectives

The objectives of ODP 007 are to:

- Guide future subdivision and development of the subject site;
- Provide for a range of residential densities and dwelling types;
- Encourage environmentally sustainable development that protects the adjacent coastal environs; and
- Provide a design that is socially acceptable to the Albany community.

2.0 BACKGROUND

2.1 Background to Development of the Site

2.1.1 Early Plans

The existing Griffiths / Hope Street lots were created in circa 1962 and allowed for extension into the subject site. Planning for development of the subject site appears to have originated in the late 1960s, indicative road layouts are shown on plans dating from the 1970s.

The current isolated development on Griffiths and Hope Streets appears to have been part of an overall plan for residential subdivision of the locality. Draft Scheme Maps prepared in 1977 as part of the preparation of Town of Albany Town Planning Scheme No. 1A show an indicative road layout for the subject site as depicted in **Figure 2.1**.



Figure 2.1: Extract of draft TPS 1A Scheme Map 1977 showing an indicative residential road design over the subject site.

The layout was based on contemporary residential designs of the time and adopted curvilinear design principles and cul-de-sacs. Access to the subject site was from Emu Point Drive and Griffiths Street. There would have been no linkage into Lot 1523, which would have been served by a single long cul-de-sac directly linked to Emu Point Drive.

Importantly, the layout shows development would have encompassed the entire subject site with Public Open Space (POS) being located along the Emu Point Drive frontage. This layout was replicated in the Scheme Maps adopted by the Town of Albany in 1979. It is understood that the indicative design was not shown on the Scheme Maps gazetted in 1983 although this has not been confirmed as the gazetted plans have not been located. The intention to develop the site for residential purposes was subsequently confirmed in the various residential strategies for Albany including the *State Planning Commission’s Residential Expansion Strategy* (1994) and *City of Albany Housing Position Paper* (2005).

2.1.2 Previous Clearing of the Site

Aerial photography of the subject site from 1954, 1961, 1973, 1977, 1981 and 1987, 2001, 2004, 2006 & 2007 have been collected and is provided in **Appendix 7**. This imagery shows that Lot 3000, part of Lot 1523 and the reserve area along Emu Point Drive was completely cleared or the subject of a bush fire some time before 1973 as depicted in **Figure 2.2**.



Figure 2.2: 1973 Aerial Photography of the site showing extent of vegetation clearing.

It is important to note, that following the clearing or burning that occurred in the early 1970’s, that whilst large areas of the subject site has been revegetated to produce the standard of vegetation we find today, the north western corner of the subject site has regenerated more slowly and with less coverage, as depicted in **Figure 2.3**. The development footprint has been focussed on this area.



Figure 2.3: 1987 Aerial Photography of the site showing extent of vegetation regeneration

2.1.3 Evolution of Zoning

TPS1A was gazetted in 1983. At this time, Lot 3000 was zoned *Future Urban* and Lot 1523 zoned *Residential*. The strip along Emu Point Drive was reserved for *Parks and Recreation*.

Since the gazettal of TPS1A, there has been no change to the zonings and reservations over the subject site. However, residential density coding was applied to Lot 1523 upon adoption of the Residential Planning Codes in 1985.

Prior to gazettal of TPS1A, the subject site was proposed for a number of zonings in the draft Scheme Maps as follows:

- 1977 – Lot 3000 to be *Future Urban* and Lot 1523 to be *Residential*; and
- 1979 – Lot 3000 to be *Residential* and Lot 1523 to be *Tourist Residential*.

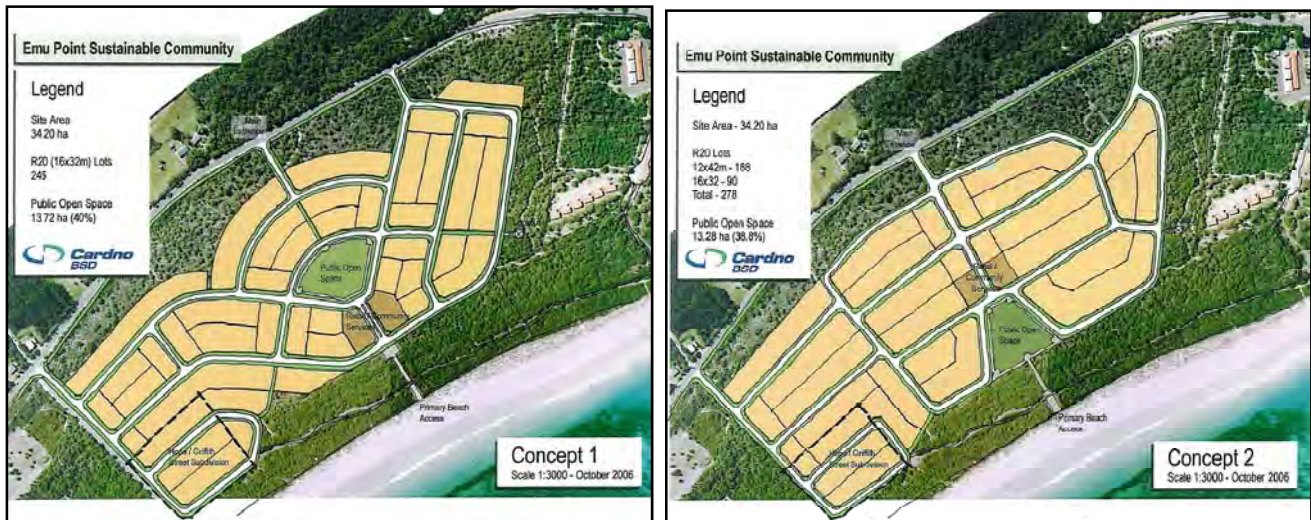
It appears that at some point between 1979 and 1983, the 1977 proposed zonings were re-adopted and are reflected in the zoning of the subject site to this day.

2.1.4 Evolution of current development concept

Until 2005, the 1970s proposal to develop the entire subject site was not followed through and the site was allowed to grow back to a vegetated state.

Planning for the site by LandCorp commenced in 2005 and this involved a considerable amount of planning and consideration of a large number of development options in order to reach the point where this ODP can be prepared to guide the subdivision and development of the subject site.

Prior to community consultation in late 2006, two concepts were developed, with both concepts providing approximately 60% of the site to be developed and bushland areas being provided along the Emu Point Drive frontage and along the eastern boundary (refer to **Figures 2.4 and 2.5**).



Figures 2.4 and 2.5: October 2006 Concept plans for community discussion.

The resultant community input identified that there was considerable demand for a greater proportion of the subject site to be retained as bushland and for the development to be more sustainable. The community views also reflected LandCorp’s sustainability objective of ensuring future development achieves ‘triple bottom line’ principles. Therefore, there was a move away from a conventional one house per lot approach to provide alternative tenure and dwelling mixes.

The initial concepts maintained the eastern wildlife corridor, include dune lines in open space areas and provisions of vegetation easements throughout the development area (refer to **Figures 2.6 and 2.7**).



Figures 2.6 and 2.7: November 2006 designs showing protection of dune lines by reservation (left) and inclusion in long lots with vegetation easements (right).

The abovementioned designs assumed the majority of the subject site would be developed with a wildlife corridor along the eastern edge. Alternative access points onto the surrounding road network were considered, as well as the notion of directly linking the Hope Street residential area into the overall development.

After completion of the initial community consultation in late 2006, it became clear that community expectations for more of the site to be retained as bushland. The concept planning was refined to reflect these views. A number of alternative designs were considered by the project team during January and February 2007. These incorporated greater open space and clustering of the development into two nodes with a wildlife corridor between the two parts (refer to **Figure 2.8**). This design also provided for strata ‘eco-lots’ that would allow for dwelling units to be located within the natural topography and vegetation.



Figure 2.8: February 2007 Concept Plan after consideration of initial community input.

Subsequent to concept planning, a detailed environmental assessment of the subject site was undertaken. This assessment identified the environmental constraints of the site in more detail (refer to **Figure 2.9**) and assisted with identifying the primary development area (refer to **Figure 2.10**).



Figures 2.9 and 2.10: 2007 Site constraints assessment (left) and identification of primary development area (right). At this point, it was determined that development should be limited to an area of approximately 40% of the site or 13.2 ha. This led to a revisit of the overall concept design during 2008 (refer to **Figure 2.11**).



Figure 2.11: 2008 Concept that was presented for community input in May 2009.

The 2008 concept and the results of the May 2009 community consultation form the basis for the ODP. Over the course of the period 2005-2009, the proposed development has:

- Reduced in area to enable a proportion of the site to be retained as open space to increase from approximately 40% to 60%;
- Become less reliant on single dwelling lots by promoting alternatives such as townhouses, apartments and cluster homes;
- Provided for lots that use the existing topography to reduce the need for major earthworks;
- Provided for higher density on the western end of the site where the vegetation is less dense and of relatively poorer quality; and
- Included vegetated links throughout the site.

2.2 Environmental Assessment

In May 2007, the development proposal for Emu Point was referred to the Environmental Protection Authority (EPA) for assessment under Section 38 of the *Environmental Protection Act 1986* (EP Act). The EPA set the level of assessment as a Public Environmental Review (PER), with an eight week public review period. There were no appeals to this level of assessment set for the development proposal.

An Environmental Scoping Document for the development proposal was prepared by environmental consultants, Strategen, and submitted by LandCorp in November 2007, which was subsequently approved by the EPA as an acceptable basis for the preparation of the PER document.

A PER has subsequently been prepared by GHD and lodged with the EPA for formal assessment on the 20 April 2010. The PER is a public document, subject to an four week review period, during which time the public will have the opportunity to prepare submissions to the EPA. Submissions and specialist advice from agencies will be considered by the EPA in their assessment of this development proposal. In addition to these technical and public submissions, the EPA will also consider their investigations and associated advice or specifically commissioned research.

The EPA's advice and recommendations determined as a result of the abovementioned considerations will then be presented to the Minister for Environment for a determination of the environmental acceptability as well as the environmental conditions that should apply to the development proposal.

The key recommendations and actions from the PER are incorporated and detailed throughout this document.

2.3 Community Consultation

In 2005, State Cabinet announced that LandCorp have the task of working with the local community to progress subdivision and development of the subject site.

Before any work commenced on the development proposal, community input into a vision for the development proposal was gathered through stakeholder information sessions, market research and public open day, held in September and October 2006. Forty stakeholders attended the information session and more than 100 people visited the public open day. Key recommendations raised by respondents for the development proposal included the following:

- *Careful management of the development to minimise the impact on the existing natural environment;*
- *Protecting the existing flora and fauna of the area;*
- *Working with the natural topography and landform of the site;*
- *Reducing the potential danger of household pets to the native wildlife;*
- *Retaining bush on both sides of the dual use path and providing carefully controlled pedestrian access to the beach;*
- *Limiting vehicular connections between the site and adjoining residential areas but including paths for pedestrians and cyclists;*
- *Streets which are designed to minimise through traffic;*
- *Providing a range of lot sizes to cater for the different needs of people;*
- *Lifting the bar on environmentally sensitive design;*
- *Developing strong guidelines to ensure good design outcomes;*
- *Incentives incorporated to encourage residents to adopt environmental initiatives; and*
- *Blending the development with the natural environment and using non-reflective roofing.*

This input assisted in defining the project vision and objectives for the development proposal and formulation of the draft Concept Plan.

As a result of the abovementioned consultation sessions, LandCorp engaged suitably qualified consultants to undertake flora, vegetation and fauna surveys, geotechnical, groundwater and coastal setback studies to address those issues raised during consultation sessions.

In October 2007, stakeholder sessions and Community Information Sessions were held with Albany residents and regulatory authorities to present the outcomes from the detailed studies and investigations, and gather feedback on the proposed development area and the type of development to occur with this area. Feedback forms were made available to assist in the formulation of the draft Concept Plan.

In January 2008, LandCorp distributed a summary document of the key responses to the abovementioned consultation session, the responses included the following:

- 77% of respondents agreed that rainwater tanks on individual dwellings should be mandatory;
- Strong support for grey water recycling for individual dwellings, with 62% support if mandatory and 68% support if option or by incentive;
- Majority of respondents (80%) agreed that swales should be incorporated into the road reserves;
- 67% of respondents agreed that the exclusion of cats from the development would be acceptable, however this response halved when both dogs and cats were excluded; and
- 42% of respondents identified that no dividing fences between properties would be acceptable, however, 74% would support low dividing fences.

Other concerns and issues raised by respondents included the following:

- Privacy issues associated with the development proposal to existing Hope Street residents;
- Safety and impact of the development proposal on the possums in the area;
- Strong opposition to the development proposal, identifying the subject site should remain untouched for future generations to appreciate, but would support walking trails and barbecue area; and
- Entrance off Griffiths Street only to minimise traffic through the already developed residential area on Hope Street, with a possible buffer being retained between the development proposal and the dwellings on the adjoining properties on Hope Street.

Resulting from the abovementioned consultation sessions, a draft Concept Plan was formulated for the development proposal that reflects sound planning principles and sought to address the outcomes from these consultation sessions, including the community aspirations and regulatory authority processes and feedback (wherever possible).

On the 23rd May 2009, LandCorp conducted stakeholder sessions and a Community Information Session with Albany residents and regulatory authorities to present the draft Concept Plan. As a result of the consultation sessions, 34 submissions were received in relation to the draft Concept Plan.

Some of the underlying concerns raised by the respondents (particularly the local residents) have been summarised into subsets below:

Issues around Hope Street residential area:

- Potential increase in traffic numbers, parking, noise and anti-social behaviour;
- Potential impact on safety and access for residents e.g. children, horse riders etc;
- Opposition to residential lots to the east adjacent to Hope Street residents;
- Opposition to laneways, dual use pathway and housing near Hope Street residents;
- Lack of consideration of Hope Street and adjoining landowners throughout process;
- Potential for increased crime and noise resultant from laneway proposal;
- No through roads supported for the proposal;
- 50m bush buffer to all existing and any new residential blocks;
- Potential investigation into the safety of Griffiths Street;
- Retain existing parking on Griffiths Street;
- Relocate 17 townhouses to Emu Point end of the development or close to Emu Point Drive;
- Opposition to on-street parking and additional parking in this area;
- Management of dog and horse waste required; and
- Meetings to be held with residents on the weekends e.g. Saturday.



General Comment about design:

- Increased housing density is not appropriate in this environment, the density should be reduced;
- Limit building heights to four storeys and two storeys in red precinct;
- Limit Homeswest housing within this development area;
- Re-consider the location of the commercial area, given the current economic climate and viability for a deli/cafe in this area;
- Consider large bush blocks;
- Appropriate fire management measures considered as part of the proposal;
- Provision of one walking trail for dual use; and
- Investigation of closure of the beach for dog and horse users.

Comment regarding development of the subject site:

- Preference for the area to remain as is, with no development;
- Potential impact of loss of beach resulting from erosion;
- Rehabilitation of vegetation will not make up for the total loss and destruction of flora and vegetation within the site;
- Lack of EPA documentation for public review; and
- Opposition to the development due to tourism potential of the site for bush values.

In July 2009, a local consulting team was appointed by LandCorp to prepare this ODP and supporting documentation. The first task of this team was to review the draft Concept Plan prepared in May 2009 in light of their local experience, professional recommendations and the submissions received.

The draft Concept Plan was subsequently reviewed and a series of changes made to produce the forerunner to the current ODP at **Appendix 1**. The changes are detailed in **Section 4.1.2** of this document.

In December 2009 the draft ODP was presented to the City of Albany Planning Committee and staff for information purposes only.

In January and February 2010 local residents of Hope and Griffiths Street were given the opportunity to have a one on one interview with the project's town planner as a final, informal consultation step. Twelve of the twenty landowners took advantage of this opportunity.

The revised Concept Plan was presented to the landowners and further comment sought. There were commonly held views about the development. Of those interviewed all would prefer that no development take place, mostly on privacy and environmental grounds. However, if development was to occur then the following issues were raised (as summarised below):

- A green belt, similar to the green spines proposed throughout the rest of the design, should be retained around the existing residential area;
- Griffiths Street should be retained as a cul-de-sac to prevent the creation of a "hoon lap";
- Horse access to the beach has increased substantially over the last year, particularly the use of floats and trucks. Horses using Griffiths Street early in the morning raises issues of noise, manure and safety for horse riders, local residents, beach users and cyclists.
- A green buffer is suggested along Griffiths Street to the future development;
- Powerlines should be placed underground and Hope Street resealed to bring existing development into line with proposed development;
- No Homes West development should be included;
- Beach access should be improved to prevent sand blowing into nearby houses; and
- Medium density housing was questioned in light of the existing residential area being low density in character and the additional impact of probable two-storey development on privacy and sense of space.



This is a summary of the major issues raised by the majority of the local residents interviewed; it is not a comprehensive list. Changes have been made to the version of the ODP presented to the local residents at this meeting. **Section 4.1.2** of the ODP describes the response to the above issues in detail.

This considerable consultation process lead to the refinement of the principles and intent of the ODP.



3.0 CONTEXTUAL ANALYSIS

3.1 Site Description

3.1.1 Location and Description

The subject site comprises Lots 3000 and 1523 Emu Point Drive, Collingwood Park, which is situated approximately 5 km north east of the Albany townsite (refer to **Appendix 2**). The subject site is 33.1 ha with Lots 3000 and 1523, being 25.9 ha and 7.2 ha in area, respectively (refer to **Appendix 3**).

The subject site is 1 km from Emu Point. Emu Point is located at the northern end of Middleton Bay at the entrance to Oyster Harbour. Emu Point has a range of amenities including cafes, restaurants, a marina, tennis courts, lawn bowls and a protected swimming beach.

3.1.2 Land Ownership

Lots 3000 and 1523 Emu Point Drive, Emu Point is owned by the Western Australian Land Authority (trading and “LandCorp”). The legal description of the subject site is detailed in *Table 1* below. **Appendix 8** provides the Certificate of Titles.

Table 1 – Land Ownership Details

Lot Description	Lot Area	Certificate of Title	Landowner Details
Lot 3000 Emu Point Drive	25.9367ha	Volume: 2652 Folio: 911 in DP51548	Western Australian Land Authority
Lot 1523 Emu Point Drive	7.2429ha	Volume: 2652 Folio: 910 in DP28399	Western Australian Land Authority

3.2 Land Use

3.2.1 Existing Land Use

The subject site is undeveloped and predominantly covered in remnant coastal vegetation, with the topography comprising relict foredunes. There is some clearing associated with numerous paths and firebreaks traversing the subject site. Predominant land use for the subject site has been for informal recreational purposes only. The **Site Plan** at **Appendix 3** provides an aerial photograph of the subject site and surrounding locality.

3.2.2 Surrounding Land Use

The subject site is surrounded by Griffiths Street and the ‘Hope Street’ residential development to the south west, Middleton Beach and coastal reserve (Reserve No. 14789) to the south, tourist development including Emu Point Motel and residential development to the north east and Emu Point Drive to the north. These land uses are depicted in **Appendix 4**.

Importantly, there is an existing residential area immediately adjacent to the subject site. The Hope Street residential area was developed in the 1960s and consists of single houses on generally 600-750 m² lots. This area is serviced by scheme water, overhead power and on-site effluent disposal systems. There are two Bed and Breakfast establishments located on Griffiths Street where it faces Middleton Beach.



Plate 1 *Emu Point, 1 km from the subject site*



Plate 2 – *A number of informal paths intersect the subject site.*



Plate 3 – Griffiths Street has a number of Bed and Breakfast establishments

A variety of fence types separate the 'Hope Street' residential area and the subject site and there is evidence of some weed invasion in bushland surrounding existing homes. There is little provision for fire management given it is an existing residential area with vegetation close to the common boundary line.



Plate 4 – Some evidence of weed invasion at the development interface.



Plate 5 – Garden refuse within the subject site

3.3 Planning Context

3.3.1 State and Regional Planning

3.3.1.1 State Planning Strategy and State Planning Framework

The State Planning Strategy (SPS) was released by the Western Australian Planning Commission (WAPC) in 1996 and provides an overall strategic planning framework for the State. The SPS is supported by the State Planning Framework (State Planning Policy No.1) which ensures all State and regional planning documents meet SPS principles.

There are five key principles that are advocated by the SPS:

Environment:

To protect and enhance the key natural and cultural assets of the State and deliver to all West Australians a high quality of life which is based on environmentally sustainable principles.

Community:

To respond to social changes and facilitate the creation of vibrant, safe and self reliant communities.

Economy:

To actively assist in the creation of regional wealth, support the development of new industries and encourage economic activity in accordance with sustainable development principles.

Infrastructure:

To facilitate strategic development by making provision for efficient and equitable transport and public utilities.

Regional Development:

To assist the development of regional Western Australia by taking account of the special assets and accommodating the individual requirements of each region.

The planning and envisaged development of the subject site is based upon these principles. In particular, the development seeks to respond to its environment, provide a vibrant and attractive community, provide adequate infrastructure and services to the area, generates employment and economic prosperity for the Great Southern Region and the State of Western Australia.

3.3.1.2 State Sustainability Strategy

The State Sustainability Strategy (SSS) was adopted by the State Government in 2003. LandCorp has embraced the principles of the SSS and strives to ensure each development meets sustainability principles.

At the SSS's core is a sustainability framework, comprising eleven sustainability principles. The principles that this development is affected by and addresses are:

- *Biodiversity and ecological integrity* – the site contains extensive natural habitat for a number of indigenous species, in particular Western Ringtail Possum habitat. A total of 60% of the site will be protected with the design providing vital wildlife linkages through and around the development in order to address this principle.
- *Settlement efficiency and quality of life* – the development seeks to reduce its ecological footprint by sustainable urban design supported by design guidelines to ensure housing similarly reflects this principle. It will interact with its environment in a way that allows the environment to be enjoyed without detrimental impacts.
- *Community, regions, 'sense of place' and heritage* – the development seeks to reflect its coastal setting rather than attempt to redesign it on contemporary suburban principles. It seeks to respond to its environment rather than modify it.
- *Integration of the triple bottom line* – the development has been developed to reflect LandCorp's commitment to sustainability principles. The development has been assessed against the sustainability checklist further described in this document.

3.3.1.3 State Planning Policy No. 3 – Urban Growth and Settlement

State Planning Policy No. 3 (SPP3) is designed to facilitate the sustainable growth and development of urban and settlement areas throughout WA. The objectives of SPP3 are:

- *To promote a sustainable and well planned pattern of settlement across the State, with sufficient and suitable land to provide for a wide variety of housing, employment, recreation facilities and open space.*
- *To build on existing communities with established local and regional economies, concentrate investment in the improvement of services and infrastructure and enhance the quality of life in those communities.*
- *To manage the growth and development of urban areas in response to the social and economic needs of the community and in recognition of relevant climatic, environmental, heritage and community values and constraints.*
- *To promote the development of a sustainable and liveable neighbourhood form which reduces energy, water and travel demand whilst ensuring safe and convenient access to employment and services by all modes, provides choice and affordability of housing and creates an identifiable sense of place for each community.*
- *To coordinate new development with the efficient, economic and timely provision of infrastructure and services.*

The Lower Great Southern and Albany Local Planning Strategies discussed elsewhere in this report are designed to meet these objectives. The Emu Point development strives to create a sustainable development that responds to its environment, build on existing communities and infrastructure and provide a living environment that seeks to create an identifiable sense of place.

3.3.1.4 Lower Great Southern Strategy (2007)

This Strategy aims to set the broad strategic direction for planning in the Lower Great Southern Region for the next 20 to 30 years. Its purpose is to guide regional land use and infrastructure planning and development, especially on matters of regional significance. The Strategy is designed to provide the region - wide context and ensure consistency when local governments are setting priorities for their respective areas through local planning strategies and schemes.

Of particular relevance to the subject site is that it makes general recommendations regarding sustainable settlements and community development and makes reference to consolidating settlements and using infrastructure in a sustainable manner.

The Regional Land Use Plan incorporated into the Strategy shows the subject site as part of the Albany Regional Centre and Emu Point Drive as a Secondary Regional Road.

3.3.1.5 Liveable Neighbourhoods (2007)

Liveable Neighbourhoods (LN) is an operational policy of the WAPC that implements the objectives of the State Planning Strategy and to guide the sustainable development of urban areas. LN provides guidance on a number of elements including the movement network, lot layout, public parkland, urban water management and utility planning.

This development has been designed in accordance with the various elements of LN and is compliant with all relevant requirements. Of particular relevance to this ODP document is the requirement for a Local Structure Plan (i.e. development area of less than 300ha). It is noted that the ODP required by the Town Planning Scheme is defined as a Local Structure Plan by LN.

Table 1 of LN provides a checklist for the information and detail to be provided in Local Structure Plans. A completed checklist for this development proposal is included in **Appendix 9**.

3.3.1.6 Guidelines for the Preparation of Local Structure Plans for Urban Release Areas (1992)

These guidelines form part of the Development Control policy suite of the WAPC and seek to provide guidance on the content of the various levels of structure planning. However, this document is recognised as dated and the WAPC have flagged that it will be replaced in Section 2.10 of the “Planning Makes it Happen – a Blue Print for Planning Reform” - *Structure Plan Preparation Guidelines*. These new guidelines are unavailable at the time of the drafting of this document.

LN have been used as the most current guiding document for Structure Plans.

3.3.1.7 Residential Design Codes (April 2008)

The *Residential Design Codes* (referred within a ‘R-Codes’) were prepared and subsequently modified by the WAPC in April 2008, and these codes guide future subdivision and density of development within the State of Western Australia. The R-Codes relate predominantly to the development of housing on the resultant lots. This will occur in conjunction with the Design Guidelines prepared as part of this ODP. However, the residential density provisions of the codes have been applied to guide the future subdivision and ensure appropriate density of development.

The residential densities applied to the site are as follows:

- Single House and Cluster Lots – R20 (500m² average, 440m² minimum);
- Medium Density Solar Lots - R30 (300m² average, 270m² minimum);
- Village Centre – R40 (Grouped Dwellings - 180m² average, 160m² minimum); and (Multiple Dwellings – 166m² average).
- Apartments (within the Village Centre) – Density to be determined by a vertical building envelope established by the Design Guidelines.

In order to achieve these densities, development will need to appropriately address all relevant requirements of the R-Codes relating to:

- Streetscape
- Boundary Setbacks
- Open Space
- Access and parking
- Site works
- Building height
- Privacy
- Climate
- Incidental development.

In relation to the Village Centre, any mixed use development will be guided by the mixed use development requirements of the R-Codes.

It is noted that the Development Guidelines for the site and the City of Albany Residential Design Codes Policy may replace or elaborate on specific provisions of the R-Codes.

3.3.2 Local Planning

3.3.2.1 City of Albany Draft Local Planning Strategy

The Albany Local Planning Strategy (ALPS) sets out the long term planning direction for the City of Albany and has regard to all relevant State and regional planning policies.

ALPS was adopted by the City of Albany for final approval on the 21 August 2007. The draft was considered by the WAPC in mid 2008, after which the Commission requested certain changes to the document prior to finalisation.

ALPS identifies the strategic planning direction for the City of Albany over the next 20 years. It draws on the key elements from the City of Albany’s strategic planning document, 3D Vision, and notes that the City of Albany should become a Learning, Healthy and Thriving City.

The subject land is currently classified by ALPS as ‘Future Urban – Priority 2’ and ‘Existing Urban’ as depicted in **Figure 3.2**.

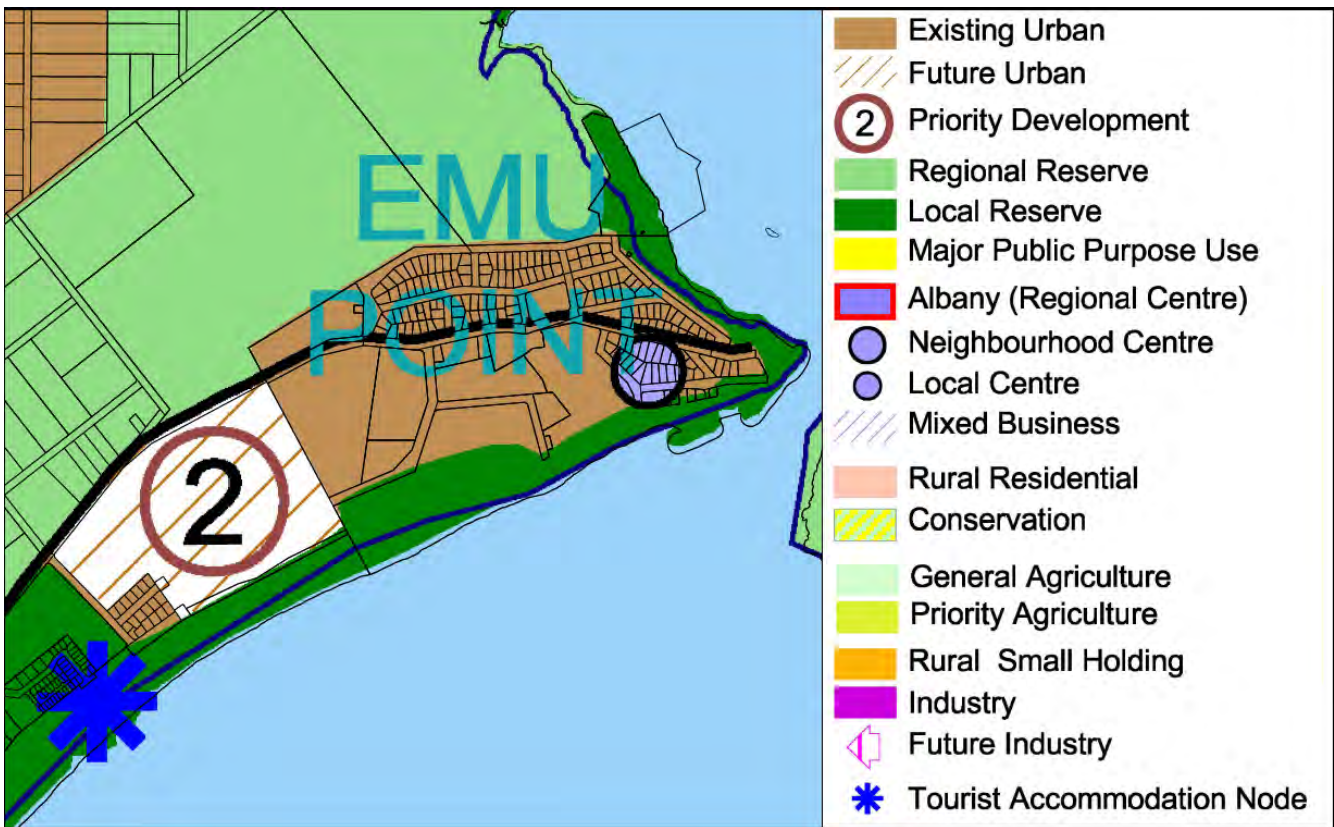


Figure 3.2: Extract of draft Albany Local Planning Strategy (May 2009 version).

The development proposal is consistent with the ALPS classifications.

The ‘Existing Urban’ classification indicates that the site is suitable for further residential development.

The ‘Future Urban’ classification with a ‘Priority 2’ ranking identifies the site for urban purposes and encourages the preparation of a Local Structure Plan as a priority action.

ALPS is divided into four strategies, settlement, environmental, economic and social, each with its own objectives and actions. The ODP is compatible with the listed objectives and actions of the four strategies.



The following objectives relate to Strategic Settlement Direction for the City of Albany:

- Minimise the development footprint on the landscape to assist in the protection of biodiversity and the environment;
- Promote energy conservation;
- Provide greater housing choice;
- Minimise journey length from home to work/school/services and encourage the use of public transport, cycling and walking; and
- Reduce government expenditure on servicing current and future populations.

The proposed ODP meets these objectives in the following manner:

- The development proposal concentrates the urban development within 40% of the site, retaining 60% in its natural state;
- The ODP is focussed on promoting sustainable outcomes, in particular the orientation of lots allows for solar orientation of dwellings in an equitable arrangement and the Design Guidelines require highly rated, solar passive dwellings;
- The development proposal creates a wide variety of housing options at a range of densities;
- The subject site and development proposal have ready access to the comprehensive dual use path network;
- The subject site is not well serviced by public transport however the development footprint will be concentrated with higher densities closest to the existing bus stop. This is discussed elsewhere in this document; and
- The subject site is easily serviced with water, sewer and power and brings the benefit of providing deep sewerage to the existing residential enclave that currently uses septic tanks in close proximity to the coast.

3.3.2.2 City of Albany Town Planning Scheme No. 1A

TPS1A was gazetted on 30 December 1983 and is the primary statutory planning document used to control development and guide land use within the former Town of Albany area. The Town and Shire were amalgamated in 1998 to form the City of Albany.

The subject site has a number of zonings; these are shown in **Figure 3.3** below and are described as follows:

- Lot 1523 Emu Point Drive is zoned 'Residential' by City of Albany Town Planning Scheme No.1A with a density coding of R12.5 and R20. However clause 4.20 allows for the development of grouped dwellings up to the R20 density coding where reticulated sewerage is available over the whole site.
- Lot 3000 Emu Point Drive has two zonings. The majority of the lot is zoned 'Future Urban' with a strip being retained along Emu Point Drive reserved for 'Parks and Recreation' under the Scheme.

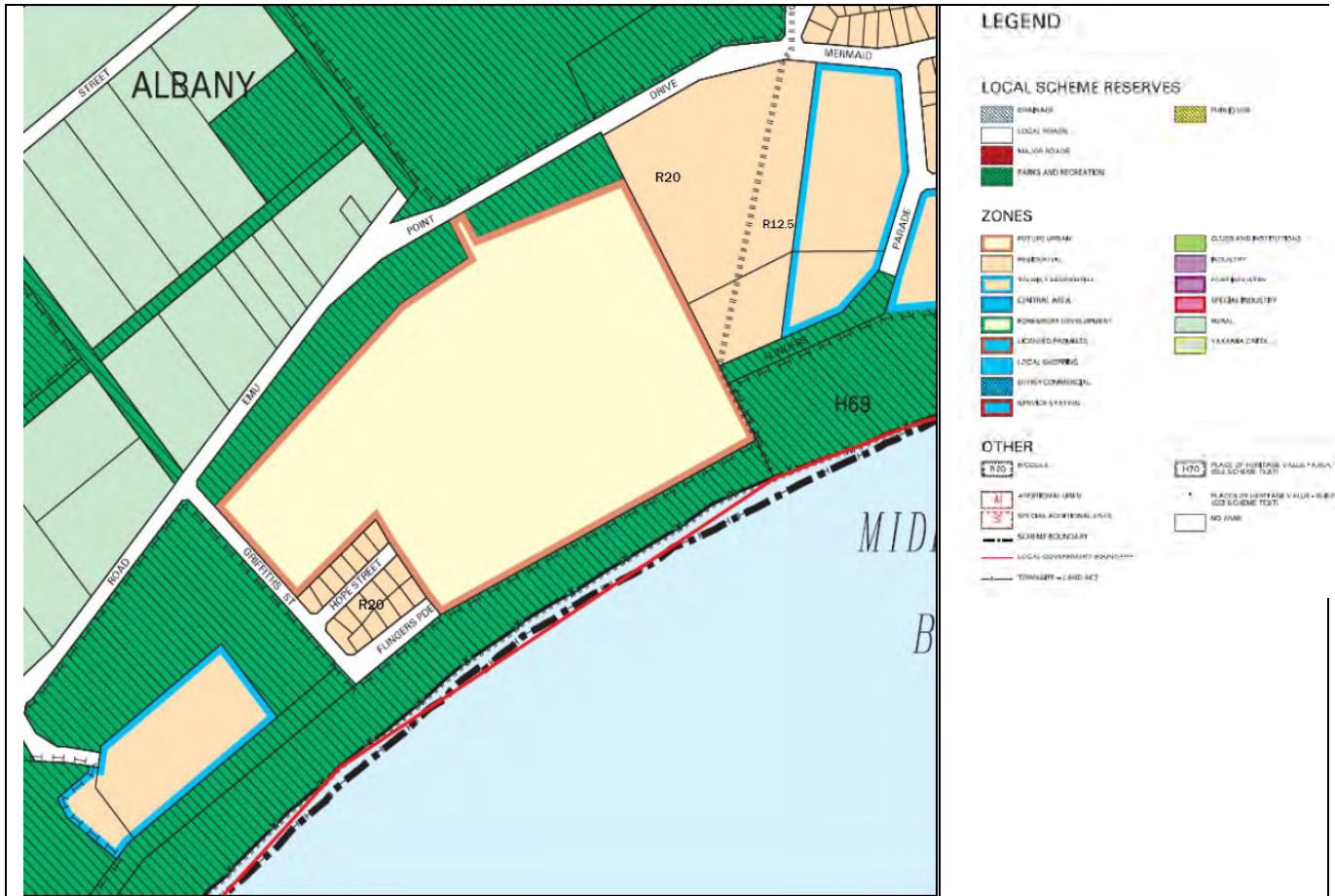


Figure 3.3 Existing zoning under City of Albany Town Planning Scheme 1A – courtesy WAPC

Despite the Residential zoning of Lot 1523, the ODP responds to the site’s opportunities and constraints by concentrating development on the least environmentally sensitive land located within Lot 3000.

Clause 4.36 of TPS 1A states:

“Land included in the Future Urban Zone is recognised by the Council as being suitable for urban purposes in the future. Council shall allow for development and promote subdivision proposals where the subdivision and/or development proposal put forward is in accordance, or will not conflict, with a Local Structure Plan approved by Council and endorsed by the Western Australian Planning Commission, and submitted in a form consistent with Western Australian Planning Commission guidelines.”

Therefore, before further development or subdivision of Lot 3000 is permitted, a Structure Plan must first be adopted by Council and endorsed by the WAPC. The form of the Local Structure Plan is in this case an ODP and has been provided in accordance with the LN requirements.

The ODP will apply to all development provisions applicable to the site.

3.3.2.3 Surrounding Zoning

The property is surrounded by a variety of zones and reserves see **Figure 3.3** above for details.

To the west is land reserved for ‘Parks and Recreation’ and the ‘Tourist Residential’ zoning applied to the Barry Court development (adjoining Golf Course and Tourist/Residential Accommodation). To the south west is the existing Hope Street residential area zoned ‘Residential’ with a density coding of R20.

The Middleton Beach foreshore reserve is reserved for ‘Parks and Recreation’ under the Scheme and has retained existing native vegetation.

To the east is land zoned ‘*Tourist Residential*’ that is developed with the Emu Point Motel and the Emu Beach Chalets.

To the north is a mix of reserved land and ‘*Rural*’ zoned land. There are a number of small lifestyle lots and a large reservation area protecting the Lake Seppings flood plain.

3.3.2.4 *City of Albany Local Planning Scheme No.1*

The City of Albany initiated a new Local Planning Scheme in February 2009 that is intended to provide statutory planning controls to implement the findings of the Local Planning Strategy. Under this, the entire subject site is zoned ‘*Future Urban*’ and development is to be guided by an adopted Structure Plan.

3.3.2.5 *City of Albany Residential Design Code Policy (2007)*

Clause 6.1 of the City of Albany Residential Design Code Policy recognises the Emu Point development as a location to allow for some additional building height and as a place for a Mixed Use Village Centre. The objectives of the policy are as follows:

- *“To provide the opportunity for a mixed use village centre within comprehensively planned coastal developments.*
- *To ensure that such centres provide a focus not only for local residents but visitors accessing the beach.*
- *To ensure that the development of such nodes do not adversely impact on the coastal reserve or adjoining properties.”*

This ODP includes a ‘Village Centre’ that complies with the terms of this Policy. More detail is provided in **Section 4.2.2** of this ODP.

3.3.2.6 *City of Albany Detailed Area Plans Policy (2006)*

The City of Albany adopted its Detailed Area Plans policy in February 2006 with the following aims:

- *“To avoid the need for separate Local Planning Policies to be prepared for individual sites where Detailed Area Plans have been required as a condition of subdivision by the Western Australian Planning Commission or otherwise required by Council;*
- *To ensure a consistent approach to the treatment of lots with access via a rear laneway, those adjoining areas of Public Open Space, corner lots, local centres and all other lots subject to a Detailed Area Plan;*
- *To provide a detailed set of provisions to guide developers in the treatment and design of dwellings with regard to setbacks, site coverage, privacy and surveillance;*
- *To ensure that dwellings on lots adjoining Public Open Space are designed to provide passive surveillance;*
- *To ensure that corner lots are designed to address both the primary and secondary streets, whilst providing a high level of privacy to future occupants; and*
- *To allow for variation of development standards where considered necessary to address site-specific criteria such as existing built form or sloping land.*

This ODP proposes a number of lots that face onto POS are accessed by laneways and are medium density. Design Guidelines and Detailed Area Plans (refer to **Appendix 10**) have been prepared that acknowledge the requirements of this policy and go further to include sustainability, building on sloping land and landscaping principles. The detail regarding built form and Design Guidelines are addressed later in this document.

3.3.2.7 *City of Albany Sloping Land Policy (2007)*

The City of Albany adopted the Sloping Land Policy in December 2007 to encourage development that is sympathetic to the natural topography of a site. The Design Guidelines and discussion of built form later in this ODP encourage building with the natural topography and reducing the amount of cut and fill within the subject site in line with the objectives of this Policy.

3.3.3 *Documentation of Relevance*

3.3.3.1 *Draft Foreshore Management Plan – Ellen Cove to Emu Point (2009)*

The City of Albany has prepared a Draft Foreshore Management Plan for the length of Middleton Bay that “...identifies the issues relevant to Middleton Beach and Emu Point reserves and provides a framework for the future management, in particular, the sustainability and environmental protection of the area.”

The particular actions within the Draft Management Plan pertinent to the subject site include:

- No further access points to the beach from the dual use pathway will be supported by the City;
- City of Albany database to be updated to ensure all management and development activities avoid disturbance or intrusion to Declared Rare or Priority flora;
- Ensuring any new foreshore developments maximise recommended setbacks from the shoreline; and
- Developing a fire management plan for the Middleton Beach area in conjunction with FESA.

The ODP is in accordance with these proposed actions and will introduce a Fire Management Plan to the subject site.

LandCorp made a submission on the draft Foreshore Management Plan when it was released for public comment that discussed the fact that the ODP will formalise the protection of the designated conservation, foreshore and recreation areas in appropriate reserves. It also requested that the draft Foreshore Management Plan recognise the Griffiths Street beach access as an access point that may need to be further addressed in terms of improvements to the public facilities and parking areas.

3.3.3.2 *Draft Lake Seppings Flood Prone Area Policy (2003)*

This Draft Policy was initiated by Council in October 2003 but it is unclear whether it was ever finally adopted. The Draft Policy seeks to apply planning controls over land identified in a previous report by Wood & Grieve Engineers, which identified the Lake Seppings flood plain and the area subject to a 1 in 100 year flood event.

Both the Wood & Grieve study and the Draft Planning Policy acknowledge that the subject site is outside of the area affected by the Lake Seppings flood plain.

3.4 Environmental

3.4.1 Climate

The climate in the Albany area is characterised by cool, wet winters and warm, dry summers. The hottest month is January, with mean temperatures ranging from 18°C to 25°C with a maximum temperature of 25.8°C, whilst in winter the minimum and maximum temperatures range between 7°C and 17°C. The coolest month is August with a maximum mean temperature of 15.5°C.

The mean annual rainfall for Albany is 936 mm, with the majority of falls occurring within the wettest period occurring from May to October.

3.4.2 Topography

The subject site consists of low undulating relict fore-dune topography running immediately parallel with the coast, with dunal heights ranging between 2 m and 9 m Australian Height Datum (AHD). The gently sloping beach to the south of the subject site is approximately 30m wide, backed by a low incipient dune and a steep fore-dune, rising to between 5 m and 9 m. These features are depicted in **Figure 3.4**.

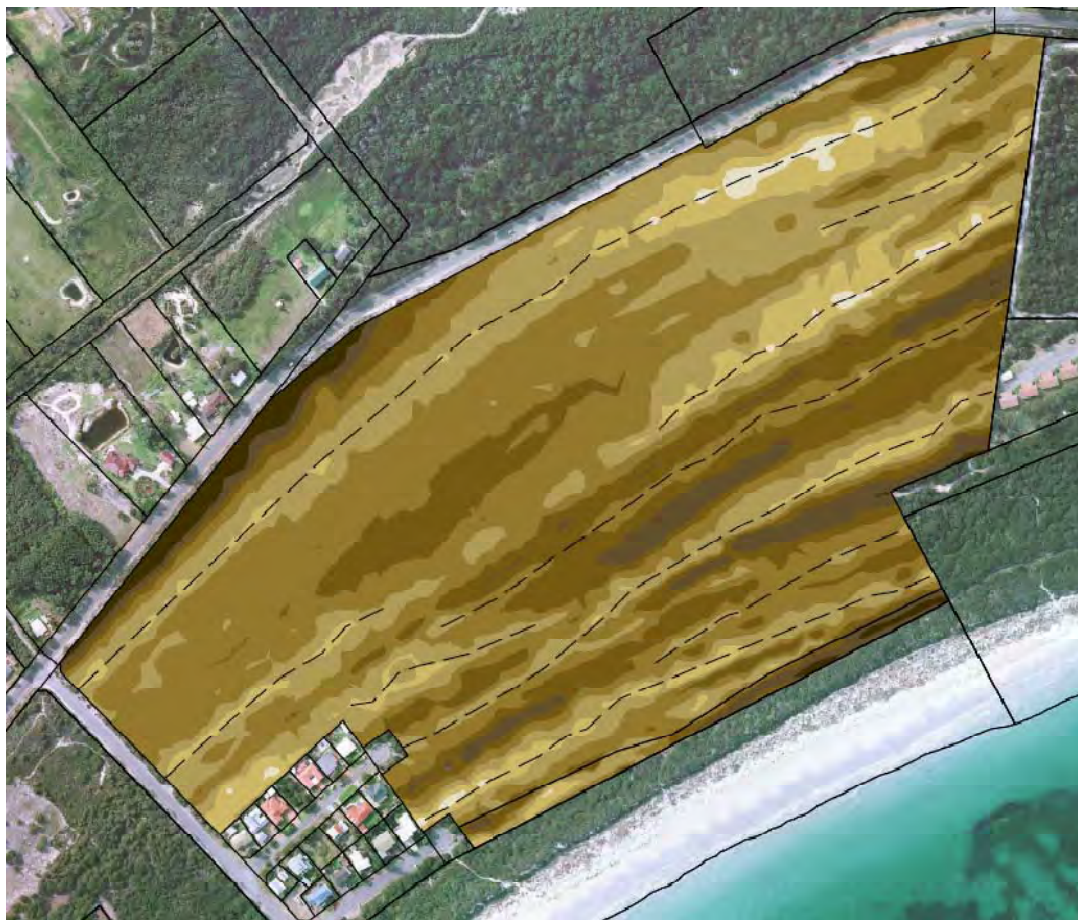


Figure 3.4 – Topography and major ridgelines through the subject site (LandCorp)

3.4.3 Geology, Soils and Hydrogeology

The subject site comprises predominantly relict foredunes, which are composed of white medium-grained sand, with rounded quartz and shell debris. The coastal dunes of the subject site are typical of local quaternary hydrogeology, which is typically characterised by coastal alluvial, estuarine, lagoonal and Aeolian (sand, clay and limestone), and minor local aquifers, which are fresh to saline.

The subject site is underlain by bedrock, comprising gneiss, metamorphic rock and granatoid in the Nornalup Complex of the Albany-Fraser Orogen. The Albany-Fraser Orogen is covered with a discontinuous veneer of the sediments of the Bremer Basin.

3.4.4 Groundwater

According to the Geotechnical and Preliminary Acid Sulphate Soil (ASS) Investigation prepared by Douglas Partners (2007) for the subject site, the groundwater survey recorded groundwater levels, quality and flow direction. The survey findings included the following:

- Groundwater depth ranged between 2.19m to 5.80m below ground level;
- Hydraulic gradient for the site is relatively flat;
- Groundwater mound probably located in the south western corner of the site; and
- A shallow aquifer exists, with the possibly of being underlain by salt water edge.

These features are depicted in **Figure 3.5**.

There are also no known domestic or Council water supply bores in the Emu Point area.

Under the provisions of the *Metropolitan Water Supply, Sewage and Drainage Act 1909*, or the *Country Area Water Supply Act 1947*, the subject site has not been identified within a Public Drinking Water Source Area (PDWSA).

More detailed information on the hydrological components will be obtained through the Local Water Management Strategy (LWMS) monitoring program which will be required prior to the subdivision and development of the subject site, which is further described in **Section 4.7.5**.

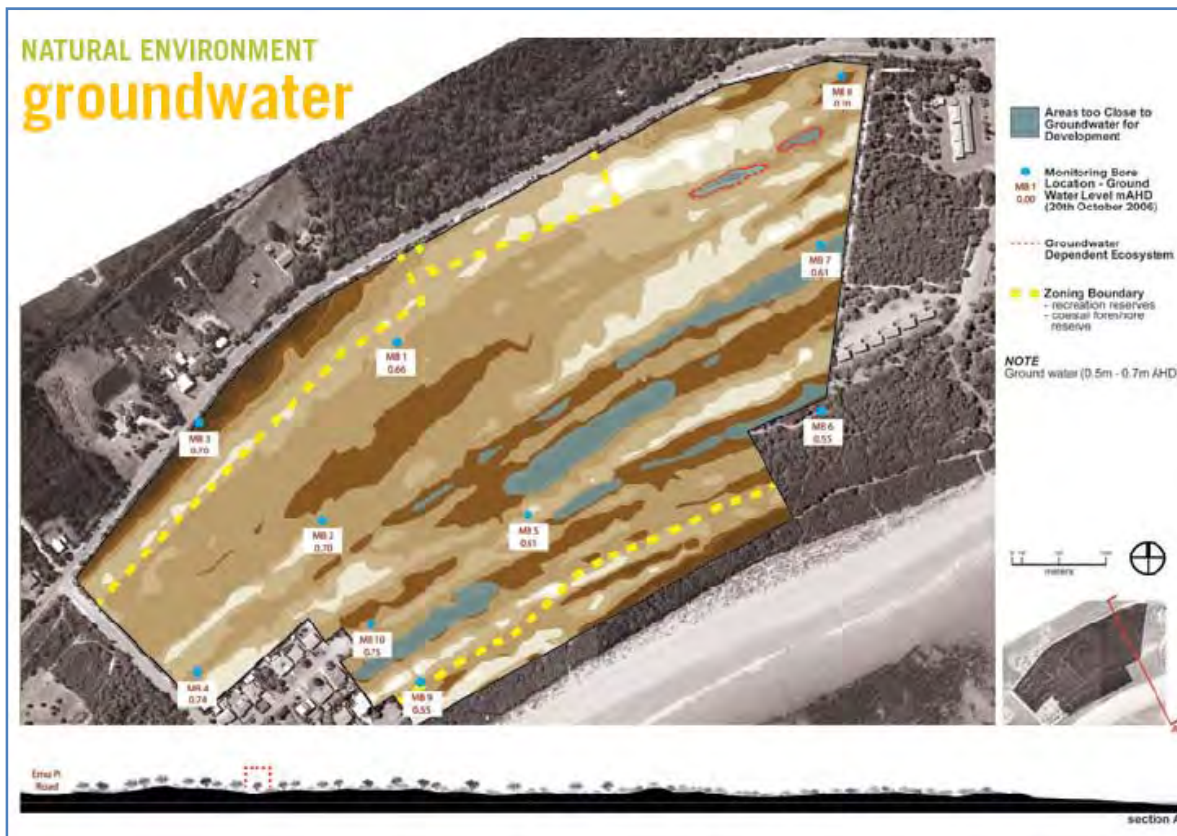


Figure 3.5 – Geotechnical Survey showing depth of ground water (LandCorp)

3.4.5 Surface Water and Drainage

The geology of the subject site comprises permeable, medium grained sand which facilitates the infiltration of water through the shallow aquifer into the ocean. There are no surface water bodies including wetlands, such as sump lands or damp lands within the subject site.

There are no distinct surface drainage lines onsite and water tends to accumulate in swales prior to infiltrating. Along the northern boundary, the subject site drains into the swales along Emu Point Drive. Stormwater disposal is expected to be facilitated through the aquifer, with no direct discharge into the Foreshore Reserve or Oyster Harbour.

3.4.6 Acid Sulphate Soils (ASS) and Contamination

Acid Sulphate Soils (ASS) are naturally occurring soils containing iron sulphides. These soils are typically benign with an anaerobic environment, however, when they become oxidised through disturbance, acidification of soil and groundwater can occur. This results in sulphuric acid which can break heavy metal bonds, releasing metals such as aluminium, iron and arsenic into the groundwater.

According to the ASS risk mapping for Albany-Torbay, the subject site has no known risk of ASS. The Geotechnical and Preliminary ASS Investigation confirmed that ASS Management is not required for excavations less than 3m below the existing ground level at the subject site. There is the potential for ASS to occur off-site near Troode Street and Emu Point Drive, as the ASS risk mapping is classified as high risk, which would require an ASS investigation and management prior to future excavation and associated works for the installation of sewer and water mains at the site. The ASS risk mapping for the immediate area is depicted in **Figure 3.6**.

There are no registered contaminated sites within or adjacent to the site and no evidence of soil contamination within the subject site. Groundwater sampling was collected and analysed for heavy metals, including arsenic, cadmium, chromium, copper, lead, mercury, nickel and zinc. The concentrations of heavy metals were below the drinking water guidelines.

Arsenic levels were recorded which exceeded the drinking water guideline value of 7µg/L by a maximum of 2 µg/L, however arsenic levels are thought to be naturally high, but there is no evidence of contamination of the subject site. There are no known historic land uses which may have resulted in contamination.

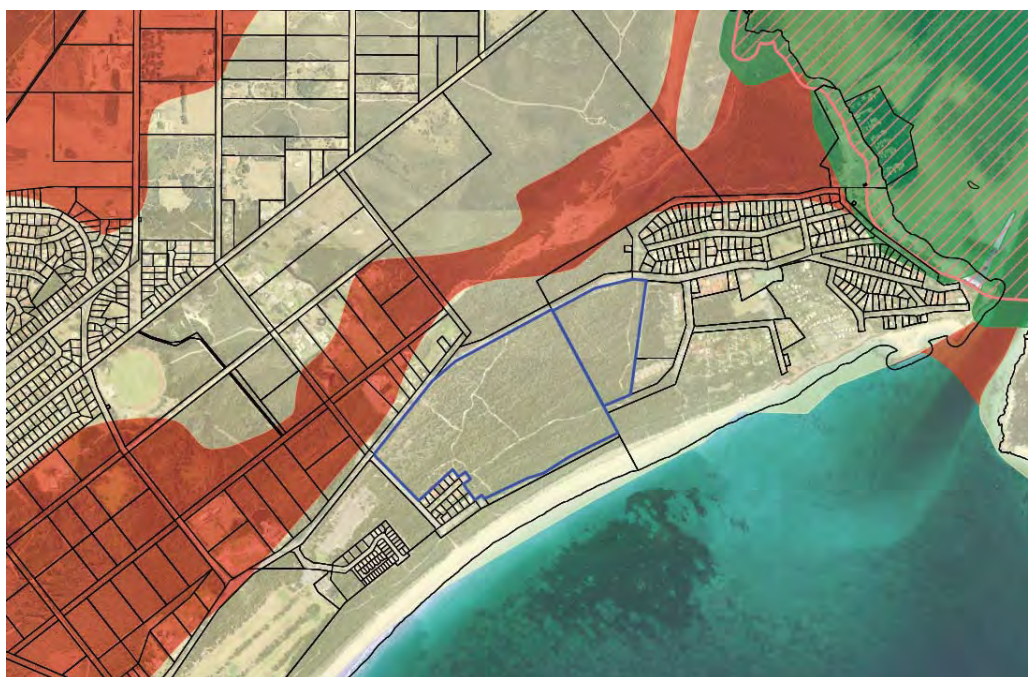


Figure 3.6 – Acid Sulphate Soils Risk Mapping - Medium to High risk shown in red (Landgate)

3.4.7 Flora and Vegetation

There are three vegetation types situated within the subject site, including Sheoak woodland, open Peppermint heath and Peppermint thicket. The majority of the vegetation across the site is in ‘excellent’ condition, with areas of Very Good to Degraded vegetation along the site boundaries.



Plate 6 – A number of good quality stands of Banksia are present through the site



Plate 7 – Albany Woolly bush is found throughout the subject site. (photos courtesy Jill Gaynor – LandCorp)

There are no Declared Rare Flora recorded on the site. Two Priority flora species are known to occur on the site, including *Andersonia depressa* (Priority 3) and *Adenanthos x cunninghamii* (Priority 4).

There are no known Threatened Ecological Communities (TEC) or Priority Ecological Community (PEC) within, or adjacent to the subject site.

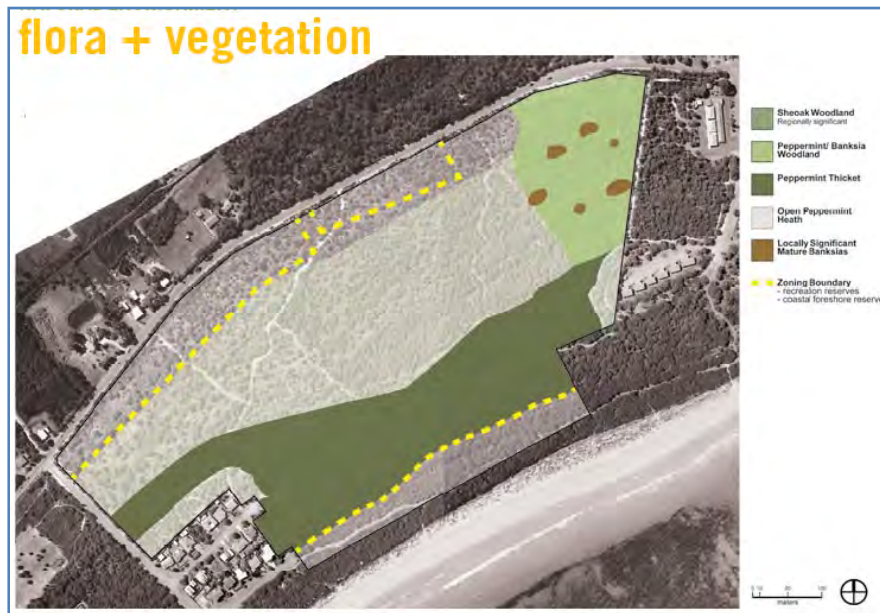


Figure 3.7– Broad description of the vegetation types within the subject site (LandCorp)

3.4.8 Plant Pathogens

Phytophthora cinnamomi is a plant pathogen which threatens different plant species in Western Australia. Once the pathogen infects the roots, the plant may begin to show symptoms of ‘dying back’, hence the common name use for the pathogen, Dieback. Dieback affects indigenous species including the four families of Proteaceae, Epacridaceae, Papilionaceae and Myrtaceae. Not all genera within a family or all species within a genus are necessarily susceptible.

There is evidence of Dieback occurring within the subject site. Further investigations to determine the extent of Dieback have been undertaken by GHD and Ficifolia Consulting. The assessment identified that:

- ~33% of the site is infested;
- ~24% of the site is ‘uninfested’, with approximately 13% of the site being ‘unprotectable’; and
- ~42% of the site is ‘uninterpretable’ due the absence of susceptible species.

Discussion on the management of Dieback during the construction phases of the development is presented in **Section 4.6.8**. The extent of the Dieback within the site is shown at **Figure 3.8**. A full assessment of the Dieback within the site is found at **Appendix 17** “Phytophthora cinnamomi Mapping” by GHD in conjunction with Ficifolia Consulting and Bio Diverse Solutions.

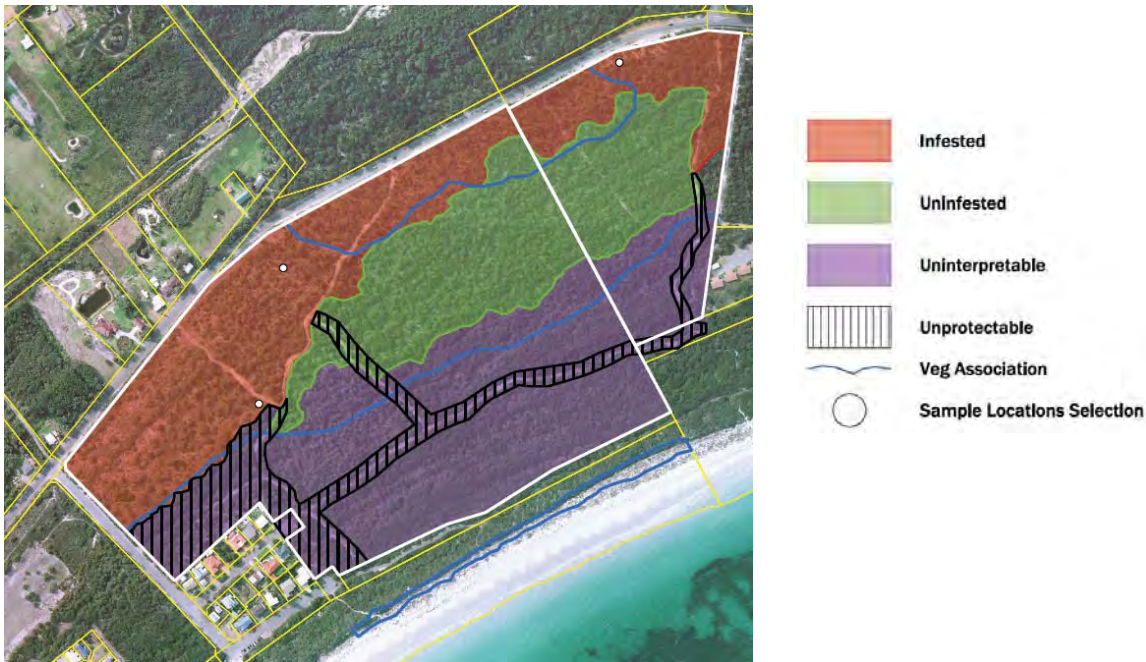


Figure 3.8: Extent of Dieback identified within the subject site

3.4.9 Fauna

Majority of the vertebrate fauna habitat on the subject site is considered to be in a very good condition based on the vegetation structure, extent of vegetation cover and refugia available to fauna. The habitat within the verge of Emu Point Drive and at the south eastern corner of the site is considered to be in good condition.

The subject site, from a regional context, is significant as a habitat area as it forms part of an almost unbroken coastal corridor of uncleared vegetation from Walpole east across the region to the South Australian border. This area is recognised in a (DEC initiative called the ‘Southern Coast Macro Corridor Project’.

Five species of significant fauna have been recorded on the subject site, including Carnaby’s Black Cockatoo, Baudin’s Black Cockatoo, Western Ringtail Possum, Quenda and Osprey. The Osprey is not a

‘Priority Listed’ or ‘Scheduled’ species in Western Australia, however, is listed as a migratory species under the *Environmental Protection and Biodiversity Conservation Act 1999*.

A number of studies have investigated the extent of the presence of the Western Ringtail Possum (WRP) within the site. WRP and their dreys have been recorded at several locations on the site, mainly in the southern portion of the site.

A Short Range Endemic (SRE) invertebrate survey did not identify any SRE species.

The PER documentation addresses the management of fauna species as a result of the development.

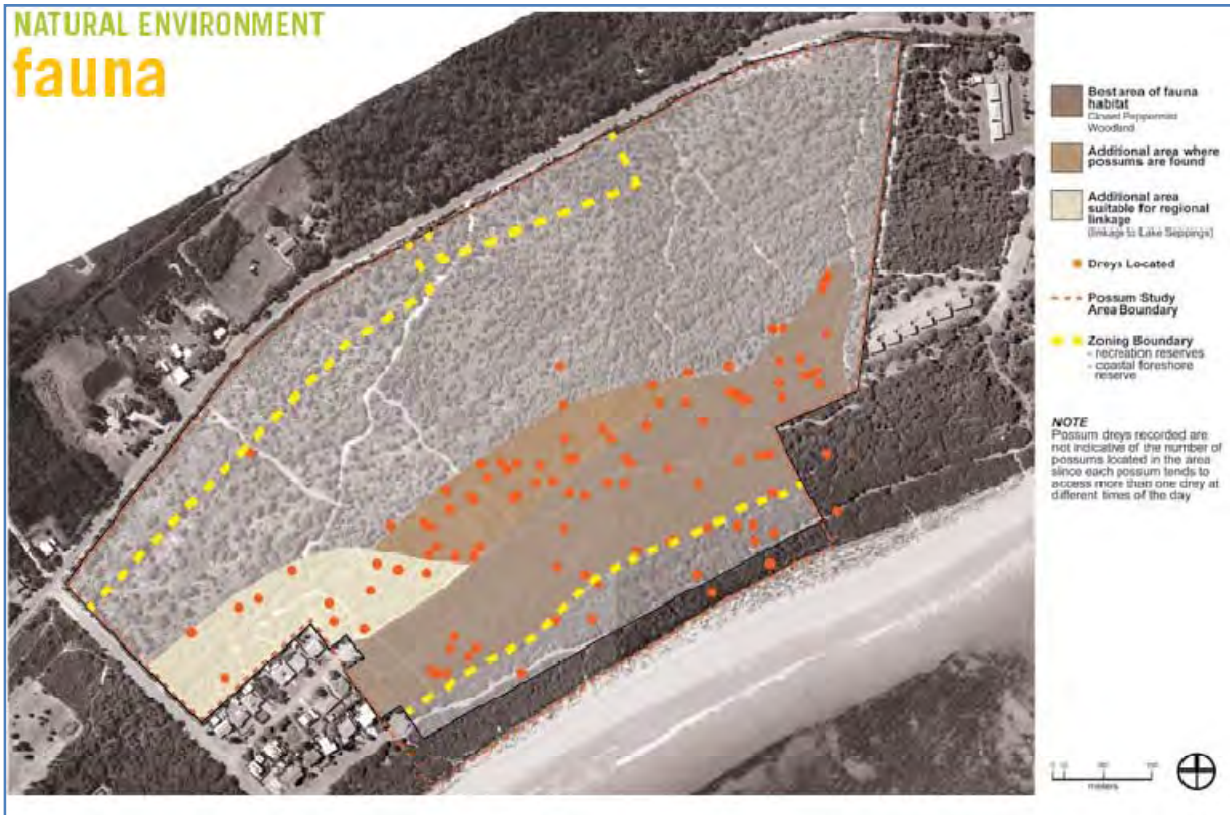


Figure 3.9 – Possum habitat and Dreys (LandCorp)

3.4.10 Environmental Sensitive Areas

Under the provisions of Section 51B of the Environmental Protection Act 1986, there are no Environmental Sensitive Areas (ESAs) within the subject site. The nearest ESA is associated with the Oyster Harbour foreshore, which is situated approximately 850m east from the subject site.

3.4.11 Reserves and Conservation Areas

The subject site immediately adjoins land zoned ‘Parks and Recreation’ Reserve within the TPS1A. A ‘Conservation’ Reserve vested in the City of Albany is situated immediately north of the subject site adjacent to Emu Point Drive.

Oyster Harbour, which is situated 850m east from the subject site, is listed as a Nationally Important Wetland.

Gull Rock National Park is situated approximately 2.6km east from the subject site, with an area of 2,000ha including several series of threatened native flora and significant stands of Scarlet Banksia. A further 400ha in the Mt Martin Nature Reserve is situated north of the Gull Rock National Park.

There are no Commonwealth or State reserves within or adjacent to the subject site.

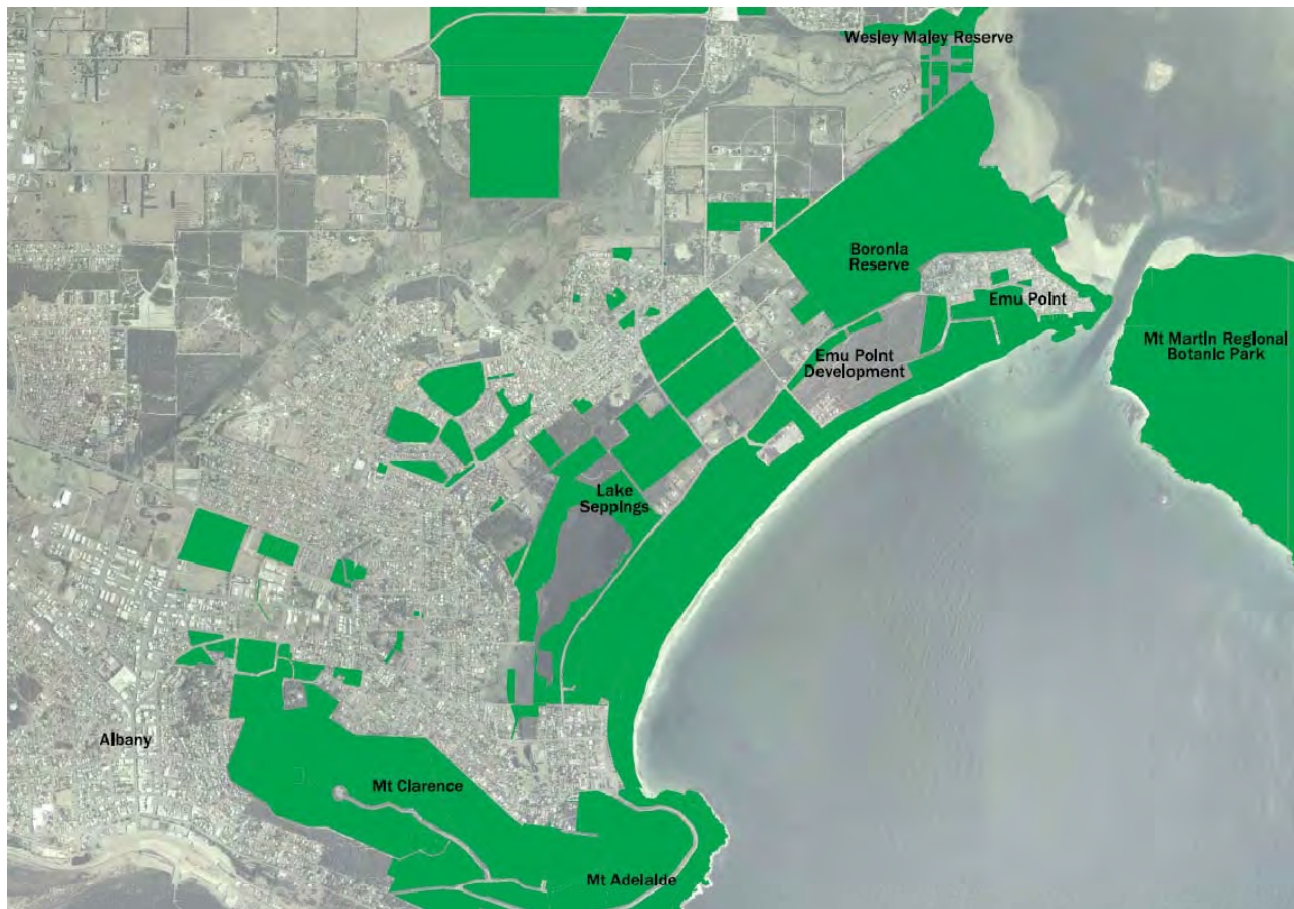


Figure 3.10 – Wider Reserve and Conservation Areas (LandCorp)

3.4.12 Weeds

Dominant weed species recorded on the subject site include the common non-aggressive weed species Ursinia (Ursinina anthemoides) and Flatweed (Hypochaeris glabra) and the more aggressive species Victorian Tee-tree (Leptospermum laevigatum), Watsonia (Watsonia bulbilifera), Sydney Wattle (Acacia longifolia) and Kikuyu (Pennisetum clandestinum).

Weed species are primarily concentrated along the verge of Emu Point Drive, along the boundary of Griffiths and Hope Street residential development and the north western corner of the subject site.

There are no Declared Plants identified on the subject site, which are those Weeds classified under the *Agriculture and Related Resources Protection Act 1976* that require specific category of control.



Plate 8 & 9 - Sydney Wattle & Arum Lily's, located throughout the subject site in varying degrees (photo courtesy Jill Gaynor, LandCorp)

Areas particularly infested with weeds are identified in the PER documentation and are shown in **Figure 3.11**.



Figure 3.11: Areas of particular weed infestation highlighted in orange (Strategen)

3.4.13 Landscape Character

As detailed above, the subject site can be described as prominent coastal dunal ridge landscaping with dense native vegetation cover. It usually forms a visually pronounced vegetated landform of gently undulating terrain formed by the low linear dunal ridges.

The subject site is only visible from a distance (middle distance and long distance views) on surrounding higher elevation terrain. Close to the site (foreground views from Emu Point Drive, Griffiths Street and along the beach front) the vegetated edges greatly limit visual access into the site. The internal portions of the site are largely unseen from close quarters.

The wider setting provides prominent higher elevation terrain, from 1km to 3km distance, in a semi circular ring from the south west around to Mt Martin and Bald Rock National Park to the south east. These prominent landscape elements allow views over the Middleton Beach dunal foreshore landscape, to King George Sound and the ocean beyond.

All views from these dominant landscape elements additionally include view lines over the low lying wetland area immediately beyond the dunal system.

The overall landscape is comprised of a mix of built residential urban development, large areas of natural vegetation, freshwater wetland bodies and dramatic coastal and ocean seascape. For the purpose of the Visual Management Plan, the overall 'viewshed' (landscape unit) is termed the 'East Albany King George Sound' landscape unit.

The sub-units to the 'East Albany King George Sound' landscape unit include the following:

- Middleton beach and foreshore;
- Middleton beach to Emu Point dunes;
- Lake Seppings and Collingwood flats;
- Oyster Harbour foreshore and open waters;
- Mt Adelaide and Mt Clarence heights;
- Mt Clarence, Seppings Collingwood residential heights;
- Bayonet Heads residential ridge and Oyster Harbour foreshore;
- Emu Point tourism precinct; and
- Gull Rock National Park.

Figure 3.12 identifies these landscape units in more detail.

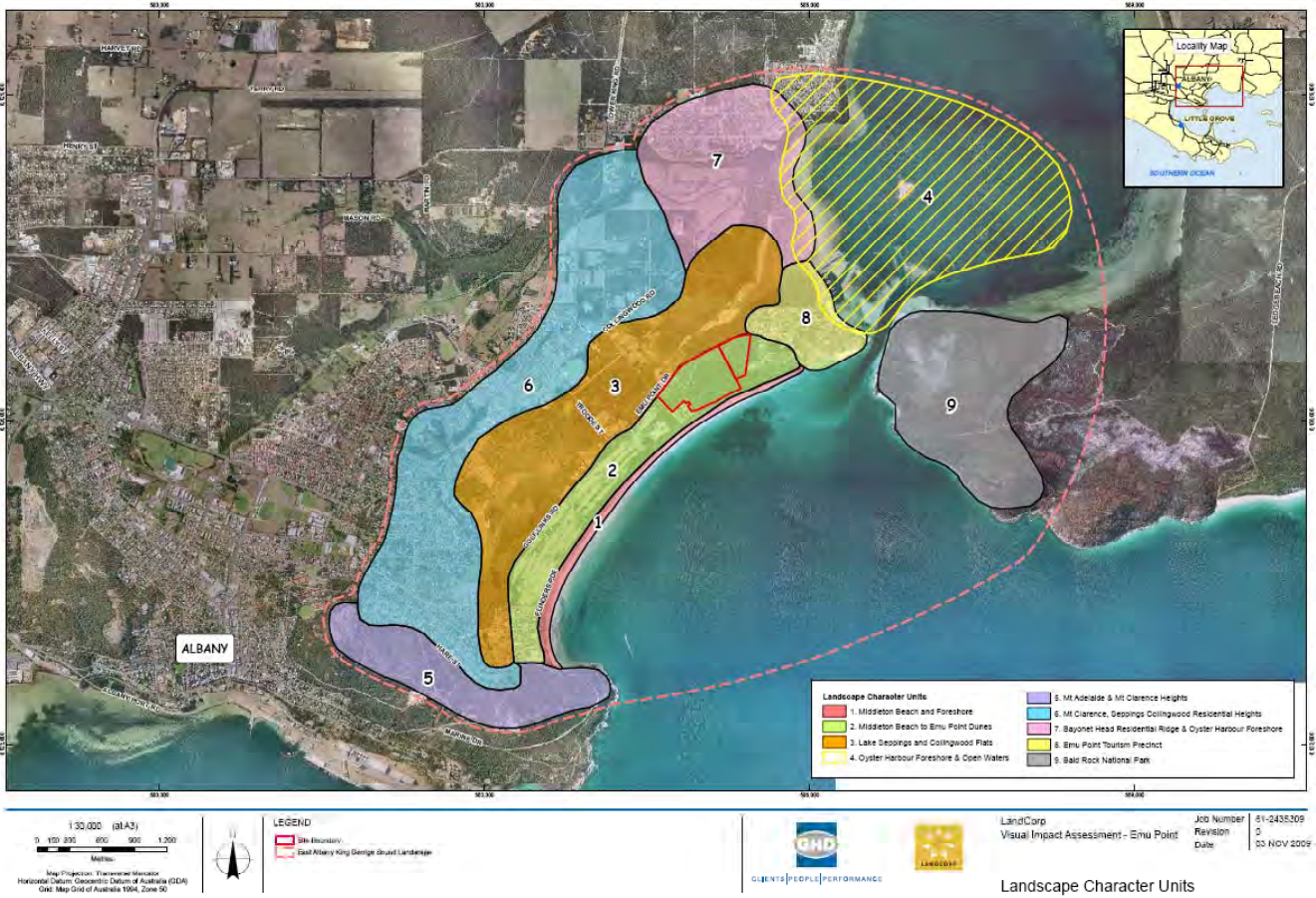


Figure 3.12 Visual Landscape Units (GHD)

It is important to acknowledge that the overall landscape is one of significant complexity, not just very diverse visual elements (urban to pristine natural), but with exceptionally powerful and dramatic landscape elements – in terms of scale, prominence and ‘visual drama’. It is in fact a surprisingly resilient landscape to change in small spatial elements within this larger complexity of a major landscape.

Visual impact for the site is further explored at **Section 4.6.7** and a Visual Impact Assessment (VIA) conducted by GHD is found at **Appendix 11**.

3.4.14 Coastal Setback

The coastline adjacent to the subject site is characterised by reflective, low tide terrace beaches, which generally receive lower energy, refracted waves. An important consideration for development of the subject site is the coastal setback required to maintain physical coastal processes and minimise risks associated with coastal erosion.

During 2007, LandCorp engaged specialist coastal engineers, MP Rogers and Associates, to complete a coastal setback assessment for the site, in accordance with the guidelines and recommendations established in the State Coastal Planning Policy (SPP 2.6). The purpose of the assessment was to ensure that development of the site adequately allowed for physical coastal processes over a 100 year period.

The resultant recommended setback for the development was 95m from the western boundary to a point 250m east and then 105m to the eastern boundary of the site.

In addition to the consultant’s recommended setback, the Department of Transport has identified the setback in the eastern part of the site should be greater. Both setbacks are shown in **Figure 3.13**.

The proposed development area is located outside of the coastal setback areas identified by the Department of Transport (DoT) and MP Rogers and Associates. The closest point of the development will be 115m from the agreed coastal setback. This effectively doubles the area of the coastal setback over and above the DoT requirement. The coastal setback will be within POS and retained as bushland. Consequently, the residential area will not impact on the coastal setback requirements.



Figure 3.13: Recommended Coastal Setback (MP Rogers and Associates).

3.4.15 Aboriginal Heritage

According to an ethnographic and archaeological survey undertaken in 2007, the survey results did not identify any new Aboriginal ethnographic or archaeological sites within the subject site. The site is however, situated on the Dreaming Track of the Palyark Ancestral Being, which is ethnographically significant given its association with Palyark and being camping/resource procurement sites of significance for Nyungar people.

The survey results identified that the subject site would have been extensively used in the past by Aboriginal people travelling along the coast between Mt Clarence and Emu Point, following Palyark’s track, to congregate on the coast and estuaries down to King River during summer and autumn, when fish and other aquatic resources were abundant.



There are no known or listed Aboriginal Heritage sites within the subject site, however there are a number of sites identified in the general vicinity, including the following:

- Oyster Harbour (mythological significance);
- Green Island (mythological/historical significance);
- Kylie Site (Kylie Boomerang);
- King Point, Albany (traditional food source);
- Alfred Knapp’s Seasonal Camp (historical significance);
- Barnup (Strawberry Hill Farm) (historical significance);
- Middleton Point Camp (historical significance);
- Mt Clarence Salmon Camp (historical significance);
- Oyster Harbour Caravan Park Lake (mythological significance); and
- Yakamia Creek (mythological/historical significance).

3.4.16 European Heritage

There are four single storey cottages listed on Places Database (Heritage Council of Western Australia), which are situated on the southern side of Cunningham Street, adjacent to the beach at Emu Point, which were constructed c1920, c1903, c1948 and c1955.

The Places Database also identifies the St Martin Camp Site at Emu Point, which is listed on the City of Albany’s Municipal Inventory.

There are no known or listed State Register of Heritage Places within or adjacent to the subject site.

No heritage places listed on the Register of the National Estate are located within or adjacent to the subject site.

3.5 Native Title

The National Native Title Tribunal states, “*Native Title is extinguished on privately owned land (including family homes or freehold farms), on residential, commercial and certain other exclusive possession leases and in areas where government has built roads or other public works*” (National Native Title Tribunal. 2000, p4).

The site is wholly owned by LandCorp as freehold estate, therefore Native Title is extinguished on the site.

3.6 Existing Services

The subject site and surrounding area is currently well situated for connection to all services. The subject site has access to reticulated water, power and telecommunications and is in close proximity to reticulated sewer networks. It is anticipated that upgrades and extensions to services will be required to service the subject site and surrounding area as described in **Section 4.7**. The existing services are depicted on **Plan 2** (refer to **Appendix 5**).

3.6.1 Reticulated Water

There is an existing reticulated water service available to the subject site. At present there is an existing 150 mm PVC main along Emu Point Drive, a 58 mm AC main along Griffiths Street, and a 58 mm AC main along Medcalf Parade.

3.6.2 Reticulated Sewerage

The subject site is not currently serviced with a reticulated sewer service. The existing dwellings in Hope and Griffiths Street utilise on-site effluent disposal systems.

The closest sewer line to the subject site is the 150 mm reticulated sewerage within Medcalf Parade and Birss Street which feeds down to the Firth Street pumping station. There is a 150 mm PVC sewerage rising main running from this pump station back along Emu Point Drive on the southern side of the road. There is also a secondary pump station within the Barry Court development to the south west of the site.

3.6.3 Power

An existing overhead low voltage power line runs along the length of the subject site on the southern side of Emu Point Drive and along Griffiths Street. The existing residential area is serviced by a 50kVA pole top transformer.



Plate 10 – Aerial power lines in Emu Point Drive

3.6.4 Telecommunications

There are optic fibre cables that currently exist along the southern side of Emu Point Drive to service the Emu Point area. As well as this, there are reticulation cables along part of the site's frontage, within Griffiths and Hope Streets and to the existing end of Medcalf Parade.

3.6.5 Gas

A reticulated gas service is not available in the general area. The closest reticulation gas main is in Collingwood Road, approximately 3km away to the north west.

3.6.6 Roads

The subject site is fronted by Emu Point Drive along its northern boundary and Griffiths Street along its western boundary. Hope Street terminates in a cul-de-sac at the subject site boundary.

Approximately 2,777 vehicles travel daily along Emu Point Drive between Griffiths Street and Troode Street. This section of road is sealed to a width of 7.4 m to 7.6 m wide. Shoulders of approximately 0.6 m wide are marked by white lines, giving an effective width for motorists of some 6.2 m to 6.4 m wide.



Plate 11 – *Emu Point Drive near the Griffiths Street intersection*

Griffiths Street has been built to a width of 7.4 m. It is kerbed on both sides. No traffic counts are available for this road at the time of writing.



Plate 12 – *Griffiths Street road pavement - looking south*



Hope Street has been built to a width of 5.6 m and is kerbed on both sides of the road.



Plate 13 – Hope Street cul-de-sac - looking east toward the subject site



Plate 14 – Beach access and coastal dual use path intersect at Griffiths Street



Plate 15 – Griffiths Street is an informal parking area created by localised widening of the road pavement.

Griffiths Street turns parallel to the beach at the eastern end where it provides an informal car parking area for beach goers. Access points onto the beach are located at either end of this portion of Griffiths Street. No other public facilities are located within close proximity to the subject site.

Currently the speed limit on Emu Point Drive is 80 km per hour, between Griffiths Street and some 300 m west of Clark Street. It then drops to 60 km per hour and then 40 km per hour at the Clark Street intersection in Emu Point.

3.6.7 Public Transport

There is currently one public transport service serving the subject site and surrounding area which is the 301 bus route. This is operated by Loves Bus Service, on behalf of Public Transport Authority (PTA). The following stops are provided within the vicinity of the subject site:

- Emu Point Drive, 30 m to the east of Griffiths Street;
- Emu Point Drive opposite the Rose Gardens Caravan Park;
- Burgess Street, in Emu Point; and
- Mermaid Avenue, opposite No. 64.



Plate 16 – Bus stop 30 m east of Griffiths Street along Emu Point Drive, (photo taken looking south toward the Griffith Street intersection).

Bus route 301 currently services the subject site three time daily; 9:00 am, 10:35 am and 3:00 pm. This bus route is depicted in **Figure 3.14**.



Figure 3.14 Public Transport Routes (Public Transport Authority)

3.6.8 Pedestrian/Cycling/Horse Riding Facilities

A 2.5 m wide dual use path (DUP), which extends to Ellen Cove in the west and Emu Point in the east, is located along the southern boundary of the subject site in the former Flinders Parade road reserve. Griffiths Street effectively acts as a portion of this dual use path network.



Plate 17 – Part of the dual use path between Ellen Cove and Emu Point

At the western end of the subject site, a 2.5 m wide dual use path is located on the western side of Griffiths Street and connects the subject site to the north toward Collingwood Road.



Plate 18 – The subject site is well connected to the City of Albany dual use path network – DUP running north away from the Griffiths Street toward Collingwood Road.



Separate horse access is identified in Griffiths Street to service the local horse trainers who use Middleton Beach to train horses early in the morning. Feedback from local residents indicates that the horse trail is not used and that horses tend to use Griffiths Street for access to the beach.

Signage at Middleton Beach further controls and separates horse and dog activity in this area.



Plates 19 and 20 – Horse access and use of the beach is regulated by the City of Albany

4.0 OUTLINE DEVELOPMENT PLAN

4.1 Design Philosophy

The Emu Point Outline Development Plan (ODP 007) has sought to apply the principles of sustainable development from the conception phase through to construction. The proposal is consistent with WAPC Liveable Neighbourhoods policy document.

The ODP creates a residential development comprised of 133 lots which will accommodate approximately 260 housing units and 650 people (assuming 2.5 people per household). The ODP recognises the environmentally sensitive nature of much of the site, concentrating development within the more capable land and securing approximately 60% of the site as open space. **Appendix 1** provides the ODP.

The vision for the Emu Point development is for a development showcasing sustainable development for the Great Southern Region from the initial concept, to subdivision design through to the landscaping of individual lots.

The development will be a high quality, walkable community that responds in a sustainable fashion to the site's opportunities and constraints with a focus on its relationship with the surrounding bushland and coastal environment. Houses will be designed sympathetic to the natural surroundings with a series of measures established to encourage sustainable development throughout the site.

The plan brings together many competing interests and issues and finds a balance through providing a coherent, coordinated design response. Key elements of the ODP include:

- Retention of 60% of the site as POS with generous areas of bushland being retained to provide a system of linked nature reserves both within and external to the site.
- Retention of native vegetation throughout the development footprint within road reserves and residential lots and enhancement of the existing bushland areas through re-planting and weed management.
- Ecological corridors provided along the edge and throughout the development to link the proposed POS and foreshore reserves with surrounding reserve networks.
- The provision of 'green spines' or 'bushland corridors' throughout the development; retaining vegetation, providing a suitable setting for future housing, breaking up the urban form when viewed from a distance and encouraging walking within the development.
- The provision of a Village Centre to provide a focal point for the community, providing potential for a deli/cafe and other mixed use land uses.
- Providing a range of residential densities and housing types to cater for a wider cross section of the community.
- Higher residential densities concentrated around the Village Centre to encourage walking within the development and reduction in vehicle use.
- The integration of the existing Hope Street community into the new development by bringing deep sewerage and improving public infrastructure and facilities to a standard commiserate with the proposed development.
- Achieving a balance between fire management and retention of native vegetation.
- An increased foreshore reserve that secures the high quality vegetation and possum habitat as part of the wider reserve system.
- Providing additional community benefits to the local and wider Albany community by upgrading the access to the beach and improving parking in Griffiths Street.
- Minimising major earthworks and working with the topography wherever possible.
- A standard of public infrastructure that minimises ongoing maintenance issues for the City of Albany. However due the large areas of public open space a 'Specified area Rate' is proposed for the new development to provide the local government with additional capacity to address the ongoing maintenance requirements such as weed management and public landscaping.

Given the large areas of proposed POS, the extensive use of high quality landscaping and public infrastructure and the ongoing need for weed management, the City of Albany may wish to consider applying a ‘Specified Area Rate’ to the Emu Point residential development to raise additional funds to cover the ongoing maintenance of the subdivision.

4.1.1 Development Objectives

The objectives for the Emu Point development have been based on the ‘Triple Bottom Line’ approach to ensure social, environmental and economic sustainability.

The objectives in **Table 2** have been identified and refined throughout the various consultation and concept planning phases and have been integrated into the ODP.

Sustainable Principles	Objectives
Social	<ul style="list-style-type: none"> • Creating a place that integrates well with the existing surrounding areas • Creating a place that feels welcoming and accessible, not only to residents, but to the broader Albany community and visitors • Creating a community, not simply a housing estate • Creating a place with a great “feel” about it • Creating a community comprising a diverse range of people
Environmental	<ul style="list-style-type: none"> • Respecting topographical and landform features of the existing surrounding area • Protecting significant vegetation • Protecting significant fauna habitat, including wildlife corridor • Environmentally sensitive design associated with individual dwellings and beyond the lot boundaries
Economic	<ul style="list-style-type: none"> • To support and not detract from the existing facilities at Emu Point • To assist with the funding of the Waterfront at Albany project • Relative affordability through a range of housing sizes and options • Environmentally sensitive housing design initiatives to reduce building life cycle costs for landowners

Table 2: Emu Point Residential Development Objectives

4.1.2 Community Consultation Response

The original Concept Plan was presented to the community and other stakeholders in May 2009. An updated plan was presented to the individual landowners in Hope and Griffiths Street in February 2010. Numerous changes to this plan have occurred that respond to community and local consultant feedback. These are summarised as follows:

- The development footprint remains the same, the composition of the different precincts has varied;
- The placement of the clustered lots at the eastern end of the development provides for a more flexible style of development that responds more sensitively to the topography and quality of vegetation;
- Additional medium density housing has been included closer to the Village Centre to support the centre and provide more housing for people within close walking distance to the centre;
- The laneway on the northern boundary of the Hope Street lots has been widened, the number of dwellings along this boundary reduced and a landscaping strip included;
- Medium density housing has been provided along the side fences of the end properties in Griffiths and Hope Streets to increase the number of lots backing onto these properties from 5 to 7. A wide landscaping strip/development exclusion area has been introduced along the rear boundaries of

these lots in order to retain some existing vegetation and keep housing well away from existing residents;

- Access trails to the beach and towards Emu Point have been rationalised resulting in retention of more bushland by utilising existing trails wherever practical;
- Some lookouts have been removed, pending a more detailed assessment of their location as part of the Landscaping Master Plan;
- A proposed shared path system has been introduced around the edge of the development;
- Sensitively placed active open space areas have been included in a bushland setting;
- A more direct trail to the existing bus stop has been provided;
- Griffiths Street beach access area is proposed to be upgraded with parking formalised, road width reduced, shared path separated from the roadway and additional ‘friction’ created to slow traffic;
- A potential lease area, reserved in a separate manner to the rest of the bushland, has been provided as an option at the end of Griffith Street to allow for the development of a cafe, food stand, public toilets, barbeque area, and/or beach showers and the like; and
- A series of substantial median islands have been introduced to slow traffic and provide a safer crossing point for people and fauna.

The changes are a response to public submissions and a review by the local consultants appointed by LandCorp to prepare the ODP.

The main reasons for the changes are to bring the development in line with the vision and objectives for the Emu Point development including the retention of natural topography and good quality bushland, a pedestrian friendly, walkable community with less reliance on the motor car, a sustainable development in a bushland and coastal setting and to enhance opportunities for neighbourhood interaction.

These changes increase the sustainability of the development by:

- Increasing the amount of quality vegetation retained within the development footprint by placing the cluster lots at the eastern edge where there is higher quality vegetation and placing the single house lots on the flat land where the vegetation is of a lesser quality;
- Increasing the amount of overall bushland that may be retained or regenerated by using existing trails wherever possible for beach access and revegetating the trails that are not required;
- Reducing the need for changes to the natural topography by placing the cluster lots at the eastern end so grouped dwelling development can respond to the natural lie of the land. The access points to these clusters are situated in the low point of the landscape to assist with drainage;
- Creating more ‘bumping places’ for the community to meet by creating a number of active recreation areas set in bushland;
- Creating more pedestrian friendly environment by slowing traffic, providing safe refuges and more footpaths and shared paths within and through the development; and
- Creating another meeting place, improving public facilities and providing a quality destination for tourists and locals, allowing for a place for future cafe/food stand/bbq area/public facilities at the end of Griffiths Street. This will provide a node and a beach-side focus for the new and existing residential areas.

4.1.3 Local Residents

Further to **Section 2.3** of the ODP, the ODP has been amended to respond to the concerns of local residents in the following manner:

- Widening of the laneway and introduction of a landscaped strip along the rear of Hope Street residential properties;
- The introduction of a substantial landscaped, rear setback to dwellings backing onto the end of Hope and Griffiths Street residences;
- The reduction in the total number of lots backing onto the existing residential area from approximately 23 to 20. In particular, the previous 17 townhouse lots have been removed and replaced with 13 wider, medium density lots;
- Landscaping packages have been offered to upgrade the existing road reserves to a standard more in keeping with the proposed development area;
- Confirmation that no vehicular link would be provided from Hope Street into the remainder of the development;
- Upgrading of beach access points to reduce sand blowing into residential areas;
- Introducing traffic calming measures to the Griffiths Street extension; and
- Additional fire protection measures around the perimeter of the development footprint to balance between vegetation protection and fire management.

Importantly, most residents raised concerns with a substantial increased use of the beach, Griffiths Street and the parking area by horses and their trainers early in the morning. Whilst this issue is not development issue for the ODP, it is a local government issue, and feedback from local residents has been forwarded to the City of Albany for action.

The local residents raised issues such as requesting a green space buffer around the existing community, moving the development well away from the Hope Street residents and retaining Griffiths Street as a cul-de-sac. These requests have not been accommodated for the following reasons:

- The existing fire protection measures are inconsistent with the Planning for Bushfire standards. Edging the development with new housing, road and path network will help address this issue;
- Existing side and rear fences adjacent to the bushland present an inactive edge resulting in weed infestation, dumping of garden refuse and lack of passive surveillance;
- Good planning should dictate that any new development integrates with existing development to avoid any division between the future communities and enable existing residents to access new facilities;
- The Village Centre needs to be located adjacent to Griffiths Street to provide access to passing traffic, to increase the financial viability of the Village Centre and to be close to the existing bus stop for public transport access; and
- Griffiths Street is retained as a through road for permeability of design, emergency vehicle use (particularly fire response), reducing the number of vehicles using Griffiths Street (by stopping the vehicle that turns around at the end and returns via the same route) and to increase the integration of the new development with the existing residential area.

The ODP attempts to provide an ‘intermediary’ green space around the existing residential area through a landscaping strip along the widened laneway and a landscaped development exclusion area along the rear of lots. The existing residential area has effectively been enlarged, by ringing it with medium density development, and then provided with a green space around the new edge. This allows people to live close

to the Village Centre and beach, whilst addressing the fire issues and providing development that addresses the surrounding reserves.

The benefits to the wider Albany community of providing this new show case sustainable development must be weighed against the natural resistance of the existing community to change.

It should be borne in mind that there are benefits to the existing residents through becoming part of a wider development including the following:

- Access to the Village Centre and the potential future cafe/deli facility;
- Access to parks and modern facilities within walking distance;
- New street trees on the road verges will be offered to those landowners who wish to participate;
- Improved beach access with reduced sand impacts on adjacent residents;
- Slowing traffic and providing a turning pocket or roundabout near the Emu Point/Griffith Street intersection will improve road safety;
- A reticulated sewerage service will be provided;
- Improved bushfire management of the adjacent bushland; and
- A redesigned and redeveloped parking and shared path in Griffiths Street to work through any parking and access issues.

4.1.4 Opportunities

As part of the design and detailed planning, an Opportunities and Constraints Plan has been developed (refer to **Appendix 6**). Firstly, this identifies the areas of the site suitable for development. Subsequently, the opportunities and constraints have guided how the development should be designed to properly integrate with the site and meet the agreed development objectives.

The development site has a number of opportunities given its size and location. The opportunities identified are:

- The site is located in a coastal setting, providing future residents with direct access to the beach, which promotes a higher quality of life.
- Core services are available in the area, such as power, water, sewer and telecommunications.
- The site is essentially an infill development linking existing developments to the west and east, which does not promote urban sprawl.
- Vegetation on parts of the site has failed to regenerate to the same standard as other areas following a substantial bushfire and there is evidence of weed and dieback infestation. Development can occur without requiring pristine bush to be removed.
- The site of the development allows for the inclusion of a Village Centre to act as a focal point. This will promote a small cafe/deli to service new and existing residents as well as allow for medium density housing.
- The size of the site allows for a range of housing choices and lot sizes to be provided, which will attract a wide range of resident types from young families to aged persons.
- The site is located close to existing recreational areas, including the Albany Golf Club and Emu Point.
- A public bus service is available to reduce car reliance in this locality.
- The presence of east-west running dunes allows for the development to follow the contours and provide for excellent northern sun access to promote energy efficiency.
- The slope of the site can be used to its advantage rather than requiring large scale clearing and re-contouring of the development area.

- The soils on the site are conducive to development being free draining with groundwater sufficiently low for the majority of the site.
- The development will be large enough to consider sustainability in a meaningful way, such as water and energy efficiency and provision of high quality POS.
- Sufficient land is available to ensure a cost effective development can occur without the need to reduce the environmental qualities of the site and to ensure the viability of the project.
- Development in this location will increase the viability of existing services and facilities in the locality.
- Development will require reticulated sewer to be extended to the site. This will allow existing residences in Griffiths and Hope Street to connect in the future, which will have positive environmental benefits on nutrient levels entering the groundwater system.

4.1.5 Constraints

As with the site opportunities identified above, a similar exercise was undertaken to identify the constraints to development. The constraints were further refined by the various additional studies undertaken to support the ODP and Public Environmental Review (PER).

All site constraints have been taken into account in the ODP. Due to the location of the site in a vegetated coastal environment, most of the constraints relate to environment factors. However, other constraints, such as infrastructure have also been taken into consideration.

The constraints identified are outlined below:

Environmental Constraints:

- Coastal setback requirements of the Department of Transport and the need to cater for the possibility of sea level rise in the future.
- The site includes areas of Western Ringtail Possum (WRP) habitat and other declared and endangered fauna and flora species, including Albany Woollybush and Carnaby's Black Cockatoo.
- Large areas of the site contain high quality native vegetation, including peppermint thicket, peppermint/banksia woodland and sheoak woodland areas. These areas are to be maintained due to their importance in providing a wildlife corridor between Emu Point and Middleton Beach, as well as to protect the habitat of declared rare species.
- It is necessary to retain viable vegetation corridors around and within the site to link to the bushland to the west, east and north.
- There are areas of the site that are infested with declared environmental and pest weeds. These areas need to be managed accordingly. Further, weed management once the development is completed will need to be considered to protect the quality of the remaining bushland areas.
- There is an identified area of dieback on the site. This will need to be managed to reduce spread through a number of management techniques during and after construction. Dieback will be a major threat to the health of the remaining vegetation into the future.
- Areas of the site have groundwater levels that are too close to the surface to allow for development without fill. As major earthworks are to be avoided, these areas are to be avoided wherever practical by the development footprint. Due to the presence of groundwater, drainage and landscaping will need to be designed to avoid nutrient infiltration into the aquifer.
- The sand dune ridgelines will need to be protected to minimise wind erosion occurring by retaining vegetation cover.
- Surface drainage is affected by the ridgelines through the site and the catchment divide that parallels Emu Point Drive. Drainage flows will need to be taken into account to ensure that run off remains as pre-development flows in accordance with WAPC and DoW guidelines.

*Tenure Constraints:*

- The site is surrounded by Crown reserves to its west, south and north. Access directly to Emu Point Drive from the site is limited as a consequence.
- The Hope Street residential precinct is currently developed for single residential purposes. Interaction with this existing lot density and layout will need to be considered.

Infrastructure / Economic Constraints:

- Reticulated sewer is not currently available to the site and will need to be extended to allow development to occur.
- Road access directly onto Emu Point Drive is limited to a single point. In order to provide greater sight distances to improve safety of the intersection, the intersection is to be constructed further east than originally planned in the 1970's.
- Extension of Hope and Griffiths Streets into the site is not supported by the existing residents.
- The undulating nature of the site and the proximity to groundwater and the wetlands must be taken into account when considering stormwater disposal from roads and other hard surfaces.
- All urban services (roads, water, power, telecommunications, etc) will need to be brought in to the development.
- The limited area of the site available for development and the need to obtain a suitable lot yield will require innovative solutions to allow for the costs associated with construction and servicing to be remunerated.

Social / Community Constraints:

- The existing residents located in Griffiths and Hope Streets have indicated they do not wish to be integrated into the development, nor have significant development adjacent.
- Access between the development and the beach will need to be managed to ensure that the retained bushland areas remain viable and habitat of rare species is protected.
- Access to the shared path along the southern side of the site will need to be retained and remain open at all times during construction.
- Dust, noise and vibration impacts on surrounding residents during construction will need to be considered and appropriate measures implemented to reduce impacts and/or respond to property damage.
- Griffiths Street acts as a bridle trail connection between the beach and horse properties. The development will need to consider the importance of this route to local horse owners and riders.
- The development will need to take into account the high quality visual amenity of the coastal location and the major recreational use of King George Sound and the coastal reserve. New development will need to complement the coastal and bushland attributes of the site and ensure it has as little visual impact as possible.
- The cost of providing a local deli/cafe and other recreational facilities will need to be supported by a large enough residential population to ensure the viability of these facilities.
- The site is currently separated from educational, shopping and medical facilities. Although these are easily accessible by car, the development will need to consider alternatives to car travel to access these facilities, particularly cycle paths and bus frequency.

The above constraints have been incorporated into the ODP to provide the resultant development concept that seeks to address each of the constraints in a manner acceptable to the community and regulatory authorities.

4.1.6 Sustainable Principles for Development

The State Sustainability Strategy of Western Australia defines sustainability as “meeting the needs of current and future generations through an integration of environmental protection, social advancement, and economic prosperity”, and increasingly there is growing community expectation that best practice will be applied in accordance with these principles. This ODP reflects current thought in applying the sustainability philosophy to all aspects of the planning and development process for this project.

This project has been characterised by a strong commitment, since inception, to meaningful engagement with the community and regulatory authorities. This dialogue has been highly beneficial, resulting in significant adaptation of the early concepts and is reflected in the final ODP design, Landscape Master Plan and Design Guidelines for the development.

The ODP is a reflection of the design team’s response to local knowledge, research and community and regulatory authority expectations, measured against the following sustainability principles.

Social

The State Sustainability Strategy states that (social sustainability)... “seems frequently to fall off the sustainability agenda or to take second place to environmental and economic concerns, despite the fact that it is so critical to the lives of individuals and communities and to the overall health of our society”. Through the provision of an extensive range of interactive spaces, including the provision of a community hub and recreational zones, increased opportunities are created for social interaction. This is critical for the development of social capital and a strong sense of place. The diverse range of lot sizes and development opportunities will further enhance the vibrancy of the development. The proposed development has been sensitively designed to incorporate the existing residential community on the site by respecting space and privacy and providing increased social opportunities.

Environmental

Community focus workshops and submissions have continually highlighted the high value that respondents place on the existing conservation values of the site. Subsequent environmental monitoring has provided the proponent with the baseline data required to formulate an appropriate response to these issues. These responses have included a reduction in the developable footprint to approximately 40% of the total lot area, increased coastal setbacks, revegetation of degraded areas and the creation of significant conservation reserves and corridors for the preservation of species diversity.

In addition, the Landscape Master Plan includes recommendations that will incorporate habitat for existing plant species on the site, within street plantings, verges and private lots all of which will adhere to Water Wise principles.

Creative engineering solutions including road design, lot layout and orientation, on-site stormwater management and minimal disturbance of the existing topography will further reduce the environmental impact of the proposal. These components will lead to a reduction of imported fill and the energy associated with their transport.

Integration with the existing shared paths network provides further opportunity to reduce auto dependence.

Economic

The development is driven by a need to be economically viable and provide a financial return to government as part of its commitment to the Albany Waterfront development. The development will also provide economic opportunities for local business during the construction and build out stages of the project and provide for a range of employment opportunities for the local community.

The ODP recognises that there exists disproportionately high unemployment levels within the local Menang community. As a means of providing employment opportunities consideration will be given by the proponent, via an MOU, to enter into agreement with a local service provider to ensure significant employment and training opportunities flow through to this community during the landscaping, monitoring



and revegetation programs. Further long-term employment opportunities may also exist through the developments integration with the Kinjarling Walk Trail Project.

4.1.7 Sustainability Framework

A key requirement in the preparation of this document is that the ODP provides a clear framework to guide and measure the sustainability of the development against a predetermined set of objectives.

The Sustainability Checklist is in full at **Appendix 12**.

In order to meet this requirement the design team has identified the key social, environmental and economic criteria for the Emu Point Development as follows:

- Water inputs, discharge and quality;
- Energy consumption (development and post construction stages);
- Greenhouse emissions;
- Preservation of Biodiversity;
- Visual amenity;
- Topography;
- Identity, character and cultural heritage;
- Transport and auto dependence;
- Housing design;
- Demographic diversity;
- Security;
- Waste;
- Community development and wellbeing;
- Local and indigenous employment; and
- Tourism development.

For each factor the KPI/matrix identifies the following:

- Objectives - The desired outcome;
- Indicator - The measure to determine compliance;
- Target - The desired minimum measure;
- Implementation Strategy - The mechanisms and design rules; and
- Agency/organisation or individuals responsibility

Note: not all sustainability goals can be mandated; some will rely on individual commitments from landholders.

The Key Performance Indicators (KPI's) best reflect current sustainable thinking and whole of community aspirations.

The Design Guidelines introduce an innovative point system that dictates minimum required goals whilst providing a flexible approach to permit alignment of personal preference against the KPI's. The Design Guidelines will encourage residents to push the boundaries of current sustainable thought through the provision of creative solutions that best reflect advancement in technologies.

An audit will ensure compliance through an extensive checklist of measurables during the subdivision and development stage, whilst relying on the Design Guidelines during the build out stage.

4.1.8 Landscape Master Plan

The Emu Point development site is set in an area of outstanding beauty. The Landscape Master Plan aims to make the most of this asset and establish new landscapes in such a way as to ensure the natural beauty of the setting remains an asset for the community into the future.

Recommendations for landscape treatments complement the existing landscape character, whilst at the same time recognize the need for practical considerations such as:

- The ongoing maintenance of the subdivision;
- Fire prevention considerations;
- New home owners' personalization of their gardens; and
- Provision of areas that will accommodate higher recreation intensity levels.

Detailed landscape design aims to:

- Strengthen site legibility (i.e. through entry point highlights);
- Support fauna safety and community use (i.e. ensuring accessibility and the creation of 'bumping' places to build interaction);
- Incorporate CPTED (Crime Prevention Through Environmental Design) principles (i.e. allowing for passive surveillance etc.);
- Support sustainability principles (i.e. by designing for walkability etc); and
- Respect the topography and character of the site (i.e. through sensitive material and finish selection).

Plant species selection will focus on:

- Protection of the existing bushland quality (i.e. avoiding weed species);
- ESD principles (i.e. using 'water-wise' plants); and
- The development of a palette of plants to build a landscape character that will reflect the quality of environment and setting envisaged for the development.

The Landscape Master Plan will include typical sections, concept sketches for key areas and planting recommendations for elements such as fire resistance, weed control and dieback resistance.

The Landscape Master Plan is in full at **Appendix 13**.

4.1.9 Urban Design (Streetscape) Principles

Urban design is focused on the built form of a development, which includes not only homes but also the streetscape. The character of new buildings will need to work in harmony with elements such as paving, street furniture, signage, colour and material palettes and landscaping.

Urban design also relates to the function of a place, including the design of pedestrian movement, activity nodes, key views and vistas and the interface between private and public places. Urban design considerations have been incorporated into the ODP and are further developed in the Landscape Master Plan and Design Guidelines.

4.1.10 Specified Area Rate

Local governments have the power, under Section 6.37 of the Local Government Act 1995, to impose specified area rates for the purpose of meeting the cost of a specific work, service or facility on a specific area of its district.

A local government may impose a specified area rate if it considers that ratepayers:

- Have or will benefit from;
- Have access or will have access to; and
- Have contributed or will contribute to the need for a work, service or facility

Local governments are required to use the money from a specified area rate for the purpose for which the rate is imposed in the financial year it was introduced, or place it in a reserve account. A local government may only use money raised to meet the cost of providing that service or to repay money borrowed to meet the cost of the service.

The ODP proposes large areas of public open space and high standard of infrastructure. Whilst every endeavour will be made through the Landscape Master Plan and Design Guidelines to reduce the maintenance burden on the City of Albany, matters such as ongoing weed management and maintenance of path networks may require additional resources in the long term.

Therefore it is proposed that the City of Albany apply a Specified Area Rate to the Emu Point Residential Development. Prospective purchasers will be informed of the rate to prevent any objection by the landowners into the future.

4.2 Subdivision and Development Control

4.2.1 Overview

The development footprint has been broken into various precincts to assist in describing the finer details associated with the development proposal and its direct relationship to achieve the ODP aims and objectives.

These precincts are subsequently broken down further into land use, built form and public space. Each sub-heading is intended to clarify the controls necessary to make the Emu Point development a successful and sustainable development. **Figure 4.1** provides the Precinct Plan.

Specific land use controls are described in each precinct section below and are depicted on the ODP (refer to **Appendix 1**).

Built form controls are also described in the sections below but detailed and enforced through Design Guidelines and Detailed Area Plans as depicted in **Appendix 10**.

The use of public space throughout the development is described in the remainder of these sections and broadly in **Section 4.3**. Details are also provided in the Landscape Master Plan as depicted in **Appendix 13**.

The opportunities and constraints described in **Section 4.1.3** and **4.1.4** are responded to using sustainability and *New Urbanist* principles which shape the ODP. The various elements of the ODP are described in more detail in the remaining sections of this document.



Figure 4.1 – Precinct Plan

4.2.1.1 Overview - Land Use

The focus for the development is on a Village Centre developed with a combination of higher density residential development and potential spaces for ground floor commercial activities. This will provide adaptive space for the provision of a potential future deli/cafe as a meeting point for the whole development. Supporting the Village Centre is medium density housing, bringing people together within close walking distance of the Village Centre and creating a lively and active meeting place. The density of development graduates out to low density 'cluster lots' at the eastern edge that are well linked with a strong pedestrian network back to the Village Centre.

A pedestrian friendly, slow speed environment is provided linking residential areas with the Village Centre and the beach. Over 60% of the site is provided as POS.

Town Planning Scheme 1A (TPS1A) requirements for the 'Residential' zone apply unless varied by the details in the individual precincts below or by the Design Guidelines and Detailed Area Plans adopted as a planning policy under TPS1A.

The residential densities applied to the site are as follows:

- Single House and Cluster Lots – R20 (500m² average, 440m² minimum);
- Medium Density Solar Lots - R30 (300m² average, 270m² minimum);
- Village Centre & Terraces– R40 (Grouped Dwellings - 180m² average, 160m² minimum); and (Multiple Dwellings – 166m² average).
- Apartments (within the Village Centre) – Density to be determined by a vertical building envelope established by the Design Guidelines.

In order to achieve these densities, development will need to appropriately address all relevant requirements of the R-Codes relating to:

- Streetscape
- Boundary Setbacks
- Open Space
- Access and parking
- Site works
- Building height
- Privacy
- Climate
- Incidental development.

In relation to the Village Centre, any mixed use development will be guided by the mixed use development requirements of the R-Codes. It is noted that the Development Guidelines for the site and the City of Albany Residential Design Codes Policy may replace or elaborate on specific provisions of the R-Codes.

4.2.1.2 Overview - Built Form

The built form of the Emu Point development will contribute greatly to the measurable success of the development as a sustainable development.

The architecture of the development will reflect the qualities of the coastal environment and natural attributes of the site, taking into consideration the placement of the buildings, materials and design aesthetics of the Emu Point locality and wider Albany region.

It is envisaged the built form of the development will be site specific to each precinct, but the principles outlined below will be incorporated into the built form across the whole site.

1. *Passive Solar Design*

- All new buildings on the site will be designed to maximise the opportunities for passive solar heating, natural lighting, cooling and ventilation within the houses.
- Dwellings should be designed with living areas on the north side to maximise solar gain during the winter months into all indoor and outdoor living areas and bedrooms.
- Shading should be provided to all openings to restrict solar access during the summer months.
- Natural lighting should be maximised throughout the dwellings.
- Natural ventilation should be maximised throughout the dwellings, utilising the prevailing south easterly sea breezes.

2. *Roof Forms*

- The roof forms will reflect the coastal environment of the development's setting.
- Contemporary roof forms will be encouraged that maximise solar access during the winter months and provide shading and weather protection to indoor and outdoor living spaces.
- Roof forms and rainwater products will be designed and selected to reflect the need to maximise the potential to harvest rainwater on site.
- Roof slopes and orientation will need to provide space for the installation of photovoltaic cells and solar water heating units.
- Roof reflectivity will be managed by restricting the use of colours through their solar reflectance index rating.

3. *Rainwater Harvesting*

Rainwater harvesting will be required for all dwellings. Rainwater tanks must be provided to store rainwater and these tanks can be used as part of the design aesthetics of the development.

4. *Indoor – Outdoor Living Areas*

Dwellings will need to take advantage of the climate of Albany and provide flexible indoor and outdoor living spaces that are sheltered from the prevailing south easterly winds.

5. *Passive Surveillance*

- To assist with the development of community relationships through the subdivision, all new dwellings will have a direct visual connection with the street.
- All dwellings will have a front door that faces the street or access way.
- Windows must be provided from living areas overlooking the street to increase the opportunities for passive surveillance.

6. *Materials*

- Materials throughout the development will be selected to complement the existing materials palette of the region and the sustainable aspirations of the project.
- Materials will be selected to reflect the Albany vernacular. This will be developed further in the Design Guidelines.
- The materials used throughout the development will need to be selected to be appropriate for the harsh coastal environment of Emu Point and sustainability requirements.
- Materials will be used to reduce the visual impact of the development and to reduce the perceived bulk of the buildings.

7. *'Green Points'*

Sustainable features of dwelling design and the appropriate landscaping of gardens will be required and encouraged through an innovative green points system introduced through the design guidelines. A series of mandatory and recommended design requirements are introduced through Design Guidelines at **Appendix 10**. These are allocated a rating and each development is assessed and accorded a score. A minimum score is required of each individual development although mechanisms will be explored to encourage maximum point scores throughout the ODP area.

This tool has the benefit of requiring a minimum standard of sustainable design but allowing the individual landowner some flexibility in which they achieve this. It is anticipated that it will also encourage each landowner to outdo their neighbour to create a positive atmosphere of competition within the ODP area.

The Design Guidelines and Detailed Area Plans (refer to **Appendix 10**) will be adopted as a policy of Council to augment existing controls established through the R-Codes and Council's Residential Design Code Policy.

A two-step approval process will be required, being:

- a. Sign off by a LandCorp approved architect against certain criteria established in the Building Design Guidelines; then
- b. Submission for approval by the City of Albany for assessment against the town planning scheme, planning policies, R-Codes and the adopted Building Design Guidelines.

4.2.1.3 Overview – Public Space/Landscaping

In broad terms, the approach to landscaping POS and road reserves aims to 'grade' development treatments from more urban to more 'bushland' across the site. That is; the proportion of hardscapes & formal planting to naturalistic treatments & softscapes reduces as the residential density of the development decreases. Thus the treatment of the setting for the Village Zone is much more 'urban' than that of the Cluster Homes Zone, which are envisaged to nestle into the bushland as much as possible.

In terms of plant species choice, there will be a preference for indigenous and native species to complement the site's setting, but selected Australian and exotic species will also be used to manage fire risk and allow for solar passive housing design.

Lines for the private gardens will reflect the public landscape character established in the development and will encourage the use of native and indigenous plants, water-wise and fire prevention principles, and solar passive design. While guidelines will acknowledge that not all home-owners will want bush gardens, they will be encouraged to plant gardens that reflect the character of their new home's setting, as private landscapes will be highly visible and will impact on the POS character of the whole site.

The Landscaping Master Plan (refer to **Appendix 13**) comprehensively outlines the manner in which the public spaces throughout the development will be dealt with.

4.2.2 Village Centre Precinct

The Village Centre (located on the main entry to the development and the main access to Middleton Beach) provides an integrated public access point, a focal point for the development, active meeting places and may in the future provide employment opportunities for residents.

A series of three and four storey apartment buildings will front the main entry road into the development and there is potential for commercial land uses on the ground floor with residential units above.

The eastern end of the Village Centre includes a cell of medium density dwellings with a high level of solar access and access to green spaces.

The amount of land available for commercial land uses is limited, so as to not compete directly with Emu Point where there is an existing activity node including restaurant, cafe, fast food and recreation areas.



4.2.2.1 Village Centre - Land Use

Apartment Buildings

A mixture of apartments (multiple dwellings), grouped dwellings and ground floor commercial tenancies is situated within the Village Centre.

Shop, deli, cafe, consulting rooms, day care centres, newsagency and office uses are discretionary land uses on the ground floor facing the main entry road.

The ground floor of the apartment buildings facing the main entry are to be built in an adaptable fashion to enable short term use as residential but easy conversion to commercial premises should demand arise over time. A minimum ceiling height of 3m, disabled access, appropriate window treatments at the front of the building and separation of potential office/residential areas shall allow for the use of the building to change over time.

The permitted density of development within the apartment buildings shall be controlled through a ‘vertical building envelope’ placed on the site within which the number of units provided is at the developer’s discretion subject to meeting the requirements of the Design Guidelines and the R-Codes.

Building to plate height is required prior to further subdivision of the apartment sites.

Terraces

The terraced housing on the same sites as the apartment buildings shall be medium density housing at a R40 density.

Building to plate height is required prior to further subdivision of the terraces to ensure a coordinated product. Some staging of this requirement may be permitted provided the applicant can show how a coordinated result that fully complies with the requirements of the ODP, Residential Design Codes and Design Guidelines can be achieved.



SCALE 1:1000

	DEVELOPMENT EXCLUSION ZONE		3 LEVEL BUILDING ENVELOPE		PREFERRED OUTDOOR LIVING AREA LOCATION		INDICATIVE PARKING		UNIFORM FENCING
	SPLIT LEVEL BUILDING ENVELOPE SEE RELEVANT SECTIONS FOR DETAILS		4 LEVEL BUILDING ENVELOPE		CROSSOVER		PATH WAYS		SETBACKS 0m
	2 LEVEL BUILDING ENVELOPE		HIGH FIRE DANGER ZONE BUILDINGS & CONSTRUCTIONS TO COMPLY WITH AS 3959		ROAD		PARKS & OPEN SPACE & BUSHLAND		2m MIN, AVERAGE 4m, GARAGES 5m
									4m
									6m MINIMUM

Figure 4.2. Excerpt from Detailed Area Plans for Village Centre Precinct (H+H Architects)

Medium Density Dwellings

The predominant land use for the housing at the eastern end of the Village Centre will be medium density housing at R30 density. These lots are to be ‘rear loaded’ from a centrally located shared laneway.



Figure 4.3. Medium density housing with good solar orientation in Village Centre & Terraces Precinct (H+H Architects & Malone Design)

4.2.2.2 Village Centre - Built Form

The Village Centre character will be determined by the apartment buildings’ form. These will be three to four storeys, with a maximum wall height of 13m and 15m for the roof, with high density residential units situated along the southern side of the precinct.

Along the northern side of the precinct will be two storey terraced housing.

The multi storey apartment buildings will be the iconic buildings for the whole development and as such will need to be extremely high quality designs. The buildings will be mixed use with commercial on the ground floor and residential above. The ground floor commercial spaces will need to incorporate alfresco areas that take advantage of the Albany climate.

The materials used in the Village Centre precinct will reflect the prominent nature of the lot, and will need to be selected to reduce the visual bulk of the buildings. It is envisaged that due to the commercial nature of the precinct and the potential views from the upper levels that glass will be a prominent material in this precinct.

The roof forms of the multi storey buildings and precincts will be designed to break up the bulk of the buildings and minimise the visual impact.

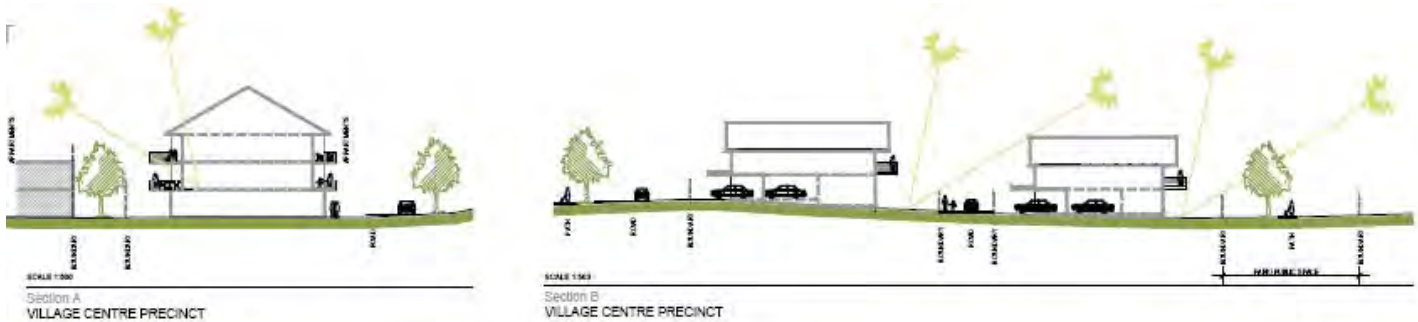


Figure 4.4 Cross sections of the Apartment and terrace buildings showing the vertical building envelopes (H+H Architects)

4.2.2.3 Village Centre - Public Space/Landscaping

The landscape in this precinct will be more ‘urban’ in character, comprising more formal boulevards, hard paved areas, furniture and built forms (such as low sitting walls) than in other precincts within the development. This reflects higher pedestrian intensity and use levels, and will complement the denser built form character of the precinct.

Landscaping and urban design will also be used to provide pedestrian amenity (shade, detail, comfort), give cues to motorists to moderate speeds, support community interaction and encourage walking/cycling. Car parking areas will also be softened with landscaping to provide shade, reduce reflective heat, assist with stormwater management and visually soften large paved areas.

As this precinct is also at a major gateway to the development, the landscape facing Griffiths Street will be of a high quality.

On-street parking will be provided to support future commercial tenancies on the ground floor of the apartment buildings as depicted on the ODP (refer to Appendix 1).

A community garden is proposed in a centrally located position within the terraces to act as a meeting place and a place for local residents to grow their own food. This is provided to balance the lesser private open space available at the higher densities in this precinct. The Village Centre is also adjacent to a large reserve, further discussed in section 4.4.2.1.



The easternmost medium density units are serviced by a shared laneway designed as a slow speed environment, making through traffic impractical. Narrow, low speed lanes are provided to facilitate rubbish truck egress and fire emergency vehicle access only.



Plate 21 – Public space will be more ‘urban’ in character in the Village Centre

4.2.3 Beach-side Precinct

Medium density housing in this location allows for local residents to be within walking distance of the Village Centre and the beach and to take advantage of the amenity provided by the surrounding POS. The R30 density in this location will support the potential commercial uses within the Village Centre assisting its long term viability.

Providing opportunities for medium density in the Emu Point development helps maintain a reasonable population whilst minimising the development footprint.

Development has been backed onto the existing residential area in order to remove the currently poorly maintained interface with the surrounding bushland, improve fire management and integrate the existing development into the new development.

Landscaped buffers to the existing residential areas have been included within the widened laneways and in development exclusion areas. These buffers will include retention of existing vegetation wherever possible.



4.2.3.1 Beach-side - Land Use

The predominant land use in this precinct will be R30 density residential development, guided by the R-Codes and Building Design Guidelines, which will be formally adopted as a Local Planning Policy under the TPS 1A.

An 8m landscaped rear setback from the rear boundary of dwellings facing north east will be required as shown on the ODP at **Appendix 1**. Retention of existing good quality vegetation and additional planting with trees that will grow higher than 3m within this landscaping strip will be promoted in this precinct.

Uniform fencing at the time of subdivision along the common boundary with the existing residents will be required.

Uniform, permeable fencing and potentially a low retaining wall should be installed where the medium density housing abuts the POS corridor at the time of subdivision to ensure adequate separation of public and private spaces.

No vehicular access is permitted from the existing residential lots to the laneway to retain the landscape strip.

No buildings are permitted within the identified landscaping strip at the rear of the lots facing north east.



Figure 4.5. Medium density housing separated from existing residential area with good solar access, passive surveillance of both the adjacent POS & rear street. (H+H Architects & Malone Design)

4.2.3.2 Beach-side - Built Form

The built form of the beachside precinct will reflect medium density residential development.

The dwellings will generally be two storeys high and situated at the front edge of the lots to maximise surveillance of surrounding public space and reduce building bulk on the existing residential area.

The ‘laneway’ lots will have garaging facing onto the laneway and a requirement for habitable space within the building envelope to provide surveillance of the laneway.

Living rooms and private open space will be orientated to the north to maximise access to northern light, passive surveillance of the POS corridor and further limit the potential for privacy conflicts with the existing residential area.

Buildings backing onto Hope Street will have their private indoor and outdoor living areas orientated to the public open space to provide surveillance of this public space.

The roof forms of the dwellings will be predominantly orientated north south to provide a consistent design aesthetic to the streetscape and will be designed to allow the installation of photovoltaic cells and solar hot water units.

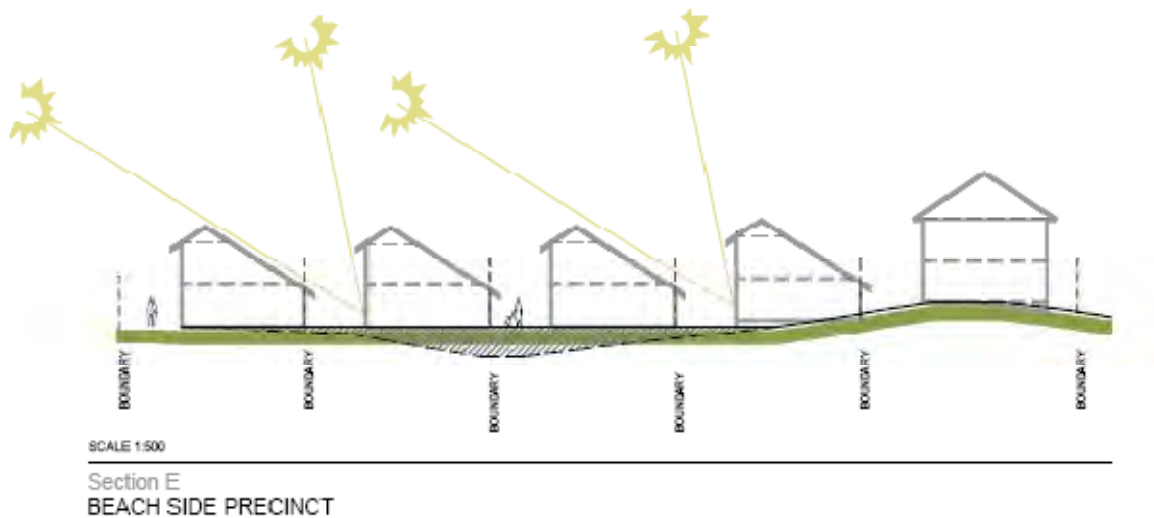


Figure 4.6 - Cross sections of dwellings showing vertical building envelopes ensuring access to northern light. (H+H Architects)

4.2.3.3 Beach-side - Public Space/Landscaping

This precinct is adjacent to an older residential development but also fronts onto bushland and POS so it will need to provide a transition between the new and old communities. The landscape will include formal elements such as street tree avenues as is consistent with residential streetscapes and will utilize species that complement the adjacent bushland so as to soften the edge between housing and POS / reserves.

Landscaping and urban design will encourage slower vehicle speeds and support walkability.

Griffiths Street is extended and connected back into the remainder of the development.

Hope Street is only connected via a trail to retain the privacy and some exclusivity for the existing residents within Hope Street.

A narrow width road reserve separates medium density dwellings facing north toward the Village Centre from the existing residential area. This area is to be landscaped along the rear boundaries of the existing residents using local endemic species. A slow speed environment with on-street parking and limited through traffic is proposed.

A site has been identified as a future lease area for a cafe on the shared path should demand arise. This area is already in a slightly degraded state.

4.2.4 Single House Precinct

Single houses at R20 density are located on the flatter, less densely vegetated portions of the site. This precinct has aspect onto the surrounding reserves and is well linked through a network of walking trails with the surrounding reserves and the Village Centre.

The Albany market is currently dominated by lots between 500m² and 600m². These lots are intended to provide lots to satisfy this market and contribute to the variety in lot sizes throughout the development.

4.2.4.1 Single House - Land Use

The predominant land use will be R20 density residential development, guided by the R-Codes and Design Guidelines, to be formally adopted as a Local Planning Policy under the TPS 1A.

Existing vegetation will be retained wherever possible. A Construction Management Plan (CMP) will be provided with all applications that stipulates what vegetation will be retained as part of the development.

Uniform permeable fencing is required at the time of subdivision where lots face directly onto POS.

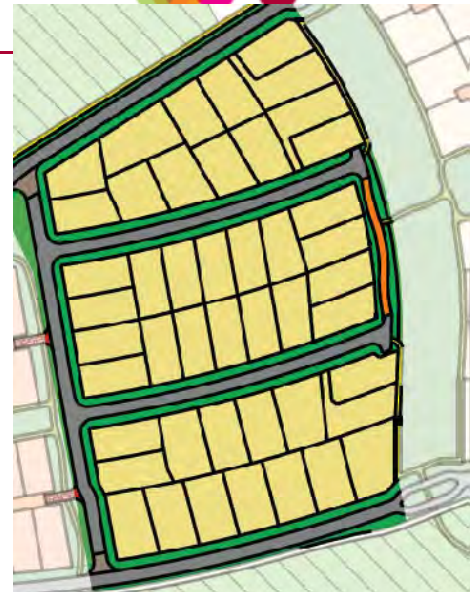


Figure 4.7. Single Houses featuring native, water-wise gardens and good solar orientation at the R20 density in the Single House Precinct (H+H Architects & Malone Design)

4.2.4.2 Single House - Built Form

The R20 density portion of the development should be designed to be a contemporary response to the existing site and coastal nature of the development.

The dwellings will provide a mixture of single and two storey houses. The building envelopes on the lots will be restricted to ensure that sufficient vegetation can be retained.

The dwellings will be designed with the natural fall on the site to minimise the cut and fill requirements. This may require split level designs or framed construction.

The dwellings will have contemporary roof forms, designed to accommodate maximum natural light and ventilation in the buildings, along with controlled solar access to provide passive solar heating when required. The roof forms will require an area of north facing roof to allow the installation of photovoltaic cells and solar water heating units.



Figure 4.8 Cross sections in the Single House precinct showing the space and access to natural light (H+H Architects)

4.2.4.3 Single House – Public Space/Landscaping

The development is set in a wonderful bushland environment and community feedback has indicated that there is a call for a residential character quite different from the usual suburban subdivision which often sells as a bare block dominated by retaining walls and turfed verge. There is an opportunity in this precinct to respond to the site’s topography, and move away from lawn verges to verges planted with low growing native species and street tree avenues that in time will create leafy home addresses with a distinctly Albany coastal character.

In addition, where possible, existing mature trees will be retained and protected during construction so as to build a character of an established residential street and create landscape connections back to the existing bushland. Details such as shared driveways, local colour and material palettes and suggestions for managing weedy species will aim to result in a residential character that respects the surrounding environment and creates a housing choice not available elsewhere in Albany.

Within this precinct, low speed roads are linked by a winding paved laneway to provide increased permeability and rubbish truck servicing. Roads have been aligned with the low points in the landscape to reduce earthworks and assist drainage.

4.2.5 Cluster Housing Precinct

This precinct is characterised by the steeper sloping land, areas of higher quality vegetation and higher fire risk.

The residential lots have been clustered, allowing access ways to be shared, minimising the need for clearing vegetation and reducing the length of road to be constructed.

The clustered lots may be developed as grouped dwelling sites or single houses but in a manner that responds to the topography and retains vegetation.

Access ways have been aligned with the low points in the landscape to minimise earthworks and accommodate drainage requirements.



4.2.5.1 Cluster Housing - Land Use

Single houses and grouped dwellings at the R20 density guided by the R-Codes and Design Guidelines to be formally adopted as a Local Planning Policy under the TPS 1A.

Subdivision or grouped dwelling applications are required to demonstrate how the proposal retains quality natural vegetation and the natural topography of the site.

Existing vegetation is to be retained wherever possible. A Construction Management Plan is to be provided with all applications that stipulates what vegetation is to be retained as part of the development.

A minimum 6.0m front setback (no averaging) to the external road around the eastern edge of the development will be required for fire management purposes in the areas shown on the ODP.

Construction in accordance with the requirement of Australian Standard 3959 will be required on those lots identified on the ODP for fire management purposes.

Uniform permeable fencing is to be provided at the time of subdivision where lots face directly onto POS.



Figure 4.9. Single Houses or grouped dwellings developed to respond to the natural topography with high levels of passive surveillance and water-wise, native gardens in the Cluster Precinct (H+H Architects & Malone Design)

4.2.5.2 Cluster Housing - Built Form

This precinct will consist of one and two storey houses constructed to accommodate the natural falls across the site. Retaining on the sites will be limited to the level permitted by the City’s ‘Sloping Land’ policy and houses will need to be designed as framed construction or split level.

As these houses are surrounded by the natural bush corridors at the eastern end of the site they will need to be designed to be viewed in the round with indoor and outdoor living spaces that take advantage of the adjacent natural bush.

Materials will need to be consistent across each cluster and should reflect the unique position of these houses.

Fencing in the cluster housing precinct will be minimal and should be designed to contribute to the open nature of this section of the development.

The cluster units and the freehold dwellings in this precinct will be designed to be viewed in the round due to the public spaces between and around these dwellings.

Where single lots are developed as part of the subdivision process the specific requirements of a Detailed Area Plans will control development. However, the cluster precinct may be subdivided in such a manner as to create a series of development sites with development potential for 4-6 grouped dwellings. In this case, any grouped dwelling application should clearly describe how the principles espoused in the Design Guidelines have been met rather than prescriptively applying a Detailed Area Plan. This is to allow grouped dwellings to flexibly develop in a manner the responds to the natural topography and retains vegetation.



Plate 22 – Cluster Housing in a natural setting

4.2.5.3 Cluster Housing - Public Space/Landscaping

This precinct has been located in an area of high landscape value and positioned so as to ‘nestle’ into the topography as much as possible. ‘Green spines’ of existing vegetation frame the clusters and will provide habitat, movement corridors and bushland linkages with the surrounding reserves.

The opportunity with the development of these homes in sets of 7 to 9 is to create an almost seamless interface between the private and public landscape, reflecting the importance placed on bushland and habitat in the public spaces of this precinct.

Details such as typical garden set-outs, fencing options and weed management will illustrate the potential for these lots to become ‘eco-clusters’, providing home buyers with a unique opportunity to live in a manageable naturalistic setting within minutes of a regional city. A landscaped activity node set within this precinct will create a destination point along link trails, helping to provide passive surveillance and a meeting place for the new community.

Trails have been provided in the habitat corridors to allow people to move through the development whilst minimising the number of road crossings required.

Existing vegetation will be retained in the ‘bushland corridors’ and supplemented with additional planting at the time of subdivision. Low maintenance design will be promoted in all public spaces as illustrated in the Landscape Master Plan (refer to **Appendix 13**). Alternative mechanisms may need to be established to reduce the long term maintenance costs to the City such as a specified area rate for the ODP area.

4.2.6 Griffiths Street Beachfront

The Griffiths Street beachfront is situated between Ellen Cove and Emu Point and is a natural destination for those either walking the local path network or along the beach.

This area is identified as the area that may be considered for future infrastructure, in consultation with the local community and the City of Albany. The Griffiths Street beach access point is acknowledged in the draft Ellen Cove to Emu Point Foreshore Management Plan as an existing path to the beach.

Griffiths Street has been steadily increasing in popularity as a beach access point for the last decade. It has reached a point now where the parking availability during hot summer weekends is congested. The Emu Point development will bring additional pressures to this parking node and this area may need additional infrastructure in the future.

Additionally, horse use of this access point has been increasing, especially in the last year following the closure of the Albany foreshore area to horses. Trucks and horse floats have started to use the area and horses exercising on the beach has continued. The City of Albany recently created a horse track down the southern edge of Griffiths Street, but local residents have stated that this is not being used.

Proposed Improvements

LandCorp have provided for the redevelopment of the Griffiths Street road reserve as part of the development works associated with the ODP. The following actions are proposed:

- Reducing the Griffiths Street road pavement width to 6.0m;
- Formalising parking bays;
- Modifying materials at the ends of the road to add ‘visual friction’ to slow traffic;
- Separating the shared path from the road and parking bays;
- Improving the existing beach access points to prevent sand blowing back into residential areas during summer easterlies;
- Protecting and retaining the existing native vegetation and dunes; and
- Not intruding any further towards the existing dwellings whilst planting new street trees and bollarding (if desired).

The list above has been provided as the actions required to improve the existing situation in Griffiths Street. These may be implemented in a number of ways, therefore any design and improvements planned for Griffiths Street should be prepared in consultation with the local residents and beach users. An indicative plan is provided below to show one way in which the area could be upgraded (refer to **Figure XX**).

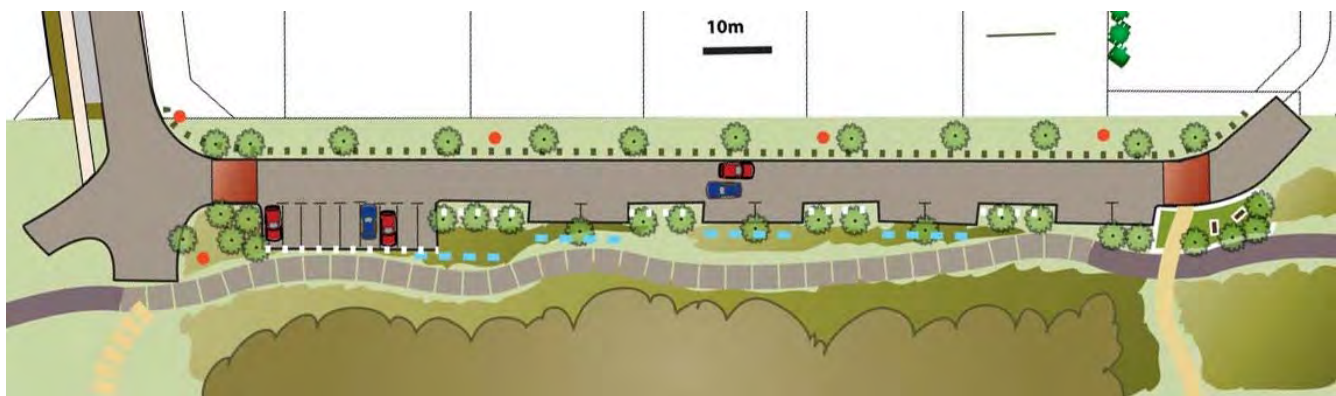


Figure 4.10: Indicative design for the Griffith Street redevelopment.

The area at the eastern end of Griffiths Street has been identified as a potential place for a cafe should demand in this locality be generated at some time in the future. A nominal lease area has been shown to establish this site for alternative uses when the management order is drafted for the reserve in the location.

There are a number of issues that have been identified during the development of the ODP that would remain the City of Albany's responsibility. The City of Albany may need to consider the provision of the following public amenities (consistent with their draft Ellen Cove to Emu Point Foreshore Management Plan) sometime in the future:

- Provision of public toilets, a beach shower, barbeques, picnic tables and even swing sets. Additional, separate horse parking facilities, if horses are to continue to use Griffiths Street beach access; and
- Consider changes to the horse access track located beside Griffiths Street as it is currently not being used.

4.3 Public Open Space (POS)

This ODP proposes to retain approximately 60% of the site as POS. The focus of this development is to reduce the development footprint on the site and this has been achieved by securing large areas of the site for POS. The ODP seeks to achieve a type of development that relates to and is inspired by the surrounding existing bushland setting and natural coastal environment.

4.3.1 Public Open Space Allocation

As identified above, the ODP proposes to retain approximately 60% of the site as POS. This POS will perform different functions as part of the greater development. The greater part of the site will be retained as natural bushland. Several small portions of the POS will provide some active open space opportunities for residents and visitors whilst the ‘bushland corridors’ will retain bushland and serve to provide the setting for sustainable housing and serve a role as a pedestrian access way.

The amount and nature of the POS on the site reinforces the objectives of the development to provide a sustainable development in a bushland and coastal setting. **Table 2** provides a breakdown of the various POS requirements for the whole development.

POS Requirements for the Development	Area	Percentage of Development
Site Area	33.1796ha	100%
‘External’ POS		
Retained Bushland and Reserves	16.7836ha	50.58%
‘Internal’ POS		
Bushland Corridors	2.1336ha	6.43%
Bushland Nodes	0.1019ha	0.31%
Village Centre Park	0.6733ha	2.03%
Hazard Separation Zone	0.6090ha	1.83%
Total ‘Internal’ POS	3.5178ha	10.6%
TOTAL PUBLIC OPEN SPACE	20.3014ha	61.18%
Development footprint 133 residential lots plus roads	12.88ha	38.82%
POS Breakdown		Percentage of POS
Active Open Space	0.7752ha	4%
Hazard Separation Zone (modified landscape)	0.6090ha	3%
Passive Open Space	18.9172ha	93%

Table 3 – POS Schedule

Large areas of retained bushland will be improved through selective revegetation and weed removal to secure a large proportion of the site in its natural state. This retains a large percentage of the quality bushland and habitat on the site. It also sets the tone of the nature of the future development of the site encouraging a residential development in a bushland setting.

Smaller, selected areas of Active Open Space are provided at either end of the development to provide places within acceptable walking distances for the local residents. These spaces are not intended as ovals but could have swing sets, picnic tables and will act as places where the local community can meet.

This balance of Active versus Passive Open Space provides opportunities for the retention of quality bushland whilst enabling future residents to recreate in close proximity of their residence. Large areas of Active Open Space have not been provided as Middleton Beach serves this role.



Figure 4.11: Open Space within and around the ODP

More detailed explanation of each of the individual POS areas are explored in the remainder of this section.



4.3.2 Internal POS Network

4.3.2.1 Village Centre Park.

The Village Centre Park will be bound by the highest density area of the development and will act as a breakout area for residents and their visitors. It will also serve as a potential picnic area, should a café/deli open adjacent. As such it will have a fairly active use level, and be characterised by a mixture of turfed areas under retained trees and managed bushland. The end of the park fronting Griffiths Street will act as a gateway to the community and will need to be of a high visual quality. The Village Centre Park has a low ridge running through its centre and this will be used as a feature and an asset. Park furniture and special elements, such as a look-out tower and play equipment, will also be considered.



The potential for space within this park to be used for environmental and sustainable development education is explored in the Landscape Master Plan.

4.3.2.2 Bushland Nodes

With nearly 60% of the site being retained for open space and most of that as bushland, there is ample Passive Open Space provision within the whole development. However a balance of Active Open Space areas will need to be provided for community interaction and places to recreate.

Two nodes are proposed to support community interaction and provide more formal landscapes at key points in bushland areas.

The first node is central to four Cluster groups at the junction of access trails. This POS is intended as a mini ‘Eco-Park’ with elements such as bush tucker gardens, possum and bird nest boxes, a lookout on the high point (8.5m), resting benches for walkers and community artwork opportunities.



A Node such as this plays an important role in supporting neighbourly interaction, passive surveillance and education on bush care. Additionally, in this section of the development residents are at the limit of a typical ‘ped-shed’ of 400m from the main active POS at Griffiths St, hence a second local POS is recommended.

A second node is provided between the trailheads to the beach. This will accommodate a small turfed area with facilities such as play equipment, park furniture, a tap for washing sandy feet and perhaps community artwork. This node will also act as a ‘bumping zone’ where residents can meet and interact.

4.3.2.3 *Bushland Corridors*

‘Bushland corridors’ have been created within the development for a variety of purposes including:

- Habitat provision;
- Safe pedestrian links;
- Landscaped buffers;
- Service provision;
- Drainage infrastructure (where required); and
- Providing a bushland setting for residential development adjacent.

Retained ‘bushland corridors’ draw the character of the surrounding reserves into the Cluster Home Precinct area and play a role in habitat protection. These corridors will need to be managed for fire, weed invasion and degradation from informal tracks so as to conserve their value as much as possible. Existing vegetation will be protected during house and road construction. The ideal situation will be one where adjacent residents and community take ownership of the management and protection of these areas as key assets for their enjoyment and land values.



The landscaped strip at the rear of the Hope Street residential area will need to be rehabilitated and is provided as a nature corridor and a visual screen.

As they are public spaces, alternative mechanisms may need to be established to reduce the long term costs to the City and ensure adequate maintenance, a ‘Specified Area Rate’ for the ODP area is one mechanism.



Plate 23 – *Bushland Corridors provide a safe pedestrian environment and serve an ecological corridors.*

4.3.2.4 Hazard Separation Zone (HSZ)

The Hazard Separation Zone (HSZ) is a modified landscape provided to manage the fire hazard presented by the adjacent bushland. The HSZ includes the following components:

- Retention of existing larger trees;
- Introducing fire retardant native plants;
- Road-side drainage swales;
- Rock mulching (where necessary); and
- Edging this area with the shared path wherever practical.



The HSZ has been included in a 26m wide road reserve and will be managed into the future as part of this reserve network. Low maintenance species and treatments will be utilised in this area to ensure that the fire management regime required as part of the Fire Management Plan is simple and cost effective to maintain. The Landscaping Master Plan and Fire Management Plan (refer to **Appendix 13** and **Appendix 14** respectively) deal in more detail with the development of the HSZ.

4.3.3 External POS Network

4.3.3.1 Retained Bushland and Reserves

The large area of bushland between the development footprint and the existing foreshore reserve and an area reserved as an ecological corridor along the eastern side of the site are to be retained (as far as practical) in their natural state and reserved for conservation purposes.

A Weed Management Strategy will be devised and implemented as a condition of subdivision that will further improve the quality of vegetation in these reserves.

These areas will be protected during the construction phase and managed as undeveloped bushland (refer to **Section 4.6**). A key element in their protection will be the construction of formal pedestrian access routes to the beachfront to discourage informal trails being pushed through the bush and over fragile foredunes. Look-out towers may be provided at high points near trails if these can be shown to provide ocean views and are of benefit to the community.

Wherever practical, footpaths for beach access will utilise existing cleared trails. Where these trails are not used they are to be revegetated.

An ecological corridor or greenway is proposed along the eastern edge of the site linking the Middleton Beach foreshore reserve with the Boronia Reserve to the north of Emu Point Drive. These ecological corridors are supported by the City of Albany Greenways Plan.

This ecological corridor represents both Peppermint thicket and Sheoak/Banksia woodland vegetation types.

There are two east-west ecological corridors linking the ‘retained bushland’ within the site to the golf driving range:

- In front of the Village Centre that runs along an existing vegetated ridgeline; and
- The existing “Parks and Recreation” area adjacent to Emu Point Drive.

Vegetation will be retained within these ecological corridors wherever possible. The ecological corridor adjacent to Emu Point Drive will be revegetated as part of the Visual Impact Assessment and Landscaping Master Plans (refer to **Appendix 11** and **13** respectively).



4.3.3.2 Middleton Beach

The beach essentially functions as a large active recreation POS and will be a key destination for the majority of residents. As noted in **Section 4.5.1**, provision of carefully located formal pedestrian paths to the beach will be essential for easy access and dunal protection. Structures such as steps and boardwalks at the fore dune may be considered where these will help prevent dunal erosion and provide amenity for beach users (i.e. benches).

Any existing beach access points will be utilised in accordance with the requirements of the draft Ellen Cove to Emu Point Foreshore Management Plan.

4.4 Road Layout

4.4.1 Internal Road Network

The internal road network for the development has been designed to align with topographical features of the site and minimize any potential environmental and landscaping impacts on the site and surrounding area.

All lots within the development will be serviced by sealed roads, with road widths varying from 6 metres wide for the main routes, 5.5m wide for lesser roads, 4.5m wide for cul-de-sac links and 4 m for battleaxe driveways to the cluster lots. Parking bays will be provided at selected locations throughout the development, with particular attention to the higher density areas and public access points.

Due to the relatively low traffic numbers the road hierarchy is restricted to local access ways. The traffic environment created within the development will be generally lower than 40km/hr.

Although all roads are identified as ‘Access Streets’, the development has one main access street running through the middle of the development, connecting Emu Point Drive and Griffiths Street. A number of traffic calming measures are proposed to ensure a slow speed environment throughout the development including on-street parking, round-a-bouts and large median islands.

Another access street runs around the eastern end of the development. The road reserve is 26m wide in this area in order to accommodate the requirements of Planning for Bushfire’s legislation, road-side drainage swales, large median islands and a shared path. A typical cross section for a portion of this road is shown below:

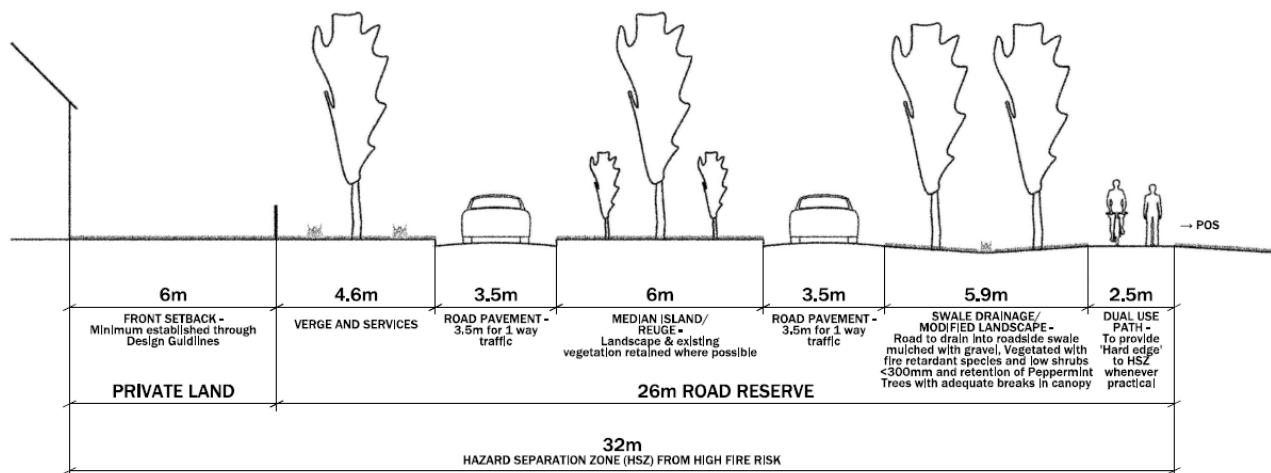


Figure 4.12: Indicative cross section of the access street at the eastern edge of the development footprint.

A narrow 4.5m wide road with flush kerbing adjacent to the existing residential area is proposed. This is considered to be a “Special Purpose Street” by Liveable Neighbourhoods and will be designed to suit its purpose.

This road has been kept narrow to ensure slow traffic speeds, providing just enough space for two cars to pass. The overriding intent is to ensure a wide landscaping strip is established adjacent to the existing residential area. This road has limited on street parking, providing for visitor bays only. The design of this road is to compliment the Design Guidelines and Detailed Area Plan for the adjacent new ‘beach-side’ residential precinct.

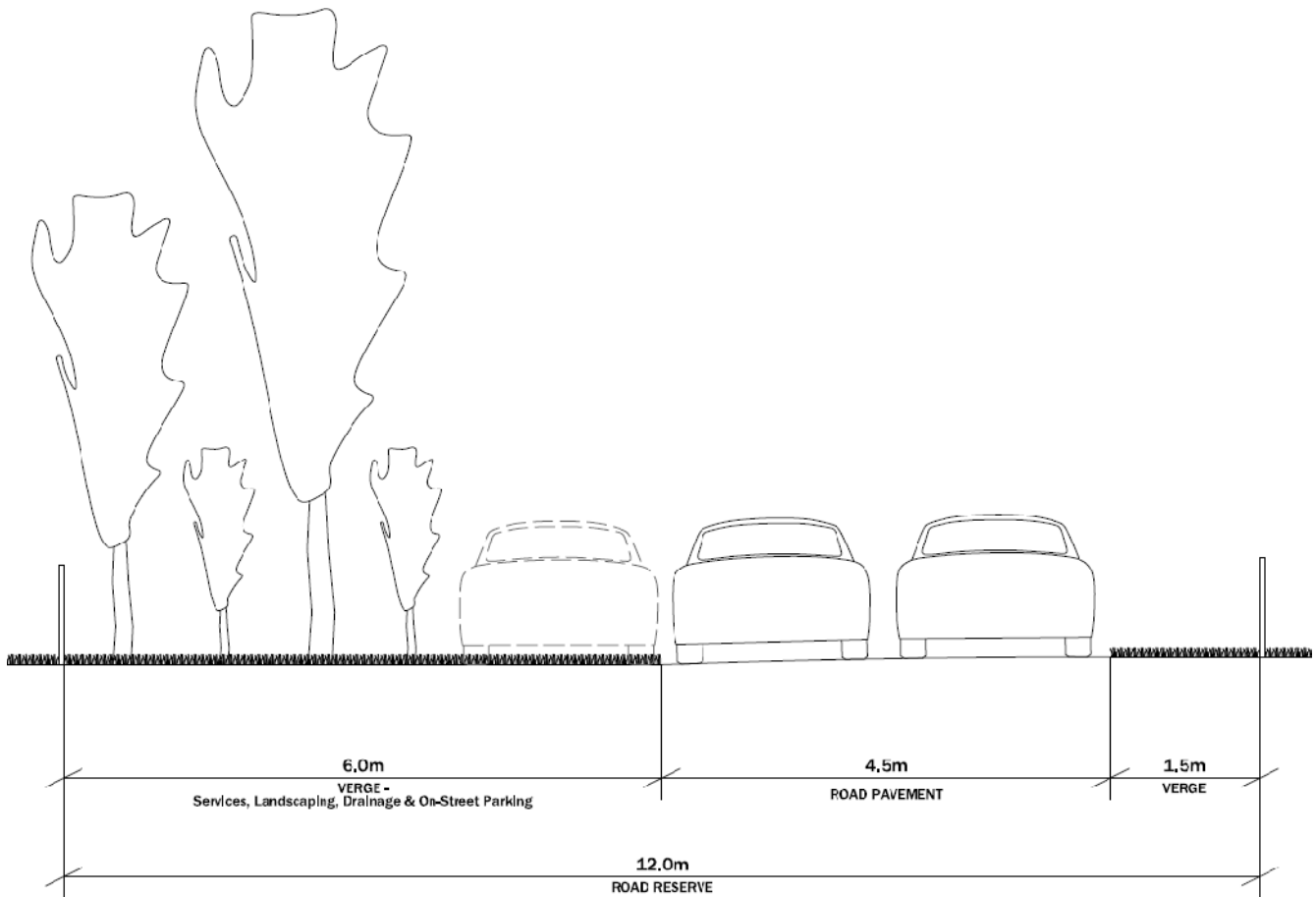


Figure 4.13: Indicative cross section of the one way road backing onto the existing residential area.

All other roads within the development are access streets. Typically there are two types of road reserves. These road are standard 15m wide road reserves for internal streets and road reserves that are located adjacent to POS. These are of a lesser width to encourage slow speeds and reduce the separation between dwellings and POS for greater passive surveillance opportunities.

Typical road reserve cross sections for these two access streets are shown below:

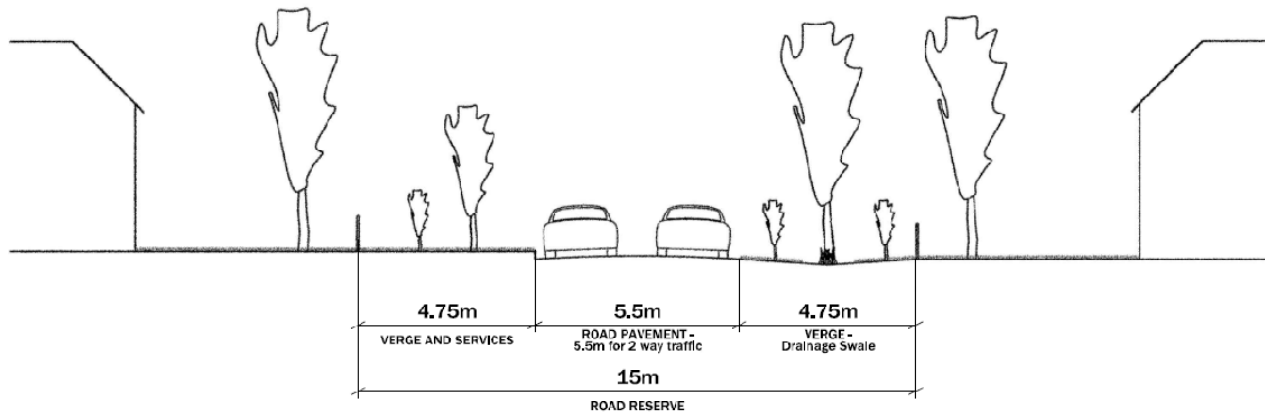


Figure 4.14: Cross section for typical internal 15m road reserve for access streets.

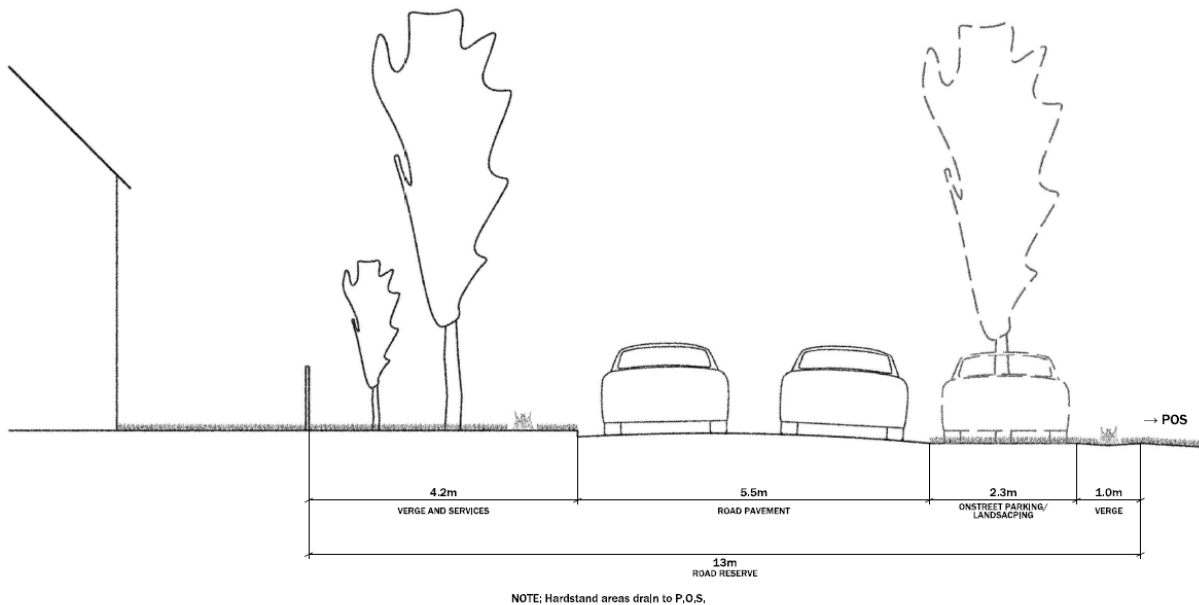


Figure 4.15: Cross section for typical road reserve for access streets facing POS

According to the traffic assessment report (Wood & Grieve 2009), the development itself will not generate any significant internal traffic movements. This is due to the lack of destinations (e.g. shopping areas, recreational area). The close proximity of the beach will also minimise car movements to Griffiths Street and promote walkability within the development area. As such it is expected that there will be little or no change to the traffic volumes in the existing residential area around Hope Street, due to this development.

The speed limit for the internal road network will be designed for a maximum of 50kph, with likely speeds below 40kph.

A detailed traffic assessment has been completed to address all aspect of the traffic generated by the development and a copy of this report is provided in **Appendix 15**.

4.4.2 External Road Network

Traffic counts undertaken along Emu Point Drive (between Griffiths and Troode Streets) in late 2009, indicate that there has been a 3% per annum growth in traffic volume since 2002, with the current vehicle per day (vpd) equating to 2,777 vpd. It is estimated that by 2022 that 3,960 vpd are predicted traffic volumes for Emu Point without the development, as opposed to 5,420 vpd with the development.

The initial traffic assessment acknowledges that the additional traffic volumes generated from the development on Emu Point Drive and surrounding road networks will not necessitate any future upgrading beyond what is already required within the existing Emu Point area.

Future traffic management measures for right turn movements from Emu Point Drive into Griffiths Street and the new development entry will require the accommodation of the following:

- Griffiths Street - Passing bulge with right turn pocket (line marked); and
- New Entry - Passing bulge with no turning pockets.

Although vehicular speed along Emu Point Drive is unlikely to impact on the development itself, the current 80km/hr speed limit should be reviewed with the proposed increase in traffic numbers. There should also be consideration given for the provision of round-a-bouts at the intersections in lieu of the abovementioned traffic management measures.

The first 100m of Griffiths Street may be narrowed or have a median strip introduced to control parking and traffic movements within this area.

4.5 Pedestrian and Cycling Network

The pedestrian and cycle network fits within a larger picture guided by the City of Albany Trails Master Plan. Additionally, the Kinjarling Trail Project is being developed and will incorporate indigenous aspects into trails extending from Upper Kalgan to Goode Beach. The site has potential to be incorporated into this Trail and provide an interactive destination.

The pedestrian and cycling networks double as a landscape tool for buffering the development for fire management purposes and also buffers the bushland from residential gardens for weed control.

4.5.1 Internal Pedestrian Network

The footpath network encourages convenient and safe pedestrian movement with a high degree of separation between vehicles and pedestrians.

The development footprint concentrates residential densities around the Village Centre. 80% of lots within the development area are within the recommended 400m of the Village Centre, far in excess of the Liveable Neighbourhoods recommendation of 60%.

Within the nominal 400m “ped-shed circle” the actual percentage of dwellings with a 400m walkable catchment is 94% (refer to **Figure 4.16**). This percentage is considered a very high level of permeability indicating a high standard of walkability within the overall design.

The cluster lots at the eastern end of the development are outside of the 400m “ped-shed” but are well connected to the Village Centre through a safe and separated network of paths.

The walking trails and footpaths indicated on the ODP are proposed to be a mix of paved footpaths and informal, limestone reinforced trails (as appropriate). The strategic firebreak path heading east of the development is required to be stabilised and accessible via 2 wheel drive vehicles.



Figure 4.16: “Ped-Shed” to Village Centre

4.5.2 Shared Path System

The site is well serviced by the existing shared path system along Middleton Beach linking Ellen Cove and Emu Point and several shared paths linking the site to the north.

The proposed shared paths complete the existing shared path network in this locality providing links for residents to the existing network and providing links through the site for external users.

The proposed shared paths also serve to define the edge of the road reserve system and HSZ required for fire management and conservation purposes.

These paths will be provided at 2.5m wide and will be separated from the road pavement in every instance for safety.



4.5.3 Shared Path & Trail Entry Points and Road Crossing Points

Landscaped median islands have been recommended at junction points to assist pedestrians and cyclists to cross roads and create ‘friction’ on straight road alignments to help moderate vehicle speeds. Planting will be designed to ensure visibility.

The island is to be a minimum of 6m in width in order to contain enough vegetation effectively function as a wildlife refuge.

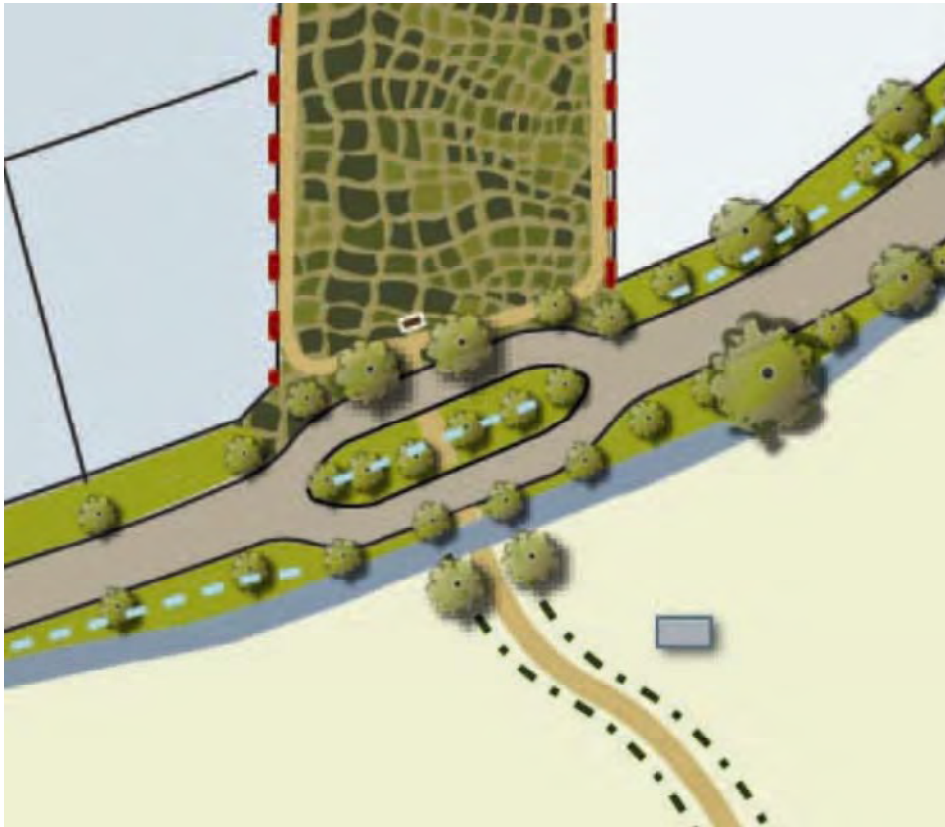


Figure 4.17: An example of a landscaped median island and road crossing

4.6 Environmental Considerations

As detailed in section 2.2 of this document a Public Environmental Review (PER) document has been prepared and lodged with the Environmental Protection Authority (EPA).

A number of the recommendations and actions within the PER will be enforced through the environmental legislation in processes separate to this ODP. However, the major actions and recommendations of the PER are detailed in the following sections where they can be enforced through the ODP or at the subdivision stage of the development.

A summary of the environmental factors and their proposed management is provided in section 10 of the PER documentation “Summary of Environmental Factors and Management”; this is provided at **Appendix 16**.

Note: Many parts of section 4.6 below freely quote the PER documentation in order to maintain consistency between the documents.

4.6.1 Flora Management

The ODP design has incorporated a number of features to retain, enhance and conserve the flora and vegetation on site. The design features include:

- Preservation of fauna corridors that to link the site to surrounding areas of native vegetation;
- The landowner plans to submit a re-zoning application under the TPS 1A to re-zone areas outside of the development footprint on site as ‘Parks and Recreation’. The ownership of this land will be transferred to the local government authority, with a management plan for its long term care. Additionally, it is recommended that once rezoned, the process to identify the land as a “Class A” reservation is commenced. The total area to be reserved for conservation purposes is approximately 25.1 ha. The rezoning, transfer of ownership and the identification of these areas as a ‘Class A’ reserve will facilitate the maintenance of these areas in perpetuity;
- Approximately, 0.48 ha of existing walking path is proposed for rehabilitation with local native species. In addition, approximately, 2.29 ha of native vegetation will be planted and maintained in road verges and islands; and
- Approximately, 0.31 ha of degraded vegetation at the north of the site will be rehabilitated with local native species.

Management and protection of flora and vegetation for the subdivision phase of the development will be addressed through the implementation of a Construction Environmental Management Plan (CEMP). The ongoing management of the site shall be controlled through the implementation of an Environmental Management Plan (EMP). Both the CEMP and the EMP will be required as a condition of subdivision and are provided as part of the proponent's environmental commitments to demonstrate their duty of care to the environment under the Environmental Protection Act.

The following management controls will be incorporated into the CEMP & EMP and implemented to minimise impacts on flora and vegetation:

- Vegetation clearing controls will be developed;
- Clearing will be minimised as far as practicable;
- Conservation significant flora will be avoided where possible. If impact is unavoidable, these plants will be re-established, within revegetation areas of the site;
- Topsoil will be stockpiled and used for rehabilitation (taking into account Dieback hygiene measures);
- Seed collection from the site will be undertaken early in the development process to allow propagation of local plants for use throughout the development area;
- Areas identified for rehabilitation will be revegetated using locally occurring species and will be managed to prevent the spread of weeds and Dieback (refer to **Sections 4.6.5** and **4.6.8**);
- Beach access tracks will be fenced to prevent uncontrolled access to dune areas; and
- The development will be subject to an adequate coastal setback to minimise erosion and disturbance to foreshore and dune vegetation.

4.6.2 Fauna Management

The ODP design has incorporated a number of features to reduce the impact of development on the native fauna. The design features include:

- Fauna corridors will be retained to link the site to surrounding areas of native vegetation. These corridors will provide habitat linkage on a local and regional scale. The site will maintain existing connections to surrounding habitat, facilitate genetic transfer for fauna on site (in particular Western Ringtail Possums (WRPs)) and in general allows for the movement of fauna regionally;
- Approximately 79% of Peppermint Closed Thicket habitat on the site will be retained. This means the majority of habitat that is preferred by Quendas and WRPs is retained;
- Within the development footprint, approximately 3.1 ha will be rehabilitated or landscaped with plant species native to the site. This will include *Banksia* sp. (*Banksia ilicifolia* and *Banksia attenuata*) and *Hakea* sp, the seeds of which are a preferred food for White-tailed Black Cockatoos and Peppermint trees which are preferred by WRPs for dreys and as a food source; and
- The landowner plans to submit a re-zoning application under the TPS 1A to re-zone areas outside of the development footprint on site as 'Parks and Recreation'. The ownership of this land will be transferred to the local government authority, with a management plan for its long term care. Additionally, it is recommended that once rezoned, the process to identify the land as a "Class A" reservation is commenced. The total area to be reserved for conservation purposes is approximately 25.1 ha. The rezoning, transfer of ownership and the identification of these areas as a 'Class A' reserve will facilitate the maintenance of these areas in perpetuity; and

Management and protection of fauna and their habitats for the development proposal will be addressed through the implementation of the CEMP & EMP.

The CEMP & EMP are to provide the following protection and management measures:

- Clearing will be undertaken progressively away from already cleared areas to allow fauna to move away from the area of disturbance;
- A CEMP will be implemented to address potential impacts to habitat including vegetation trampling and weed and Dieback spread;
- A fauna translocation plan will be prepared and implemented as a part of the CEMP;
- Translocations of conservation significant fauna will be monitored to determine the success of the translocations;
- A Western Ringtail Possum Management Plan be prepared and implemented as a part of the CEMP;
- Quenda will be trapped and translocated in the two weeks immediately prior to commencement of clearing;
- Native fauna encountered during clearing will be allowed to make their own way from the site. If this is not possible a zoologist will be used to translocate individuals; and
- Injured fauna encountered by the Contractor will be sent to local animal carers or a local vet.

4.6.3 Coastal Protection

The ODP has been designed to comply with the coastal setback distances recommended by Department of Planning ('DoP'). The development foot print (except beach access tracks) will generally be more than 200m from the 'horizontal setback datum' located on Middleton Beach. The proposed development footprint is 115 m from the development setback calculated by MP Rogers (2007).

Existing beach access tracks will be utilised for the development. Some existing beach access tracks will be made redundant and will be revegetated with local native species. The retained beach access tracks will be:

- Hardened to reduce the potential for erosion; and
- Fenced to encourage the public to use formalised access tracks.

The City of Albany has recently produced a draft Foreshore Management Plan for Middleton Beach and this covers the Foreshore area adjacent to the site. LandCorp have provided input to this plan through the public comment process.

4.6.4 Indigenous Heritage

Subdivision and development will need to ensure that appropriate measures are enforced and undertaken during all phases of the development to minimise any disturbance or impact on the Aboriginal Heritage significance of the site.

4.6.5 Weed Management

Management of weed infestation for the development proposal will be addressed through the implementation of a Weed Management Strategy. Whilst this issue will be addressed by the subdivider for the first three years of each stage of the future subdivision as part of the usual maintenance period, there will be ongoing cost implications for the local government. In recognition of this it is strongly recommended that a Specified Area Rate be applied to the development to assist in facilitating the ongoing weed management of the proposed reserve system.

Subdivision and development shall generally be in accordance with an endorsed Weed Management Strategy by the City of Albany. The key management measures include the following:

- Limiting initial disturbance areas,
- Restricting vehicles to established trafficable areas;
- Undertaking appropriate control spraying using non-residual herbicides; and
- Aggressive weed species, such as Victorian tee-tree, Watsonia, Sydney wattle and kikuyu, will be removed from areas of vegetation to be retained.

4.6.6 Fire Management

A Fire Management Plan (FMP) for the site has been prepared by Opus International Consultants and is included in **Appendix 14**.

The FMP has identified the majority of the site constitutes a low fire risk area. The north eastern portion of the site is identified as a high fire risk area. The low fire risk area includes the coastal fringe area where the topography and proximity of the ocean reduces the fire risk. The high fire risk area is the more densely vegetated area where there is a risk of fire crossing Emu Point Drive from the north.

The proposed ODP has been assessed in the FMP and a number of recommendations are provided in relation to strategic fire access and protection measures as follows:

- Provision of fire hydrants to FESA requirements;
- Strategic fire access to be a minimum of 4m wide with low fuel areas of 10m wide;
- Nominated future houses within close proximity of the high fire risk area to be constructed in accordance with AS 3959-2009; and
- HSZ to be established around the southern and eastern perimeters of the development area. The HSZ will be secured by the following measures:
 - Securing the entire HSZ within private property and road reserve;
 - Design guidelines and ODP provisions requiring a minimum 6m front setback;
 - Design Guidelines and public information controlling the type of planting in the front setback area to suitable spacing and fire retardant species; and
 - Modifying the HSZ road reserve by retaining larger trees, introducing fire retardant native plants, rock mulching where necessary and edging this area with the shared path.

The ODP incorporates the necessary fire management elements to ensure the development meets FESA and City of Albany requirements as shown in **Figure 4.18**.

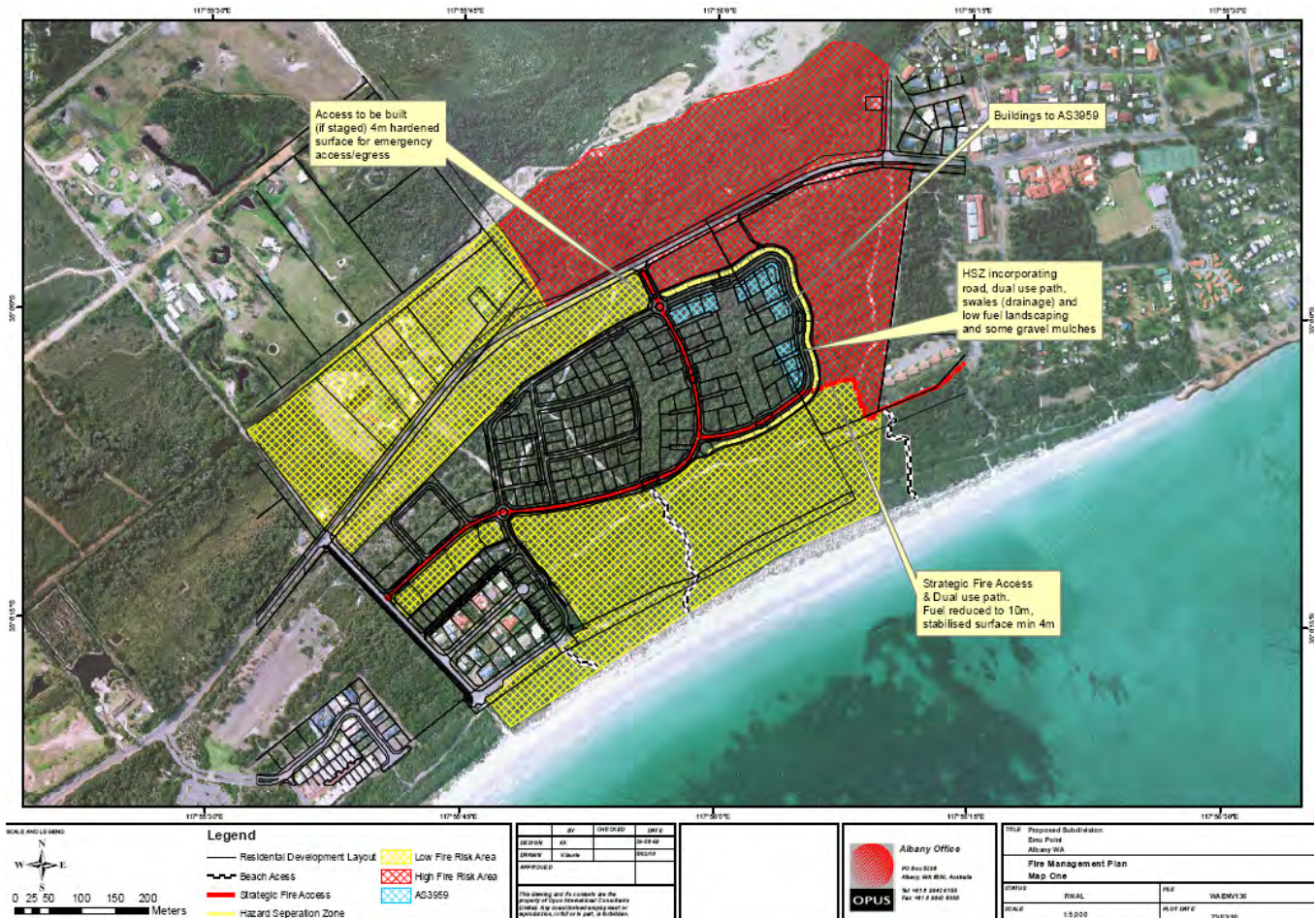


Figure 4.18: Fire Management Plan (OPUS)

4.6.7 Visual Management

Management of visual amenity for the development proposal will be addressed through the implementation of the recommendations from the Visual Impact Assessment (VIA) prepared by GHD and is included in **Appendix 11**.

The VIA identified that the visual quality of existing urban development and built form reveals a landscape cluttered and unremarkable urban form and residential character. This relatively low visual quality urban environment is heavily dependent on the magnificent natural setting for much of its quality, character and amenity.

The quality of the individual developments or structures will not significantly or noticeably impact (positively or negatively) on this wider landscape character, unless exceptionally out of scale, prominent, or by virtue of significant encroachment into the key natural elements that underpins the overall landscape quality.

The aim in developing the new landscape for this site is to ‘nestle’ new buildings and infrastructure into the topography and existing vegetation as much as possible to reduce the visual impact from the beachfront and from within the site.

The appearance of development as seen from a distant or elevated site will be managed through selection of materials and plant species and the retention of vegetation. While tree species that are indigenous to the site (Peppermints, Banksias and Sheoaks) will be used, other non indigenous species may be needed to provide height for visual softening of new buildings.

In addition, solar passive design (with its obvious environmental advantages) may require the judicious use of deciduous species. Given that the development area of the site will be a changed landscape, managed numbers of exotic (non-weedy) species will not greatly alter the visual quality of the residential areas.

The ODP has been assessed in the VIA and the following specific recommendations are provided in regard to managing the visual impact of the development:

- Retention and enhancement of the vegetation cover adjacent to Emu Point Drive should be significantly enriched;
- Landscape treatment around the building envelopes (i.e. immediately adjacent to buildings, within the landscape portion of the development) should focus on high canopy plantings/species as much as possible to screen buildings and walls (of the taller structures) from westerly and northerly vantage points;
- Upper/tall canopy tree species should be selected for use in constructed landscape zones;
- Architectural design of the building structures should seek to soften roof lines, extend roof line eaves as low as possible, using soft textured and coloured walls, create textured building envelopes (e.g. balconies, raised planting beds, etc) and minimize large uniform and brightly coloured surface areas of vertical wall; and
- The development should take maximum advantage of the site topography, positioning buildings in the micro-valley swales as far as possible.

4.6.8 Dieback Management

Management of dieback for the development proposal will be addressed through the implementation of a Dieback Management Plan.

Subdivision and development shall in accordance with an endorsed Dieback Management Plan by the City of Albany and the DEC. The Dieback Management Plan is to address the following management measures:

- Clearing to be undertaken with no interaction between hygiene categories and in dry soil conditions;
- Topsoil from areas free of Dieback will be removed prior to those areas determined to contain the Dieback pathogen (where possible);
- Material removed will be segregated and all Dieback infected material quarantined in a designated location. Stockpiles will be appropriately signed, contained and bunded;
- Raw materials used for roads adjacent to retained protectable areas is to be certified as Dieback free and road drainage is not allowed to be directed to these areas from areas of Dieback infection;
- Raw materials for construction of walkways which traverse protectable areas are to certified Dieback free and of limestone base;
- Dieback hygiene measures will be implemented to ensure all vehicles and equipment are cleaned/washed down prior to mobilising to site and when moving from Dieback infected to Dieback free areas within the site; and
- Any fill material brought to site for the development will be certified Dieback free.

4.7 Services and Infrastructure

4.7.1 Earthworks and Dust Control

4.7.1.1 Earthworks

One of the key objectives of the development is to minimise alterations to the natural landform. However, some earthworks, in the form of cut and fill, will be required for the establishment of roads, some residential lots and services. Specifically, earthworks are likely to include:

- road construction;
- installation of services such as sewer and mains water to minimise excessive trench depths and eliminate low areas along service routes to enable full gravitational servicing;
- development of facilities within POS;
- removal of excessive grades to allow access to and within some lots.

Excavation below the water table is highly unlikely on site for the purposes of landform levelling. Excavation below the water table may be required for the gravity sewer installation along Emu Point Drive, water main installation along Troode Street and sewer connection at the Griffiths Street development.

A plan of the areas that may require alterations to the natural topography are depicted at **Figure 4.19** below.



Figure 4.19: Indicative areas of likely earthworks

4.7.1.2 Dust Control

Construction activities with respect to dust will be carried out in accordance with DEC's guideline on *Land Development Sites and Impacts on Air Quality*. Dust management and mitigation measures will be outlined in the CEMP, which include the following:

- Clearing vegetation in a staged manner to reduce open and exposed areas;
- Water for dust suppression shall be sourced in accordance with licences obtained from the Department of Water (if required);
- Dust generating activities shall not be undertaken during unfavourable weather conditions e.g. high wind speeds, unfavourable wind directions relative to sensitive premises and environments;
- Progressive rehabilitation of areas will be undertaken to reduce the total exposed area;
- Hydro mulch will be provided to exposed areas to stabilise and protect soil (where appropriate);
- Daily inspections will be undertaken during dust prone conditions to visually assess dust generation;
- Residents shall be consulted regarding nuisance dust associated with construction and a complaints register shall be maintained; and
- Appropriate wind fencing will be stored on site or will be available as soon as practicable of being required in the case of nuisance dust event occurring.

4.7.1.3 Acid Sulphate Soil (ASS)

The subject site is not in the area identified in DEC and WAPC mapping as being likely to contain acid sulphate soils (ASS). Preliminary geotechnical studies by Douglas and Partners confirm the lack of ASS. However, excavations in Troode Street required in order to extend services may impact upon areas highly likely to contain ASS.

An ASS investigation will be undertaken along the proposed excavation area along Troode Street to confirm the ASS risk in this area. An ASS and Dewatering Management Plan may be required and once developed it will involve implementation of the following:

- all dewatering proposed in association with the development; and
- any excavation in actual or potential ASS areas.

The ASS Management and Dewatering Plan will prescribe appropriate treatment/and or disposal of ASS materials and abstracted groundwater.

If dewatering is required, LandCorp will make an application to the Department of Water for an abstraction licence in accordance with the *Rights in Water and Irrigation Act 1914*. Any licence conditions set by the Department of Water will be incorporated into a CEMP for the project.

4.7.2 Roadworks and Traffic

Intersections, road and the entrance to the development, will be designed to acceptable standards and will, under normal circumstances, ensure the safety of all road and pedestrian users. Internal and external roads and their associated treatments will be designed in accordance with Local Government standards, or with Australian Standards.

During the construction phases of the development, a construction Traffic Management Plan will be prepared and subsequently implemented to address the following issues:

- Increased airborne dust generation;
- Increased noise generation; and
- Dieback and weed spread.

Management of airborne dust, noise and Dieback and weed spread will need to be monitored carefully to minimise any potential impacts on the environmental quality and the community.

A range of traffic management treatments would be required to minimise any potential impacts on the Emu Point area and the development during the construction and operational phases associated with the development. An indicative plan of these traffic management treatments is provided below at **Figure 4.20**.

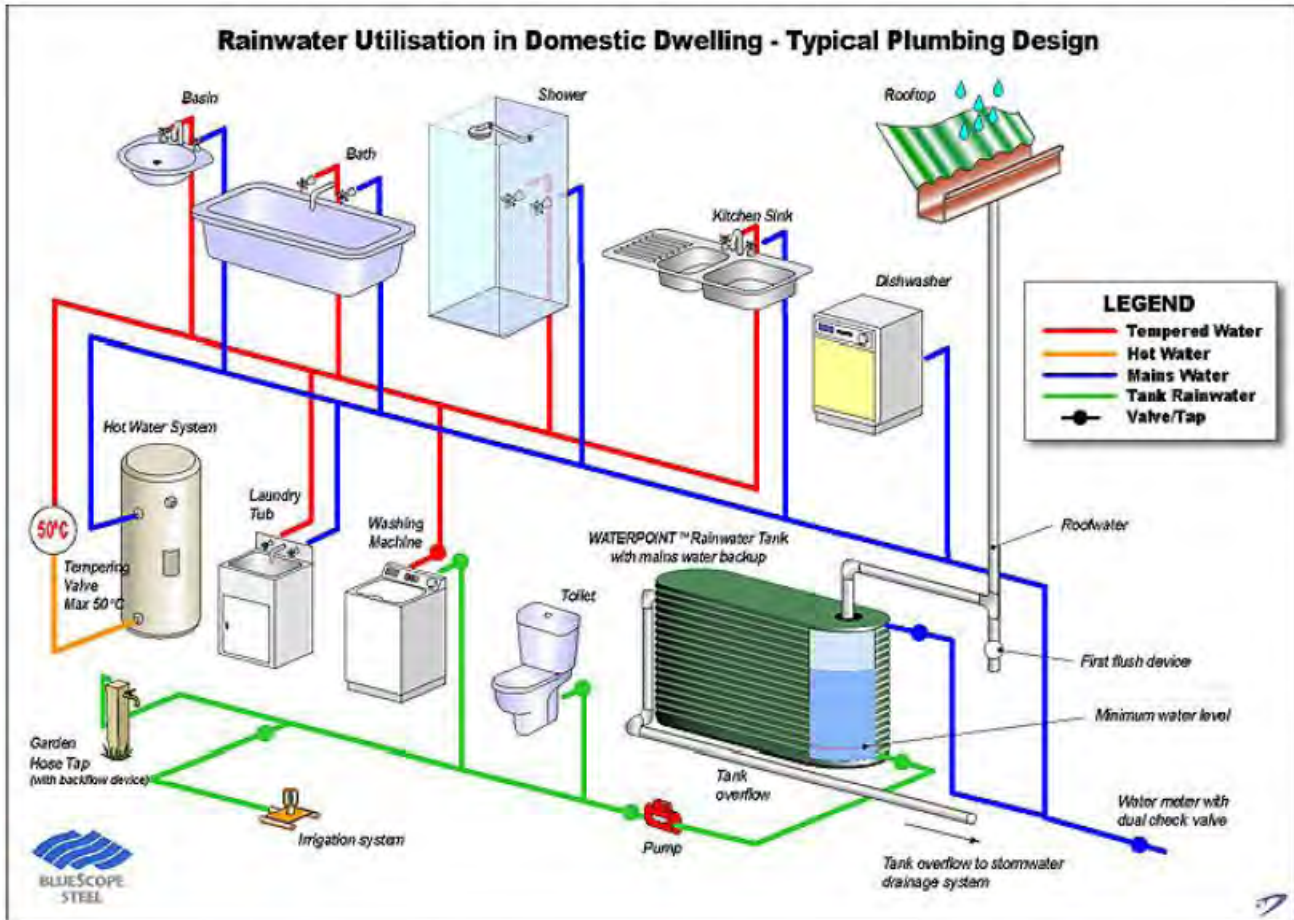


Figure 4.20 – Indicative Plan of traffic management measures to encourage a slow speed environment

4.7.3 Water

The development requires reticulated water infrastructure which will be serviced by a large diameter extension from Collingwood Road, via Troode Street and Emu Point Drive.

According to the Stormwater Management Strategy prepared by Wood & Grieve Engineers (October 2009) (refer to **Appendix 18**), individual households will be required to install and plumb a rainwater tank into the laundry and bathroom. This is supported by the Design Guidelines at **Appendix 10**. This will reduce water consumption and assist with on-site drainage issues.



Example Rainwater Tank System

Figure 4.21 Rain water tanks are to be plumbed into the house

Grey water recycling systems will be encouraged where appropriate and are detailed in the Design Guidelines for the development.

4.7.4 Reticulated Sewerage

The site will be serviced by a reticulated sewer service. This will require the construction of a new gravity sewer line from the Barry Court pump station along Emu Point Drive.

The existing residential properties in Hope and Griffiths Street will also be offered the ability to connect to this service.

4.7.5 Stormwater Drainage

The Stormwater Management Strategy (that forms part of the Local Water Management Strategy at **Appendix 18**) describes the strategy to be implemented to manage stormwater generated at the site, in accordance with best management practice. The Strategy concluded that:

- There are no external catchments which require consideration as the onsite catchments are very small, local and self contained due to the dunal form of the landscape;
- All stormwater will be contained on site and disposed of by ‘at source infiltration’;
- The surface hydrology of the site is likely to remain effectively unchanged post development and unlikely that stormwater modelling would be required; and
- Detailed modelling of rainwater tanks, soakwells and swales will be undertaken during detailed design.

Features of the stormwater drainage design will include:

- A network of shallow verge swales that run the full length of most roads;
- Flood breakout areas and storage areas available in major storm events (if necessary); and
- Rainwater tanks will be used to re-use roof runoff.

A plan of the likely stormwater drainage system and required infrastructure is shown at **Figure 4.22**.

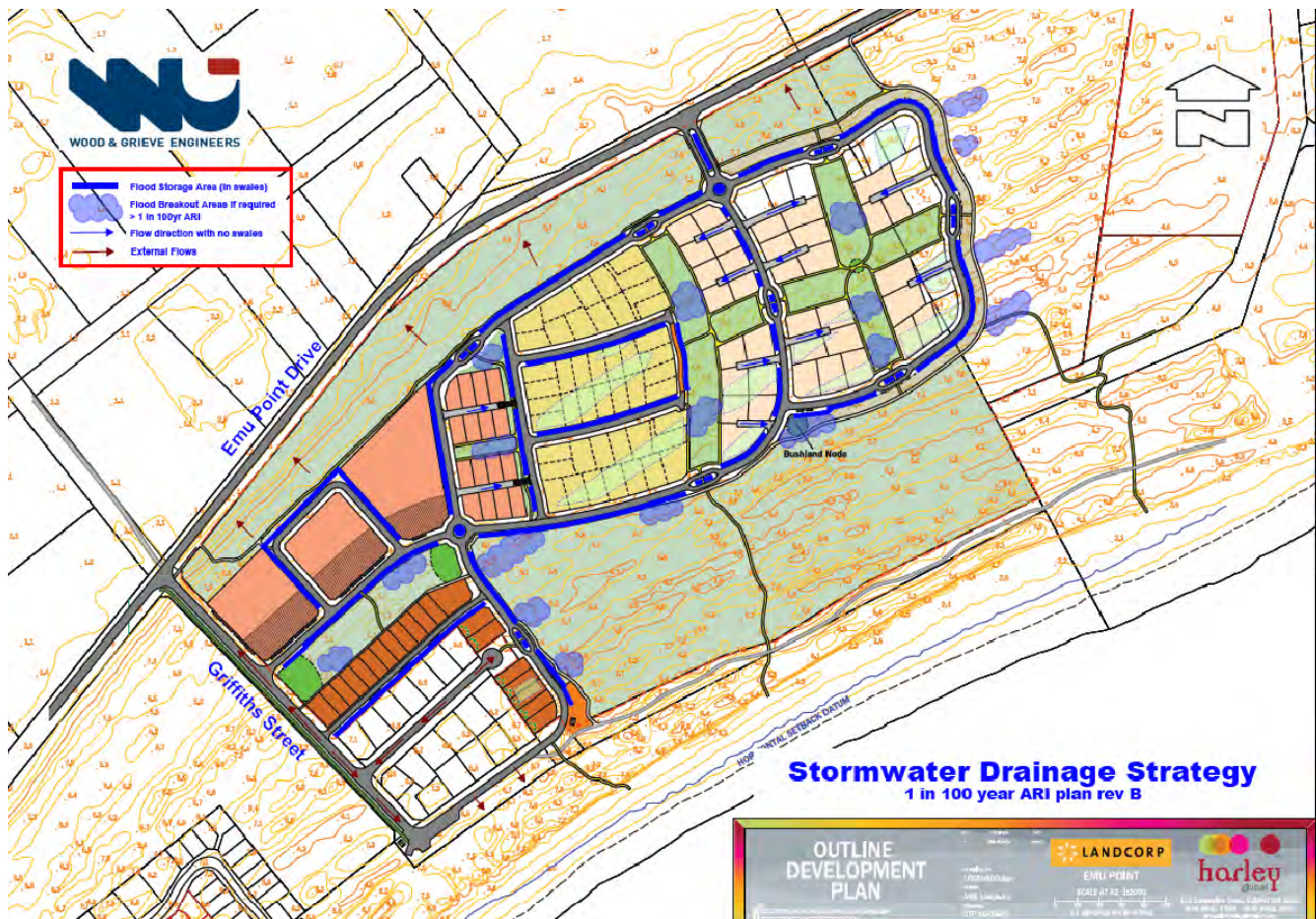


Figure 4.22: Indicative Stormwater Infrastructure Plan

Water Sensitive Urban Design (WSUD) principles and guidelines, consistent with State and local water planning policies have been applied to the development. Residents will be informed how rainwater re-use can be utilised for landscaping purposes.

4.7.5.1 Local Water Management Strategy

The Local Water Management Strategy (LWMS) prepared by GHD, considers on a regional scale, ecologically sustainable approaches to water resources. The development is considered a local scale scheme under the State Government Planning. The LWMS will inform the City of Albany of the proposed resource implications of the development, such that they are able to fulfil their responsibilities under Section 6 of the *State Planning Policy No. 2.9 – Water Resources*. **Appendix 18** provides the LWMS.

It is understood that the Department of Water (DoW) are preparing a Regional Water Plan and it is expected to be completed within six to twelve months (Pers. Comm. DoW, 2009). The Strategy concluded that:

- Water quality results indicate that there is a very low variability in the physical groundwater quality across the site;
- Chemical water quality results may be considered typical or slightly elevated relative to the slightly moderately disturbed ecosystem;
- There are no surface water bodies on the site due to the sandy soil composition and ability to drain well;
- The development proposed will be waterwise, complying with the 5 Star Plus Energy and Water Efficiency Provisions under the Building Code of Australia and the use of 20% less water than reported in the Water Corporation (2003) Domestic Water Use Study;
- The developer is committed to providing landowners with information packs about waterwise behaviour and water efficient technology;
- Estimated annual water demand of the development is 60ML/year;
- Modelling was undertaken for three water supply options including; scheme supply only, rainwater tanks and wastewater treatment facility for water re-use and the most effective method for reducing the demand on scheme water supply than wastewater treatment facility was the use of rainwater tanks; and
- The developer is committed to ensure rainwater tanks are installed on individual properties, but this will be at the expense of the landowner, not the developer.

As identified above, the Stormwater Management Strategy (which is included within the LWMS) acknowledges that detailed modelling of rainwater tanks, soakwells and swales will need to be undertaken at the detailed design stage, without the need for stormwater modelling.

The Groundwater Management Strategy has been instigated as part of the LWMS, to assist with the preparation of the Urban Water Management Plan (UWMP), which has been based on the preliminary groundwater monitoring undertaken by Douglas Partners in October 2006.

This Strategy's main focal point is that no groundwater extraction shall occur at the site to prevent salt water intrusion into the aquifer and to ensure that the CEMP and water monitoring program for construction and post development be developed as additional groundwater management tools is implemented. The UWMP will be informed by monthly groundwater level and quarterly groundwater quality monitoring data collected over the next 12 – 18 months.

The UWMP is part of the detailed design phase of the project and it will be prepared to be consistent with the designs and strategies proposed in the LWMS (concept stage), including but not necessarily limited to the following:

- Details the design proposed in the LWMS and compliance with the objectives;
- Documents the results from annual groundwater monitoring program;
- Details the stormwater management design; and
- Details the specific structural and non-structural methods to be implemented.

It is envisaged that the UWMP will be completed in late 2010.



4.7.6 Public Utilities

The development will be serviced from the existing high voltage aerial cables in Emu Point Drive. New transformers and switch gear will be required throughout the whole development.

Alinta Gas has advised that no capacity exists in the town gas system for additional load of the size of the Emu Point development. To supply gas to the development a standalone system would be required.

4.7.7 Fencing

In comparison to standard residential development pattern, the ODP has a high number of residential lots that back directly onto POS. Dwellings on these lots will be required to provide visual surveillance of these areas and uniform, low, permeable fencing will be provided at the time of subdivision to ensure passive surveillance of these spaces. This will enable the delineation of private and public space and allow natural bushland gardens to move freely through the fence. Gates to adjacent bush corridors will be provided to allow access to the spaces and manage desire lines.

Shared paths and trails that move through the surrounding bushland reserves will be contained by a rural style permeable fencing that allows the free movement of fauna but also controls and limits access by people. More details on fencing are provided in the Landscape Master Plan.

Boundaries between residential lots may be fenced to the standard 1.8m high with materials to be provided in accordance with the Design Guidelines.

Shared Paths and beach access trails will be fenced to prevent shortcuts through the protected bushland.



Plates 24 & 25 – Open style rural fencing will be utilised throughout the development.

4.8 Community Infrastructure and Facilities

The Emu Point residential development and the resultant additional population that it will bring to this area will bring additional pressures to bear on the existing public infrastructure. In recognition of this, the following improvements to the existing community infrastructure are proposed as part of the ODP:

- A new deli/cafe, parks and modern facilities within walking distance of the existing residential area;
- Introduction of a community notice board to encourage the sharing of resources and provide another form of communication for existing and future residents. Management and maintenance of this facility will be arranged at the subdivision stage of development;
- New street trees within the road verges will be offered to those landowners who wish to participate;
- Slowing traffic and providing a turning pocket near the Emu Point Drive/Griffith Street intersection will improve road safety;
- A reticulated sewerage service will be provided;
- Improvements to the interconnectivity of the regional shared path system;
- Improved bushfire management of the adjacent bushland; and
- A redesigned and redeveloped parking and shared path in Griffiths Street to work through any parking and access issues.

The area at the eastern end of Griffiths Street has been identified as a potential place for a cafe should demand for this use in this locality be generated in the near future. A nominal lease area has been shown to establish this site for alternative uses when the management order is drafted for the reserve in the location.

LandCorp have provided for the redevelopment of the Griffiths Street road reserve as part of the development works associated with the development.

4.9 Employment Considerations

In keeping with sustainability principles of creating a walkable residential area and reduction of car use it is important to encourage local sources of employment wherever possible.

Given the small population envisioned and the desire to not compete directly with the Emu Point activity centre, the range of commercial land uses developed in the Emu Point ODP area are likely to be limited to a deli, cafe, newsagent, consulting rooms, day care centre or small specialty shops that should be located in the Village Centre as part of the mixed use development to support the local residents.

Home business or home occupations encourage local employment with little effect on residential amenity. These are discretionary land uses in the *Residential* zone and remain so for this ODP.

4.10 Education Considerations

When fully developed the Emu Point development is likely to generate approximately 650 additional residents. This will not generate sufficient demand for an additional school in this area, particularly given the existing demographic in the Emu Point locality.

The site falls within the Spencer Park school zone for Primary School and the Albany Senior High School zone for high school. There is currently a school bus that services Emu Point that will service the site.

5.0 IMPLEMENTATION

5.1 Subdivision and Development

Prior to subdivision it may be necessary to provide further details to accurately assess the impact of the development on the bushland and coastal environment, these may include:

- Hydrological Survey to determine estimated maximum and existing groundwater levels and areas subject to inundation to be included within the UWMP;
- Urban Water Management Plan (UWMP);
- Weed Management Strategy;
- Acid Sulphate Soil Investigation and Management Plan;
- Dieback Management Strategy;
- Construction Traffic Management Plan
- Construction Environmental Management Plan (CEMP) and Environmental Management Plan – detailed in the PER and throughout the ODP. As stated in the PER:

“The CEMP and EMP (Environmental Management Plan) will contain environmental management objectives and targets that are achievable, measurable and auditable and will have a focus on continual improvement. The proposed CEMP and EMP will document the following key information required for the environmental management of the project:

- » *statutory and legislative requirements;*
- » *environmental objective and targets;*
- » *roles and responsibilities;*
- » *training and awareness program;*
- » *documentation requirements and document control procedures;*
- » *emergency preparedness and response procedures for certain situations covered by the CEMP;*
- » *non-conformity, corrective action and preventative action procedures*
- » *internal and external audit requirements;*
- » *communication plans; and*
- » *environmental management review requirements.”*
- Construction Management Plan provided by the builder with the building licence prior to development of individual sites as it may be necessary to provide more detail as to how the site will be controlled during the construction phase of buildings.

The statutory provisions included in the ODP will ensure the preparation of the above occurs prior to an application for subdivision or development being lodged with the City of Albany and Western Australian Planning Commission.

It should be recognised that the majority of these tasks have been completed or are currently being addressed as part of this ODP.

It is envisaged that staging of subdivision and development will commence as follows:

- Village Centre and associated open space;
- Single House Precinct and associated open space;
- Medium density residential precincts and associated open space;
- Public Open Space areas including ecological corridors and bushland reserves; and
- Clustered Housing Precinct and associated open space.



5.2 Developer Contributions

In accordance with State *Planning Policy No. 3.6 – Development Contributions for Infrastructure* and *Planning Bulletin No. 18 – Developer Contributions for Infrastructure*, subject to the City of Albany preparing a Local Planning Policy, or providing guidance to the developer on the actual infrastructure commitments both community and public infrastructure, the developer shall contribute the standard infrastructure associated with this development (refer to in **Section 4.0**).

6.0 CONCLUSION

Outline Development Plan 007 has been prepared to guide the sustainable development of Lots 3000 & 1523 Emu Point Drive, Collingwood Park.

The ODP has been prepared in accordance with the requirements of the TPS1A and Liveable Neighbourhoods; drawing on *New Urbanist* and sustainability principles to provide the framework to guide and control the future subdivision and development of the site.

The ODP has incorporated many of the principles and objectives of Liveable Neighbourhoods and the R-Codes. Key design elements of the ODP include the provision of a range of lot sizes, a permeable street pattern, a highly interconnected pedestrian and cycle network, accessible areas of passive and active open space and the ceding of large areas dedicated to the preservation and conservation of flora and fauna.

The overall design responds to the site's opportunities and constraints including a subdivision pattern that is sympathetic to the natural topography, respects the coastal setbacks and achieves a balance between fire management and the retention of large areas of high quality bushland.

The ODP includes and is supported by the provision of Design Guidelines, Landscape Master Plan, Fire Management Plan, Visual Impact Assessment, Local Water Management Strategy and a variety of environmental assessments including flora, fauna, dieback and coastal processes assessments. Features of the ODP include:

- A Village Centre to provide a focus and meeting place for the surrounding residential area and passing traffic;
- A range of residential lot types to accommodate apartment, townhouses, strata cluster dwellings and detached housing;
- Retention, enhancement and protection of approximately 60% of the site's vegetation;
- A focus on sustainable development and a reduction in the usual ecological footprint of the development;
- Vegetated corridors connecting the site to habitat areas to the north, south, east and west of the site; and
- Respect for the natural topography of the site.

The ODP is guided by a project-specific sustainability framework, with a view to achieving a sustainable development for the Albany community. Within the context of this framework, the ODP has been developed with input from public consultation and numerous technical investigations.

Approval of this ODP is respectfully requested from the City of Albany and the WAPC.



Harley Dykstra

PLANNING & SURVEY SOLUTIONS

Amendment No.2

City of Albany Local Planning Scheme No.1

Prepared by Harley Dykstra Pty Ltd for Landcorp

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FS 536019

PLANNING AND DEVELOPMENT ACT 2005
RESOLUTION DECIDING TO AMEND A LOCAL PLANNING SCHEME
CITY OF ALBANY

LOCAL PLANNING SCHEME NO.1

AMENDMENT NO.2

RESOLVED that the Council, in pursuance of Section 75 of the Planning and Development Act 2005, amend the above local planning scheme by:

1. Reserving a portion of Lot 3000 Emu Point Drive, Collingwood Park and Lot 3001 on Deposited Plan 51548 (currently zoned 'Future Urban') as well as a portion of Lot 1523 Emu Point Drive, Emu Point (currently zoned 'Future Urban') for 'Parks and Recreation', and amending the Scheme Maps accordingly.

Dated this _____ day of _____ 20____ .

CHIEF EXECUTIVE OFFICER

DOCUMENT CONTROL

Control Version	DATE	Status	Distribution	Comment
A	05.03.14	Draft	Client	Draft for Comment and Approval
B	08.04.14	Draft	City of Albany	Draft for Comment
C	06.05.14	Draft	City of Albany	Draft for Comment
D	27.05.14	Final	City of Albany	Final for Lodgement
E				

Prepared for: Landcorp

Prepared by: SDP

Reviewed by: LB & SD

Date: 27.05.14

Job No & Name: 14581 Landcorp

Version: D

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MINISTER FOR PLANNING

PROPOSAL TO AMEND A LOCAL PLANNING SCHEME

LOCAL AUTHORITY:	CITY OF ALBANY
DESCRIPTION OF TOWN	
PLANNING SCHEME:	LOCAL PLANNING SCHEME NO.1
TYPE OF SCHEME:	DISTRICT PLANNING SCHEME
NO. OF AMENDMENT:	AMENDMENT NO.2

RESERVE A PORTION OF LOT 3000 EMU POINT DRIVE, COLLINGWOOD PARK AND LOT 3001 ON DEPOSITED PLAN 51548 (CURRENTLY ZONED 'FUTURE URBAN') AND A PORTION OF LOT 1523 EMU POINT DRIVE, EMU POINT (CURRENTLY ZONED 'FUTURE URBAN') FOR 'PARKS AND RECREATION'.

1 INTRODUCTION & PROPOSAL

The purpose of this amendment to the City of Albany Local Planning Scheme No.1 (LPS 1) is to reserve a portion of Lot 3000 Emu Point Drive, Collingwood Park, Lot 3001 on Deposited Plan 51548 (Reserve 14789) and Lot 1523 Emu Point Drive, Emu Point (the 'subject site') for 'Parks and Recreation', which are currently zoned 'Future Urban'.

The intention of this proposal is to allow for the reservation of land in accordance with the Local Structure Plan for the subject site.

The proposal will allow for the following:

- The retention of remnant vegetation;
- Reservation of the subject site for 'Parks and Recreation'; and
- The ceding of the subject site to the Crown and vesting in the City of Albany for management in perpetuity.

1.1 Amendment No.177 to City of Albany Town Planning Scheme No.1A

The subject site was the subject of a previous Scheme Amendment to the City of Albany Town Planning Scheme No.1A. The purpose of the Amendment was to reserve the land for 'Parks and Recreation'. This Amendment was initiated by the City of Albany at its Ordinary Council Meeting dated 21st February 2012 with the following resolution:

ITEM 2.9: RESOLUTION
VOTING REQUIREMENT:SIMPLE MAJORITY

MOVED: COUNCILLOR ATTWELL
SECONDED: COUNCILLOR SUTTON

THAT Council:

1. In pursuance of section 75 of the Planning and Development Act 2005 **RESOLVES** to initiate Amendment No. 177 to Town Planning Scheme No. 1A with modification for the purposes of
 - a) Reserving a portion of Lot 3000 Emu Point Drive, Collingwood Park and Lot 3001 on Deposited Plan 51548 (currently zoned 'Future Urban') and a portion of Lot 1523 Emu Point Drive, Emu Point (currently zoned 'Residential') for 'Parks and Recreation'; and
 - b) Amending the Scheme Maps accordingly.
2. When referring the scheme amendment to adjoining owners, community members and government agencies for comment and when placing advertisements in local newspapers, in accordance with the Planning and Development Act 2005, include a notation that the 16.3 ha of the site subjected to the amendment is to be transferred to the Department of Environment and Conservation in perpetuity for conservation purposes.

CARRIED9-2

Figure 1: Resolution initiating Amendment No.177 to the City of Albany Town Planning Scheme No.1A.

Amendment No.177 was unable to progress based on the resolution of Council, as it required the land to be vested in and managed by the Department of Environment and Conservation in perpetuity for conservation purposes. This department did not agree to the future reserve being in its management. As such, the Amendment was stalled, subject to the management and vesting of the future reserve being resolved.

In addition to the above, Amendment No.177 was being undertaken to the City of Albany Town Planning Scheme No.1A, which has now been superseded by the gazettal of the City of Albany Local Planning Scheme No.1. This has now made Amendment No.177 void.

Following the resolution of Council to initiate Amendment No.177 extensive negotiations have now occurred between Landcorp and the City of Albany regarding the management of the future reserve such that an Amendment creating the reserve can now progress. This will be subject to the support of the City of Albany and the Minister for Planning. This agreement is outlined in Section 2 of this report.

2 RESERVE MANAGEMENT

As mentioned in Section 1 of this report, the previous Scheme Amendment to the City of Albany Town Planning Scheme No.1A was not able to progress due to the resolution of Council requiring the land to be ceded to the Crown and vested with the Department of Environment and Conservation.

Upon this resolution being reached, Landcorp has been negotiating with Senior Staff at the City of Albany to find a solution to this issue. This has resulted in the following outcomes:

- A high level scope of work and financial compensation has been agreed to between Senior Staff at the City of Albany and Landcorp, if the reserve were to be vested in the City of Albany for management in perpetuity, in accordance with the requirements of the Reserve Management Plan;
- The City of Albany would secure a payment of \$240,000 which is based on estimated cost escalated by Consumer Price Index (CPI);
- The reserve is to be protected in perpetuity by a conservation covenant established under the Soil and Land Conservation Act 2005, which is a requirement of the Federal Department of Sustainability, Environment, Water, Population and Communities (SEWPAC);
- To SEWPACs satisfaction LandCorp and the City of Albany will create a Reserve Management Plan which the City of Albany will utilise

It is expected the preparation of the Reserve Management Plan will occur once the subdivision conditions are issued for Emu Point. Stage 1 construction will create the reserve lot which at Practical Completion of Stage 1 will be handed over to the City of Albany with payment for management in perpetuity. The conservation covenant will be registered when application for the reserve lot title is made which typically occurs shortly after Practical Completion is achieved.

It is respectfully requested that the City of Albany initiate the Amendment with a view to the reserve being ceded to the Crown and vested in the City of Albany for management in perpetuity, in accordance with the parameters of the agreements reached to date.

3 CONTEXT ANALYSIS

3.1 Site Description

3.1.1 Location and Description

The subject site comprises a portion of Lot 3000 Emu Point Drive, Collingwood Park, Lot 3001 on Deposited Plan 51548 (Reserve 14789) and a portion of Lot 1523 Emu Point Drive, Emu Point which are situated approximately 5 km north east of the Albany town site. The lots are 33.8 ha in total area with Lot 3000 being 25.9ha, Lot 1523 being 7.2ha and Lot 3001 being 7,566m² in area.

The subject site is 1 km from Emu Point. Emu Point is located at the northern end of Middleton Bay at the entrance to Oyster Harbour. Emu Point has a range of amenities including cafes, restaurants, a marina, tennis courts, lawn bowls and a protected swimming beach.

For a location plan, refer to **Figure 2**.

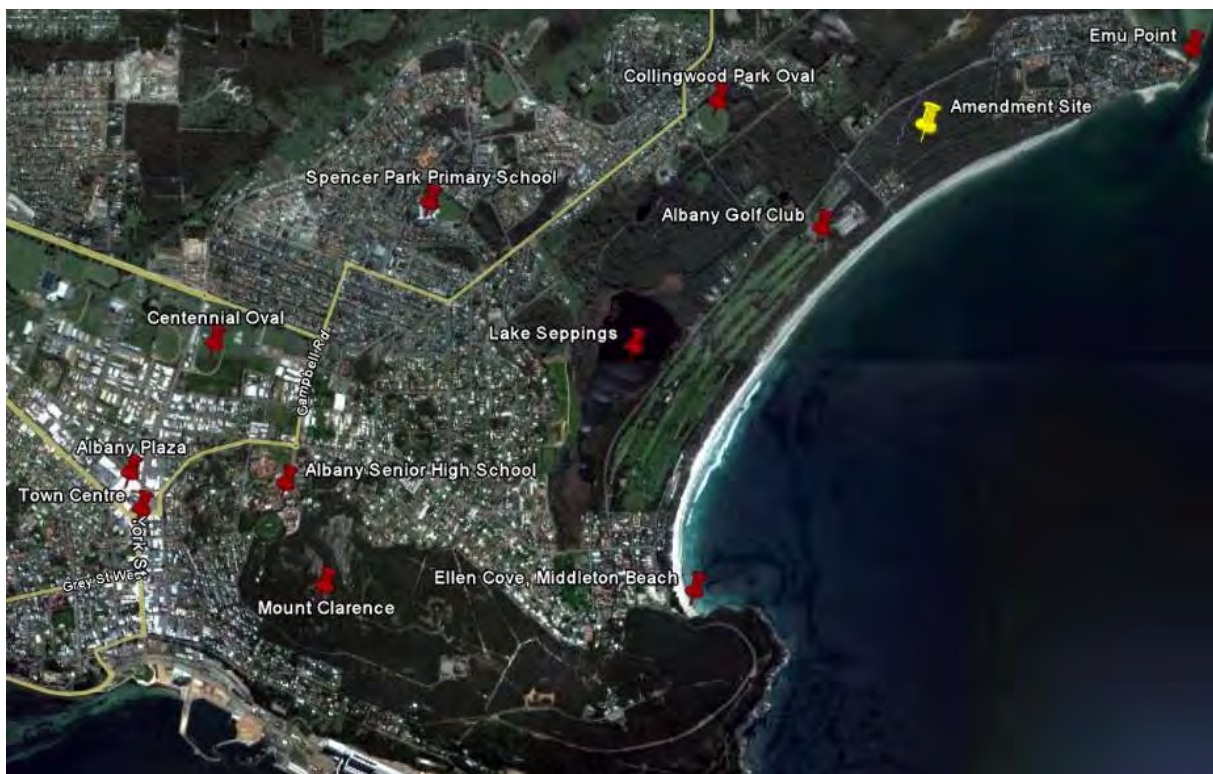


Figure 2: Location Plan

[Source: Google Earth]

3.1.2 Land Ownership

Lot 3000 Emu Point Drive, Collingwood Park and Lot 1523 Emu Point Drive, Emu Point are owned by the Western Australian Land Authority (trading as “LandCorp”). Lot 3001 on Deposited Plan 51548 (Reserve 14789) is owned by the State of Western Australia. The legal description of the subject site

is detailed in **Table 1** below. **Appendix A** provides the Certificates of Title applicable to the Amendment.

Lot Description	Lot Area	Certificate of Title	Landowner Details
Lot 3000 on Deposited Plan 51548.	25.9367ha	Volume: 2652 Folio: 911	Western Australian Land Authority
Lot 3001 on Deposited Plan 51548.	0.7566ha	Volume: LR3140 Folio: 947	State of Western Australia
Lot 1523 on Deposited Plan 28399.	7.2429ha	Volume: 2652 Folio: 910	Western Australian Land Authority

Table 1: Land ownership details.

3.2 Land Use

3.2.1 Existing Land Use

The subject site is undeveloped and predominantly covered in remnant coastal vegetation, with the topography comprising relict foredunes. There is some clearing associated with numerous paths and firebreaks traversing the subject site. Predominant land use for the subject site has been for informal recreational purposes only. The Site Plan at **Appendix B** provides an aerial photograph of the subject site and surrounding locality.

3.2.2 Surrounding Land Use and Zonings

The subject site is surrounded by Griffiths Street and the Hope Street residential development to the south west, Middleton Beach and coastal reserve (Reserve No. 14789) to the south, tourist development including Emu Point Motel and residential development to the north east and Emu Point Drive to the north.

The subject site is surrounded by a variety of zones and reserves (refer to **Figure 3** below).

To the west is land reserved for 'Parks and Recreation' and the 'Residential' and 'Hotel/Motel' zonings applicable to the Barry Court development (adjoining Golf Course and Tourist/Residential Accommodation). To the south west is the existing Hope Street residential area zoned 'Residential' with a density coding of 'R17.5'.

The Middleton Beach foreshore reserve is reserved for 'Parks and Recreation' by the Scheme and has retained existing native vegetation.

To the east is land zoned 'Hotel/Motel' that is developed with the Emu Point Motel and the Emu Beach Chalets.

To the north is a mix of reserved land and 'Rural' zoned land. There are a number of small lifestyle lots and a large reservation area protecting the Lake Seppings flood plain.



Figure 2: Land Zoning

[Source: City of Albany]

3.3 Community Consultation

In accordance with the requirements of the *Planning and Development Act 2005*, the Amendment is required to be advertised for 42 days for public submissions. These submissions are then presented to Council at its final consideration of the Amendment.

3.4 Environmental

3.4.1 Topography

The subject site consists of low undulating relict fore-dune topography running immediately parallel with the coast, with dunal heights ranging between 2 m and 9 m Australian Height Datum (AHD). The gently sloping beach to the south of the subject site is approximately 30 m wide, backed by a low incipient dune and a steep fore-dune, rising to between 5 m and 9 m.

3.4.2 Geology, Soils and Hydrogeology

The subject site comprises predominantly relict fore dunes, which are composed of white medium-grained sand, with rounded quartz and shell debris. The coastal dunes of the subject site are typical of local quaternary hydrogeology, which is typically characterised by coastal alluvial, estuarine, lagoonal and Aeolian (sand, clay and limestone), and minor local aquifers, which are fresh to saline.

The subject site is underlain by bedrock, comprising gneiss, metamorphic rock and granatoid in the Nornalup Complex of the Albany-Fraser Orogen. The Albany-Fraser Orogen is covered with a discontinuous veneer of the sediments of the Bremer Basin.

3.4.3 Water and Drainage

Groundwater

According to the Geotechnical and Preliminary Acid Sulphate Soil (ASS) Investigation prepared by Douglas Partners (2007) for the subject site, the groundwater survey recorded groundwater levels, quality and flow direction. The survey findings included the following:

- o Groundwater depth ranged between 2.19 m to 5.80 m below ground level;
- o Hydraulic gradient for the site is relatively flat;
- o Groundwater mound probably located in the south western corner of the site; and
- o A shallow aquifer exists, with the possibly of being underlain by salt water edge.

Surface Water and Drainage

The geology of the subject site comprises permeable, medium grained sand which facilitates the infiltration of water through the shallow aquifer into the ocean. There are no surface water bodies including wetlands, such as sump lands or damp lands within the subject site.

There are no distinct surface drainage lines onsite and water tends to accumulate in swales prior to infiltrating. Along the northern boundary, the subject site drains into the swales along Emu Point Drive. Stormwater disposal is expected to be facilitated through the aquifer, with no direct discharge into the Foreshore Reserve or Oyster Harbour.

3.4.4 Remnant Vegetation

There are three vegetation types situated within the subject site, including Sheoak woodland, open Peppermint heath and Peppermint thicket. The majority of the vegetation across the subject site is in 'excellent' condition, with areas of Very Good to Degraded vegetation along the site boundaries.

This proposal is seeking to conserve the existing remnant vegetation through means of reserving it under the Scheme for 'Parks and Recreation'. The future reserved land will be ceded to the Crown.

3.4.5 Visual Landscape

The subject site can be described as prominent coastal dunal ridge landscaping with dense native vegetation cover. It usually forms a visually pronounced vegetated landform of gently undulating terrain formed by the low linear dunal ridges.

Given much of the existing vegetation is proposed to be retained, reserved for 'Parks and Recreation'; the majority of the visual landscape will remain unaffected as a result.

3.5 Bush Fire Hazard Management

Due to the nature of the site, Bush Fire Management is an important element to be considered. Since the land, the subject of this Scheme Amendment, is to be ceded to the Crown and vested in

the City of Albany, the management of the land (also in terms of Bush Fire Management) will be the responsibility of the City of Albany.

It should be noted that a Fire Management Plan (FMP) for the site was prepared as part of the Local Structure Plan (refer to Section 4.2.3). The FMP identified that the site has a 'Moderate' bush fire hazard rating, based on the remnant vegetation located on the site and external fire risks.

The FMP made a number of recommendations in relation to strategic fire access and protection measures. The Local Structure Plan incorporated the necessary fire management elements to ensure that the proposal meets Department of Fire and Emergency Services (DFES) and City of Albany requirements.

3.6 Infrastructure

3.6.1 Access

External Access

Access to the subject site is attained from Emu Point Drive which runs along the northern boundary of both Lots 3000 and 1523. Griffiths Street intersects with Emu Point Drive at the north western corner of Lot 3000 and runs along the south western boundary of Lot 3000. The road reserve then runs along the south eastern side of the existing residential lots and abuts the south western boundary of Lot 3001.

Internal Access

Internal access is proposed in line with the Local Structure Plan for the subject site. A number of access roads are proposed which will grant access to the proposed residential development as indicated on the Local Structure Plan.

A number of shared paths and trails are also proposed for the site in line with the Local Structure Plan in order to allow pedestrian access through the site and to the beach to the south. Walk trails are proposed to run through the existing bushland in three different locations in the portion of the lots proposed to be reserved as part of this proposal, as indicated in the Local Structure Plan.

3.6.2 Services

Water

There is an existing reticulated water service available to the subject site. The proposed residential development adjoining the portion of the lots the subject of this proposal requires reticulated water infrastructure and will be serviced by a large diameter water main extension from Collingwood Road, via Troode Street and Emu Point Drive.

Power

An existing overhead low voltage power line runs along the length of the subject site on the southern side of Emu Point Drive and along Griffiths Street. The existing residential area is serviced by a 50kVA pole top transformer.

New transformers and switch gear will be required throughout the whole development to service the proposed lots. As is best practice, it is likely that this infrastructure will be placed within road reserves or Public Open Space.

Sewer

The subject site is not currently serviced with a reticulated sewer service. The existing dwellings in Hope and Griffiths Street utilise onsite effluent disposal systems.

The proposed residential development adjoining the portion of the lots the subject of this proposal will be serviced by a reticulated sewer service. This will require the construction of a new gravity sewer line from the Barry Court pump station along Emu Point Drive.

The existing residential properties in Hope and Griffiths Street will also be offered the ability to connect to this service.

Telecommunications

There are optic fibre cables that currently exist along the southern side of Emu Point Drive to service the Emu Point area. As well as this, there are reticulation cables along part of the site's frontage, within Griffiths and Hope Streets and to the existing end of Medcalf Parade. All lots within the proposed subdivision will be provided with a suitable connection to telecommunications.

4 PLANNING CONTEXT

4.1 State and Regional Planning

4.1.1 State Planning Strategy and State Planning Framework

The State Planning Strategy (SPS) was released by the Western Australian Planning Commission (WAPC) in 1996 and provides an overall strategic planning framework for the State. The SPS is supported by the State Planning Framework (State Planning Policy No.1) which ensures all State and regional planning documents meet SPS principles.

There are five key principles that are advocated by the SPS:

Environment:

To protect and enhance the key natural and cultural assets of the State and deliver to all West Australians a high quality of life which is based on environmentally sustainable principles.

Community:

To respond to social changes and facilitate the creation of vibrant, safe and self-reliant communities.

Economy:

To actively assist in the creation of regional wealth, support the development of new industries and encourage economic activity in accordance with sustainable development principles.

Infrastructure:

To facilitate strategic development by making provision for efficient and equitable transport and public utilities.

Regional Development:

To assist the development of regional Western Australia by taking account of the special assets and accommodating the individual requirements of each region.

The proposed Amendment seeks to meet these principles, specifically the protection of key natural assets. The Amendment seeks to reserve the subject site as 'Parks and Recreation' and therefore conserve the existing natural asset.

4.1.2 State Sustainability Strategy

The State Sustainability Strategy (SSS) was adopted by the State Government in 2003. At the core of the SSS is a sustainability framework, comprising eleven sustainability principles. The principles that this proposal is affected by and addresses are:

- Biodiversity and ecological integrity- the site contains extensive natural habitat for a number of indigenous species, in particular Western Ringtail Possum habitat. The reservation and conservation of the site will ensure that the existing biodiversity and ecological values are

protected and will allow for the vital wildlife linkages to be maintained through and around existing and proposed development.

- Common good from planning- The proposed Amendment will help to ensure that there is an equitable distribution of public resources (including parks and recreation areas) so that ecosystem functions are maintained and a shared resource is available to all.

4.1.3 State Planning Policy No.1 – State Planning Framework Policy

The purpose of SPP1 is to bring together the State and regional policies that apply to land use and development in Western Australia and to establish the general principles for land use planning and development in WA. SPP1 states “*the primary aim of planning is to provide for the sustainable use and development of land*”. It goes on to quantify this through identifying and expanding upon the five key principles that further define this statement – environment, community, economy, infrastructure and regional development. The principles of SPP1 are reflected in the policies and strategies that impact this Amendment and have been taken into consideration throughout the preparation of this Amendment.

4.2 Local Planning

4.2.1 Albany Local Planning Strategy

The Albany Local Planning Strategy (ALPS) sets out the long term planning direction for the City of Albany and has regard to all relevant State and regional planning policies.

The ALPS identifies the strategic planning direction for the City of Albany over the next 20 years. It draws on the key elements from the City of Albany’s strategic planning document, 3D Vision, and notes that the City of Albany should become a Learning, Healthy and Thriving City.

The subject site is currently classified by the ALPS as ‘*Future Urban – Priority 2*’ and ‘*Existing Urban*’ as depicted in **Figure 4** below.

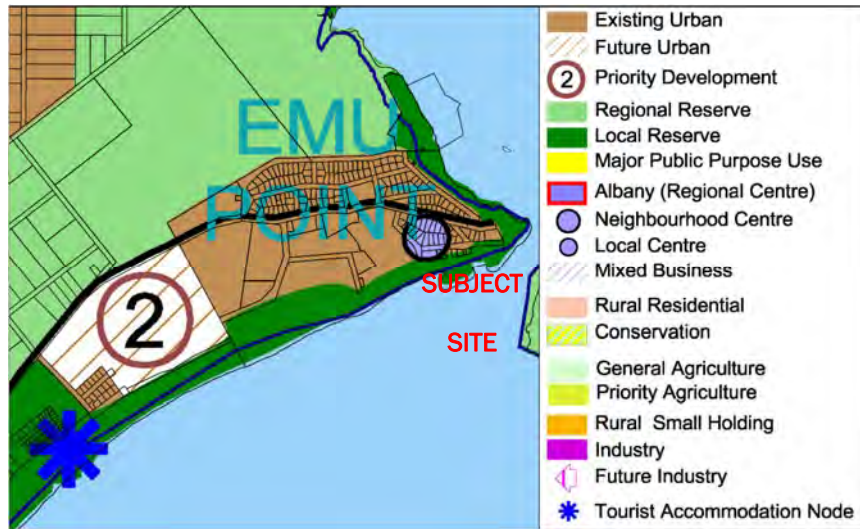


Figure 4: Albany Local Planning Strategy (Source: CoA)

Proposed development for the site (refer to Section 4.2.3 - Local Structure Plan below) is consistent with the ALPS classifications. The 'Existing Urban' and 'Future Urban' classification indicates that the site is suitable for residential development. The land subject of this Amendment is the remnant vegetation surrounding the proposed development as outlined in the associated Local Structure Plan.

The ALPS is divided into four strategies, settlement, environmental, economic and social, each with its own objectives and actions. This proposal is especially relevant to the environmental strategy direction.

The ALPS states strategic objectives in regards to the environment which include the following:

- *Encourage biodiversity preservation;*
- *Maintain the character of the rural landscapes within the district and protect areas of significant remnant vegetation;*
- *Establish, protect and manage a local open space system that integrates with the regional open space system; and*
- *Support and conserve the natural landscape and soil and water resources.*

The proposed Amendment meets the objectives as outlined above. The Amendment will ensure that the existing remnant vegetation and associated ecosystems are maintained and conserved. The proposal is to retain and reserve approximately 60% of the site in its natural state.

4.2.2 City of Albany Local Planning Scheme No.1

Under the City of Albany Local Planning Scheme No. 1 the subject site is reserved for 'Parks and Recreation' and zoned 'Future Urban'; these are shown in **Figure 3** as referred to earlier and are described as follows:

- Lots 1523 and 3000 Emu Point Drive have two zonings. The majority of the both lots are zoned 'Future Urban' with a strip being retained along Emu Point Drive reserved for 'Parks and Recreation' under the Scheme.
- Lot 3001 is currently zoned 'Future Urban'.

The Local Structure Plan associated with the subject site indicates the location of the proposed residential development within the relevant zonings. The residential development is proposed to be located fairly central on the lots. This Amendment is proposing to reserve the surrounding land and associated remnant vegetation for 'Parks and Recreation'.

4.2.3 Local Structure Plan

As referred to earlier, a Local Structure Plan has been prepared and submitted to the City of Albany in relation to the subject site. A copy of the Local Structure Plan is attached at **Appendix C**.

The Local Structure Plan was prepared with the intention of supporting the sustainable urban development of a portion of the subject lots. The intention of the Local Structure Plan is to allow for the development of approximately 133 residential lots, released in stages providing for a variety of housing products.

The Local Structure Plan is also supported by the provision of Design Guidelines, a Landscape Master Plan, Fire Management Plan, Traffic Study, Visual Impact Assessment, Local Water Management Strategy and a variety of environmental assessments including flora, fauna, Dieback and coastal processes assessments. Features of the Local Structure Plan include:

- o A Village Centre to provide a focus and meeting place for the surrounding residential area and passing traffic;
- o A range of residential lot types to accommodate apartment, townhouses, strata cluster dwellings and detached housing; and
- o Retention, enhancement and protection of approximately 60% of the site's vegetation.

It is the retention and preservation of the majority of the site's vegetation that is the focus of this Amendment. The proposed Amendment is seeking to ensure the long term future of the site's remnant vegetation by reserving the land in the City of Albany Local Planning Scheme No.1.

5 ISSUES

5.1 Ceding of Land

The subject of this Amendment is the land proposed to be ceded to the Crown and vested in the City of Albany for ongoing management. Therefore, in terms of future and ongoing management of the land, this will be the responsibility of the City of Albany.

5.2 Fire

Due to the nature of the site, fire management is a fundamental issue that needs to be addressed. A Fire Management Plan (FMP) was prepared by Bio Diverse Solutions in October 2011 to reflect the requirements of *Planning for Bush Fire Protection Edition 2 (2010)* and *AS 3959-2009 Construction of Buildings in Bush Fire Prone Areas*. A FMP was previously prepared by Opus International Consultants (2010) supporting the Local Structure Plan, however, this was based on a previous version of the abovementioned documentation.

To address both the City of Albany and DFES fire requirements, a revised Fire Management Plan has been completed taking into consideration the recent fire publications and guidelines (Bio Diverse Solutions, 2011).

As previously mentioned in this report, the majority of the site is vegetated. The FMP identifies the site as having a 'Moderate' bush fire hazard rating, based on the remnant vegetation located on the site and external fire risks. The previous FMP identified the site as having a 'Low' bush fire hazard rating. The requirements of the FMP have been reviewed to reflect the more stringent requirements of the increased fire hazard rating.

The FMP recommends the following measures are implemented within the Local Structure Plan to ensure that future subdivision and development complies with the requirements of *Planning for Bush Fire Protection Edition 2* and *AS3959-2009 Construction of Buildings in Bush Fire Prone Areas*:

- All internal public roads should be constructed to suitable standards and should allow two way access/egress;
- 25 m Hazard Separation Zone (HSZ) to be implemented in the north eastern portion of the ODP;
- Gated fire service for access/emergency egress to be provided to the Shared Use Paths (SUP) throughout the development;
- Houses fronting the area of fire risk to comply with designated Bushfire Attack Levels of BAL 19 and BAL 12.5. Dwellings on these properties will be required to be constructed in accordance with *AS3959 Construction of Buildings in Bush Fire Prone Areas*; and
- Placement of fire hydrants at 200 m intervals on subdivisional roads.

In the FMP, internal vegetation retained within the green spines (referred to as bushland corridors) is highlighted as a fire risk and is to be reduced to and maintained at a fuel reduced state of 2 tonnes

per hectare. Overstorey vegetation within green spines will be retained in accordance with the FMP, but understory clearing will need to occur.

All of the recommended requirements have been implemented within the Local Structure Plan. It is believed that the FMP addresses all of the requirements of *Planning for Bush Fire Protection Edition 2* and *AS3959-2009 Construction of Buildings in Bush Fire Prone Areas*. The development takes account of best practice for fire management planning.

As a result of changes to the fire management requirements and detailed engineering and earth works design up to 2.6 ha of hazard separation clearing will be required within green spines where overstorey vegetation will be retained in accordance with the FMP. The increase in clearing of understory vegetation within green spines resulted in a reduction in the area of vegetation to be retained within the development footprint and a need to vary the Environmental Protection Authority (EPA) approval for the proposed development (refer to Section 5.3.2 below).

5.3 EPA Approvals

5.3.1 State Approvals Status and History

In May 2007, Landcorp referred the proposed development of the Emu Point Residential Development to the EPA under Section 38 of the *Environmental Protection Act 1986*. The EPA set the level of assessment for the proposal at the level of Public Environmental Review (PER) with a four-week review period due to the potential impacts on significant fauna species and native vegetation. The PER was released for public review from 10 May 2010 until 7 June 2010.

On 18 April 2011, the EPA released their report to the Minister for Environment (EPA Report 1392: *Residential Subdivision Lots 3000 (Formerly Lot 1512) & 1532 Emu Point Drive Albany* ('the EPA Report')) regarding the site and the proposed development and Local Structure Plan (previously referred to as the Outline Development Plan). The report assessed the proposal and gave advice and recommendations to the Minister in relation to the key environmental factors.

The EPA decided that the following key environmental factors relevant to the proposal required detailed evaluation in the report:

- *Vegetation and flora; and*
- *Conservation of significant fauna.*

The EPA report noted the proposal will result in the clearing of 14.7 hectares (ha) of native vegetation within the development footprint and that approximately 16.3 ha of vegetation outside of the development footprint will be retained and is proposed to be protected for conservation. The EPA concluded that the acceptability of the proposed residential subdivision as outlined in the Local Structure Plan was made on the basis that the native vegetation proposed to be retained outside of the development footprint will be protected for conservation purposes in perpetuity.

Having considered the proposal the EPA recommended that a number of conditions be imposed. The matters addressed in the conditions included the following:

(a) Limiting clearing of vegetation within the development footprint to a maximum of 14.7 ha.

(b) The 16.3 ha of native vegetation outside the development footprint be zoned to allow for conservation.

Two appeals were lodged in objection to the contents of, and recommendations in, the EPA Report. These appeals were investigated by the Officer of the Appeals Convenor. The recommended conditions from the EPA report were then revised to reflect the Minister's appeal determination and provided to Landcorp for comment on 29 December 2011.

On 25 January 2012, Landcorp provided written comments on the draft conditions and requested a number of changes relating to the project key characteristic and conditions. These changes were linked to the revision of the Fire Management Plan (FMP) prepared by Bio Diverse Solutions in October 2011.

The proposal was approved by the Minister for Environment under Ministerial Statement 894 on 30 April 2012. It was subsequently noted however, that the final conditions and key characteristics included in Ministerial Statement 894 omitted Landcorp's comments and requested changes to the draft conditions.

5.3.2 Amendments to EPA's Conditions

In order to amend the proposal, Landcorp submitted requests under section 45c and section 46 of the *Environmental Protection Act 1986*. In May 2013, the EPA released their report to the Minister for Environment (EPA Report 1473: *Residential Subdivision on Lots 3000 (Formerly Lot 1512) & 1532 Emu Point Drive, Albany – Inquiry under section 46 of the Environmental Protection Act 1986 to change conditions 3 and 5 of Ministerial Statement 894* ('the EPA Report')). The Minister for Environment; Heritage published Statement 939 on 13 June 2013 implementing the changes to condition 5 in that condition 5-2 of Statement 894 is deleted.

In July 2013, changes to the proposal under s45c of the *Environmental Protection Act 1986* were such that:

1. That the native vegetation to be cleared within the development footprint be changed from 'not more than 14.7 hectares (includes 0.6 hectares of hazard separation where overstorey vegetation will be retained)' to 'not more than 16.5 hectares (includes 2.6 hectares of hazard separation where overstorey vegetation will be retained)'; and
2. That the area of vegetation to be retained within the development footprint be changed from 'not less than 2.2 hectares' to 'not less than 0.4 hectares'.

5.4 Commonwealth Approvals

5.4.1 Commonwealth Approvals Status and History

In May 2010, Landcorp referred the proposed development of the Emu Point Residential Development to the Department of Sustainability, Environment, Water, Population and

Communities (SEWPaC) (now Department of the Environment) under the *Environment Protection and Biodiversity Conservation Act 1999* (EPBC Act), following significant consultation as well as a site visit with representatives of SEWPaC.

On 8 June 2010, SEWPaC formally advised the proposed development was deemed a 'controlled action' and therefore required formal assessment and approval by the Minister for Sustainability, Environment, Water, Population and Communities. The proposed action was considered by SEWPaC to have a significant impact on listed threatened species and communities (sections 18 and 18A), specifically the Western Ringtail Possum (*Pseudocheirus occidentalis*) and Baudin's and Carnaby's White-tailed Black Cockatoos (*Calyptorhynchus baudinii* and *Calyptorhynchus latirostris*).

Preliminary Documentation for the Emu Point Residential Development was published for public comment from 6 July 2011 until 2 August 2011. Submissions received during the public comment period were addressed in the final Preliminary Documentation published on 7 March 2012.

In October 2012, SEWPaC released the EPBC Act *Environmental Offsets Policy* (SEWPaC, 2012). This policy outlines the Australian Government's approach to the use of environmental offsets under the EPBC Act.

Under the *Environmental Offsets Policy*, offsets are defined as "*measures that compensate for the residual adverse impacts of an action on the environment*" (SEWPaC, 2012). Residual impacts are further defined as the unavoidable impacts that remain after avoidance and mitigation measures have been put in place. Avoidance and mitigation measures can reduce and, in some cases, remove the need for offsets if the residual impact is not significant. For assessments under the EPBC Act, offsets are only required if residual impacts are significant (SEWPaC, 2012). A 'significant impact' is an impact which is important, notable, or of consequence, having regard to its context or intensity. Retention of the vegetation on site, and the protection of it in perpetuity via vesting with the City and placement of a restrictive covenant protecting the vegetation may negate the need for any further offsets.

6 JUSTIFICATION AND CONCLUSION

The proposal is to reserve a portion of Lot 3000 Emu Point Drive, Collingwood Park and Lot 3001 on Deposited Plan 51548 (currently zoned 'Future Urban') as well as a portion of Lot 1523 Emu Point Drive, Emu Point (currently zoned 'Future Urban') for 'Parks and Recreation' by the City of Albany Local Planning Scheme No.1.

The proposed Amendment is justified on the following grounds.

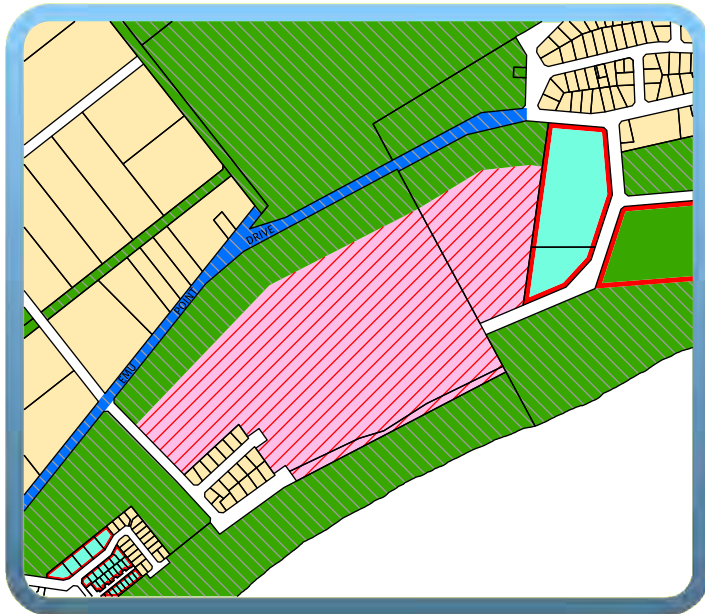
- It will ensure the long term conservation of the existing remnant vegetation and associated ecosystems for the site;
- It will remove zonings that propose the future development of urban areas on the subject site. Further urban areas would not be appropriate given the Local Structure Plan that has been prepared and the associated reporting that has been undertaken;
- It is in accordance with the Environmental Protection Authority's report for the site (dated May 2013) and the recommendations and conditions resulting from it;
- It is in accordance with the associated Local Structure Plan for the site; and
- It is working towards ceding the subject site to the Crown to be vested in the City of Albany. This will allow for the adequate environmental management of the subject site.

Endorsement of the Amendment is therefore respectively requested.

CITY OF ALBANY

Local Planning Scheme No. 1

Amendment No. 2

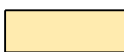





Existing Zoning

LOCAL SCHEME RESERVES

-  Local Roads
-  Priority Road
-  Parks and Recreation

ZONES

-  Residential
-  Future Urban
-  Caravan & Camping
-  Hotel / Motel



Proposed Zoning



PLANNING AND DEVELOPMENT ACT 2005

CITY OF ALBANY

LOCAL PLANNING SCHEME NO.1

AMENDMENT No.2

The City of Albany under and by virtue of the powers conferred upon it in that behalf by the Planning and Development Act 2005 hereby amends the above local planning scheme by:

1. Reserving a portion of Lot 3000 Emu Point Drive, Collingwood Park and Lot 3001 on Deposited Plan 51548 (currently zoned 'Future Urban') and a portion of Lot 1523 Emu Point Drive, Emu Point (currently zoned 'Future Urban') for 'Parks and Recreation', and amending the Scheme Maps accordingly.

PLANNING AND DEVELOPMENT ACT 2005

CITY OF ALBANY

LOCAL PLANNING SCHEME NO.1

AMENDMENT No.2

ADOPTION:

Adopted by resolution of the Council of the City of Albany at the meeting of the Council held on the _____ day of _____ 201__:

Mayor

Chief Executive Officer

FINAL APPROVAL:

Adopted for final approval by resolution of the City of Albany at the meeting of the Council held on the _____ day of _____ 201__ and the Common Seal of the municipality was pursuant to that resolution hereunto affixed in the presence of:

Mayor

Chief Executive Officer

RECOMMENDED / SUBMITTED FOR FINAL APPROVAL:

Delegated under s.16 of the PD Act 2005

Date

FINAL APPROVAL GRANTED:

Minister for Planning

Date

APPENDIX A – CERTIFICATES OF TITLE

P51548

<u>Lot Number</u>	<u>Part Register Number</u>	<u>Section Sheet Number</u>	<u>Lot Number</u>	<u>Part Register Number</u>	<u>Section Sheet Number</u>
3000	2652/911	1	3001	LR 3140/947	1

APPENDIX B – SITE PLAN



116 Serpentine Road. ALBANY WA 6330
 T: 08 9841 7333 F: 08 9841 3643
 E: hgalb@harleyglobal.com.au

SITE PLAN

LOT 1523 ON DP 28399,
 LOT 3000 ON DP 51548 &
 LOT 3001 ON DP 51548
 EMU POINT DRIVE
 COLLINGWOOD PARK



SCALE AT A4 1:10000



ALL DISTANCES ARE IN METRES

DRAWN	CHECKED	DRAWING No
AMS 14/09/11	LB 14/09/11	14581-15A.dgn
REV	DESCRIPTION	DATE
A	Original Drawing	14/09/11

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NOTE:
 This plan has been prepared for planning purposes. Areas, Contours and Dimensions shown are subject to survey.





APPENDIX C – LOCAL STRUCTURE PLAN

LOCAL STRUCTURE PLAN

EMU POINT RESIDENTIAL DEVELOPMENT
LOT 3000 & LOT 1523 EMU POINT DRIVE, COLLINGWOOD PARK



This Local Structure Plan has been adopted by Council and signed by the Chief Executive Officer for the City of Albany

Chief Executive Officer.....Date.....

LEGEND

- | | | | |
|---|--|---|--|
| <p>Local Structure Plan Boundary</p> <p> Local Structure Plan Boundary</p> | | <p>Open Space:</p> <p> Bushland Nodes</p> <p> Retained Bushland</p> <p> Bushland Corridors</p> <p> Hazard Separation Zone (Modified Landscape)</p> | |
| <p>Land Use:</p> <p>PRECINCTS</p> <p> Village Centre Precinct Medium Density Residential (R30 & R40)</p> <p> Apartment Buildings Mixed Use
- Residential density determined by vertical building envelope.
- Ground floor commercial fronting street.
- Shop(Deli/Cafe), Consulting Rooms, Day Care Centre, Newsagency and Office
- Up to 4 storeys height.</p> <p> Single House Precinct Low Density Residential (R20)</p> <p> Subdivisional Layout (Indicative Only)</p> <p> Cluster Precinct Low Density Residential (R20)</p> <p> AS 3959* Requirements Apply</p> <p> 6m Front Setback (No Averaging)</p> <p> Beachside Precinct Medium Density Residential (R30)</p> <p> Landscaped Rear Setback</p> <p> Potential City Reserve for Public Amenity</p> | | <p>Infrastructure:</p> <p> Main Access Street</p> <p> Access Streets</p> <p> Slow Speed Link for Service Vehicles</p> <p> 4m Wide Laneway</p> <p> Shared Path (2.5m Wide)</p> <p> Existing Shared Path</p> <p> Trails</p> <p> Proposed Roundabout (refer to 4:4:2)</p> | |
| <p> Potential City Reserve for Public Amenity</p> | | <p>Other:</p> <p> Indicative Parking Bay Locations</p> <p> Existing Bus Stop</p> <p> Horizontal Setback Datum</p> <p> Visually Permeable Uniform Fencing</p> | |

* Higher construction standards for fire protection.



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note:
This plan has been prepared for planning purposes. Areas, Contours and Dimensions shown are subject to survey

Drawn ABS 22/08/2011 Checked GA 22/08/2011

HG Ref 14581-40A



Note:
The Griffiths Street road reserve design is indicative only. A detailed design needs separate approval in writing by the City of Albany.

SCALE AT A3 1:4000



APPENDIX D – EPA SCHEME AMENDMENT CHECKLIST

Attachment A3-2

Referral of a Scheme to the EPA and Environmental Checklist

REFERRAL OF
A SCHEME

Environmental Protection Authority

Referral of a Scheme to the Environmental Protection Authority

PURPOSE OF THIS GUIDE

Referral requirements are set out in the planning legislation relevant to the scheme*, and include a requirement that the EPA is given such written information about the scheme as is sufficient to enable the EPA to comply with section 48A of the *Environmental Protection Act 1986* i.e. to decide whether or not to assess the scheme.

The purpose of this guide is to help clarify referral requirements.

Whilst the EPA has some general information for each municipality, it often does not have local or site specific information. Under the relevant planning legislation, it is the role of the authority responsible for the scheme to provide sufficient information. The information that is likely to be sufficient in most instances is indicated in this guide. The EPA will advise if further information is required. Upon receiving sufficient information, the EPA must make a decision within 28 days on whether or not to assess the scheme.

A referral must contain:

- A copy of council's resolution to prepare or adopt the scheme. Referral upon adoption is preferred as more information is usually available at that time.
- Scheme documentation - a hard copy of the referral of the scheme (as defined under the *Environmental Protection Act 1986*), text and map/s, **together with** an electronic copy of the documentation (see Spatial Data for Environmental Impact Assessment attached), as follows:
 - a compact disc version of the scheme, or scheme amendment, in PDF (Portable Document Format) file format, contained in a soft clear plastic adhesive-backed envelope;
 - spatial data (GIS or CAD) on CD, depicting the scheme/amendment extent, geo-referenced and conforming to the following parameters:
 - Datum: GDA94;
 - Projection: Geographic (latitude/longitude) or Map Grid of Australia (MGA);
 - Format: Arcview shapefile, Arcinfo coverages, Microstation or AutoCAD.
- Sufficient information for the EPA to decide whether or not to assess the scheme. This will usually be a completed **Environmental Checklist** (see over), and, in cases where the scheme may have environmental implications, the following:
 - clear identification on a map of the location of the land to which the scheme applies
 - an outline development plan or subdivision guide plan, where appropriate
 - information on relevant items in the environmental checklist (see over)
 - when electronic documentation is not available, additional copies of the scheme documentation for the EPA Service Unit to forward to the Department of Environment and Conservation and other agencies for technical advice.

If the information submitted to the EPA is not sufficient for the EPA to decide whether or not to assess the scheme, the EPA may request additional information.

The EPA Service Unit's Planning and Infrastructure Branch can advise on referral requirements and issues of environmental significance. Liaison with the EPA Service Unit may be particularly helpful in the following instances - schemes raising potentially significant environmental issues, and whole-of-municipality town planning schemes. The Planning and Infrastructure Branch can be contacted by ringing 6364 6500 and asking for an environmental officer who deals with the region.

* In this form, the term **scheme** has the same meaning as in *Environmental Protection Act 1986*, and includes town planning schemes, regional planning schemes and their amendments.

Referral of a scheme to the Environmental Protection Authority

ENVIRONMENTAL CHECKLIST

Title of scheme*: _____

This checklist is intended to assist authorities responsible for schemes to identify potential environmental issues, and to supply the information that the EPA requires to decide whether or not to assess a scheme.

Please tick the appropriate box and supply the information indicated at Section D below to the EPA. For clarification of any terms or descriptions used, please refer to EPA Guidance No. 33 'Environmental Guidance for Planning and Development' or the Planning and Infrastructure Assessments Branch of the EPA Service Unit.

A. Biophysical factors

Yes No Unsure

- | | | | |
|--|--------------------------|--------------------------|--------------------------|
| 1. Does the area to which the scheme applies contain or adjoin any of the following? | | | |
| a) bushland. If yes, identify | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| b) a wetland (includes seasonally damp land), watercourse or river - if yes, identify | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| c) an estuary or inlet. If yes, identify | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| d) coastal area or near-shore marine area. If yes, identify | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| e) a public water supply area. If yes, identify | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| f) a landform of special interest, for example, karst, beach ridge plain. If yes, identify | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 2. Is any area to which the scheme applies in a catchment that is of particular environmental concern or interest?
If yes, identify the catchment: | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Lake Clifton catchment | <input type="checkbox"/> | | |
| Swan Coastal Plain catchment of the Peel-Harvey Estuary | <input type="checkbox"/> | | |
| Swan and Canning Rivers catchment (other than Ellenbrook catchment) | <input type="checkbox"/> | | |
| Ellenbrook catchment | <input type="checkbox"/> | | |
| Other catchment (please name) | <input type="checkbox"/> | | |
| 3. Is the land to which the scheme applies the subject of any significant or potentially significant soil or land degradation issues, for example, salinity, waterlogging, erosion, acid sulphate soil?
If yes, identify issue/s: _____ | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

B. Pollution management

- | | | | |
|--|--------------------------|--------------------------|--------------------------|
| 4. Does the scheme allow for a land use that will or could discharge a significant quantity of a potential pollutant to the air, surface water, soil or groundwater?
If yes, please identify the land use/s, and associated pollutants: _____ | | | |
| | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

NOTE: In this form, the term 'scheme' has the same meaning as in *Environmental Protection Act 1986*, and includes regional and town planning schemes and their amendments.

	Yes	No	Unsure
5. Does the scheme allow for a land use that could require a buffer over adjoining land? that is, does it allow for uses that may affect adjoining land (including land that may be used for future residential use) due to gases, noise, vibration, odours, light?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
If yes, please identify land use/s, and off-site areas that may be affected:			
<hr/>			
What is the distance to the nearest residences?			
6. Would the scheme allow a residential area or sensitive land use (e.g. school) to be located in an area likely to be affected by emissions (e.g. gases, noise, odour) from industry, agriculture or infrastructure (e.g. landfill site)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
If yes, please identify:			
<hr/>			
7. Does the scheme apply to a site that has been used for a past land use which may have contaminated the soil or groundwater, for example, market garden, industrial use, fill?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
If yes, please identify:			
<hr/>			
8. Does the scheme apply to any land with a high watertable?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
C. Social surroundings			
9. Does the scheme raise any issues known to be of concern to the public?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
If yes, is the concern to the public related to an environmental issue?			
Please specify the environmental issue(s) of concern			
<hr/>			
10. Is the scheme likely to raise heritage or cultural issues due to impacts on the biophysical environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
If yes, please identify			
<hr/>			
11. Does the scheme apply to areas of land where there are existing or potential land uses associated with high levels of risk, for example, a high pressure gas pipe line, heavy industry	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
If yes, please identify:			
<hr/>			
D. Additional information			
<ul style="list-style-type: none"> • If all answers to the questions above are 'no', no other environmental information is required to accompany this checklist. • If answers include 'yes' or 'unsure', please provide information for those items on: <ul style="list-style-type: none"> o the existing environment o potential environmental impacts and their magnitude/significance o how the impacts will be managed to ensure a good environmental outcome. 			
The EPA will review the checklist and information submitted and if not sufficient for the EPA to decide whether or not to assess the scheme, the EPA may request additional information.			
Name of person completing form: _____ Date: _____			
Position: _____ Contact _____ Phone/Email: _____			

CITY OF ALBANY

REPORT

To : His Worship the Mayor and Councillors
From : Administration Officer - Planning
Subject : Planning Scheme Consents – August 2014
Date : 1 September 2014

1. The attached report shows Planning Scheme Consents issued under delegation by a planning officer for the month of August 2014.
2. Within this period 62 Planning Scheme Consent applications were determined, of these;
 - 61 Planning Scheme Consent applications were approved under delegated authority; and
 - 1 Planning Scheme Consent application was cancelled.



Jessica Davidson
Administration Officer – Planning

PLANNING SCHEME CONSENTS ISSUED UNDER DELEGATED AUTHORITY

Applications determined for August 2014.

Application Number	Application Date	Applicant	Street Address	Locality	Description of Application	Decision	Decision Date	Assessing Officer
P2140247	25/06/2014	Schlager Homes	Watkins Road	Albany	Single House - Design Codes Relaxation (Overlooking) & Policy Variation (Roof Pitch)	Delegate Approved	1/08/2014	Jess Anderson
P2140273	8/07/2014	Powerhouse Architectural Drafting	Melville Street	Albany	Single House - Additions - Design Codes Relaxation & Policy Variations (Overheight)	Delegate Approved	11/08/2014	Taylor Gunn
P2140302	16/07/2014	H+H Architects	Stirling Terrace	Albany	Conservation Works - Painting Building Facade	Delegate Approved	18/08/2014	Tom Wenbourne
P2140343	16/07/2014	H+H Architects	Stirling Terrace	Albany	Conservation Works - Painting facade and replacement verandah	Delegate Approved	27/08/2014	Tom Wenbourne
P2140344	16/07/2014	H+H Architects	Stirling Terrace	Albany	Conservation Works - Minor repair and repainting of facade	Delegate Approved	13/08/2014	Tom Wenbourne
P2140345	16/07/2014	H+H Architects	Stirling Terrace	Albany	Conservation Works - Painting the facades of buildings	Delegate Approved	28/08/2014	Tom Wenbourne
P2140346	16/07/2014	H+H Architects	Stirling Terrace	Albany	Conservation Works - Painting the facade	Delegate Approved	27/08/2014	Tom Wenbourne
P2140347	16/07/2014	H+H Architects	Stirling Terrace	Albany	Conservation Works - Painting exterior (facade)	Delegate Approved	30/08/2014	Tom Wenbourne
P2140387	21/05/2014	K Rogerson	Stirling Terrace	Albany	Conservation Works - Painting Facade	Delegate Approved	30/08/2014	Tom Wenbourne
P2140265	4/07/2014	S Sloan	Gresham Terrace	Bayonet Head	Home Business (Tutoring)	Delegate Approved	18/08/2014	Taylor Gunn
P2140305	22/07/2014	Schlager Homes	Culley Road	Bayonet Head	Single House (Design Codes Relaxation)	Cancelled	1/08/2014	Taylor Gunn
P2140350	8/08/2014	D De Vos	Maddison Way	Bayonet Head	Single House - Addition (Deck Extension)	Delegate Approved	14/08/2014	Chris Lynch
P2140369	18/08/2014	K Matson	Waters Road	Bayonet Head	Single House - Outbuilding (Design Codes Assessment - Setbacks)	Delegate Approved	22/08/2014	Taylor Gunn
P2140376	21/08/2014	Ironmonger Building Company	Bayonet Head Road	Bayonet Head	Single House - Additions (Rear Deck and Double Carport) - Design Codes Assessment	Delegate Approved	28/08/2014	Chris Lynch
P2140371	18/08/2014	City Of Albany	Lockyer Avenue	Centennial Park	Development - Water Tank	Delegate Approved	22/08/2014	Chris Lynch

Application Number	Application Date	Applicant	Street Address	Locality	Description of Application	Decision	Decision Date	Assessing Officer
P2140196	28/05/2014	Concept Building Design And Drafting	Brewster Road	Collingwood Heights	Place of Worship	Delegate Approved	29/08/2014	Taylor Gunn
P2140356	12/08/2014	B & M Wassink	Boronia Avenue	Collingwood Heights	Holiday Accomodation (Temporary Anzac Periods)	Delegate Approved	28/08/2014	Taylor Gunn
P2140268	7/07/2014	AD Bathgate	Trebor Road	Cuthbert	Agriculture - Intensive (Vegetables) - Storage Shed	Delegate Approved	8/08/2014	Jess Anderson
P2140335	5/08/2014	MCB Construction Pty Ltd	Mutton Bird Road	Elleker	Development - Shed	Delegate Approved	22/08/2014	Jan van der Mescht
P2140348	7/08/2014	City Of Albany	Mermaid Avenue	Emu Point	Restaurant - Additions (Disability Access Ramp)	Delegate Approved	8/08/2014	Taylor Gunn
P2140368	15/08/2014	Powerhouse Architectural Drafting	Bedwell Street	Emu Point	Single House - Additions (Upper floor deck to front; rear patio) Design Codes Assessment	Delegate Approved	20/08/2014	Taylor Gunn
P2140150	23/04/2014	R Jepp	St Georges Crescent	Goode Beach	Single House (Design Codes Relaxation)	Delegate Approved	6/08/2014	Chris Lynch
P2140272	8/07/2014	KJ Benson	La Perouse Road	Goode Beach	Single House	Delegate Approved	4/08/2014	Jess Anderson
P2140314	25/07/2014	R & A Neillings	Caledonia Crescent	Goode Beach	Single House & Ancillary Accommodation (Change of Use of existing Dwelling)	Delegate Approved	18/08/2014	Jess Anderson
P2140333	5/08/2014	J Edwards	Walford Road	Kalgan	Rural Pursuit (Rearing of Sheep and Cattle for Domestic Use)	Delegate Approved	15/08/2014	Jess Anderson
P2140370	18/08/2014	S Adis	Walford Road	Kalgan	Development - Water Tank	Delegate Approved	20/08/2014	Taylor Gunn
P2140359	13/08/2014	Harley Dykstra Pty Ltd	Chester Pass Road	King River	Industry - Rural (Agroforestry Machinery Workshop; Storage; and Incidental Office)	Delegate Approved	22/08/2014	Jan van der Mescht
P2140324	1/08/2014	S Beech	Elaray Way	Lange	Single House - Outbuilding (Located on rear & side boundary)	Delegate Approved	7/08/2014	Chris Lynch
P2140328	4/08/2014	P Giuntoli	Chipana Drive	Little Grove	Single House - Outbuilding (Overheight)	Delegate Approved	15/08/2014	Chris Lynch
P2140336	5/08/2014	Concept Building Design And Drafting	Grove Street East	Little Grove	Single House (R-codes Assessment - Overlooking)	Delegate Approved	27/08/2014	Jess Anderson
P2140354	11/08/2014	Plunkett Homes	Blackswan Court	Little Grove	Single House - R-Codes Assessment	Delegate Approved	15/08/2014	Jess Anderson
P2140364	15/08/2014	Dunkeld Construction	Frenchman Bay Road	Little Grove	Single House - Outbuilding (Side Setback Variation)	Delegate Approved	22/08/2014	Chris Lynch
P2140263	3/07/2014	S Smith	Hillview Rise	Lower King	Single House and Outbuilding (Setback Relaxation)	Delegate Approved	15/08/2014	Jess Anderson

Application Number	Application Date	Applicant	Street Address	Locality	Description of Application	Decision	Decision Date	Assessing Officer
P2140308	23/07/2014	S & S Nostrini	Milne Close	Lower King	Single House - Additions (Two Storey Additional Bedroom and Living Space)	Delegate Approved	5/08/2014	Taylor Gunn
P2140318	29/07/2014	L Leeder	Daniels Close	Lower King	Single House - Retaining Wall (Cut and Fill Greater than 600mm)	Delegate Approved	6/08/2014	Chris Lynch
P2140327	4/08/2014	Hobbs Smith And Holmes Pty Ltd	Norwood Road	Lower King	Single House and Outbuilding (Overheight)	Delegate Approved	20/08/2014	Jan van der Mescht
P2140375	21/08/2014	J Stewart	Morilla Road	Lower King	Single House and Outbuilding	Delegate Approved	22/08/2014	Jess Anderson
P2140304	22/07/2014	R & A Brown	Tennessee Road South	Lowlands	Farm Workers Accommodation (Existing Dwelling) and New Single House (Cut and Fill Exceeding 600mm)	Delegate Approved	7/08/2014	Taylor Gunn
P2140286	15/07/2014	P Hull & K Enomoto	Hunwick Road	Marbelup	Bed and Breakfast/Farmstay	Delegate Approved	8/08/2014	Chris Lynch
P2140301	21/07/2014	MCB Construction Pty Ltd	Barfleur Place	Marbelup	Storage (Domestic)	Delegate Approved	13/08/2014	Jess Anderson
P2140261	2/07/2014	J Smith	Littleheart Place	McKail	Single House - Design Codes Relaxation (Front & Side Setback Relaxation)	Delegate Approved	14/08/2014	Chris Lynch
P2140358	13/08/2014	Koster's Outdoor Pty Ltd	Gladville Road	McKail	Single House - Outbuilding Addition Setback Variation	Delegate Approved	25/08/2014	Chris Lynch
P2140326	1/08/2014	G Ironmonger	Warburton Street	Middleton Beach	Single House - (Design Codes Variations)	Delegate Approved	12/08/2014	Taylor Gunn
P2140128	3/04/2014	F Flavel	Millbrook Road	Millbrook	Animal Husbandry - Intensive (Piggery)	Delegate Approved	28/08/2014	Jan van der Mescht
P2140331	4/08/2014	City Of Albany	Apex Drive	Mount Clarence	Development - (Upgrade Water Supply) Demolition of Existing Tank; 2 x New 22500L Water Tanks; Cut and Fill in Excess of 600mm (Retaining Wall); Water	Delegate Approved	25/08/2014	Tom Wenbourne
P2140337	5/08/2014	Concept Building Design And Drafting	Serpentine Crescent	Mount Melville	Single House (Alterations & Additions)	Delegate Approved	18/08/2014	Taylor Gunn
P2140367	15/08/2014	L & C Burrell	Robinson Street	Mount Melville	Single House - Additions (Design	Delegate	25/08/2014	Jess Anderson
P2140283	7/07/2014	Concept Building Design And Drafting	Minor Road	Orana	Single House	Delegate Approved	8/08/2014	Jess Anderson
P2140284	7/07/2014	Concept Building Design And Drafting	Katoomba Street	Orana	Grouped Dwellings x 2	Delegate Approved	8/08/2014	Jess Anderson

Application Number	Application Date	Applicant	Street Address	Locality	Description of Application	Decision	Decision Date	Assessing Officer
P2140300	18/07/2014	J Lock	South Coast Highway	Orana	Home Business (Tutoring)	Delegate Approved	28/08/2014	Taylor Gunn
P2140274	8/07/2014	Wren (WA) Pty Ltd	Robinson Road	Robinson	Single House & Change of Use of Existing Shed (To Habitable Room)	Delegate Approved	7/08/2014	Tom Wenbourne
P2140306	22/07/2014	Ranbuild Great Southern	Newton Street	Robinson	Storage Shed (Addition to Existing)	Delegate Approved	5/08/2014	Taylor Gunn
P2140285	14/07/2014	M Murray	North Road	Spencer Park	Home Occupation (Catering)	Delegate Approved	14/08/2014	Chris Lynch
P2140353	11/08/2014	L Black	Perkins Beach Road	Torbay	Youth Camp - Alterations and Additions (New Disabled Toilets and Ensuite in Chapel)	Delegate Approved	19/08/2014	Taylor Gunn
P2140213	10/06/2014	B Keillor	Frenchman Bay Road	Torndirrup	Single House - Relaxation of Scheme Provisions (Setbacks) and Policy (Finished Floor Level)	Delegate Approved	6/08/2014	Jess Anderson
P2140349	7/08/2014	R Dekker	Albany Hwy	Warrenup	Single House - Additions (Bedroom Ensuite Verandah & Patio)	Delegate Approved	22/08/2014	Chris Lynch
P2140381	25/08/2014	J Bevilaqua	Warrenup Place	Warrenup	Single House - Outbuilding (Overheight)	Delegate Approved	30/08/2014	Tom Wenbourne
P2140351	11/08/2014	Ryde Building Company Pty Ltd	Greenwood Drive	Willyung	Single House - Fill Exceeding 600mm	Delegate Approved	18/08/2014	Jess Anderson
P2140352	11/08/2014	Ryde Building Company Pty Ltd	Weston Ridge	Willyung	Single House - Fill Exceeding 600mm	Delegate Approved	18/08/2014	Jess Anderson
P2140233	20/06/2014	D Cooper	Leonora Street	Yakamia	Ancillary Accommodation	Delegate Approved	15/08/2014	Chris Lynch
P2140258	1/07/2014	A James	Hall Rise	Yakamia	Bed and Breakfast	Delegate Approved	5/08/2014	Taylor Gunn
P2140338	6/08/2014	Koster's Outdoor Pty Ltd	Notley Street	Yakamia	Single House - Outbuilding (R-Codes Assessment - Boundary Setbacks)	Delegate Approved	8/08/2014	Chris Lynch

CITY OF ALBANY

REPORT

To : His Worship the Mayor and Councillors
From : Administration Officer - Development
Subject : Building Activity – August 2014
Date : 1st September 2014

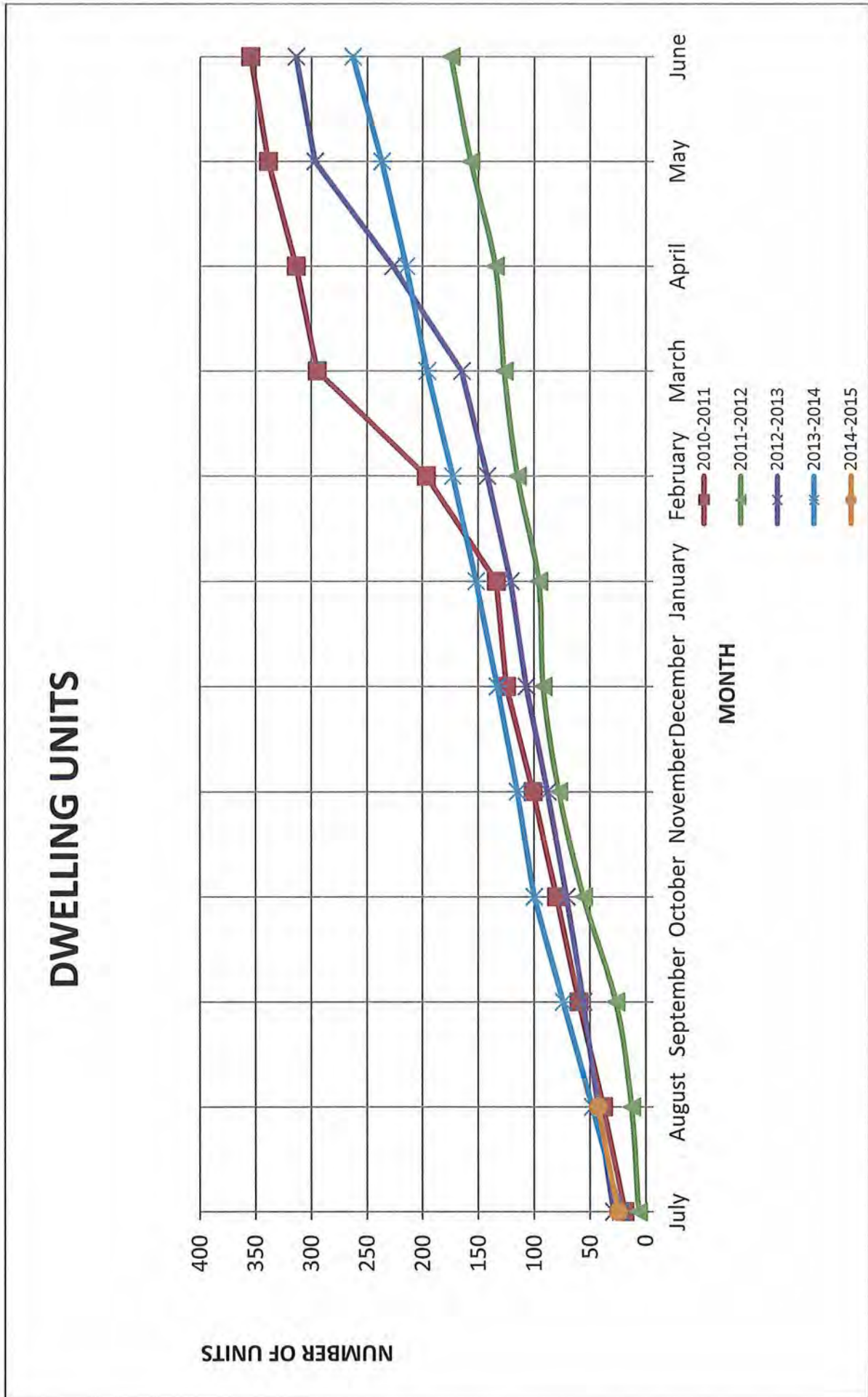
1. In August 2014, 72 building permits were issued for building activity worth \$6,366,994. This included 3 demolition licences and 2 sign licences.
2. The 2 attached graphs compare the current City activity with the past 3 fiscal years. One compares the value of activity, while the other compares the number of dwelling units.
3. A breakdown of building activity into various categories is provided in the Building Construction Statistics form.
4. Attached are the details of the permits issued for August 2014, the second month of activity in the City of Albany for the financial year 2014/2015.

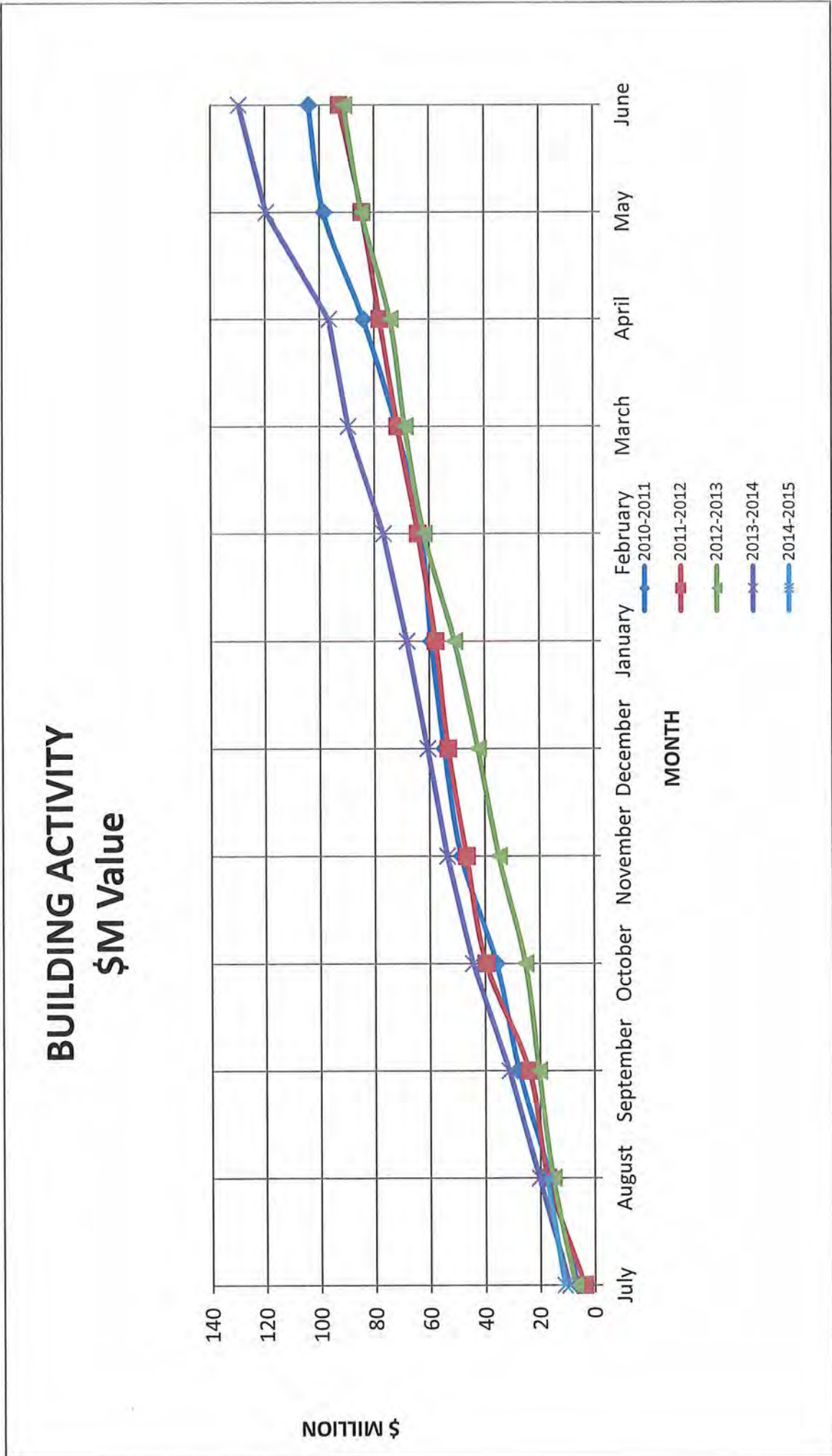


Jasmin Corcoran
Administration Officer – Development

CITY OF ALBANY
BUILDING CONSTRUCTION STATISTICS FOR 2014 - 2015

2014-2015	SINGLE DWELLING		GROUP DWELLING		DOMESTIC/ OUTBUILDINGS		ADDITIONS/ DWELLINGS		HOTEL/ MOTEL		NEW COMMERCIAL		ADDITIONS/ COMMERCIAL		OTHER		TOTAL \$ VALUE	
	No	\$ Value	No	\$ Value	No	\$ Value	No	\$ Value	No	\$ Value	No	\$ Value	No	\$ Value	No	\$ Value	No	\$ Value
JULY	24	6,129,910	1	275,000	19	452,292	34	916,879	0	0	2	1,392,677	9	1,273,004	17	712,190	11,151,952	
AUGUST	18	4,891,437	0	0	16	316,435	19	215,747	0	0	1	310,000	4	279,820	7	353,555	6,366,994	
SEPTEMBER																		
OCTOBER																		
NOVEMBER																		
DECEMBER																		
JANUARY																		
FEBRUARY																		
MARCH																		
APRIL																		
MAY																		
JUNE																		
TOTALS TO DATE	42	11,021,347	1	275,000	43	768,727	53	1,132,626	0	0	3	1,702,677	13	1,552,824	24	1,065,745	17,518,946	





BUILDING, SIGN & DEMOLITION LICENCES ISSUED UNDER DELEGATED AUTHORITY

Applications determined for August 2014

Application Number	Builder	Description of Application	Street #	Property Description	Street Address	Suburb
140618	OWNER BUILDER	VARIATION TO ORIGINAL PERMIT 130627 -	3-5	Lot 13	FINLAY STREET	ALBANY
140666	BUILDING APPROVAL	BUILDING APPROVAL CERTIFICATE - RELOCATE EXTERNAL STAIRS	23	Lot 73	FESTING STREET	ALBANY
140642	CERTIFICATE OWNER BUILDER	STONE RETAINING WALL - UNCERTIFIED	164	Lot 3	GREY STREET WEST	ALBANY
140650	RWE ROBINSON &	WINDOW REPLACEMENT - UNCERTIFIED	266B	Lot 2	YORK STREET	ALBANY
140604	SONS PTY LTD DOWNWRITE	CERTIFIED FULL DEMOLITION	72-80	Lot 43	STIRLING TERRACE	ALBANY
140591	DEMOLITION OWNER BUILDER	EARL STREET APARTMENTS - SIGN SCAFFOLDING	17	Lot 18	EARL STREET	ALBANY
140651	ALBANY SCAFFOLD HIRE	ALBANY SCAFFOLD	266B	Lot 2	YORK STREET	ALBANY
140658	OCCUPANCY PERMIT	OCCUPANCY PERMIT	162-164	Location Lot 8	YORK STREET	ALBANY
140603	PULS PATIOS	Skillion Patio	20	Lot 501	ALISON PARADE	BAYONET HEAD
140611	ECOFIT HOMES	CARPOR PORCH & OUTDOOR LIVING AREA - UNCERTIFIED	SITE 40	Lot 501	ALISON PARADE	BAYONET HEAD
140664	ECOFIT HOMES	CARPOR & PATIO - UNCERTIFIED	SITE 42	Lot 501	ALISON PARADE	BAYONET HEAD
140657	SOUTH COAST SHEDS	UNCERTIFIED SHED - UNCERTIFIED	38	Lot 947	ANCHORAGE VISTA	BAYONET HEAD
140665	ECOFIT HOMES	PARK HOME - UNCERTIFIED	SITE 42	Lot 501	ALISON PARADE	BAYONET HEAD

Application Number	Builder	Description of Application	Street #	Property Description	Street Address	Suburb
140610	ECOFIT HOMES	PARK HOME -	SITE 40	Lot 501	ALISON PARADE	BAYONET HEAD
140615	RYDE BUILDING	UNCERTIFIED NEW DWELLING -	11	Lot 808	GRESHAM TERRACE	BAYONET HEAD
140598	COMPANY PTY LTD POCOCK BUILDING	UNCERTIFIED NEW DWELLING -	54	Lot 797	HOUGHTON BOULEVARD	BAYONET HEAD
140634	COMPANY PTY LTD DUNKELD	UNCERTIFIED EXTEND EXISTING	55-57	Lot 57	SANFORD ROAD	CENTENNIAL
140628	CONSTRUCTION PTY LTD DUNKELD	BUILDING NEW ADMIN AREA TOILETS WAREHOUSE - CERTIFIED	62-64	Lot 15	SANFORD ROAD	PARK CENTENNIAL
140648	CONSTRUCTION PTY LTD OWNER BUILDER	STABLES - UNCERTIFIED	229-233	Lot 32	ULSTER ROAD	PARK COLLINGWOOD
140636	OWNER BUILDER	ADDITION TO EXISTING	241-247	Lot 234	ULSTER ROAD	HEIGHTS COLLINGWOOD
140627	OWNER BUILDER	SHED - UNCERTIFIED 2 X SHED'S -	39	Location 7249	OLD SCHOOL ROAD	HEIGHTS ELLEKER
140640	CITY OF ALBANY	UNCERTIFIED ALTERATIONS/ADDITIONS	1	Location RES	MERMAID AVENUE	EMU POINT
140629	CLAUDIO CARLO & ROMEO GIANNI	- CERTIFIED ALTERATIONS & REVAMP TO EXISTING SEA		22698, Lot PT1461 Location RES	SWARBRICK STREET	EMU POINT
140616	GLIOSCA G & J KELLY PTY LTD	RESCUE BUILDING - CERT RETAINING WALLS FOR SUBDIVISION -		42964, Lot 501 Lot 9010	LITTLE OXFORD STREET	GLEDHOW
140600	MATT KINGDON	UNCERTIFIED ALTERATIONS/ADDITIONS	33	Lot 130	KARRAKATTA ROAD	GOODE BEACH
140671	HERITAGE TANKS	UNCERTIFIED WATER TANK -	60	Lot 17	HUNTON ROAD	KALGAN
140578	SOUTH COAST SHEDS	UNCERTIFIED SHED - UNCERTIFIED	70	Lot 18	HUNTON ROAD	KALGAN

Application Number	Builder	Description of Application	Street #	Property Description	Street Address	Suburb
140641	OWNER BUILDER	SHED - UNCERTIFIED	6	Lot 211	ELARAY WAY	LANGE
140656	PROJECT NEON	6 X SIGNS - BROOKS GARDENS REBRANDING PATIO & SHED - UNCERTIFIED	162	Lot 1001	CHESTER PASS ROAD	LANGE
140652	OWNER BUILDER	UNCERTIFIED	14	Lot 220	BLACKSWAN COURT	LITTLE GROVE
140660	KENNETH RONALD	RETAINING WALL - UNCERTIFIED	7	Lot 250	RUSHY LANE	LITTLE GROVE
140590	SMITH PLUNKETT HOMES	UNCERTIFIED NEW DWELLING - UNCERTIFIED	6	Lot 203	BLACKSWAN COURT	LITTLE GROVE
140626	(1903) PTY LTD PAUL LENEGAN	UNCERTIFIED PATIO - UNCERTIFIED	4A	Lot 286	ADMIRAL STREET	LOCKYER
140632	OWNER BUILDER	GARAGE - UNCERTIFIED	39	Lot 106	LESCHENAULT STREET	LOCKYER
140614	KOSTERS OUTDOOR	SHED - UNCERTIFIED	548	Lot 256	LOWER KING ROAD	LOWER KING
140639	PTY LTD GREGORY EVANS	NEW DWELLING & SHED - UNCERTIFIED	21	Lot 1	HILLVIEW RISE	LOWER KING
140606	PLUNKETT HOMES	UNCERTIFIED NEW DWELLING - UNCERTIFIED		Lot 351	BUSHBY ROAD	LOWER KING
130564	(1903) PTY LTD DOWNRITE	UNCERTIFIED FULL DEMOLITION OF DWELLING - UNCERTIFIED	63	Lot 401	THE ESPLANADE	LOWER KING
140643	DEMOLITION MCB CONSTRUCTION PTY LTD	SHED - UNCERTIFIED	37	Lot 37	BARFLEUR PLACE	MARBELUP
140599	OWNER BUILDER	GARAGE - UNCERTIFIED	6	Lot 335	SATELLITE CLOSE	MCKAIL
140607	OWNER BUILDER	PATIO - UNCERTIFIED	15	Lot 50	ETHEREAL DRIVE	MCKAIL
140630	PAUL LENEGAN	PATIO - UNCERTIFIED	26	Lot 753	ORION AVENUE	MCKAIL
140647	DAVID HOLLOWAY	SHED - UNCERTIFIED	21	Lot 314	MONCRIEFF ROAD	MCKAIL
140654	FORMATION HOMES PTY LTD	NEW DWELLING - UNCERTIFIED	16	Lot 740	LITTLEHEART PLACE	MCKAIL

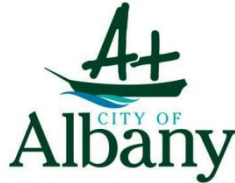
Application Number	Builder	Description of Application	Street #	Property Description	Street Address	Suburb
140601	HOME GROUP WA GREAT SOUTHERN PTY LTD	NEW DWELLING -	7	Lot 623	TRIO CRESCENT	MCKAIL
140649	RYDE BUILDING COMPANY PTY LTD	UNCERTIFIED NEW DWELLING -	46	Lot 238	CENTAURUS TERRACE	MCKAIL
140612	SOUTH COAST SHEDS	UNCERTIFIED	9	Lot 36	NELSON STREET	MIRA MAR
140582	RUSSELL ARTHUR & ESTHER EMILINE	NEW DWELLING -	15	Lot 4	SHORTS PLACE	MIRA MAR
140595	SCHLAGER MICHAEL	UNCERTIFIED ALTERATIONS/ADDITIONS TO MAKE UNAUTHORISED	16	Lot 5	ANGUS STREET	MOUNT
140645	RYSTENBERG RANBUILD GREAT	WORK COMPLIANT WI SHED - UNCERTIFIED	1102	Location 3942	NANARUP ROAD	MELVILLE NANARUP
140592	SOUTHERN OWNER BUILDER	FULL DEMOLITION -	75	Lot 51	HOME ROAD	ROBINSON
140646	SOUTH COAST SHEDS	DWELLING SHED - UNCERTIFIED	4	Lot 204	TROTTER GROVE	ROBINSON
140653	RANBUILD GREAT SOUTHERN OWNER BUILDER	SKILLION CARPORT - UNCERTIFIED ALTERATIONS/ADDITIONS	14	Lot 6	NEWTON STREET	ROBINSON
140593	OWNER BUILDER	ALTERATIONS/ADDITIONS	75	Lot 51	HOME ROAD	ROBINSON
140635	WREN (WA) PTY LTD	TO SHED - UNCERTIFIED NEW DWELLING -	76	Lot 106	ROBINSON ROAD	ROBINSON
140605	OUTDOOR WORLD ALBANY	UNCERTIFIED PATIO - UNCERTIFIED	100	Lot 84	HILLMAN STREET	SPENCER PARK
140631	KOSTERS OUTDOOR PTY LTD	PATIO - UNCERTIFIED	18	Lot 29	MUIR STREET	SPENCER PARK
140588	PULS PATIOS	PATIO - UNCERTIFIED	26	Lot 4	BAUDIN PLACE	SPENCER PARK

Application Number	Builder	Description of Application	Street #	Property Description	Street Address	Suburb
140608	LINDSAY BLACK	ALTERATION TO EXISTING BUILDING NEW ENSUITE & NEW DISABLED CARPORT - UNCERTIFIED	359	Location RES	PERKINS BEACH ROAD	TORBAY
140622	RANBUILD GREAT SOUTHERN	NEW DWELLING - UNCERTIFIED	484	22998 Lot 222 Lot 226	HUNWICK SOUTH ROAD	TORBAY
140587	RYDE BUILDING COMPANY PTY LTD	NEW DWELLING - UNCERTIFIED	124	Lot 172	DELORAINNE DRIVE	WARRENUP
140663	OWNER BUILDER	UNCERTIFIED WATER TANK		Lot 803	WESTON RIDGE	WILLYYUNG
140613	PLUNKETT HOMES	UNCERTIFIED NEW DWELLING -		Lot 826	GREENWOOD DRIVE	WILLYYUNG
140609	(1903) PTY LTD PLUNKETT HOMES	UNCERTIFIED NEW DWELLING -		Lot 824	NEVILE RISE	WILLYYUNG
140623	(1903) PTY LTD RYDE BUILDING	UNCERTIFIED NEW DWELLING & SHED -		Lot 45	BILABOYA PLACE	WILLYYUNG
140597	COMPANY PTY LTD RANBUILD GREAT	UNCERTIFIED PATIO - UNCERTIFIED	4	Location Lot 5 6	HUDSON ROAD	YAKAMIA
140659	SOUTHERN KOSTERS OUTDOOR	SHED - UNCERTIFIED	10	Lot 819	NOTLEY STREET	YAKAMIA
140638	PTY LTD KOSTERS OUTDOOR	SHED - UNCERTIFIED	20	Lot 826	NOTLEY STREET	YAKAMIA
140633	PTY LTD RYDE BUILDING	NEW DWELLING -	6	Lot 823	PARISH STREET	YAKAMIA
140620	COMPANY PTY LTD RAYMOND ESKETT	UNCERTIFIED SHED - UNCERTIFIED	633	Lot 2542	EDEN ROAD	YOUNGS SIDING
140573	HOWARD NIVEN SMITH	CHALET - UNCERTIFIED	74	Location 2540	WOLFES PUMP ROAD	YOUNGS SIDING
140596	CERTIFICATE OF	CERTIFICATE DESIGN				
		COMPLIANCE - LOT 1533				
	DESIGN COMPLIANCE	KALGAN DRIVE NEWMAN				

No.	SINGLE DWELLING	GROUP DWELLING	DOMESTIC/ OUTBUILDINGS	ADDITIONS/ DWELLINGS	HOTEL/ MOTEL	NEW COMMERCIAL	ADDITIONS/ COMMERCIAL	OTHER
1	\$ 165,000.00		\$ 11,415.00	\$ 5,000.00		\$ 310,000.00	\$ 5,000.00	\$ 12,000.00
2	\$ 212,032.00		\$ 45,000.00	\$ 15,500.00			\$ 24,320.00	\$ 10,000.00
3	\$ 220,000.00		\$ 8,000.00	\$ 16,200.00			\$ 58,000.00	\$ 270,000.00
4	\$ 229,545.00		\$ 4,500.00	\$ 19,875.00			\$ 192,500.00	\$ 7,355.00
5	\$ 247,589.00		\$ 4,000.00	\$ 20,000.00				\$ 8,500.00
6	\$ 258,538.00		\$ 5,300.00	\$ 42,620.00				\$ 30,700.00
7	\$ 271,715.00		\$ 9,000.00	\$ 6,298.00				\$ 15,000.00
8	\$ 276,897.00		\$ 10,000.00	\$ 7,869.00				
9	\$ 277,248.00		\$ 13,500.00	\$ 14,475.00				
10	\$ 300,000.00		\$ 14,670.00	\$ 19,600.00				
11	\$ 314,111.00		\$ 15,000.00	\$ 2,500.00				
12	\$ 315,808.00		\$ 17,900.00	\$ 3,000.00				
13	\$ 359,147.00		\$ 18,500.00	\$ 3,100.00				
14	\$ 361,781.00		\$ 32,650.00	\$ 3,500.00				
15	\$ 366,558.00		\$ 47,000.00	\$ 6,100.00				
16	\$ 386,173.00		\$ 60,000.00	\$ 6,410.00				
17	\$ 149,257.00			\$ 8,000.00				
18	\$ 180,038.00			\$ 8,000.00				
19				\$ 7,700.00				
Total	4,891,437	0	316,435	215,747	0	310,000	279,820	353,555.00

Grand Total \$ 6,366,994.00

N.B Red font denotes Park Home Licence



LOCAL EMERGENCY MANAGEMENT COMMITTEE MEETING

Minutes

Meeting held on Wednesday 16th July 2014 at 10.00am

City of Albany – Civic Rooms, North Road

(File Ref: ES.MEE.5 / AM1491161)

Committee Terms of Reference: *The aim of the Local Emergency Management Committee (LEMC) is to overview, plan and test the local community emergency management arrangements. The committee includes representatives from agencies, organisations and community groups with expertise relevant to the identified community hazards and risks and emergency management arrangements.*

1. ATTENDANCE:

Cr Gerry Gregson	City of Albany Councillor
Tony Ward	CoA Manager Rangers & Emergency Services
Garry Turner	CoA Emergency Services Team Leader
Suzan Lees	CoA Rangers & Emergency Services
Alison Benson	DPaW
Mike Shepherd	DPaW
Steve Dean	Dept Education
Sean Rose	Main Roads WA
Ron Panting	SES
Andrew Collins	ABC Radio
John Munro	DCPFS
Brad Nelson	Telstra
Andrew Buchanan	Atco Gas
Mike Richardson	CoA Manager City Operations
Sarah Mathews	DFES
Kevin Parsons	DFES
Ken Carter	Dept of Housing
Anna Page	CoA Airport Reporting Officer
Adam Smith	CEMO SEMC Secretariat
Noel Chambers	Dept of Transport

Apologies/Absent:

Tim Hunter	Western Power
Vince Hilder	DPaW
Peter Hartley	DPaW
Barbara Marquarnd	Albany Regional Hospital
Quentin Flatman	WAPol
Danny Roberts	Dept of Agriculture
Jill Robinson	Dept of Health
Steven Childs	Water Corporation
Gareth Evans	Water Corporation
Sean Bolt	Port Authority
Sumarth Surandra	Port Authority

CONFIRMATION OF MINUTES OF THE PREVIOUS MEETING

ITEM 2.1: COMMITTEE RECOMMENDATION

The minutes of the Local Emergency Management Committee meeting held on 6th March 2014 to be confirmed as a true and accurate record of proceedings.

Moved: K Parsons

Seconded: R Panting

CARRIED

ITEM 2.2: COMMITTEE RECOMMENDATION

The minutes of the Local Emergency Management Committee Special Meeting held on 15th May 2014 to be confirmed as a true and accurate record of proceedings.

Moved: A Collins

Seconded: G Gregson

CARRIED

ITEM 2.3: COMMITTEE RECOMMENDATION

The minutes of the Local Emergency Management Committee Special Meeting/Workshop held on 19th June 2014 to be confirmed as a true and accurate record of proceedings.

Moved: R Panting

Seconded: A Page

CARRIED

2. DISCLOSURE OF INTEREST

Nil.

3. BUSINESS ARISING FROM PREVIOUS MEETINGS:

Item	Status
<p>4.1 Recovery Working Group (6 March 2014)</p> <p>LEMC members volunteered to form a working group to establish the core requirements for the Local Recovery Plan and Recovery Coordination Committee.</p>	Group has convened.
<p>4.2 Appointment of Recovery Coordinator (6 March 2014)</p> <p>Adam Smith (SEMC) to contact CEO of Shire of Mundaring to discuss how they structured their LRC and to contact the Recovery Coordinator of Kelmscott/ Armadale/ Roleystone fires to allow CoA to make an informed decision.</p>	Mgr R&ES: CoA Deputy CEO has been identified to be appointed LRC. To be approved by CEO under delegated authority. Recovery training will be required.
<p>4.3 Exercise Schedule (6 March 2014)</p> <p>Adam Smith and Kevin Parsons (DFES) volunteered to create a non-airport desk-top exercise to be held in the second quarter of 2014.</p>	
<p>4.4 Visitor Safety Information (6 March 2014)</p> <p>Sarah Matthews (DFES) to provide CoA with electronic files of the Visitor</p>	Complete

Safety Information booklet to allow CoA to take responsibility for the ongoing management and development of the booklet.	
4.5 Expression of Thanks (6 March 2014) Formal thank you letter from LEMC to be written by Tony Ward to Sergeant Mark Fairclough on behalf of the LEMC Chair.	Complete
4.6 ADF Representative on LEMC (6 March 2014) Quentin Flatman to extend an invitation for the regular soldier now stationed in Albany to attend the next LEMC meeting.	
4.7 DEMC/LEMC Communications (15 May 2014) ED Planning & Development Services requested that the LEMC receive regular updates from the DEMC sub-committee, and for LEMC to update the DEMC sub-committee so ensure that a flow of information occurs. DEMC XO to provide a briefing note to the City of Albany for dissemination to the LEMC members after each monthly DEMC sub-committee meeting. LEMC minutes to be tabled at the DEMC sub-committee meetings.	Complete Mgr R&ES: CoA staff and Chair of LEMC now standing members of DEMC Sub-Committee. This has clarified communications issues.

4. CONFIRMATION OF CONTACT DETAILS AND KEY STAKEHOLDERS

As per attached contact list (Attachment 1).

5. ITEMS FOR DISCUSSION

6.1 LEMC ANNUAL REPORT

Manager Rangers & Emergency Services tabled the LEMC Annual Report. (Attachment 2)

COMMITTEE RECOMMENDATION

THAT Council NOTE the submission of the Local Emergency Management Committee Annual Report 2013 – 2014 to the DEMC as required by them in accordance with the Act.

Moved: K Parsons

Seconded: A Page

CARRIED

6.2 LEMC CAPABILITY FRAMEWORK ASSESSMENT

Manager Rangers & Emergency Services tabled the SEMC Local Government Capability Assessment document. (Attachment 3)

SEMC CEMO explained this is a new requirement, to be used by SEMC to gather evidence to track and analyse state-wide preparedness trends. Detailed assessment tools have also been sent to hazard management and combat agencies.

COMMITTEE RECOMMENDATION

THAT Council NOTE the submission of the SEMC Local Government Capability Assessment Tool for the City of Albany to the SEMC as required by them.

Moved: M Richardson

Seconded: R Panting

CARRIED

6.3 APPOINTMENT OF LOCAL RECOVERY COORDINATOR

COMMITTEE RECOMMENDATION

THAT the Deputy CEO is appointed as the City of Albany Local Recovery Coordinator.

Moved: A Page

Seconded: G Gregson

CARRIED

6.3 MAJOR EVENTS UPDATE

A listing of events that have received approval from the City of Albany. This is a monthly publication that will be disseminated to LEMC members. (See Attachment 4)

6. GENERAL DISCUSSIONS

DFES Community Engagement Officer advised that the Visitor Information booklet will be distributed at the “driver reviver” locations in the week prior to Anzac Commemorations. Suggested the booklet can be distributed along with Anzac Albany traffic management public information. This will require a reprint of the booklet. DFES to be advised of any additions or amendments required.

7. RISK EVALUATION WORKSHOP

The hazards identified in the 19 June workshop will be further analysed to identify existing controls in place for each hazard. This workshop will look at Utilities Failure (from a local perspective) and Fire.

ATCO Gas was the only utility represented at the workshop, so discussions were limited to controls in place for gas leak events. ATCO’s Risk Register was provided. (See Attachment 5)

Controls already in place, or required to be put in place for Anzac Commemorations for fire events were discussed and documented. (See Attachment 6)

8. DATE OF NEXT MEETING:

Thursday 21 August 2014

9. CLOSURE OF MEETING:

Meeting closed 11.35am



Local Emergency Management Committee ANNUAL REPORT 2013 - 2014

Local Emergency Management Committee (LEMC) name: Albany LEMC

Local Government involved (if more than one): N/A

1. MEETINGS

Number of meetings called:		6		
Number of meetings where a quorum was achieved?		6		
Member	Organisation	Member Attendance	Proxy Attendance	Total attendance
Chair Cr Gerry Gregson	City of Albany	6		6
Deputy Chair Snr Sgt Quentin Flatman	Albany Police	3		3
Executive Officer Tony Ward	City of Albany	4	2	6
Dr Dale Putland	City of Albany	5		5
Matthew Bird	City of Albany	6		6
Suzan Lees	City of Albany	4		4
Anna Page	City of Albany	6		6
Garry Turner	City of Albany	5		5
Ross Fenwick	City of Albany	6		6
Barbara Marquand	Albany Regional Hospital	6		6
Kevin Parsons	DFES	6		6
Sarah Matthews	DFES	4		4
Adam Smith	SEMC	4		4
Ron Panting	SES	6		6
Neville Blackburn	DCPFS	6		6
Stephen Dean	Dept of Education	6		6
Jason Balhorn	BOM	5		5
Steve Childs	Water Corp	2		2
Andrew Collins	ABC Radio	2		2
Sean Bolt	Albany Port Authority			
Noel Chambers	DOT	4	2	6
Malcolm Mallaby	Main Roads WA	4	2	6

Matthew Marshal	ATCO Gas	1		1
Andrew Buchanan	ATCO Gas	1		1
Brad Nelson	TELSTRA	1		1
Fred Steer	Brookfield Rail	2		2
Stacey Abbot	St John's Ambulance	6		6
Visitor				
Supt Cath Bullen	DEMC Chair	1		1
Mayor Dennis Wellington	City of Albany	1		1

2. EXERCISES

Number of exercises that tested the arrangements (e.g. recovery, evacuation, ISG)		1
Date completed	Description of exercise and location	Outcomes / Recommendations
4/12/2013	Desktop Airport crash emergency – testing of individual agency preparedness and response capacity.	Relocation of Airport Incident Control Room is required due to likelihood of smoke drift across existing administration buildings.

3. LOCAL EMERGENCY MANAGEMENT ARRANGEMENTS (LEMAs)

Number of Local Governments covered by LEMA	1
Status of LEMA	<p>Current LEMA endorsed by the City of Albany Council on 21 February 2006. Currently under review.</p> <p>Under Review <u>24/2/2014</u> ***</p> <p>Endorsed by LEMC/LG Yes (21/2/2006)</p> <p>Tabled at DEMC Yes (2006 LEMA)</p> <p>Tabled at SEMC Yes (2006 LEMA)</p> <p>Note: If LEMA was endorsed before 2009, it is due for review.</p>
*** If LEMA is under review please indicate due date and any comments	All LEMA documentation is due for full review, with the bulk being drafted before 2009.

REPORT ITEM LEMC 004 REFERS

	<p>Currently the Bushfire Strategic Plan 2014 (awaiting Council endorsement), Welfare Plan 2013 (accepted by SEMC), Local Storm/Flood Response Plan 2014 and Emergency Contacts and Resource Register are complete and ready for inclusion. Further documentation will be compiled following the Community Risk Assessment process, due to be completed by December 2014.</p>
<p>Link to LEMA on Local Government's website</p>	<p><Insert Link>></p>
<p>Status of Recovery Plan</p>	<p>The current recovery plan was endorsed by the City of Albany Council on 15 May 2007.</p> <p>Recovery Plan in Draft only – currently being reviewed by Recovery working group</p> <p>Under Review _____ Yes _____ ***</p> <p>Endorsed by LEMC/LG _____ Yes (2007 Plan)</p> <p>Tabled at DEMC _____ Yes (2007 Plan)</p> <p>Tabled at SEMC _____ Yes (2007 Plan)</p>
<p>*** If Recovery Plan is under review please indicate due date and any comments</p>	<p>24 October 2014 –Basic plan is due for completion prior to ANZAC Albany events, 31/10 – 2/11/2014, with full plan to follow.</p>
<p>Status of ERM process</p>	<p>In progress _____ Yes _____ ***</p> <p>Report finalised _____ No _____</p> <p>Report tabled at LEMC __ No _____</p> <p>Report tabled at DEMC __ No _____</p>
<p>*** If ERM is under review please indicate due date and any comments</p>	<p>AWARE funding grant has been obtained to undertake a Community Emergency Risk Assessment process. This is due to be completed prior to the end of the year and will allow significant advancement in all other facets of Emergency Management planning at the City.</p>
<p>Insert website link to risk report and/or risk register and treatment plans</p>	

4. SUBCOMMITTEES / WORKING GROUPS.

Is the LEMC involved in any active subcommittees or working groups? YES

If yes, please complete the table below.

Name	Function	Members	Meeting schedule
Local Recovery Committee Working Group	Outline job requirements of local recovery coordinator and identify potential candidates	WAPOL, CoA, Main Roads, DCPFS, DFES	Bi monthly
DEMC ANZAC Sub-committee	To ensure appropriate Emergency and Risk Management Planning for this event occurs	Various LEMC/DEMC agencies with representation from CoA	Bi-monthly

5. PROJECTS UNDERTAKEN BY THE ALBANY LEMC:

<i>[INSERT PROJECT NAME]</i>		
<i>Project</i>	<i>Link to Strategic Goals</i>	<i>Update</i>

6. KEY ACHIEVEMENTS

List key achievements for any projects, working groups / subcommittees or any activities during the last 12 months.

- Introduction of new City Emergency Management team to revitalize LEMC membership, roles, functions and responsibilities
- Establishment of Recovery working group and identification and appointment of Local Recovery Coordinator.
- Review of LEMAs and identification of need for full overhaul of all Emergency Planning documentation.
- Completion of ANZAC risk assessment workshop to identify and plan for potential hazards associated with this significant event.
- AIIMS Awareness workshop conducted for City of Albany executive staff.

7. MEETING DATES FOR THE NEXT 12 MONTHS

Quarter	Meeting Date
1 st Quarter	18/9/2014
2 nd Quarter	4/12/2014
3 rd Quarter	12/3/2015
4 th Quarter	18/6/2015

Signature Chair

Date



SEMC Capability Assessment Tool for Local Governments

Capability Area	Questions	Metric	Comment
Legislation, Policy and Governance Structures Emergency Management legislation, governance structures and policies (EM instruments) are current, used, documented and facilitate effective preparedness for large scale emergencies in WA.	1. Do you have internal measures in place to monitor compliance levels with your obligation to the relevant EM instruments?	Yes	Subject to internal audit by Manager, Governance and Risk Management
	2. Do you have processes in place to be informed of and communicate with stakeholders of changes to EM instruments and arrangements?	Yes	Distributed to LEMC membership and tabled at scheduled meetings where appropriate
	3. Is your Local Government given the opportunity to contribute to relevant EM legislative or policy reviews?	Yes	SEMP 2.5 and EM Act Concept paper are recent examples.
	4. Are Local Arrangements under your responsibility current, relevant and appropriate?	No	Much work currently being undertaken.
Risk Assessment and Risk Treatment A consistent and comprehensive Emergency Risk Management (ERM) approach aids in decision making, facilitates appropriate resource allocation, and allows for proactive approach towards emergency management, including greater emphasis toward prevention and preparedness.	1. Relevant to your Local Government's Emergency Management responsibilities, has your agency identified and documented all hazards and vulnerabilities in accordance with SEMP 2.9 Management of Risks including the State Core Objectives?	No	Completed in part but only concerning ANZAC Albany events planned for November 2014. Workshop to identify hazards completed – Risk plans currently being created. Expected completion date 24/10/2014
	2. Relevant to your Local Government's Emergency Management responsibilities, have you analysed, evaluated and prioritised its risks in accordance with SEMP 2.9 Management of Risks?	No	See previous note. Currently under review. AWARE funding has been granted to undertake a Community Emergency Risk Assessment project. To be completed before end of 2014.
	3. Relevant to your Local Government's Emergency Management responsibilities and its identified and prioritised risks, are you applying risk management programs and treatment options in accordance with SEMP 2.9 Management of Risks, by having plans in place and to bring those risks within acceptable/tolerable levels?	Yes	Expected completion for identified risks is 24/10/2014



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Secretariat

Capability Area	Questions	Metric	Comment
Resources People – Organisations have appropriate levels of capable, well-trained and supported people who effectively perform their role in large scale emergency management. Finance and Administration – Robust financial and administrative processes and adequate funding arrangements exist to manage large scale emergencies.	1. Are all EM responsibilities associated with individual roles reflected in the relevant Job Descriptions?	Yes	Recent City engagements reflect EM responsibilities post Black Cat Creek Major Incident Review.
	2. Do you have sufficient processes in place to clarify volunteer roles and responsibilities including safe systems of operation?	Yes	City of Albany Bushfire Strategic Plan reviewed (April 2014) and critical volunteer positions fully described.
	3. What percentage of employees have a current training plan in place to address identified training needs?		City staff training requirements are coordinated by HR dept, with specific needs addressed by relevant manager.
	4. What percentage of volunteers have a current training plan in place to address identified training needs?		Variable – brigade specific. City has identified need to employ a training officer to implement and deliver training program.
	5. Do you have in place a workforce plan to ensure a sufficiently skilled future EM workforce?	Yes	Succession planning within EM team through multi-skilling, combined with ongoing training opportunities.
	6. Do you have processes in place to capture and report on financial expenditure used to manage large scale emergencies?	Yes	City operations hare handled by a dedicated Finance team within Corporate Services
	7. Are your policies and procedures consistent with SEMP 4.2 Funding for Emergencies, OP19 Management of Public Fundraising & Donations, SEMP 4.4 State Recovery Coordination and relevant Westplans, for example, Westplan Recovery Coordination?		These matters are currently untested.
Shared Ownership Community Engagement – The community has an understanding of and takes responsibility for hazard related-risks they may be exposed to, strategies to treat those risks, and are engaged with the response	1. Aligned to your responsibilities, do you have in place a public communication awareness strategy on hazards and emergency preparedness?	Yes	Community workshops and road-show, supported by assistance from DFES Community Engagement Officer.
	2. Have you identified vulnerable and transient groups and implemented strategies to engage with them and understand their needs?	Yes	Stakeholder Engagement Manager, as part of the Media Liaison Team, with support from DCPFS



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and recovery process.	3. Do you have effective networks established that can be relied on in case of an emergency?	Yes	Communications plans, supported by Resource and Emergency Contacts lists and an active and effective LEMC	
Capability Area	Questions	Metric	Comment	
Operational Plans and Procedures Training & Exercising of Plans – Plans, processes and procedures are regularly and appropriately exercised to assess and improve capability.	1. Has your Local Government carried out its annual exercise of its arrangements in accordance with SEMP 3.1 Emergency Management Exercise and SEMP 2.6 Emergency Management in Local Government Districts?	Catastrophic	No	
		Major	Yes	Annual Airport emergency Exercise Dec 2013
		Moderate	No	Desktop exercise planned for August 2014
	2. Have you evaluated training and exercising plans in accordance with SEMP 3.1 Emergency Management Exercises, SEMP 4.3 Post Operation Reports and OP-3 Post Operations Report?	Yes		
3. Have all areas needing improvement been addressed?	Yes			
Response and Recovery Support Services Evacuation & Public Protection Measures – Directed or voluntary evacuation of people and animals or other public protection measures to protect lives in a large scale emergency.	1. Do you have current evacuation plans in place that are accessible and consistent with SEMP 4.7 Community Evacuation, Evacuation Guide and/or MOUs to facilitate evacuation processes?	No		Progressing with support of DCPFS
Coordinated Recovery Coordinated recovery supports emergency affected communities in the reconstructing and restoration of physical infrastructure, the environment, psycho-social and economic wellbeing	1. Relevant to your Local Government’s Emergency Management responsibilities do your plans and arrangements include sufficient restoration and recovery of infrastructure, the economy, the environment and local services after a large scale emergency in accordance with Westplan Recovery Coordination and SEMP 4.4 State Recovery Coordination?			Potential infrastructure and resources, both physical and human, are in place within the local Government area but require coordination through Local Recovery Group – plans yet to be formulated.



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Capability Area	Questions	Metric	Comment
Coordinated Recovery (cont.)	2. Are your recovery plans and arrangements based on research on best practices across national and international jurisdictions?	Yes	Recovery working group has been established to consider these issues and report recommendations back to LEMC.
	3. Do you have systems and process in place to carry out impact and/or needs assessments on affected communities for the transition from response to recovery after a large scale emergency?	Yes	Formation of a local recovery group as a support group of the Incident Management Team to assess requirements for transition.
	4. Do your procedures and processes ensure the results of these impact and needs assessments on affected communities are recorded, stored and shared with other agencies and organisation who have a role/responsibility in recovery support and restoration?	Yes	Progressing.
	5. Do you have systems and protocols in place to communicate up to date and relevant information to the public and industry on recovery timeframes?	Yes	Local Recovery Coordinator identified and appointed. Information provided through Media Liaison team.
6. Have you assessed the effectiveness of your recovery activities in making communities more resilient and whether the needs of the community have been met?		No	Untested at this time.

Note: SEMC Website address: <http://www.semc.wa.gov.au/Pages/default.aspx>

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